Town Clerk's Office | Town of Brookfield 645 N. Janacek Road | Brookfield, WI 53045 Phone: (262)796-3788 | Fax: (262)796-0339



MEETING NOTICE

A regular meeting of the Town of Brookfield's Architectural Review Committee will be held on Wednesday, May 10, 2023 at the <u>TOWN HALL</u>, 645 N. Janacek Road, Brookfield, WI:

May 10, 2023 6:00 P.M. ARCHITECTURAL REVIEW COMMITTEE

AGENDA:

1. Confirmation of meeting notice.

2. Approval of Minutes.

3. S-0523-01 Rosie Olle (Michaels Signs Inc.), representing Lucida Tax and Accounting Solutions, is

requesting review and approval of 1 new sign face on a monument sign and 3 wall signs,

located at 20633 Watertown Court.

4. S-0523-02 Julie Braun (TLC Sign, Inc), representing Linde Welding Gas and Equipment Center is

requesting review and approval of 3 proposed sign face changes to 1 monument sign and 2

wall signs, located at 100 North Janacek Road.

5. SD-0523-01 Corey Wallace (Wesenberg Architects), representing Quest Interiors, for a recommendation

for Preliminary and Final Approval of a new building consisting of an office, product

showroom, and product storage and shipping area located at 21055 Crossroads Circle.

6. Adjourn

S	Sign
SD	Site Development

Bryce Hembrook, AICP Town Planner

Town of Brookfield

DEPARTMENT OF DEVELOPMENT SERVICES BRYCE HEMBROOK, TOWN PLANNER

ARCHITECTURAL CONTROL COMMITTEE MINUTES JANUARY 11, 2023

A meeting of the Architectural Control Committee of the Town of Brookfield was called to order by Chairman Dean Pearson at 6:02pm on Wednesday, January 11, 2023, at the Town of Brookfield Town Hall, 645 North Janacek Road, Brookfield, Wisconsin. Also present at the meeting was Town Planner Bryce Hembrook, Town Supervisor Steve Kohlmann, and Committee members Alan Lee, John Charlier, Matt Paris, and Richard Diercksmeier.

1. Confirmation of meeting notice

Town Planner Hembrook reported receipt of verbal confirmation from the Clerk's Office that the meeting was noticed as required.

2. Minutes.

Chairman Pearson noted that Item #3 for Starbucks should note that the logo sign was approved in lieu of the previously approved letter sign. A motion was made and seconded (Kohlmann / Lee) to approve the December 14, 2022 minutes as presented, with the suggested amendment.

The motion was voted on and carried unanimously. Paris abstained.

3. ER-0123-01

Sunday Bougher (SGA Design Group) representing Sam's Club, is requesting review and approval of proposed exterior alterations including installing new bollards, replacing textured concrete, and replacing two roof top units, located at 600 North Springdale Road. Planner Hembrook described the exterior changes. A motion was made and seconded (Kohlmann / Charlier) to approve proposed exterior alterations including installing new bollards, replacing textured concrete, and replacing two roof top units, located at 600 North Springdale Road.

The motion was voted on and carried unanimously.

4. SD-0123-01

Lou Petros for a recommendation for Final Approval of a building addition to the principal structure located at 1480 North Springdale Road. Planner Hembrook reviewed the proposed addition and site plans. Lighting materials were not submitted in the packet materials however, lighting fixtures were shared later in the presentation. Planner Hembrook informed the ACC that there are no exit doors on the north and east sides of the building, therefore no exterior lighting is required on those sides. Planner Hembrook indicated that final comments from the town engineer and the fire department are in the process of being completed. Chairman Pearson inquired if the two parcels have been combined. John Riley with Sullivan Design Build was present, and responded that a new CSM has been created, but are waiting for the temporary construction easement issue to be addressed. Chairman Pearson inquired about the reference of "bituminous" on page C-100 of the plans. Mr. Riley indicated that it would be removed from the plans, as it is most likely a carryover error from a subsequent sheet (C-300).

Planner Hembrook reported that in communications with the fire department, a concern was raised about the ability to reach the northeast corner in the event of a fire. A fire hydrant is suggested within 150' of the fire department connection, and having access to an existing gate in the southeast corner to utilize the hydrant. Gravel versus pavement was discussed, and Planner Hembrook reported that anything west of the fence along the parking lot is to be hard surface, with the rest of the lot being gravel. Primary use for the gravel portion is for truck turn-around. Chairman Pearson expressed disapproval of gravel. It was clarified that a portion at the loading dock has concrete, including the french drain. Landscaping review has not been finalized by the town engineer. Mr. Riley provided additional information regarding placement of low growing shrubs and arborvitae. Additional landscaping between the parking area and the road was suggested at a previous meeting. Storm water management was reviewed. Chairman Pearson inquired about the potential stacking of trucks onto Springdale Road. Planner Hembrook clarified that the gate is open during regular business hours. The swing gate is 24' wide. Supervisor Kohlmann indicated he would not move forward with approval without seeing lighting specifics. Mr. Riley had a copy of the lighting plan with him that passed around for review, and he clarified that there is one light pole in the parking lot. Lighting is LED, direct downward. All lighting walpacs will be changed. The committee was satisfied with the lighting as presented. Committee Member Paris inquired about possible erosion with the gravel surface. Mr. Riley responded that the gravel would be hard packed, so erosion is not a concern. There will be protection added to the inlets of the french drain for silt. Planner Hembrook stated that a tracking pad would be in place near the gate to keep gravel from getting onto Springdale Road. A motion was made and seconded (Kohlmann / Paris) to **recommend** final approval to the Plan Commission of a building addition to the principal structure located at 1480 North Springdale Road, subject to approval of a Certified Survey Map for combination of two properties.

The motion was voted on and passed 5-1, with Chairman Pearson opposed.

5. Adjourn

A motion was made and seconded (Charlier/Lee) to **adjourn** at 6:52 pm. **The motion was voted on and carried unanimously.**



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TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Bryce Hembrook, AICP

Town Planner

REPORT DATE: May 4, 2023 ACC MEETING DATE: May 10, 2023

RE: ARC Staff Report – May Agenda Items

<u>Lucida Tax and Accounting – Sign Permit</u>

Applicant: Rosie Olle (Michaels Signs Inc) representing Lucida Tax and Accounting

Location: 20633 Watertown Court

Request: Approval of Permanent Signage

- Requesting to replace 1 existing monument sign with new sign face and add 3 wall signs.
- Monument sign
 - Requesting to reface existing sign with a double-sided, internally illuminated sign.
 - o Approximately 37.45 square feet.
 - o Sign background color will be gray and letters will consist of blue and black. The sign background is not proposed to be illuminated, only the lettering and address.
 - o The address numerals will be at least 8" in height.
 - o Proposed sign meets all other sign code requirements.
- 3 Wall signs.
 - Proposed wall sign above loading dock.
 - Face lit channel letters with gray aluminum raceway and blue and black lettering.
 - Sign area = 51 square feet
 - Sign is proposed to be located above the loading dock on the southwest side of the building. This sign will not face a public right-of-way.
 - Proposed wall sign on southeast side of building.
 - Face lit channel letters with gray aluminum raceway and blue and black lettering.
 - Sign area = 79.95 square feet
 - o Proposed wall sign (labeled "building sign on plans") near entrance.
 - Single-sided, internally illuminated building sign.
 - Gray background with black and blue lettering.
 - Sign area = 60 square feet
 - o Total building frontage along Watertown Court = 230 feet.

- Sign code states "[sign] area limited to 0.8 square feet of signage for each linear foot of building frontage on a public right-of-way, with a maximum area for any one sign not to exceed 100 square feet."
- Total signage allowed = 184 square feet for wall supported signage.
- Total signage proposed = 190.95 square feet. Exceeds allowable signage.
- According to the sign code, "In the interest of architectural integrity, this chapter expressly allows regulation of all signs in the Town to be based upon the finding of the Architectural Control Committee that such signage will not violate the purpose and intent of this chapter. This chapter cannot prevent the Committee from establishing more or less stringent requirements and conditions prior to approval of any sign application." Thus, the Committee can approve this exception

Recommended Action: Per the discretion of the Committee.

Linde Welding Gas and Equipment Center - Sign Permit

Applicant: Julie Braun (TLC Sign, Inc) representing Linde Welding Gas and Equipment Center

Location: 100 North Janacek Road

Request: Approval of Permanent Signage

- Requesting to replace three existing signs with new tenant signage. Consists of 2 wall signs and 1 monument sign.
- Monument sign
 - o Proposed sign area = 49 square feet
 - o Background color is light and dark blue and white lettering.
 - o Illuminated.
- Wall sign (Sign #3 Aluminum Replacement Faces in packet)
 - o Proposed sign area = 164 square feet.
 - Building frontage along Interstate 94 = 300 feet
 - Total allowable signage area = 240 square feet
 - Background color is light and dark blue and white lettering.
 - Sign code generally limits an individual wall sign to 100 square feet. The Committee can make an
 exception. Since this is replacing an existing sign and facing the interstate, staff believes this is
 justifiable.
 - o Not illuminated.
- Wall sign (Sign #3 Flex Replacement Faces in packet)
 - o Proposed sign area = 84 square feet.
 - Building frontage along Janacek = 217.66.
 - Total allowable signage area = 174.13 square feet
 - o Background color is light and dark blue, white, and consists of white and blue lettering.
 - Illuminated. Approximately half of the sign has a white background. The Committee can choose to approve as presented or required that the background be changed to a different color or opaque.
- This sign will meet all other requirements as set forth in the sign code.

Recommended Action: Approve the sign permits as presented.

<u>Quest Interiors – Preliminary and Final Approval</u>

Applicant: Corey Wallace (Wesenberg Architects) representing Quest Interiors

Location: 21055 Crossroads Circle

Request: Preliminary and final approval of new building consisting of an office, product showroom, and product storage and shipping area

- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.68 acre parcel in an office park.
- Proposed structure = 23,431 square foot one-story facility for Quest Interiors consisting of an office area, product showroom, and product storage/shipping area. The business's main customer is local home builders and contractors. It is essentially considered a building supply store.
 - o Office area = 3,470 square feet
 - o Showroom = 5,803 square feet
 - o Warehouse area = 14,158 square feet
- Approximately 49 parking stalls currently proposed; 39 in customer parking area and 10 stalls intended for staff.
 - o According to the code, 35 parking spaces are required. Stall per land use breakdown below:
 - Office area = 14
 - Warehouse = 12
 - Showroom = 9
- Proposed setbacks:
 - o Front = 108'
 - o Side = 109' south and 50' north
 - o Rear = 121'
 - All setbacks will meet code requirements.
- Sum total of floor area
 - o Proposed = 14.6% of lot area.
 - o Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area
 - Requirement is met.
- Proposed building height appears to be approximately 28'.
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The majority of trees along the western property line are proposed to remain to maintain the buffer between the residential properties and the new building.

Preliminary Approval Requirements

The purpose of preliminary project review is to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one-inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. This information was provided by the applicant and included in the plan sets.

The Committee needs to review the proposed uses and sizes of the following:

- subject site
- existing and proposed structures
- existing and proposed easements
- streets and other public ways

- off-street parking, loading areas, driveways, ingress and egress plans
- landscaping and open space utilization plans
- existing highway access restrictions
- existing and proposed street, side, and rear yards.

When deciding whether to approve the preliminary plans, the Committee should consider these elements.

Final Approval Requirements

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

Development Review Team Feedback

The Development Review Team has reviewed the proposed plans and all of their comments and/or concerns are described in the review letter from the Town Engineer. Overall, town staff believes these items can be addressed prior to final approval from the Town Board.

Next Steps

If the preliminary and final approval is granted by this committee, the Plan Commission will also review preliminary and final plans at the next available meeting. If approved by Plan Commission, the Town Board will review and grant final approval. All three boards may decide to only approve preliminary and review final plans at a later date.

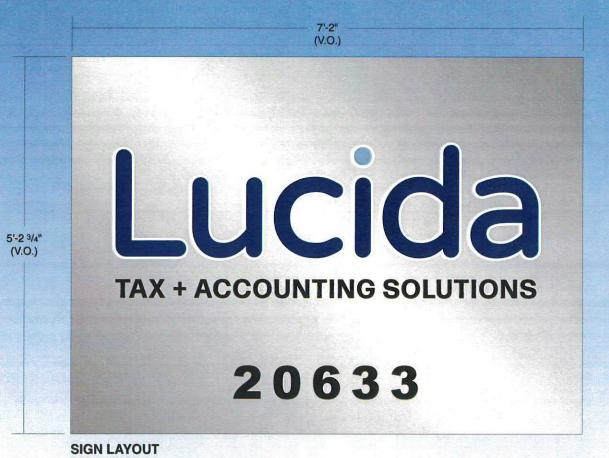
Staff Recommendation

Per the discretion of the Plan Commission.

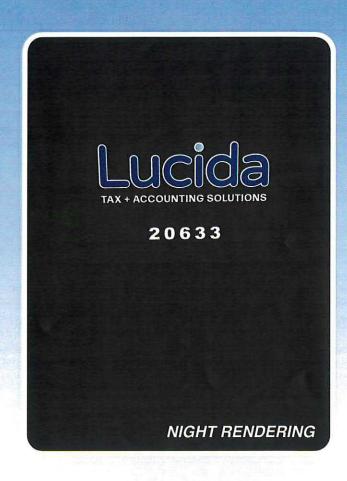
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MONUMENT SIGN

SIGN REFACE



Lucida
TAX + ACCOUNTING SOLUTIONS
20633



LUCIDA / MONUMENT SIGN

REFACE ONE (1) EXISTING DOUBLE SIDED, INTERNALLY ILLUMINATED MONUMENT SIGN NEW WHITE LEXAN FACES W/ 3M VINYL GRAPHICS
REPAINT EXISTING CABINET W/ NEW MAP PAINTED FINISHES
LED CONVERSION W/ INTERNAL POWER SUPPLY

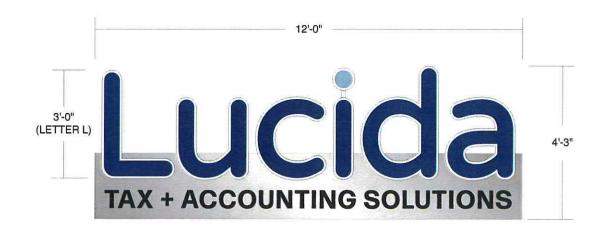
*FIELD VERIFY MEASUREMENTS

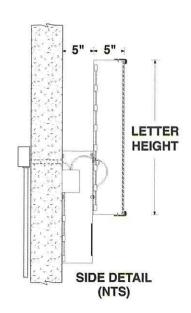
Michael' Sign/
"We Project Your Image"

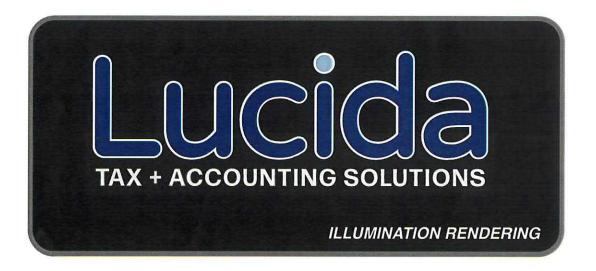
PH: (262) 554-6066
TOLL FREE: (800) 554-8110

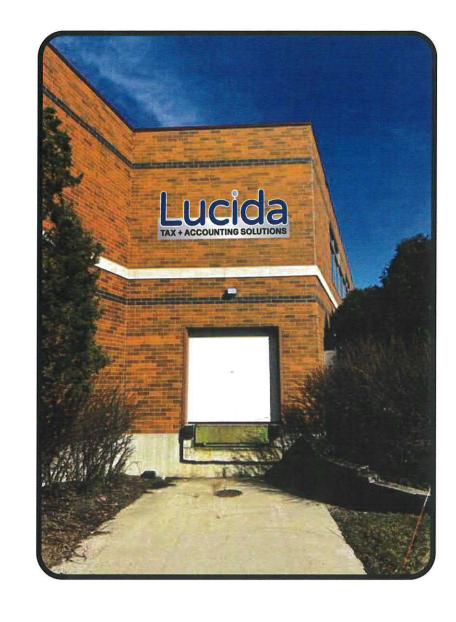
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		SOLUTIONS	Drawing #	# : 1(1)	3-31-23	\triangle	Electrical Requirements:	120 277	Quantity:	1	PANTONE COOL GRAY 9C	3M SULTAN BLUE TRANS. DIGITALLY PRINTED	Signature Date	·
- Mi	Address:	20633 WATERTOWN CT	Sheet:	1 of 1	\triangle	\triangle	Sign Specification					3M BLACK PERFORATED 3M SILVER MET. TRANS.	NOTICE: Michael's Signs, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS	
	City, State:	: WAUKESHA, WI 53186	Scale:	3/4"=1"		\triangle	NOTED ABO	OVE					The ideas and designs contained in this original and unput drawing are the sole property of Michael's Signs, Inc. and	
	Sales Rep:	STEPHEN PROCHASKA	Designer:	: KD	\triangle	Δ							MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.	

CHANNEL LETTERS









LUCIDA / CHANNEL LETTERING

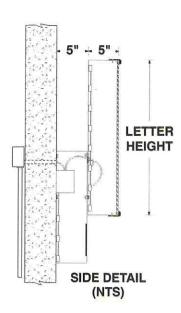
TWO (2) SETS OF FACE LIT CHANNEL LETTERS
.063 ALUMINUM BACKS 5" DEEP .040 ALUMINUM RETURNS (MAP BRUSHED ALUMINUM)
3/16" WHITE PLEXI FACES W/ 1" SILVER TRIM CAP
WHITE LED ILLUMINATION
LETTERS ARE MOUNTED TO 5"X5" ALUMINUM RACEWAY
"TAX + ACCOUNTING SOLUTIONS" - ROUTED LETTERING BACKED W/ WHITE LEXAN
RACEWAY PAINTED TO MATCH BUILDING
FLUSH MOUNT RACEWAY TO FASCIA

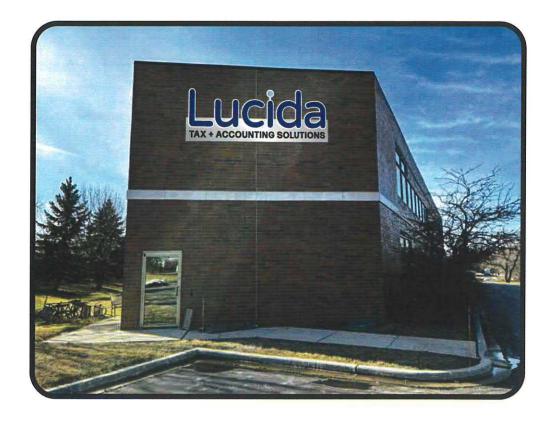
Michael' Sign/
"We Profect Your Intage"

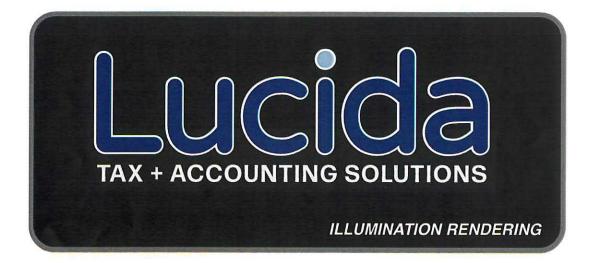
PH: (262) 554-6066
TOLL FREE: (800) 554-8110

1	Client:	LUCIDA	Date: 3-	-30-23	REVISION		Illumination: NO X TYPE LED	SINGLE SIDED	DOUBLE SIDED	Paint Colors (AkzoNobel):	Vinyl Film Colors (3M Scotchcal):	Client Signature:	
)		TAX & ACCOUNTING SOLUTIONS	Drawing #:	2(0)	\triangle	\triangle	Electrical Requirements:	Quantity:	1	MAP BRUSHED ALUMINUM	3M SULTAN BLUE TRANS. DIGITALLY PRINTED	Signature	Date
) 10	Address:	20633 WATERTOWN CT	Sheet: 1	of 1	\triangle	\triangle	Sign Specifications:				3M BLACK PERFORATED	NOTICE: Michael's Signs, Inc. does NOT provi electrical to sign location - RESPONSIBILITY	
	City, State	WAUKESHA, WI 53186	Scale: 3	/8"=1"	\triangle	\triangle	NOTED ABOVE					The ideas and designs contained in this origin drawing are the sole property of Michael's Sig	
	Sales Rep	STEPHEN PROCHASKA	Designer:	KD	\triangle	\triangle						MAY NOT BE USED OR REPRODUCED in who without written permission.	









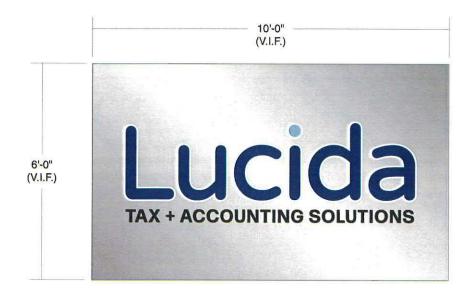
LUCIDA / CHANNEL LETTERING

TWO (2) SETS OF FACE LIT CHANNEL LETTERS .063 ALUMINUM BACKS 5" DEEP .040 ALUMINUM RETURNS (MAP BRUSHED ALUMINUM) 3/16" WHITE PLEXI FACES W/ 1" SILVER TRIM CAP WHITE LED ILLUMINATION LETTERS ARE MOUNTED TO 5"X5" ALUMINUM RACEWAY "TAX + ACCOUNTING SOLUTIONS" - ROUTED LETTERING BACKED W/ WHITE LEXAN **RACEWAY PAINTED TO MATCH BUILDING** FLUSH MOUNT RACEWAY TO FASCIA

Michael's Signs

Client:	LUCIDA TAX & ACCOUNTING	Date: 3-30-23	REVISIO	N	Illumination: NO X TYPE LED	SINGLE SIDED DOUBLE SIDED	Paint Colors (AkzoNobel):	Vinyl Film Colors (3M Scotchcal):	Client Signature:
	SOLUTIONS	Drawing #: 3(0)	\triangle	\triangle	Electrical Requirements:	Quantity: 1	MAP BRUSHED ALUMINUM	3M SULTAN BLUE TRANS. DIGITALLY PRINTED	Signature Date
Address:	20633 WATERTOWN CT	Sheet: 1 of 1	\triangle	\triangle	Sign Specifications:			3M BLACK PERFORATED	NOTICE: Michael's Signs, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS
City, State	WAUKESHA, WI 53186	Scale: 3/8"=1"	\triangle	\triangle	NOTED ABOVE				The ideas and designs contained in this original and unpublished drawing are the sole property of Michael's Signs, Inc. and
Sales Rep	STEPHEN PROCHASKA	Designer: KD	\triangle	\triangle					MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.

BUILDING SIGN









LUCIDA / BUILDING SIGN

ONE (1) SINGLE SIDED, INTERNALLY ILLUMINATED BUILDING SIGN
CUSTOM FABRICATED ALUMINUM CABINET W/ MAP BRUSHED ALUMINUM FINISH
ROUTED 1/8" ALUMINUM FACE BACKED W/ WHITE LEXAN
SIGN INTERNALLY ILLUMINATED W/ WHITE LEDS
SIGN MOUNTED FLUSH TO BUILDING

*FIELD SURVEY REQUIRED

Michael' Sign/
"We Project Your Image"

PH: (262) 554-6066
TOLL FREE: (800) 554-8110

Clie	ent:	LUCIDA TAX & ACCOUNTING	Date: 3-30-23	REVISIO	N	Illumination: X X TYPE LED	SINGLE SIDED DOUBLE SIDED	Paint Colors (AkzoNobel):	Vinyl Film Colors (3M Scotchcal):	Client Signature:
		SOLUTIONS	Drawing #: 4(0)	\triangle	\triangle	Electrical Requirements:	Quantity: 1	MAP BRUSHED ALUMINUM	3M SULTAN BLUE TRANS. DIGITALLY PRINTED	Signature Date
Add	dress:	20633 WATERTOWN CT	Sheet: 1 of 1	\triangle	\triangle	Sign Specifications:			3M BLACK PERFORATED	NOTICE: Michael's Signs, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS
City	, State:	: WAUKESHA, WI 53186	Scale: 3/8''=1'	\triangle	\triangle	NOTED ABOVE				The ideas and designs contained in this original and unpublis drawing are the sole property of Michael's Signs, Inc. and
Sale	es Rep:	STEPHEN PROCHASKA	Designer: KD	\triangle	\triangle					MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.

20633 Watertown Ct

existing monumentsign to be reworked

Proposed plogentrance sign



proposed Sign -Truck bay

nagery @2023 CNES / Airbus, Maxar Technologies, U.S. Geological Survey, Map data @2023 20 m

proposed sign

Waukesha County GIS Map



108.50 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or orther official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

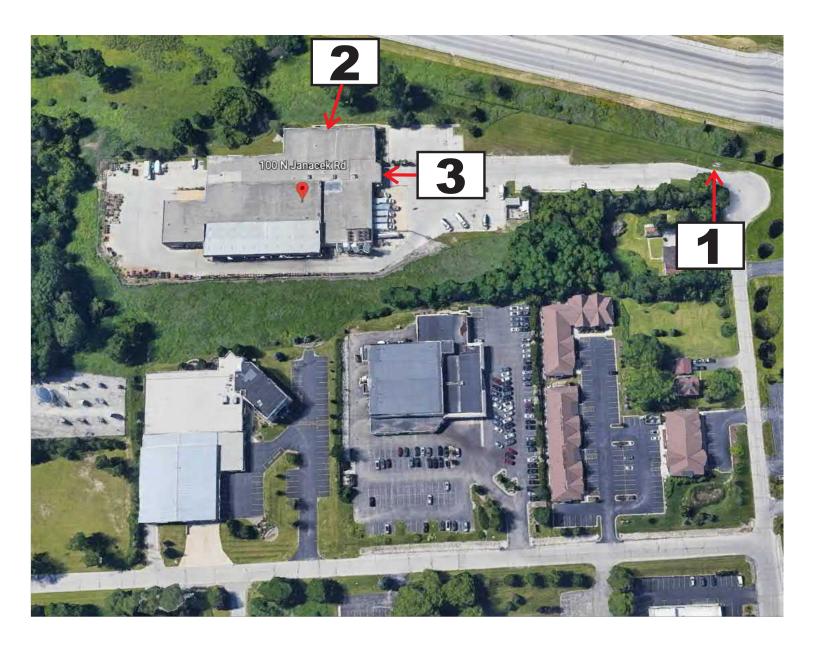
Notes:

Printed: 4/11/2023





100 N. Janacek Rd. - Brookfield, WI



SIGN #	PAGE#	SIGN TYPE
1	2	Lexan Replacement Faces
2	3	Aluminum Replacement Face
3	4	Flex Replacement Face
	I	

Date: 2/01/23 Salesperson: JH Dwg. By: MEB Dwg No:		ion: N. Jaı	nde nacek F , WI 53	
Dwg. By:	Date:	2/01	/23	
MEB	Sales	perso J	n: H	
Dwg No:	Dwg.	Ву: М І	EB	
	Dwg	No:		
Revised:	Revis	ed:		
	DWG#	1	OF	_

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302 NORTH WASHINGTON ST. ORWIGSBURG, PENNSYLVANIA 17961 PHONE 570-366-2311

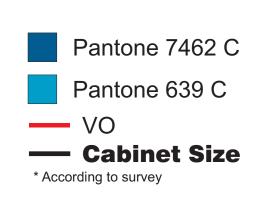
E-Mail: signsetc@bartush.co





Existing Sign Dimensions: 49" H X 120" W

Proposed





Sign #1 – Lexan Replacement Faces

Manuafacture & Install (2) 48.50" x 119.50" lexan replacement faces with vinyl graphics.

Client:
Linde

Location:
100 N. Janacek Rd.
Brookfield, WI 53045

Date:
2/01/23

Salesperson:
JH

Dwg. By:
MEB

Dwg No:

Revised:

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SIGN ELEVATION

Scale: 1/2"=1'-0"



Proposed



Existing Existing Sign Dimensions: 48" X 492"

Pantone 7462 C

Pantone 639 C

Welding Gas & Equipment Center

492.00"

Sign #3 – Aluminum Replacement Faces

Manuafacture & Install (1) 48" x 492" .080 aluminum replacement faces with vinyl graphics.

Client:
Linde

Location:
-100 N. Janacek Rd.
-Brookfield, WI 53045

Date:
2/01/23

Salesperson:
JH

Dwg. By:
MEB

Dwg No:

Revised:

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Notes:

SIGN ELEVATION

Scale: 1/4"=1'-0"



Proposed



Existing Existing Sign Dimensions: 36" X 336"

Pantone 7462 C

Pantone 639 C



Customer Service

336.00"

Sign #3 – Flex Replacement Faces

Manufacture & Install (1) 36" x 336" flex replacement face.

Client:
Linde

Location:
100 N. Janacek Rd.
Brookfield, WI 53045

Date:
2/01/23

Salesperson:
JH

Dwg. By:
MEB

Dwg No:

Revised:

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Notes:

SIGN ELEVATION

Scale: 3/8"=1'-0"

PROPOSED SHOWROOM, OFFICE & WAREHOUSE BUILDING

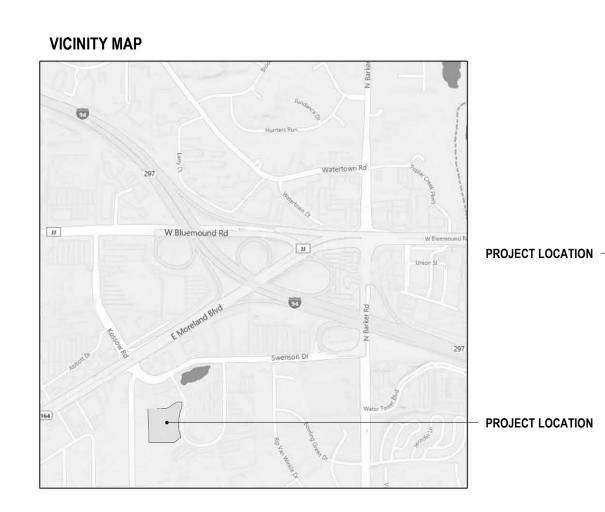
QUEST INTERIORS

21055 Crossroads Circle Town of Brookfield, WI



LOCAL MAP

- TOWN OF BROOKFIELD WAUKESHA COUNTY
0001111





ARCHITECT: WESENBERG ARCHITECTS
146 ALGOMA BLVD OSHKOSH, WISCONSIN 54901 (920) 230 - 4900 Chet Wesenberg chet.wesenberg@cwarchitect.net
OWNER: KTFM, LLC
N7799 US HWY 51 FOND DU LAC, WISCONSIN 54935 (920) 233 - 3200 Mark Twohig mtwohig@questinteriorsusa.com
STRUCTURAL ENGINEER: PATERA, LLC
2601 S. SUNNYSLOPE ROAD NEW BERLIN, WI 53151 (262) 786 - 6676 John Lavin john@PateraLLC.com
CIVIL: EXCEL ENGINEERING, INC.
100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Jason Daye jason.daye@excelengineer.com
PLUMBING & FIRE PROTECTION: EXCEL ENGINEERING, INC.
100 CAMELOT DRIVE FOND DU LAC, WI 54935 (920) 926 - 9800 Ben Stratman ben.stratman@excelengineer.com
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Z901	PRESENTATION DRAWING	ARCHITECTURAL PRESENTATION							

COVER SHEET

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PREPARATION OF SHOP DRAWINGS, CONSTRUCTION AND INSTALLATION.

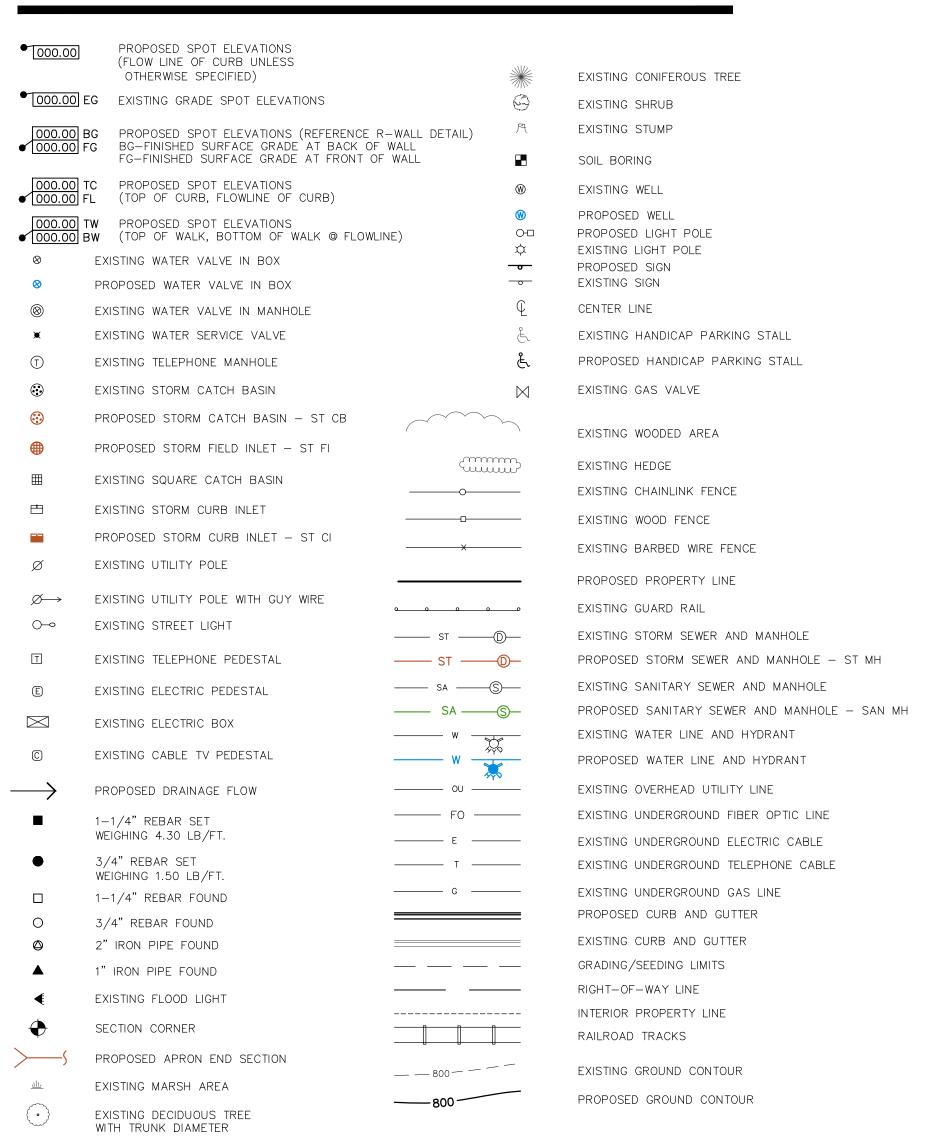
PROJECT NUMBER

2236 SHEET NUMBER

FOR PROPER INTERPRETATION, THESE DRAWINGS SHALL BE PRINTED IN COLOR

PROPOSED OFFICES, SHOWROOM AND WAREHOUSE FOR: KTFM, LLC

TOWN OF BROOKFIELD, WI **LEGEND**



CIVIL SHEET INDEX

EROSION MATTING

PROPOSED INLET PROTECTION

SHEET	SHEET TITLE			
C0.1	CIVIL COVER AND SPECIFICATION SHEET			
C1.0	EXISTING SITE AND DEMOLITION PLAN			
C1.1	SITE PLAN			
C1.2	GRADING AND EROSION CONTROL PLAN			
C1.3	UTILITY PLAN			
C1.4	LANDSCAPE AND RESTORATION PLAN			
C2.0	DETAILS			
C2.1	DETAILS			
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PROJECT LOCATION MAP

DIVISION 31 EARTH WORK

31 10 00 SITE CLEARING (DEMOLITION)

- A CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE LITILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD
- B. DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIFLD VERIEY EXISTING SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION. C. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE
- D. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT.

31 20 00 EARTH MOVING

- A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE
- RESPECTIVE CONTRACTOR UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL
- REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT
- FILL OR BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY, OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY. E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EOUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDAR
- PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4' CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE
- SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A DRAINAGE COURSE LAYER OF LEAN 3/4" CRUSHED STONE, WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT
- 5. UNDER WALKWAYS COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT 6. LINDER LAWN OR LINPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL. TO NOT LESS THAN 85 PERCENT G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS
- SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY ONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY PSI INTERTEK. H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING.

 I. WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES, FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED, SCARIFY AND MOISTEN OR AERATE, OR REMOVE AND REPLACE SOIL TO DEPTH REQUIRED; RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS

. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS, SITE EARTHWORK SHALL BE

GRADED TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE 31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

- AND NR 216.47. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PURSUANT TO NR 216.43 OR TO AN AUTHORIZED LOCAL PROGRAM PURSUANT TO NR 216.415 TO OBTAIN COVERAGE UNDER THE
- B. THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL AND STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES PURSUANT TO NR 216.455 UNTIL PERMIT COVERAGE IS TERMINATED. . THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS.
- D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF NR 216.48. INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM BE INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR MORE. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED.
- E. THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS CONDUCTED. WISCONSIN DNR CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION REPORTS SHALL INCLUDE ALL OF THE FOLLOWING: THE DATE, TIME, ANDLOCATION OF THE CONSTRUCTION SITE INSPECTION.
- . THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION. 3. AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS.
- 4. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED. . A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE. F. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF Management Performance Standards. Technical Standards Published by the Wisconsin DNR Shall also be utilized to implement THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL ST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED
- 1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE FROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN
- 2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE 3. STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED
- TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE FOLLOW PROCEDURES FOLIND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION) 4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT
- 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON TACKIFIERS, CHLORIDES, AND BARRIERS. SOME SITES MAY REQUIRE AN APPROACH THAT UTILIZES A COMBINATION OF MEASURES FOR DUST CONTROL. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). 1. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED

DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.

WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM, WASHOUT AREA SHALL BE REMOVED LIPON COMPLETION OF CONSTRUCTION . TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS TEMPORARY SITE RESTORATION REQUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. EXPOSED SOIL, PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL, SEED, AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING

2. CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE

- AND SITE STABILIZATION SECTION OF THIS CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE STABILIZATION WORK REDONE. DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN TECHNICAL STANDARD 1061.
- 5. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). G. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER
- H. ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN ACCORDANCE WITH NR 216.55.
- AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATING COVERAGE UNDER WPDES GENERAL PERMI J. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS

PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

DIVISION 32 EXTERIOR IMPROVEMENTS

32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

A CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS

12" OF 1-1/4" CRUSHED AGGREGATE

- STANDARD ASPHALT PAVING SECTION HEAVY ASPHALT PAVING SECTION 1-3/4" SURFACE COURSE (5 LT 58-28S) 1-3/4" SURFACE COURSE (5 LT 58-28S) (WISDOT 455.2.5 TACK COAT (STAGED PAVING) WISDOT 455.2.5 TACK COAT (STAGED PAVING) 2" BINDER COURSE (4 LT 58-28S)
- B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1.5% SLOPE SHALL BE MAINTAINED IN ALL ASPHALT PAVEMENT AREA.
- HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION D. CONTRACTOR TO PROVIDE 4" WIDE YELLOW PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. YELLOW PAIN' MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.
- 32 20 00 CONCRETE AND AGGREGATE BASE

10" OF 1-1/4" CRUSHED AGGREGATE

- A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS. B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR
- HIGHWAY AND STRUCTURE CONSTRUCTION.
 C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08. D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS: SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY
- I" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS LOADING DOCK CONCRETE - 8" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE BASE. CONCRETE SHALL BE REINFORCED WITH ONE OF THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB:
- 1). 4"X4" W5.5XW5.5 W.W.F TWO LAYERS OF 4"X4" W 2.9XW2.9 W.W.F. #3 REBARS AT 7-1/2" O.0
- #4 REBARS AT 13" O.C b. LOADING DOCK CONCRETE JOINTING SHALL BE AS FOLLOWS:
- 1). CONTRACTION SAWCUT JOINT -CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT JOINT SHALL BE 2" IN DEPTH. 2). TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20" LONG SMOOTH DOWEL PLACED AT 12" ON CENTER. ONE HALF OF THE DOWEL SHALL BE GREASED. GREENSTREAK 9" SPEED DOWEL TUBES SHALL BE USED.
- DUMPSTER PAD CONCRETE 8" OF CONCRETE OVER 6" OF AGGREGATE BASE.

 a. CONCRETE SHALL BE STEEL REINFORCED WITH THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO ½ OF THE SLAB. 1). TIE BARS AT ALL CONTRACTION JOINTS OF THE CONCRETE. TIE BARS SHALL BE #4 REBAR 30" LONG PLACED AT 30" O.C.
- b. DUMPSTER PAD CONCRETE JOINTING SHALL BE AS FOLLOWS: 1). CONTRACTION SAWCUT JOINT - CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT
- 2). TYPICAL POUR CONTROL JOINT POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20" LONG SMOOTH DOWEL
- PLACED AT 12" O.C. ONE HALF OF THE DOWEL SHALL BE GREASED. GREENSTREAK 9" SPEED DOWEL TUBES SHALL BE USED. EAVY DUTY CONCRETE - 7" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE BASE. CONCRETE SHALL BE REINFORCED WITH MICRO-FIBERS that are 100% virgin polypropylene. Fibrillated, rough textured, interconnected fibers containing no preprocessed olefin
- MATERIALS AND SPECIFICALLY MANUFACTURED FOR CONCRETE REINFORCEMENT AT A RATE OF 1.5LBS FIBER/YARD³ OF CONCRETE. FIBER REINFORCEMENT SHALL BE FIBERMESH 300 (OR EQ.) AND CONFORM WITH ASTM C 1116, TYPE III FIBER REINFORCED CONCRETE. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' O.C. a. CONCRETE SHALL BE STEEL REINFORCED AS FOLLOWS: 1). TIE BARS AT OUTERMOST CONTRACTION JOINT (FIRST JOINT FROM EDGE OR AT CURB JOINT) AROUND PERIMETER OF CONCRETE. TIE BARS
- TYPICAL POUR CONTROL JOINT POUR CONTROL JOINT SHALL BE PROVIDED WITH 1/4" X 4-1/2" X 4-1/4" DIAMOND SHAPED TAPERED PLATE
- DOWELS MANUFACTURED PER ASTM A36. INSTALL PER MANUFACTURERS SPECIFICATIONS E. DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94
- 1. STRENGTH TO BE MINIMUM OF 4,500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE. 2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45.
- 3. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK 4. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER

FOR BOTH 7-DAY TESTS AND 28-DAY TESTS.

- 5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER 6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT
- 7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.
- F. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH RESPECTIVE CONTRACTORS. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 3.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR.
- G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE ANI FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS. H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION. SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE, BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURE ND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN
- THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIBER EXPANSION JOINT ND/OR 0.25 INCH FIBER EXPANSION JOINT AT DECORATIVE MASONRY UNITS I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3 HERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. A
- REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, UNLESS INDICATED OTHERWISE.
- CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ON SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR EACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF. PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTM C 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS, PERFORM SLUMP TESTING ACCORDING TO ASTM C 43. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH
- CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL
- FLOATING, BUT BEFORE POWER FLOATING AND TROWELLING. LIMIT MAXIMUM WATER-CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45. M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER. DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS, CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK

32 30 00 LANDSCAPING AND SITE STABILIZATION

- TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS. OTHER THAN A LANDSCAPE ISLANDS SHALI BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING LANDSCAPER TO PROVIDE PLILVERIZING AN FINAL GRADING OF TOPSOIL, PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT. TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH
- topsoil installation: loosen subgrade to a minimum depth of 6 inches and remove stones larger than 1" in diameter, also OVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION.
- PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1.000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1.000 S.F.), STRAW AND MULCH SHALL BE LAID AT 100LBS/1.000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANEN LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059. 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMEN BASIN BOTTOMS AND SIDE SLOPES SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS,/1000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1.000 S.F.). AND 15% PERENNIAL RYEGRASS (0.20 LBS./1.000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR
- TECHNICAL STANDARDS 1058 & 1059. 3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1.000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF
- NSTALLATION. AT THE END OF THE MAINTENANCE PERIOD. A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE
- D. EROSION MATTING CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN \$150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS 2 CONTRACTOR TO PROVIDE FROSION MATTING (NORTH AMERICAN GREEN C125) OR FOLITVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS
- WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS. : STORMWATER MANAGEMENT POND SAFETY SHELF SEEDING: SAFETY SHELF SHALL BE SEEDED WITH A WET PRAIRIE EMERGENT PLANT TYPE MIX. : RIP RAP: ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE, AS DELINEATED ON THE PLANS, SHALL BE
- ONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURAL CONSTRUCTION.
- 5. <u>TREES AND SHRUBS:</u> FURNISH NURSERY-GROWN TREES AND SHRUBS WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, AND HEALTHY LOOKING STOCK. STOCK SHOULD ALSO BE FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. SEE THE LANDSCAPE PLAN FOR SPECIFIC SPECIE
- H. TREE AND SHRUB INSTALLATION: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO PORT ROOT BALL. EXCAVATE PIT APPROXIMATELY THREE TIMES AS WIDE AS THE ROOT BALL DIAMETER. SET TREES AND SHRUBS PLUMB AND IN CENTER OF PIT WITH TOP OF BALL 1" ABOVE ADJACENT FINISHED GRADES. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS AND TAMP
- TO SETTLE MIX. WATER ALL PLANTS THOROUGHLY. PROVIDE TEMPORARY STAKING FOR TREES AS REQUIRED. TREE AND SHRUB MAINTENANCE/WARRANTY: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM HE DATE OF INSTALLATION. MAINTENANCE TO INCLUDE REGULAR WATERING AS REQUIRED FOR SUCCESSFUL PLANT ESTABLISHMENT.
- CONTRACTOR TO PROVIDE 1 YEAR WARRANTY ON ALL TREES, SHRUBS, AND PERENNIALS ORGANIC MULCH: PROVIDE 3" MINIMUM THICK BLANKET OF SHREDDED HARDWOOD MULCH AT ALL PLANTING AREAS INDICATED ON THE LANDSCAPE PLAN. INSTALL OVER NON-WOVEN WEED BARRIER FABRIC. COLOR BY OWNER.
- (. LANDSCAPE STONE: PROVIDE 3" MINIMUM THICK BLANKET OF 1.5" MINIMUM TO 2.5" MAXIMUM CRUSHED DECORATIVE STONE AT ALL PLANTING PLASTIC EDGING: INSTALL VALLEY VIEW INDUSTRIES BLACK DIAMOND LAWN EDGING TO SEPARATE ALL PLANTING BEDS FROM LAWN AREAS. EDGING TO BE 5.5" TALL WITH METAL STAKES INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS

DIVISION 33 UTILITIES

33 10 00 SITE UTILITIES

- A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER
- OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY. B. ALL PROPOSED SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1
- C. SANITARY MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. SANITARY MANHOLE FRAME AND GRATE TO BE NEENAH R-1550-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER.
- D. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST (A COMBINATION WYE FITTING IN LINE WITH THE SANITARY SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP.
 THE CLEANOUT SHALL CONSIST OF A 6" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOUT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED. THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND, JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM
- E. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. 6' MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED. F. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1 OF
- THE PROPOSED PLANSET. PIPE SHALL BE PLACED MIN. 8' HORIZONTALLY FROM FOUNDATION WALLS. G. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND SEPARATION IS MAINTAINED PER THE LITILITY DESIGN PLANS AND STATE REQUIREMENTS H. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MINIMUM OF
- 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE LUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE FINISHED FLOOR ELEVATION . ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC
- WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEET. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER
- "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL K. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

33 20 00 PUBLIC SITE UTILITIES

A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY. B. SEE SHEETS (XX) FOR PUBLIC WATERMAIN/SANITARY MAIN SPECIFICATIONS.

Table A: Allowable Pipe Material Schedule Materia AWWA C110, AWWA C153, ASTM D2464, Joint: ASTM D3139 Integral Bell & AWWA C900, ASTM D1785, ASTM Combined Domestic/Fire Service ASTM D2466, ASTM D2467, ASTM D3311 ASTM F409, ASTM F1336, ASTM F1866 ASTM D1785, ASTM D2665, ASTM Sanitary Sewe SDR 35 PV ASTM F1336 stomeric Gasket: ASTM F477 Joint: ASTM F2648 Bell & Spigot Elastomeric Seal: ASTM F477 Single Wall HDPE-Socked | ASTM F667 ASTM F667 ASTM D1056 Grade 2A2 Gasketed Pavement Underdrain

<u>GENERAL PROJE</u>CT NOTES

ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.

CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT

RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS

ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT

THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.
- . CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AS-BUILT SURVEY OF STORMWATER POND FOLLOWING COMPLETION OF THE POND.

STORMWATER POND ASBUILT NOTE

CONSTRUCTION STAKING SERVICES

CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS—BUILT SURVEY FOLLOWING COMPLETION OF THE CONSTRUCTION OF THE STORMWATER POND. THE SURVEY SHALL BE COMPLETED PRIOR TO THE POND FILLING WITH WATER. CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF A 3 DAY NOTICE. PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN CALL DIGGERS HOTLINE 1-800-242-8511 TELEFAX (414) 259-0947

TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

CONTACTS

OWNER OUEST INTERIORS 21055 CROSSROADS CIRCLE TOWN OF BROOKFIELD, WI CONTACT: MARK TWOHIG P: (920) 922-2006 mtwohig@questinterioursusa.com

100 CAMELOT DRIVE **FOND DU LAC. WISCONSIN 54935 CONTACT: KURTIS GEIGER** P: (920) 926-9800 F: (920) 926-9801 kurt.geiger@excelengineer.com

CIVIL COVER AND SPECIFICATION SHEET



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100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

PROJECT INFORMATION

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PROFESSIONAL SEAL 38777-006

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APR. 19, 2023

230030600

SHEET NUMBER

Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935

PROJECT INFORMATION

920-926-9800

excelengineer.com

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FOR WAREHOUSE BROOKFIELD,

AND SHOWROOM, KTFM, L OFFICE SROADS PROPOSE

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PROFESSIONAL SEAL

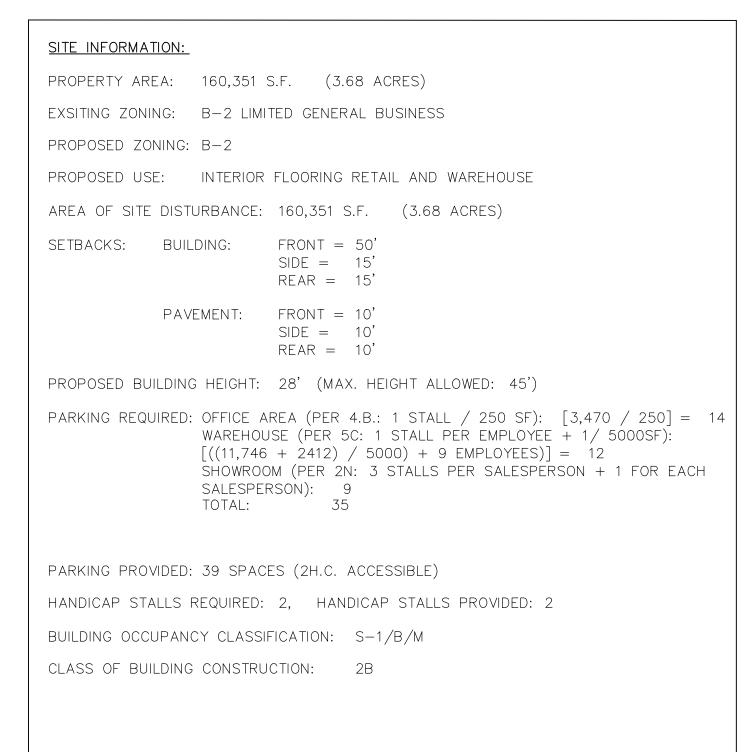
PRELIMINARY DATES APR. 19, 2023

JOB NUMBER 230030600

CIVIL EXISTING SITE AND DEMOLITION PLAN

SHEET NUMBER

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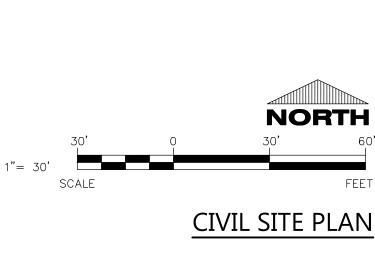


PAVEMENT HATCH KEY:

CONCRETE

STANDARD ASPHALT

HEAVY DUTY ASPHALT





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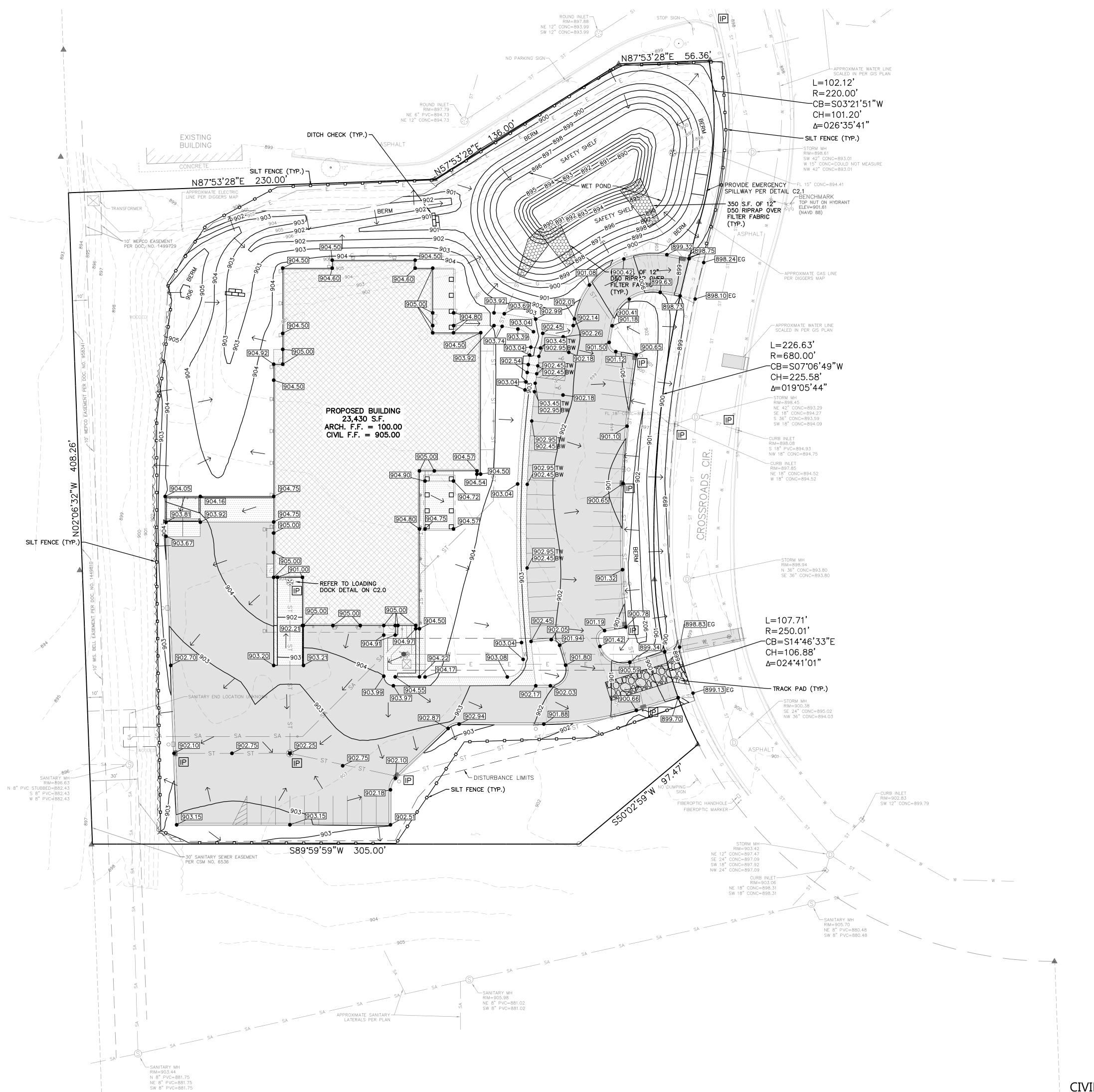
PROFESSIONAL SEAL

PRELIMINARY DATES APR. 19, 2023

JOB NUMBER 230030600

SHEET NUMBER

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1. HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)

2. ÀLL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:

CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

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PROJECT INFORMATION

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PRELIMINARY DATES APR. 19, 2023

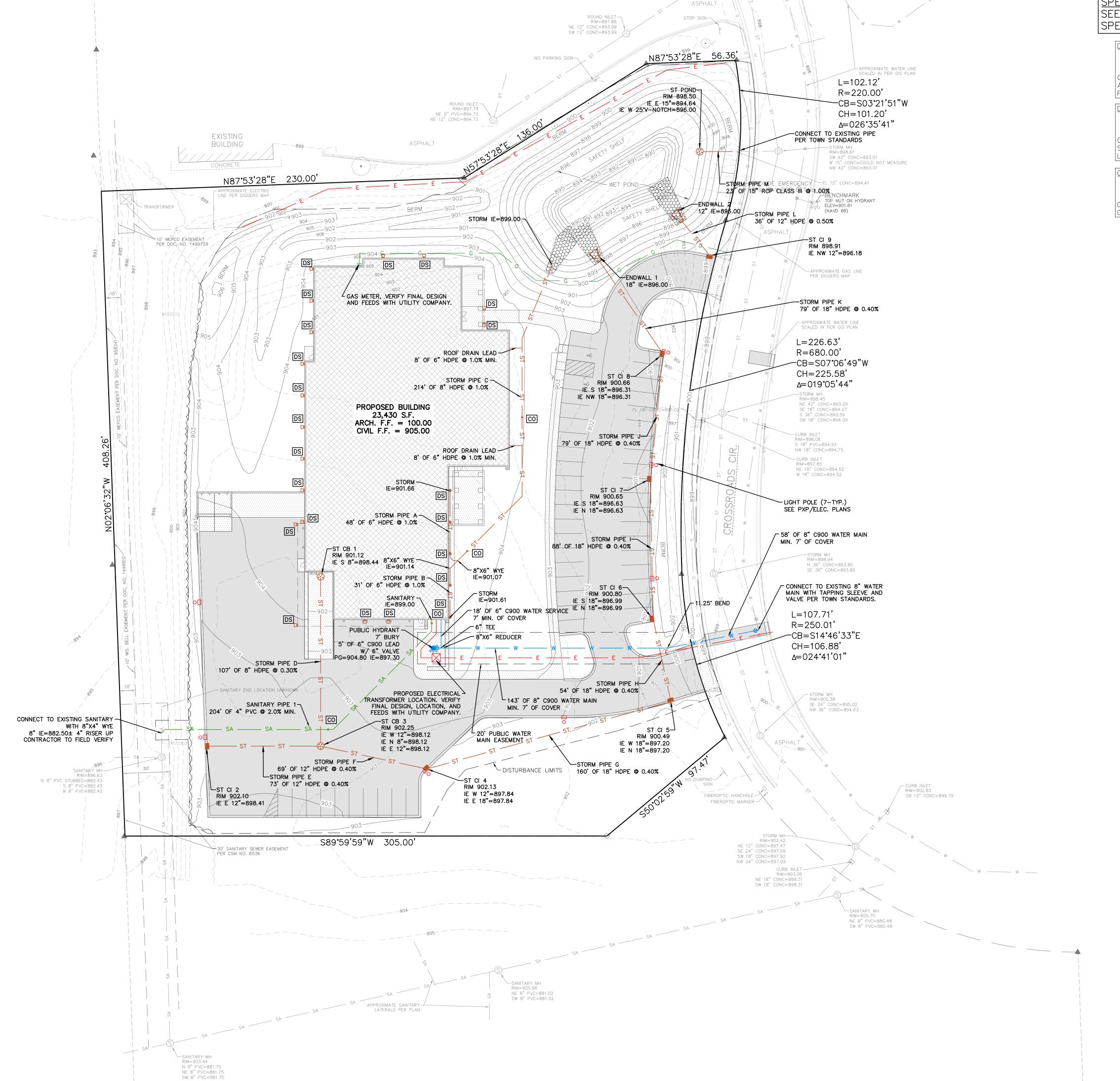
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SHEET NUMBER

NORTH

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CIVIL GRADING AND EROSION CONTROL PLAN



DOWNSPOUT NOTE:

DS = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

DOWNSPOUT NOTE:

= DENOTES DOWNSPOUT CONNECT TO CLEANOUT AT GRADE FOR STORM SEWER LEAD. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:

• = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.

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> 920-926-9800 excelengineer.com

Fond du Lac, WI 54935

PROJECT INFORMATION

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PRELIMINARY DATES APR. 19, 2023

JOB NUMBER 230030600

NORTH

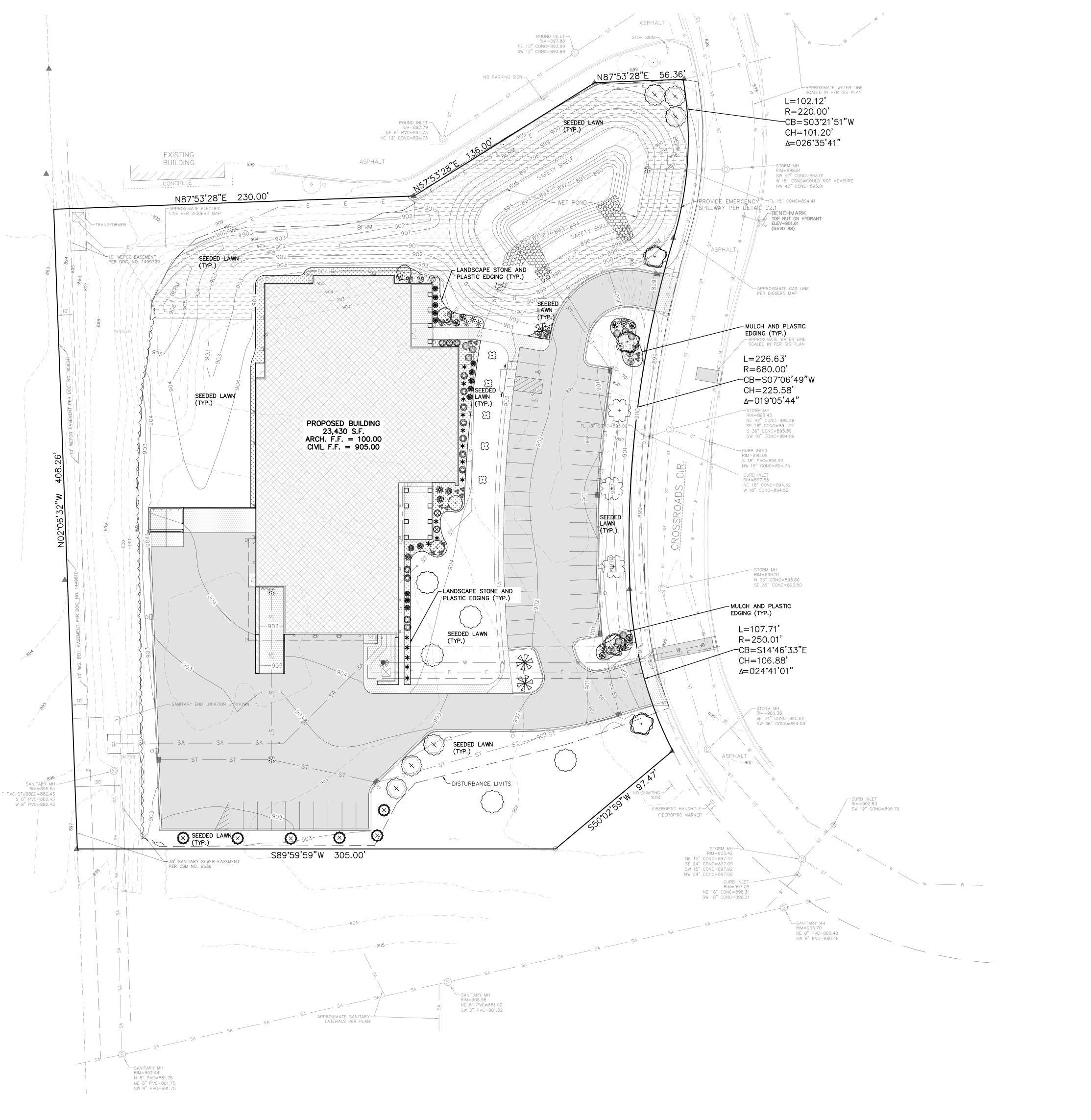
CIVIL UTILITY PLAN

1"= 20'

SCALE

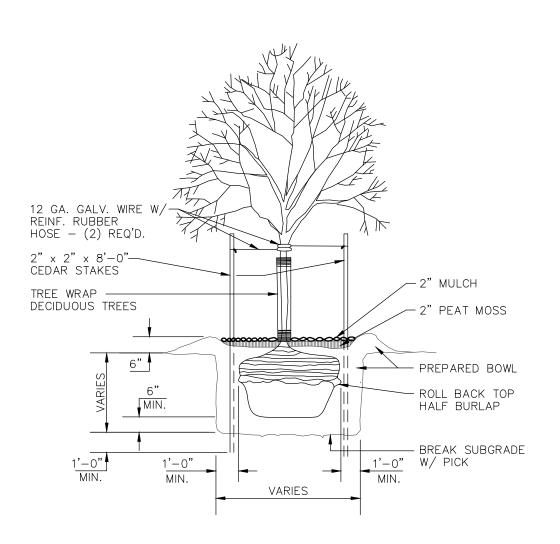
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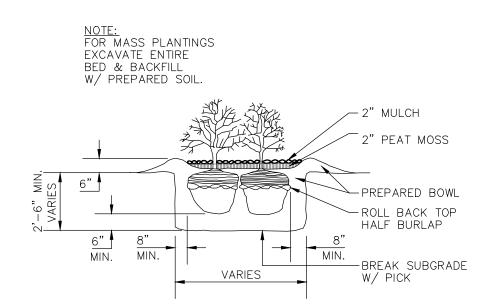


EROSION MATTING LOCATION

SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTIT
	<u>DE</u>	ECIDUOUS TREES		
O	Skyline Honeylocust	Gleditsia triacanthos 'Skyline'	2"	4
£	Autumn Blaze Maple	Acer x freemanii 'Jeffsred'	2"	3
0	Redmond Linden	Tilia americana	2"	5
*	Jack Flowering Pear	Pyrus calleryana 'Jaczam'	2"	3
\odot	Ann Magnolia	Magnolia liliflora 'Nigra'	2"	4
	<u>EV</u>	/ERGREEN_TREES		
\odot	Black Hills Spruce	Picea glauca	6'	6
⊗	Arborvitae — Nigra	Thuja occidentalis 'Nigra'	2'	6
<u>**</u>	Anthony Waterer Spirea Gro-Low Fragrant Sumac	Spiraea x bumalda 'Anthony Water' Rhus aromatica 'Gro Low'	15"-18" 18"	6 13
	Rhododendron	Rhodendron haaga	15"-18"	9
<u> </u>	Limelight Hydrangea Tree	Hydrangea paniculata 'Limelight'	4'-5'	5
	EVE	ERGREEN SHRUBS		
₩	Arcadia Juniper	Juniperus sabina 'arcadia'	24"	7
⊙	Taunton Yew	Tauntonii	24"	5
0	Wintergreen Boxwood	Buxus sinica var Insularis 'Wintergreen'	18"	11
		<u>PERENNIALS</u>		
*	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	16
**	Daylilies 'Stella de Oro'	Hemerocallis 'Stella de Oro'	1 gal pot	15
*	Walker's Low Catmint	Nepeta x faassenii 'Walker's low'	1 gal pot	9
*	Hostas	Hostas 'Royal Standard'	1 gal pot	13



TREE PLANTING DETAIL NO SCALE



SHRUB PLANTING DETAIL

NO SCALE





PROJECT INFORMATION

WAREHOUSE FOR:

PROPOSED OFFICES, SHOWROOM, AND WAREI

KTFM, LLC

21055 CROSSROADS CIRCLE • TOWN OF BROOKF

PROFESSIONAL SEAL

APR. 19, 2023

APR CONSTRUCTION

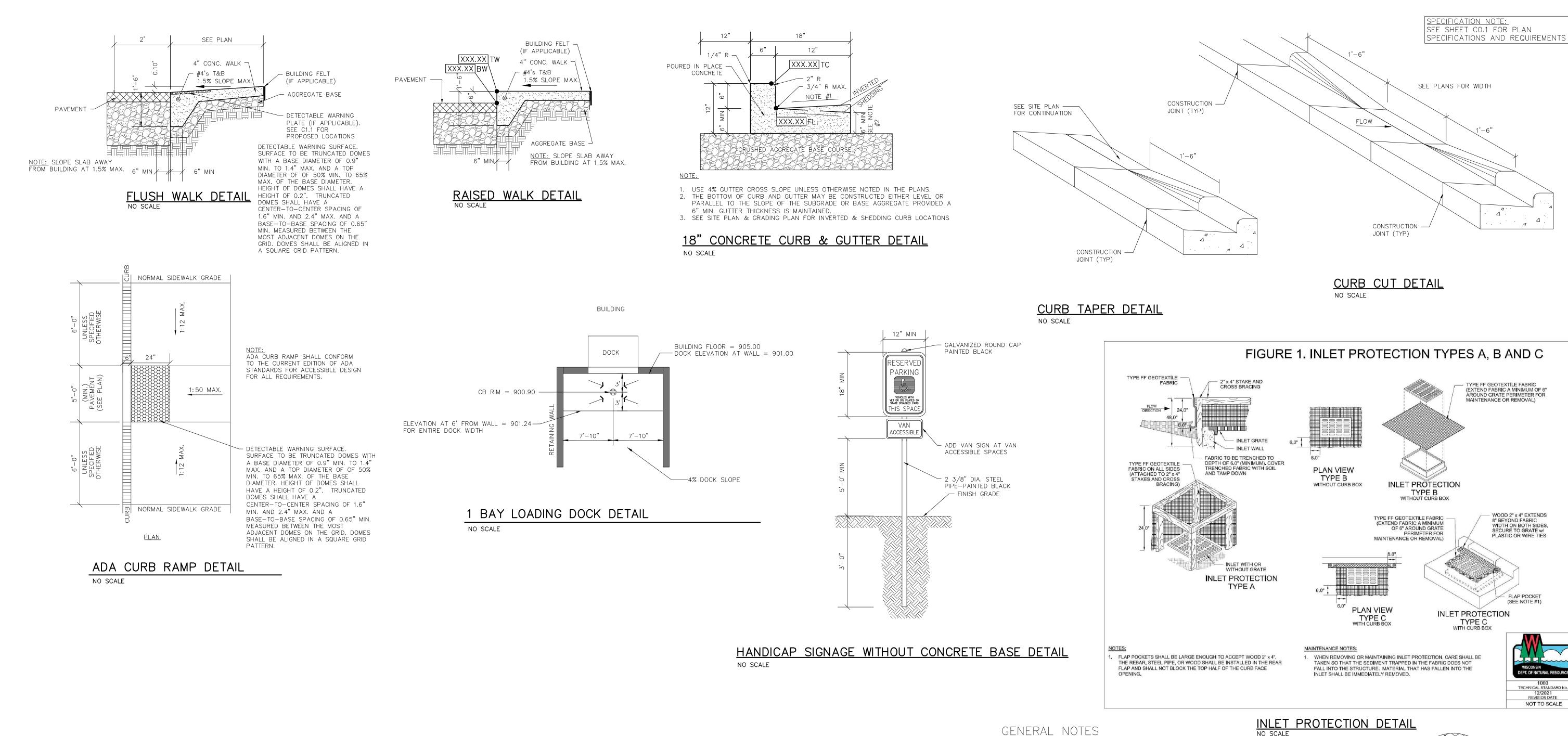
APR CONSTRUCTIO

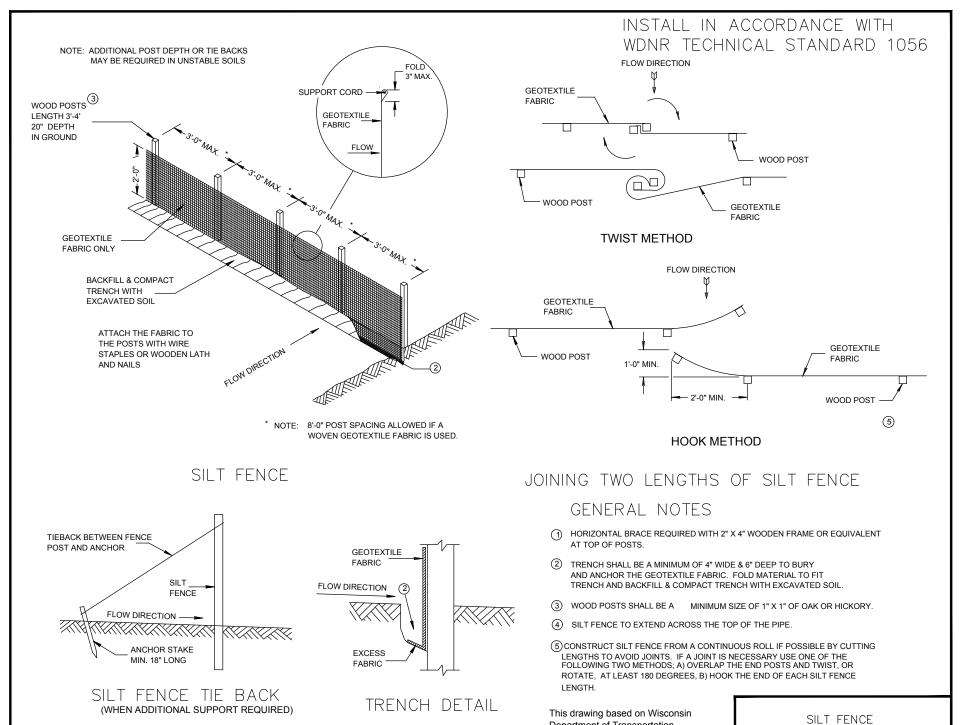
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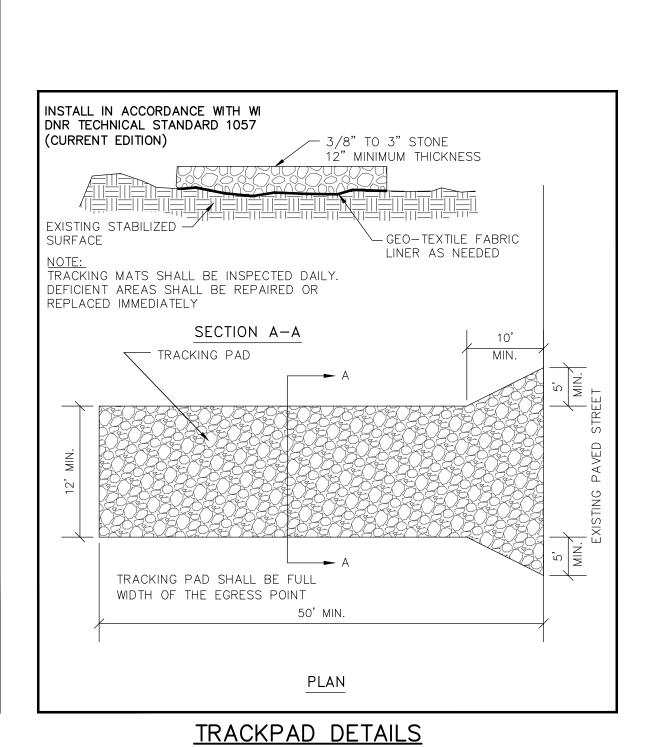
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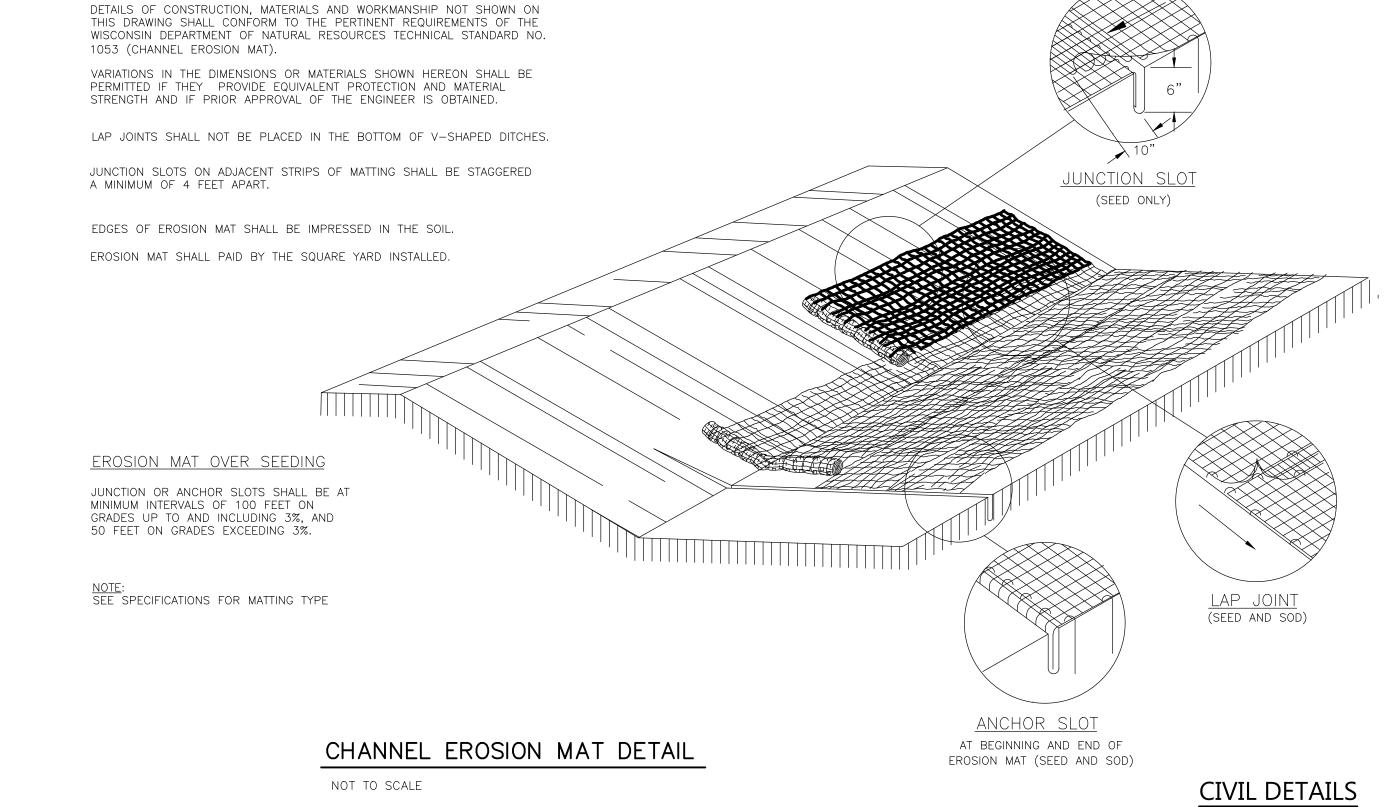
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PROJECT INFORMATION

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FOR 2 \leq

WAREHOUSE ROOKFIELD, $\mathbf{\Omega}$ AN

0 RO

TYPE FF GEOTEXTILE FABRIC
(EXTEND FABRIC A MINIMUM OF 6"
AROUND GRATE PERIMETER FOR
MAINTENANCE OR REMOVAL)

- WOOD 2" x 4" EXTENDS 8" BEYOND FABRIC WIDTH ON BOTH SIDES, SECURE TO GRATE w/ PLASTIC OR WIRE TIES

FLAP POCKET

12/2021 REVISION DATE NOT TO SCALE

TYPE C WITH CURB BOX

SH FFICE: 0

S

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10

PROFESSIONAL SEAL

PRELIMINARY DATES APR. 19, 2023

JOB NUMBER 230030600

SHEET NUMBER

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<u>SILT FENCE - INSTALLATION DETAIL</u>

Department of Transportation Standard Detail Drawing 8 E 9-6

STORM CATCH BASIN W/ SUMP DETAIL

IE=896.00

.

25° V-NOTCH WEIR

WET RETENTION POND

PRECAST CONC. M.H.—

SEGMENTS. ALL JOINTS

SHALL BE WATERTIGHT

NEENAH FOUNDRY OR — EQ. R-3067 CAST IRON FRAME & GRATE ADJUST TO GRADE WITH PRECAST CONCRETE EXTENSION RINGS, APPLY MORTAR IN JOINTS AGGREGATE BASE PER -PAVEMENT SECTION - PRECAST CONC. M.H. SEGMENTS. SEAL ALL JOINTS WATERTIGHT 2'X3' BOX - PROVIDE COPOLYMER PROPYLENE PLASTIC STEPS M.A. IND. INC. MODEL PS-2-PF-S (ASTM C-478) OR EQUAL AT A MAXIMUM OF 16" O.C. IN ALL STORM STRUCTURES 5' OR GREATER IN DEPTH. NOTE: FINAL STRUCTURE SIZES TO BE VERIFIED WITH THE SUPPLIER NOTE: CONCRETE AND STEEL REINFORCEMENT SHALL CONFORM TO ASTM C-478 REQUIREMENTS. 6" No. 1 STONE UNDISTURBED EARTH -STORM CURB INLET DETAIL

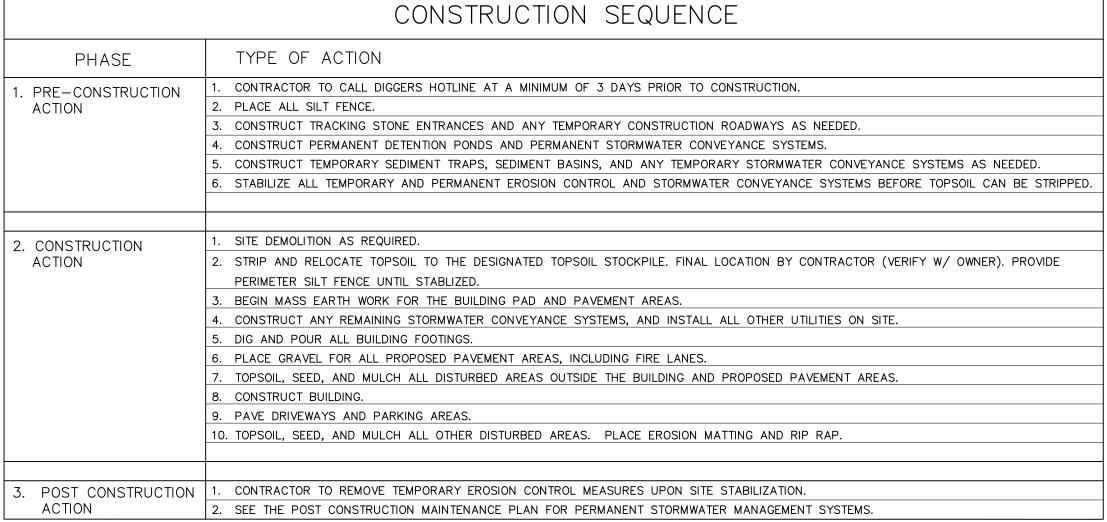
"ZURN" Z-1474-N HEAVY DUTY CLEANOUT HOUSING - CLEANOUT PLUG CONCRETE FINISHED GRADE IN PAVED AREAS GRAVEL FINISHED GRADE IN LAWN AREAS 8" PVC FROST SLEEVE COMBINATION -WYE FITTING

<u>SPECIFICATION NOTE</u>

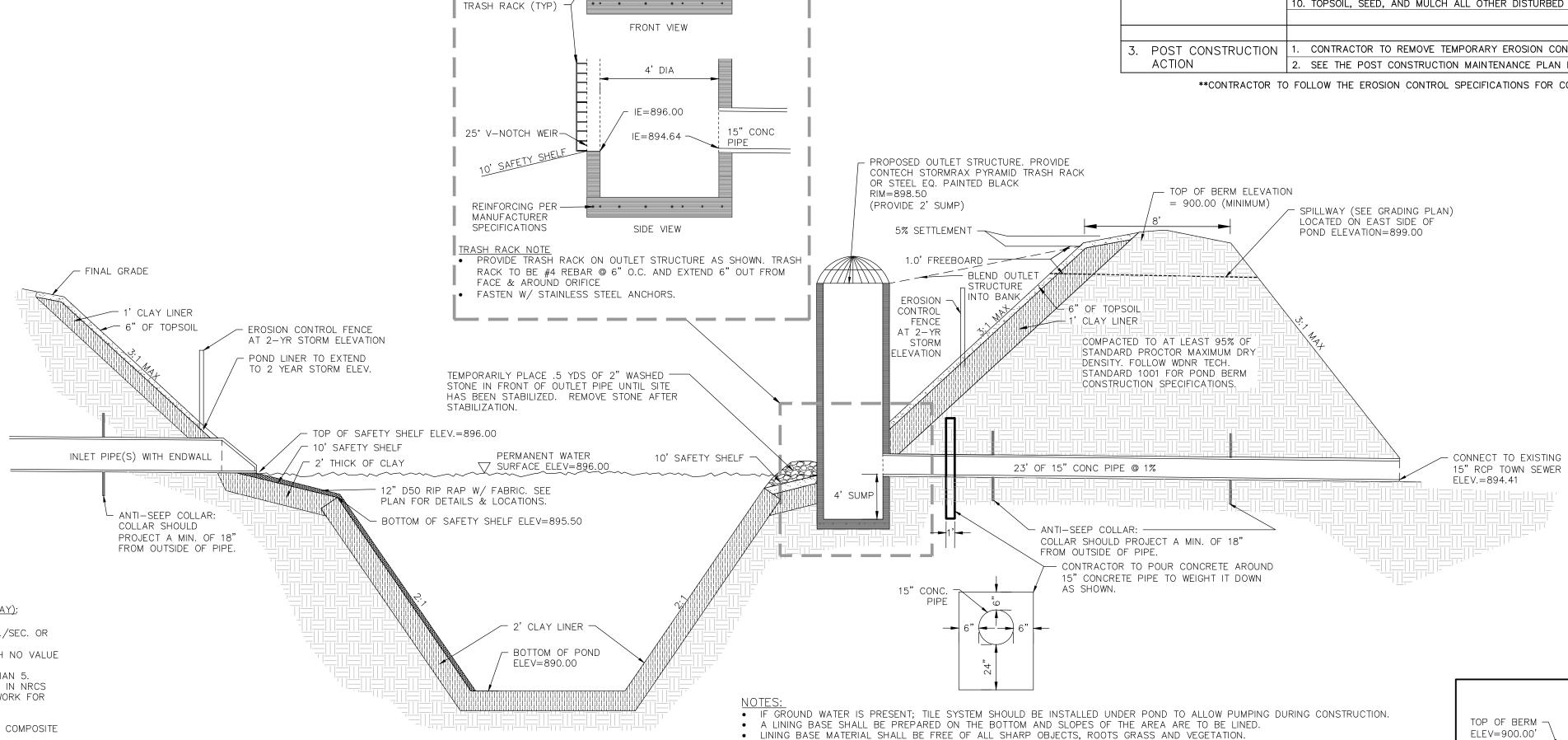
SEE SHEET CO.1 FOR PLAN

SPECIFICATIONS AND REQUIREMENTS

CLEANOUT TO GRADE DETAIL



CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.



TYPE B

POND LINER CRITERIA FOR SAFETY SHELF AND BELOW (CLAY):

- 50% FINES (200 SIEVE) OR MORE. • AN IN-PLACE HYDRAULIC CONDUCTIVITY OF 1x10-6 CM./SEC. OR
- AVERAGE LIQUID LIMIT VALUE OF 16 OR GREATER, WITH NO VALUE
- AVERAGE PI OF 7 OR MORE WITH NO VALUES LESS THAN 5. CLAY COMPACTION AND DOCUMENTATION AS SPECIFIED IN NRCS
- WISCONSIN CONSTRUCTION SPECIFICATION 204, EARTHWORK FOR WASTE STORAGE FACILITIES.
- MINIMUM THICKNESS OF TWO FEET.
- SPECIFY METHOD FOR KEEPING POOL FULL OR USE OF COMPOSITE SOILS BELOW LINER.

POND LINER ALTERNATE:

LESS THAN 14.

- CONTRACTOR TO PROVIDE 40 MIL/HDPE POND LINER IN LIEU OF CLAY LINER TO LINE ENTIRE POND AREA UP TO THE 2 YEAR, 24-HOUR WATER PONDING ELEVATION (SEE ELEVATION ON DETAIL) DESIGN ACCORDING TO THE CRITERIA IN TABLE 3 OF THE NRCS
- 313, WASTE STORAGE FACILITY TECHNICAL STANDARD INSTALL ACCORDING TO NRCS WISCONSIN CONSTRUCTION SPECIFICATION 202, POLYETHYLENE GEOMEMBRANE LINING.

4-6" ROUND STONE OVER FILTER FABRIC SHALL BE PROVIDED TO COVER THE ENTIRE LINER. TOP OF STONE SHALL MATCH PROPOSED

OVERALL STORMWATER FACILITY DETAIL

NO SCALE

• THE BASE MATERIAL SHALL BE NATIVE MATERIALS OR MATERIALS OBTAINED FROM A BORROW SOURCE COMPACTED TO A MIN.

• THE SUBGRADE SHALL BE PREPARED IMMEDIATELY PRIOR TO THE PLACING OF THE LINER. THE SURFACE ON WHICH THE LINER

AT END OF SITE CONSTRUCTION, POND DEPTH SHALL BE CHECKED FOR SEDIMENTATION AND DREDGED, IF NECESSARY, TO THE

CONSTRUCTION OF THE STORMWATER POND. THE SURVEY SHALL BE COMPLETED PRIOR TO THE POND FILLING WITH WATER.

CONSTRUCTION IS 0.10'. ANY ADDITIONAL WORK REQUIRED TO SURVEY A POND FULL OF WATER OR FOR SURVEYING FOLLOWING

CONTRACTOR TO CONTACT EXCEL ENGINEERING TO COMPLETE AN AS-BUILT SURVEY FOLLOWING COMPLETION OF THE

CONTRACTOR SHALL GIVE EXCEL ENGINEERING A MINIMUM OF A 3 DAY NOTICE. PLEASE NOTE THAT THE HORIZONTAL TOLERANCE FOR POND CONSTRUCTION IS 0.50' AND THE VERTICAL TOLERANCE FOR POND, OUTLET, AND SPILLWAY

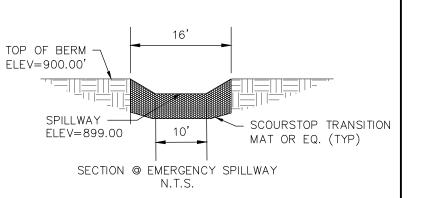
• CONTRACTOR SHALL PROVIDE EROSION MATTING AS REQUIRED PER SPECIFICATIONS NOTED ON CO.1.

OF 95% COMPACTING OR AN APPROVED CONSTRUCTION FABRIC.

IS TO BE PLACED IS TO BE FIRM, CLEAN, DRY AND SMOOTH.

REWORK SHALL BE AT THE CONTRACTOR'S EXPENSE.

DESIGN DEPTH ORIGINALLY PROPOSED.



(DIRECTION) EMERGENCY

Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

PROJECT INFORMATION

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PROFESSIONAL SEAL

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PRELIMINARY DATES APR. 19, 2023

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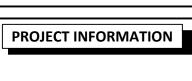
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SHEET NUMBER

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FOR: WAREHOUSE ROOKFIELD,

SHOWROON OFFICE PROPOSE

SROADS

2105

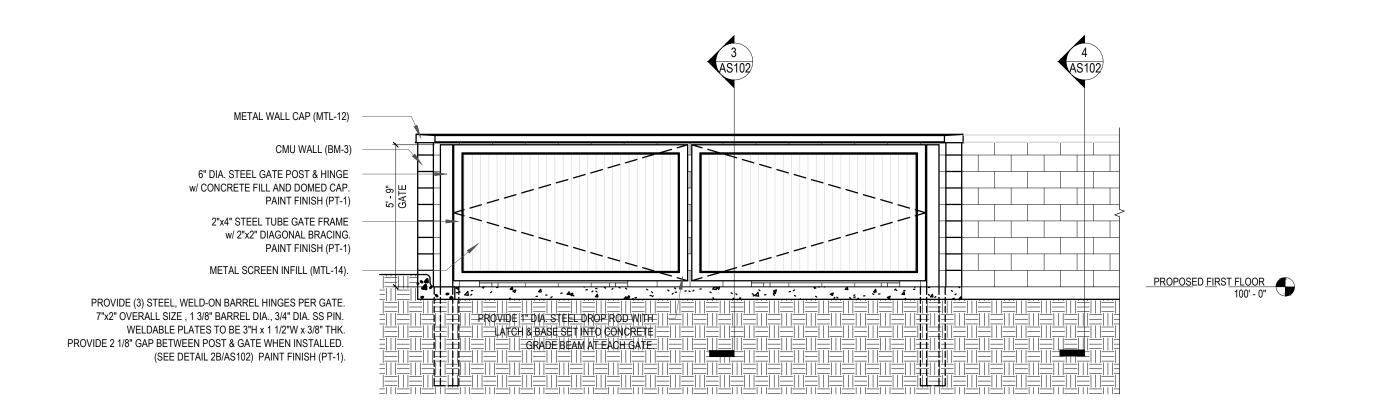
PROFESSIONAL SEAL

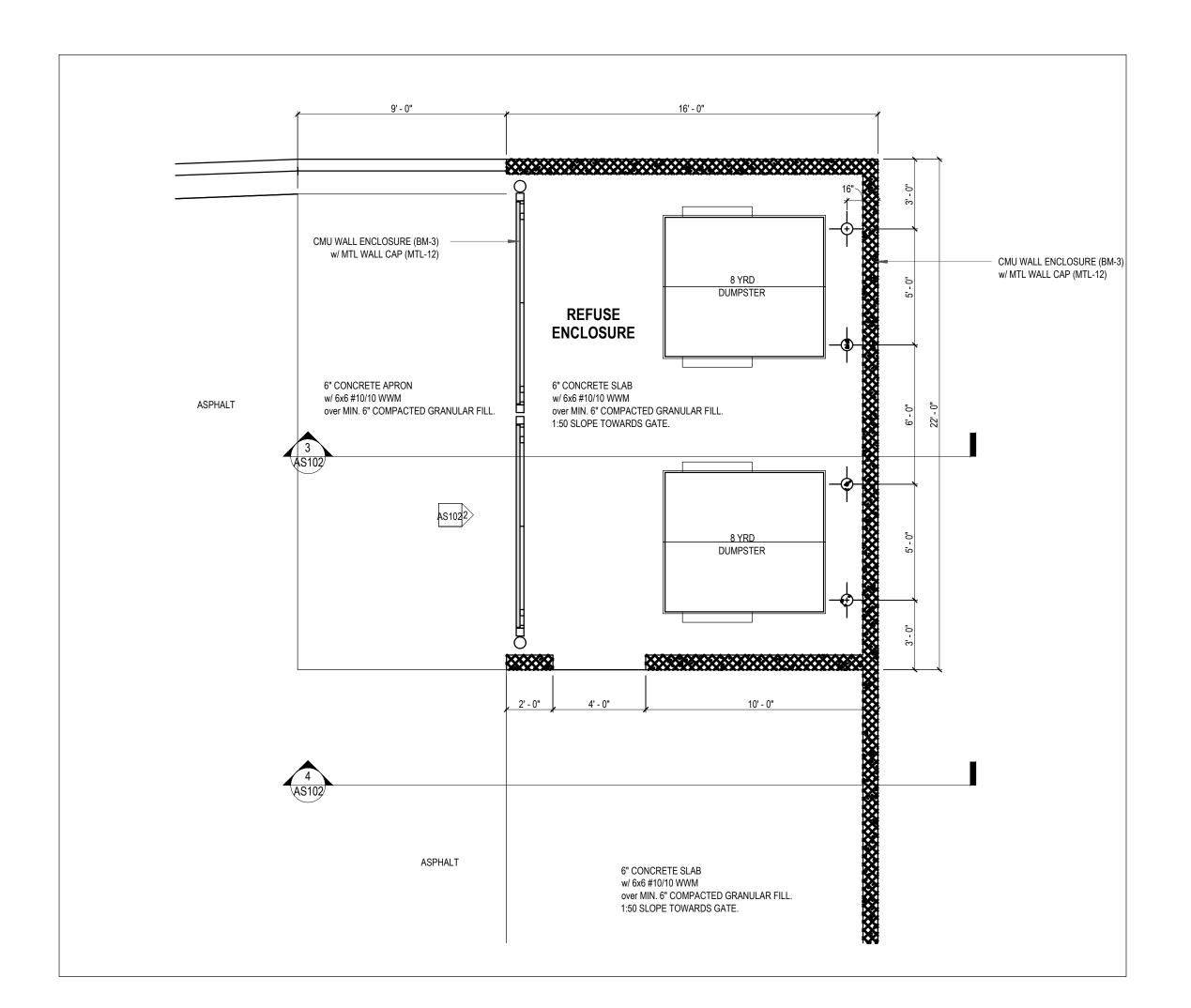
PRELIMINARY DATES APR. 19, 2023

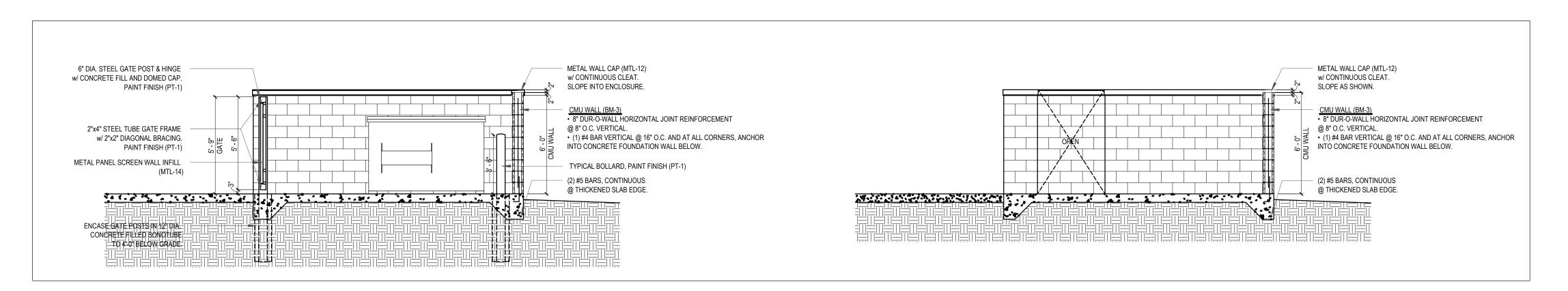
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SHEET NUMBER

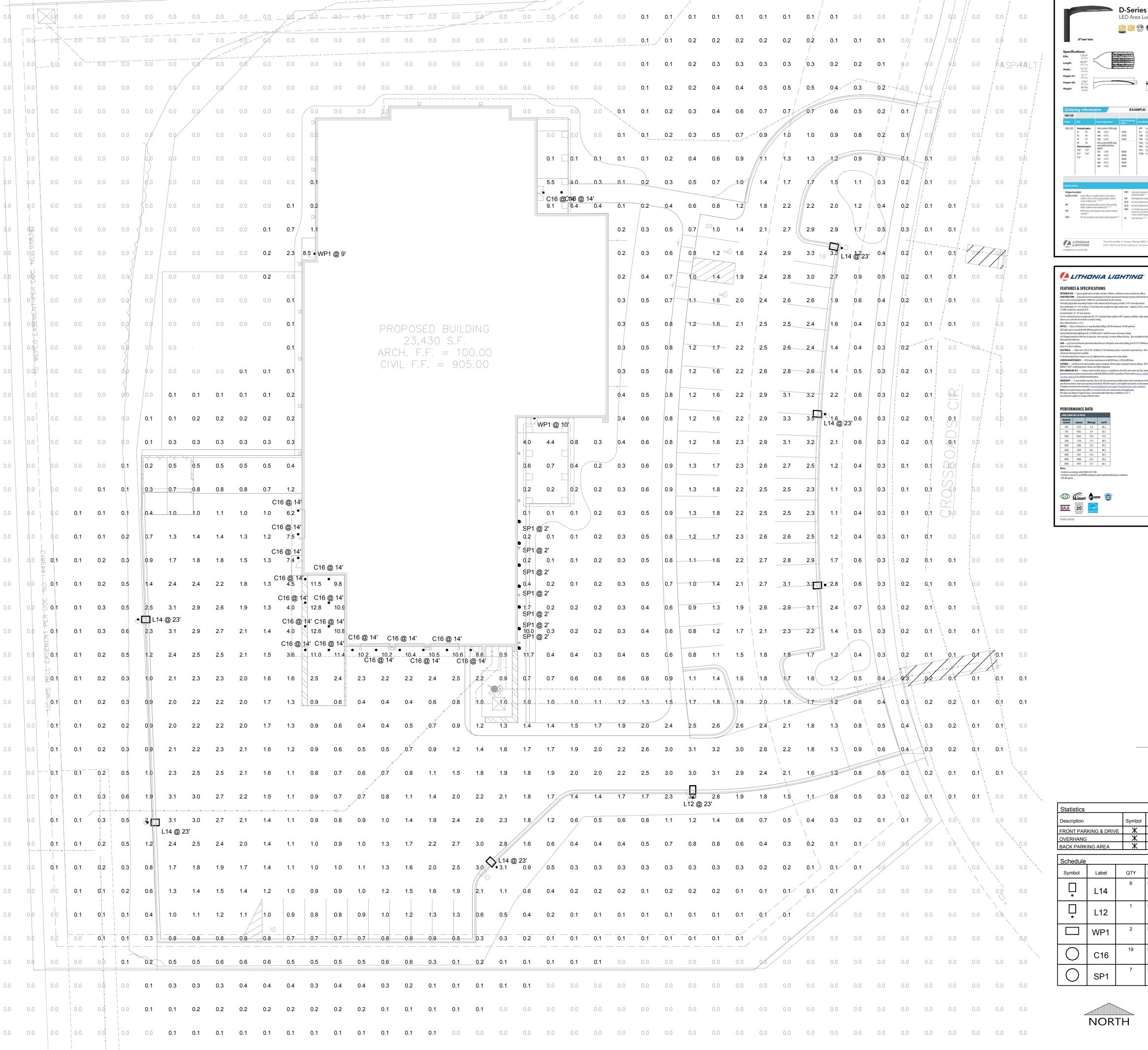
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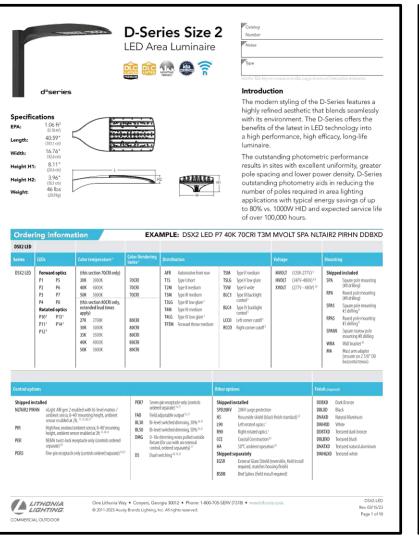


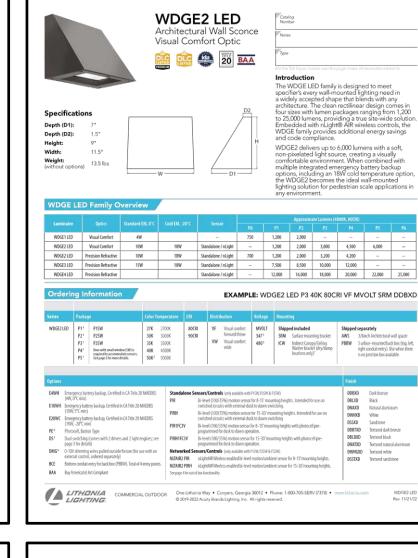


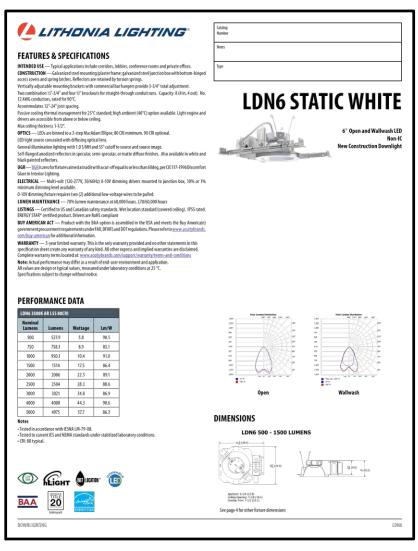


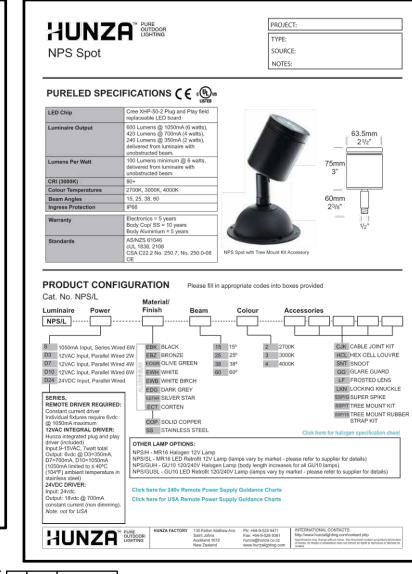
NO SCALE

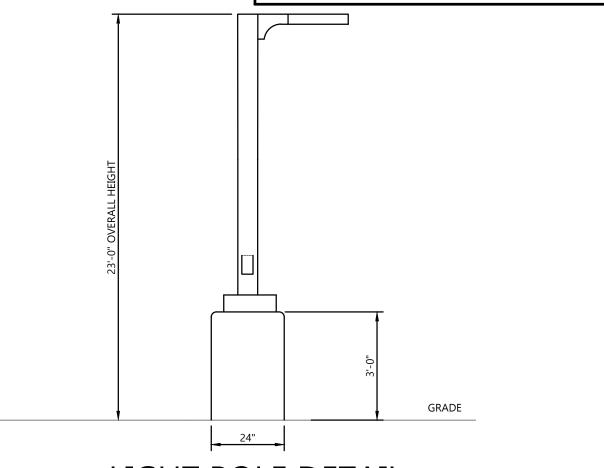












LIGHT POLE DETAIL

Statistics								
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min		
FRONT PARKING & DRIVE	Ж	2.0 fc	3.5 fc	0.2 fc	17.5:1	10.0:1		
OVERHANG	Ж	10.8 fc	12.8 fc	8.6 fc	1.5:1	1.3:1		
BACK PARKING AREA	Ж	2.1 fc	12.8 fc	0.3 fc	42.7:1	7.0:1		

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog Description		Number Lamps	Lamp Output	LLF	Input Power
	L14	6	Lithonia Lighting	DSX2 LED P1 40K 80CRI T4M HS	D-Series Size 2 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 4 Medium Houseside Shield	1	15605	0.9	134.5029
	L12	1	Lithonia Lighting	DSX2 LED P1 40K 80CRI T2M	D-Series Size 2 Area Luminaire P1 Performance Package 4000K CCT 80 CRI Type 2 Medium	1	17668	0.9	134.5
	WP1	2	Lithonia Lighting	WDGE1 LED P2 40K 80CRI VF	WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC	1	1978	0.9	15.0178
0	C16	19	Lithonia Lighting	LDN6 40/15 LO6AR LSS	6IN LDN, 4000K, 1500LM, CLEAR, SEMI- SPECULAR REFLECTOR, CRI80	1	1516	0.9	17.52
	SP1	7	HUNZA	NPS-L-S-25-4	NPS SPOT- PURE LED - SERIES WIRED 1050MA - IP66 - 4000K - 25 DEG - REMOTE DRIVER REQUIRED	1	573	1	6.3



SITE PLAN - PHOTOMETRIC

SITE PLAN PHOTOMETRIC

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PROJECT INFORMATION

WAREHOU

SH **PROPOSED**

PROFESSIONAL SEAL

PRELIMINARY DATES APR. 19, 2023

JOB NUMBER 230030600

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SITE CONTEXT PLAN

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PROJECT NUMBER 2236

SHEET NUMBER

FOR PROPER INTERPRETATION, THESE DRAWINGS SHALL BE PRINTED IN COLOR



1 CONTEXT PLAN 1" = 80'-0"

N 1 ARCHITECTURAL SITE PLAN
1" = 20'-0"

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ISSUE DATE:

19 April, 2023 SET TYPE:

ZONING SUBMITTAL REVISIONS:

NO. DESCRIPTION DATE

ARCHITECTURAL SITE PLAN

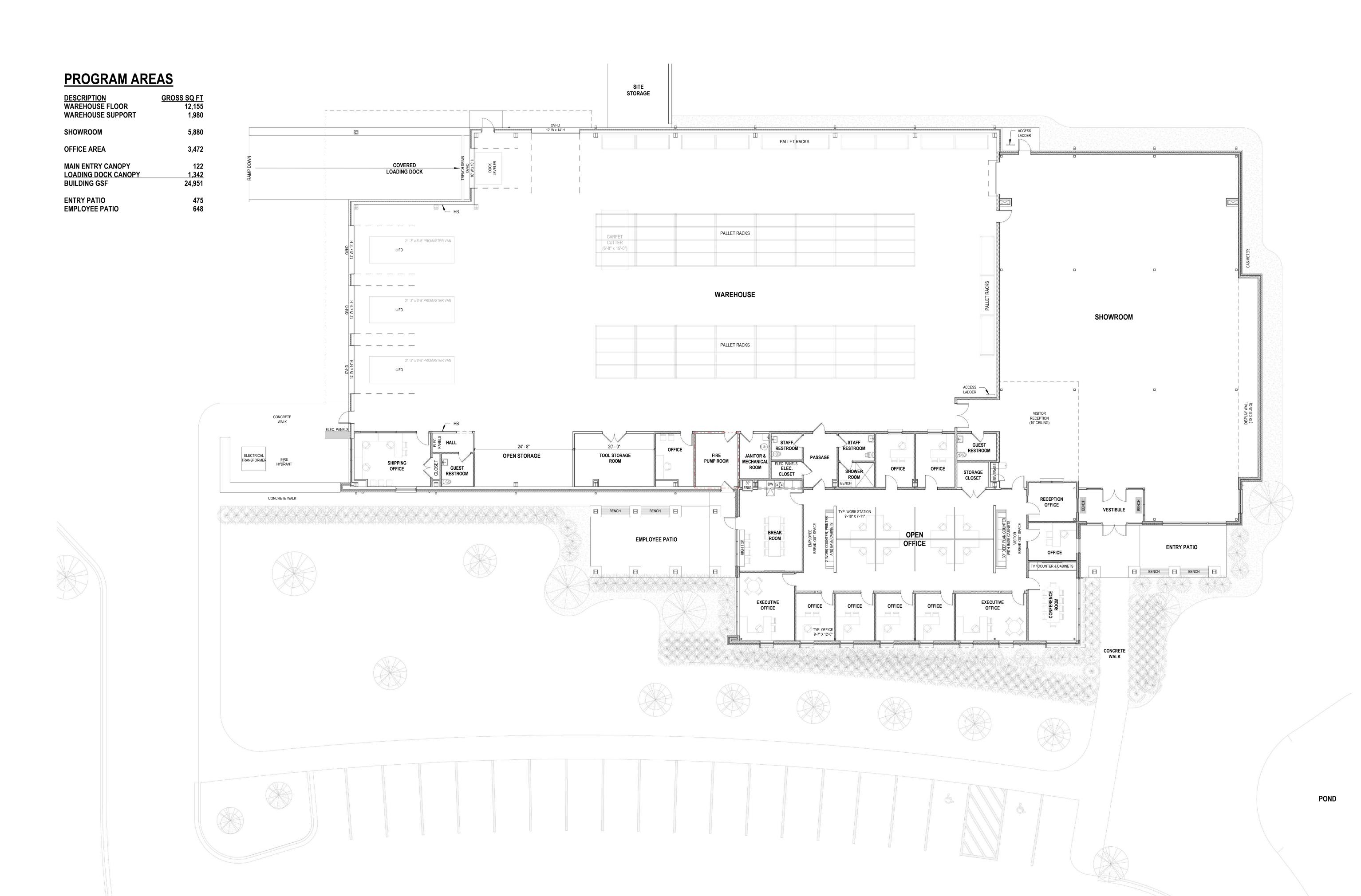
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WESENBER
ARCHITECT

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FM, LLC 55 Crossroads Circle

ISSUE DATE:

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REVISIONS:

NO. DESCRIPTION DATE

FIRST FLOOR DESIGN PLAN

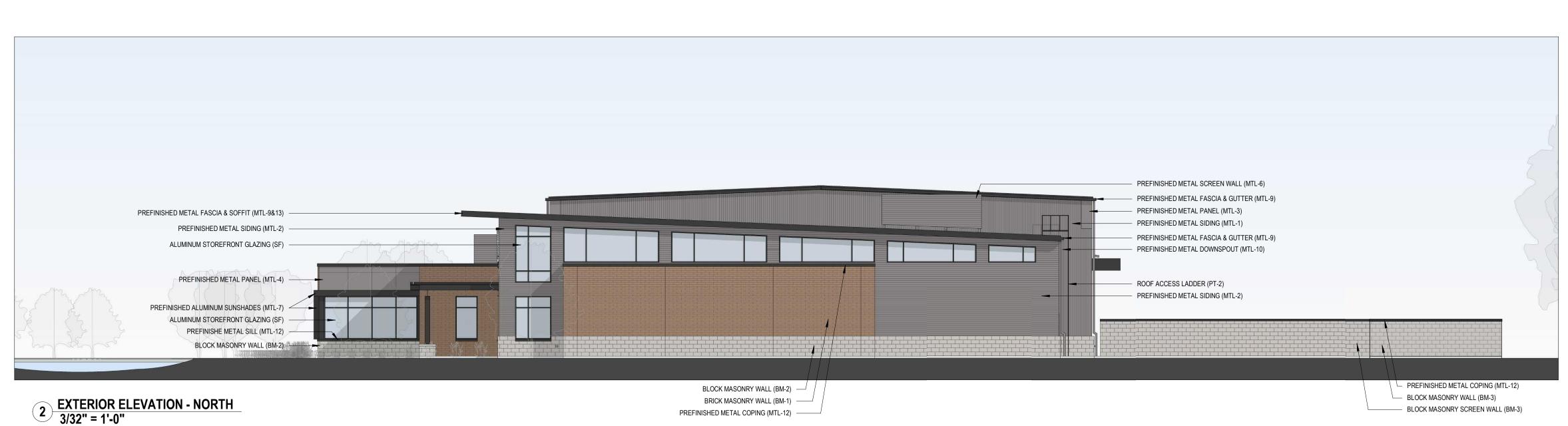
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SHEET NUMBER
A100

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EXTERIOR MATERIAL LEGEND COLOR / FINISH MARK DESCRIPTION BM-1 BRICK MASONRY - PRIMARY BRICK WALLS BRONZE N/F BM-2 BLOCK MASONRY - MASONRY WALL BASE DOVE GREY N/F BM-3 BLOCK MASONRY - REFUSE ENCLOSURE, SITE SCREEN & PATIO PIERS DOVE GREY N/F CW ALUMINUM CURTAIN WALL FRAMING SYSTEM ANODIZED BLACK MTL-1 METAL SIDING - WAREHOUSE - INSULATED, VERTICAL INSUL-RIB CHARCOAL / PVDF MTL-2 METAL SIDING - SHOWROOM - INSULATED, HORIZONTAL CORRUGATED CHARCOAL / PVDF MTL-3 METAL SIDING - WAREHOUSE - INSULATED, SMOOTH PANEL MTL-4 METAL SIDING - OFFICE - INSULATED, SMOOTH PANEL CHARCOAL / PVDF MTL-5 METAL PANEL - WAREHOUSE CANOPY & WING WALL - SMOOTH PANEL MTL-6 METAL SIDING - MECHANICAL SCREEN, HORIZONTAL AND VERTICAL RIB CHARCOAL TO MATCH (MTL-1) MTL-7 PREFINISHED ALUMINUM - SUN SCREENS, SMOOTH PANEL BLACK TO MATCH (MTL-5) MTL-8 METAL LINER PANEL - INSULATED, SMOOTH PANEL UNFINISHED MTL-9 PREFINISHED METAL - FASCIA AND GUTTER MIDNIGHT BLACK / PVDF MTL-10 PREFINISHED METAL - DOWNSPOUT CHARCOAL / PVDF MTL-11 PREFINISHED METAL - MISC CHARCOAL TO MATCH (MTL-1) MTL-12 PREFINISHED METAL - MISC BLACK TO MATCH (MTL-5) MTL-13 PREFINISHED METAL - SOFFIT PANEL MIDNIGHT BLACK / PVDF MTL-14 PREFINISHED METAL - SITE SCREEN, VERTICAL RIB CHARCOAL / PVDF PC-1 PRECAST CONCRETE - WALL CAPS PT-1 EXTERIOR PAINT CHARCOAL TO MATCH (MTL-1) PT-2 EXTERIOR PAINT BLACK TO MATCH (MTL-5) SF ALUMINUM STOREFRONT FRAMING SYSTEM ANODIZED BLACK WD-1 WOOD BENCH SEAT COLOR STAIN FINISH, TBD

IN COLOR

EXTERIOR DESIGN **ELEVATIONS** PRINTED: 4/19/2023 10:58:18 AM

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KTFM, 21055 Cro Town of B

ISSUE DATE:

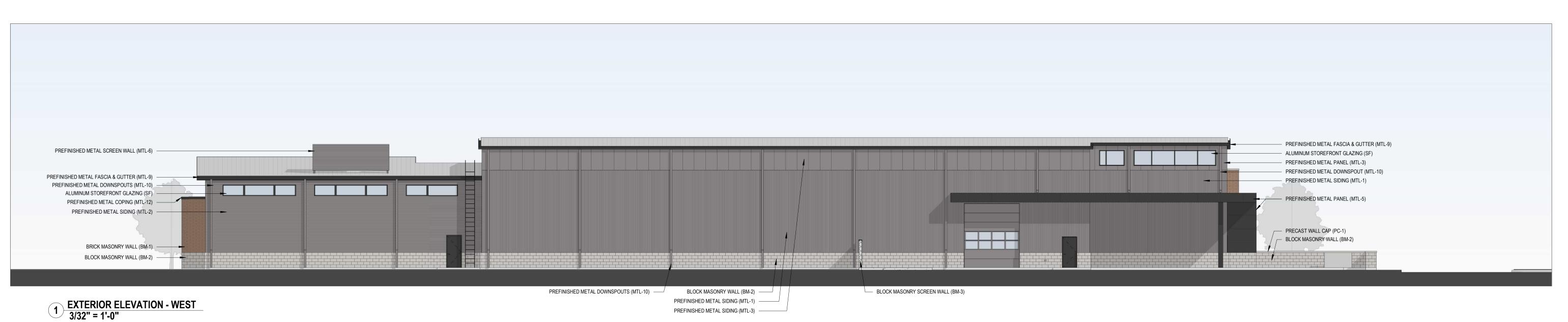
19 April, 2023

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REVISIONS:

NO. DESCRIPTION DATE



PREFINISHED METAL FASCIA & GUTTER (MTL-9) ALUMINUM STOREFRONT GLAZING (SF) PREFINISHED METAL FASCIA & SOFFIT (MTL-9&13) PREFINISHED METAL PANEL (MTL-3) PREFINISHED METAL SIDING (MTL-2) PREFINISHED METAL SIDING (MTL-1) PREFINISHED METAL SCREEN WALL (MTL-6) PREFINISHED METAL PANEL (MTL-5) - PREFINISHED METAL COPING (MTL-12) PREFINISHED METAL PANEL (MTL-4) PREFINISHED METAL COPING (MTL-12) BLOCK MASONRY SCREEN WALL (BM-3) PREFINISHED METAL PANEL (MTL-12) PREFINISHED METAL GATE (MTL-6) — ALUMINUM STOREFRONT GLAZING (SF) BRICK MASONRY WALL (BM-1) PREFINISHED METAL SILL (MTL-12) BLOCK MASONRY WALL (BM-2) PREFINISHED METAL PANEL (MTL-5)

2 EXTERIOR ELEVATION - SOUTH 3/32" = 1'-0"

- BLOCK MASONRY WALL (BM-2) PRECAST WALL CAP (PC-1) ALUMINUM STOREFRONT GLAZING (SF)

> EXTERIOR MATERIAL LEGEND COLOR / FINISH MARK DESCRIPTION BM-1 BRICK MASONRY - PRIMARY BRICK WALLS BRONZE N/F BM-2 BLOCK MASONRY - MASONRY WALL BASE DOVE GREY N/F BM-3 BLOCK MASONRY - REFUSE ENCLOSURE, SITE SCREEN & PATIO PIERS DOVE GREY N/F CW ALUMINUM CURTAIN WALL FRAMING SYSTEM ANODIZED BLACK MTL-1 METAL SIDING - WAREHOUSE - INSULATED, VERTICAL INSUL-RIB CHARCOAL / PVDF MTL-2 METAL SIDING - SHOWROOM - INSULATED, HORIZONTAL CORRUGATED CHARCOAL / PVDF MTL-3 METAL SIDING - WAREHOUSE - INSULATED, SMOOTH PANEL MTL-4 METAL SIDING - OFFICE - INSULATED, SMOOTH PANEL CHARCOAL / PVDF MTL-5 METAL PANEL - WAREHOUSE CANOPY & WING WALL - SMOOTH PANEL MTL-6 METAL SIDING - MECHANICAL SCREEN, HORIZONTAL AND VERTICAL RIB CHARCOAL TO MATCH (MTL-1) MTL-7 PREFINISHED ALUMINUM - SUN SCREENS, SMOOTH PANEL BLACK TO MATCH (MTL-5) MTL-8 METAL LINER PANEL - INSULATED, SMOOTH PANEL UNFINISHED MTL-9 PREFINISHED METAL - FASCIA AND GUTTER MIDNIGHT BLACK / PVDF MTL-10 PREFINISHED METAL - DOWNSPOUT CHARCOAL / PVDF MTL-11 PREFINISHED METAL - MISC CHARCOAL TO MATCH (MTL-1) MTL-12 PREFINISHED METAL - MISC BLACK TO MATCH (MTL-5) MTL-13 PREFINISHED METAL - SOFFIT PANEL MIDNIGHT BLACK / PVDF MTL-14 PREFINISHED METAL - SITE SCREEN, VERTICAL RIB CHARCOAL / PVDF PC-1 PRECAST CONCRETE - WALL CAPS PT-1 EXTERIOR PAINT CHARCOAL TO MATCH (MTL-1) PT-2 EXTERIOR PAINT BLACK TO MATCH (MTL-5) SF ALUMINUM STOREFRONT FRAMING SYSTEM ANODIZED BLACK WD-1 WOOD BENCH SEAT COLOR STAIN FINISH, TBD

> > DRAWINGS SHALL BE PRINTED IN COLOR

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KTFM, 21055 Cro Town of B

ISSUE DATE:

19 April, 2023

SET TYPE: ZONING SUBMITTAL

REVISIONS:

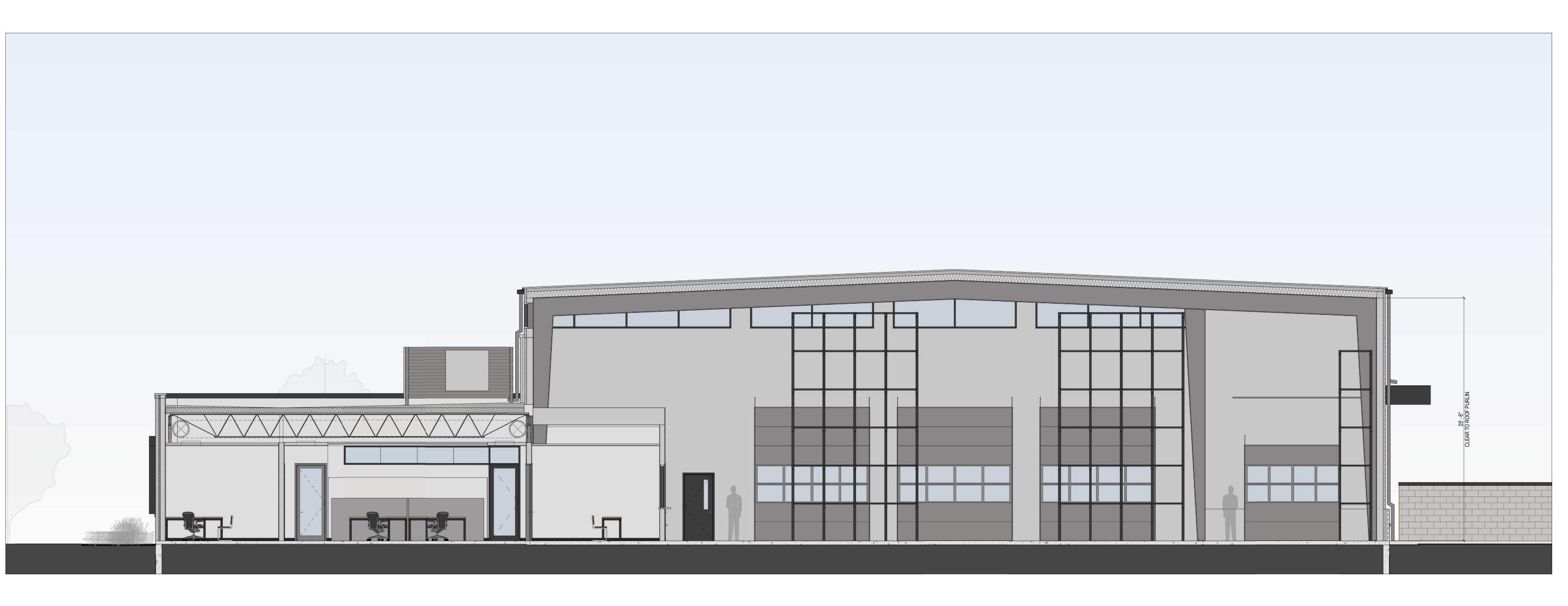
NO. DESCRIPTION DATE

EXTERIOR DESIGN ELEVATIONS

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PROJECT NUMBER 2236

SHEET NUMBER



1 BUILDING SECTION DIAGRAM
3/16" = 1'-0"

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KTFM, LLC 21055 Crossroads Circle Town of Brookfield, WI 53186

ISSUE DATE:

19 April, 2023 SET TYPE:

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BUILDING SECTION DIAGRAM

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Proposed Offices, Showroom and Warehouse f

ISSUE DATE:
19 April, 2023

SET TYPE:
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ZONING SUBMITTAL

REVISIONS:

NO. DESCRIPTION DATE

PRESENTATION DRAWING

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PROJECT NUMBER

2236

PRELIMINARY
PRELIMINARY
FOR CONSTRUCTION

FOR PROPER
INTERPRETATION, THESE
DRAWINGS SHALL BE PRINTED
IN COLOR

PROJECT NUMBER

2236

SHEET NUMBER

Z900

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PRESENTATION DRAWING

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2236 SHEET NUMBER

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Strand Associates, Inc.®



910 West Wingra Drive Madison, WI 53715 (P) 608.251.4843 www.strand.com

May 3, 2023

Mr. Bryce Hembrook Town of Brookfield 645 North Janacek Road Brookfield, WI 53045

Re: Quest Interiors Development 21055 Crossroads Circle Town of Brookfield, Wisconsin (Town)

Dear Bryce,

Strand Associates, Inc.® (Strand) has finished its initial review of the construction drawings and Storm Water & Erosion Control Calculations for the Quest Interiors Development that were received from the Town on April 25, 2023, for conformance with the Town specifications and general engineering practices. Before construction may begin, the contractor shall submit all required permits for the development to the state, Wisconsin Department of Natural Resources (WDNR), Town, and any other relevant agencies. New drawings, stormwater management plan and calculations, and a letter describing the revisions should be returned to Strand after the following concerns have been addressed.

Stormwater Management Plan

- 1. The time of concentration calculation for the pre-development basin has a sheet flow length of 178 feet. Standard engineering protocol is to use a maximum sheet flow length of 100 feet.
- 2. The time of concentration values appear to be directly entered into the HydroCAD model for the proposed 1A (2S) and 1B (3S) drainage areas. These time of concentration calculations should be provided. Also, the time of concentration paths should be shown on the Post-Development Basin Area exhibit in Appendix B.
- 3. Within the WinSLAMM input information in Appendix F, the total area draining to the pond (2S) is listed as 2.147 acres. The HydroCAD model notes that the drainage area into the proposed pond is 2.54 acres. Clarification should be given and/or modeling updated accordingly.
- 4. A stormwater maintenance agreement should be established between the owner and Town.

Stormwater Conveyance

Storm sewer sizing and inlet capacity calculations should be provided for the proposed storm sewers.

Civil Existing Site and Demolition Plan–Sheet C1.0

Specifications or a detail should be provided describing or showing how the storm sewer pipe will be plugged.

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Civil Site Plan-Sheet C1.1

- 1. According to 17.06(3)(c)(4) in the Town ordinance, the minimum dimensions for all parking spaces provided for use by physically disabled shall be 12 feet by 18 feet. It appears that these stalls are 9 feet by 18 feet.
- 2. There is a callout for a Keynote 27 in the plan, but there is no description for "27" in the Keynote legend.
- 3. A turning movement exhibit should be provided to verify the largest vehicle (including any emergency vehicles) that will access the site can perform the required turning movements with the proposed layout.

Civil Grading and Erosion Control Plan-Sheet C1.2

- 1. The anticipated locations of the topsoil stockpiles should be shown on the plan.
- 2. Silt fence should be provided between the two driveway entrances just upstream of the curb line to prevent sediment from washing on to Crossroads Circle.
- 3. Safety railings should be provided where the top of wall elevation is more than 30 inches above the adjacent grade according to Section 1013.1 of the Unified Building Code. The top of the retaining wall on the west side of the loading dock ramp. There is a drop of approximately 4 feet from top of the retaining wall on the west side of the loading dock ramp to the bottom of ramp near the building.
- 4. The scale bar appears to be incorrect.

Civil Utility Plan-Sheet C1.3

- 1. The callout for the rim elevation of CB-1 (901.12) does not match the callout for the rim elevation shown in the Bay Loading Dock Detail (900.90).
- 2. Evaluate that proper separation between water, storm, and sanitary sewer mains are meeting the requirements of Section NR 811.74 of the Wisconsin Administrative Code (WAC).
- 3. The storm sewer structure and casting types should be called out on the plan.
- 4. Review that all water main design meets the requirements of Section NR 811.70 of WAC and Section 12 of the Town Sanitary District No. 4 technical specifications (see Sections 12.1–Water Main Material, 12.2–Valve Type, 12.3–Pipe Cover and length requirements, 12.5–Thrust Restraint, and 12.18–Fire Hydrant Type). Supporting documentation should be provided.
- 5. It should be noted that, before water utility construction can begin, a modification to the water service application will need to be submitted to the Town and, if plumbing fixtures are being added, calculations should be provided for proper meter sizing.
- 6. A note should be added stating that the contractor shall notify the Town Sanitary District No. 4 and field staff a minimum of 72 hours before the start of any construction or connection to existing public utilities.

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- 7. The existing sanitary sewer is not shown correctly on the west side of the property where the proposed sanitary service connection to the main is taking place. The sewer main is entering the manhole from the west and then heads south. There is no sewer line running north of this manhole (see enclosed markup). This will require a modification of the proposed sewer service connection to the main.
- 8. A 6-inch water valve should be added to the proposed water service (see enclosed markup).
- 9. The proposed water main tapping location is near an existing water service connection. A note should be added stating the required distance from the existing connection.
- 10. The scale bar appears to be incorrect.

Civil Landscape and Restoration Plan-Sheet C1.4

- 1. Please denote intended tree protection or woodland area protection provided on-site.
- 2. Landscaping Planting Schedule Comments
 - a. According to plant symbols and the plant data chart, selected species appear appropriate. A full comparison of plan quantities as laid-out versus in the planting table was not completed. It may be appropriate for plant callout leaders for use in the field or for final reviews. Planting densities, arrangement, and selection appear appropriate. See notes.
 - b. Varieties of flowering pear (Pyrus calleryana) are regarded as potentially invasive. If acceptable, please explore potential replacements such as suitable varieties of flowering crabapple (Malus species) or redbud (Cercis canadensis).
 - c. Deciduous shrub "Planted Size" below 18 inches does not meet code. Please remove 15-inch reference for deciduous shrubs.
 - d. Similarly, arborvitae "Planted Size" should be corrected to the 6-foot requirement, in accordance with code.
 - e. Please revise Botanical Name (genus) for Karl Forester Reed Grass as "Calamogrostis."
- 3. Long-term light pole interference—The seeded lawn area between the parking lot and Crossroads Circle (and some other project areas) contain light poles with large deciduous tree plantings (basswood and honeylocust) within 10 to 12 feet of the poles. Please evaluate spacing arrangements or evaluate the use of smaller trees as needed.
- 4. Because of proximities within 12 feet of the Crossroads Circle road surface, please review planting beds that are present north and south of site access drives to confirm that they are appropriately resistant or distant to potential salt spray and other effects of the roadway and associated ditch.
- 5. To potentially avoid installation "settling" of plantings, burial of root collars, and potential survivability issues; please consider additions to the Tree Planting and Shrub Planting Details. This may involve altering the figure or potentially calling out plants to be "set" in the planting hole on a rigid substrate and similarly denoting the location of the root collar relative to planting and mulch placement.
- 6. The scale bar appears to be incorrect.

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Civil Details-Sheet C2.1

- 1. The Wet Retention Pond Detail should include the 2.5-foot rise dimension for the sharp-crested vee weir that is modeled in HydroCAD.
- 2. The Wet Retention Pond detail notes a 2-foot sump in the callout for the pyramid trash rack on top of the outlet structure which does not match the callout for a 4-foot sump dimension noted on the bottom of the structure. Detail should be updated accordingly.
- 3. The Wet Retention Pond Detail contains callouts for the "2 Year Storm Elev.". This elevation should be provided on the detail so the contractor knows the exact elevation to install the erosion control fence and pond clay liner.

Site Lighting Plan

The light level at the property line shall not exceed 0.2 foot-candles at any point. Revise light pole locations or add shielding to reduce light levels at the southern property line to 0.2 foot-candles or lower.

Comments will be provided during future submittals.

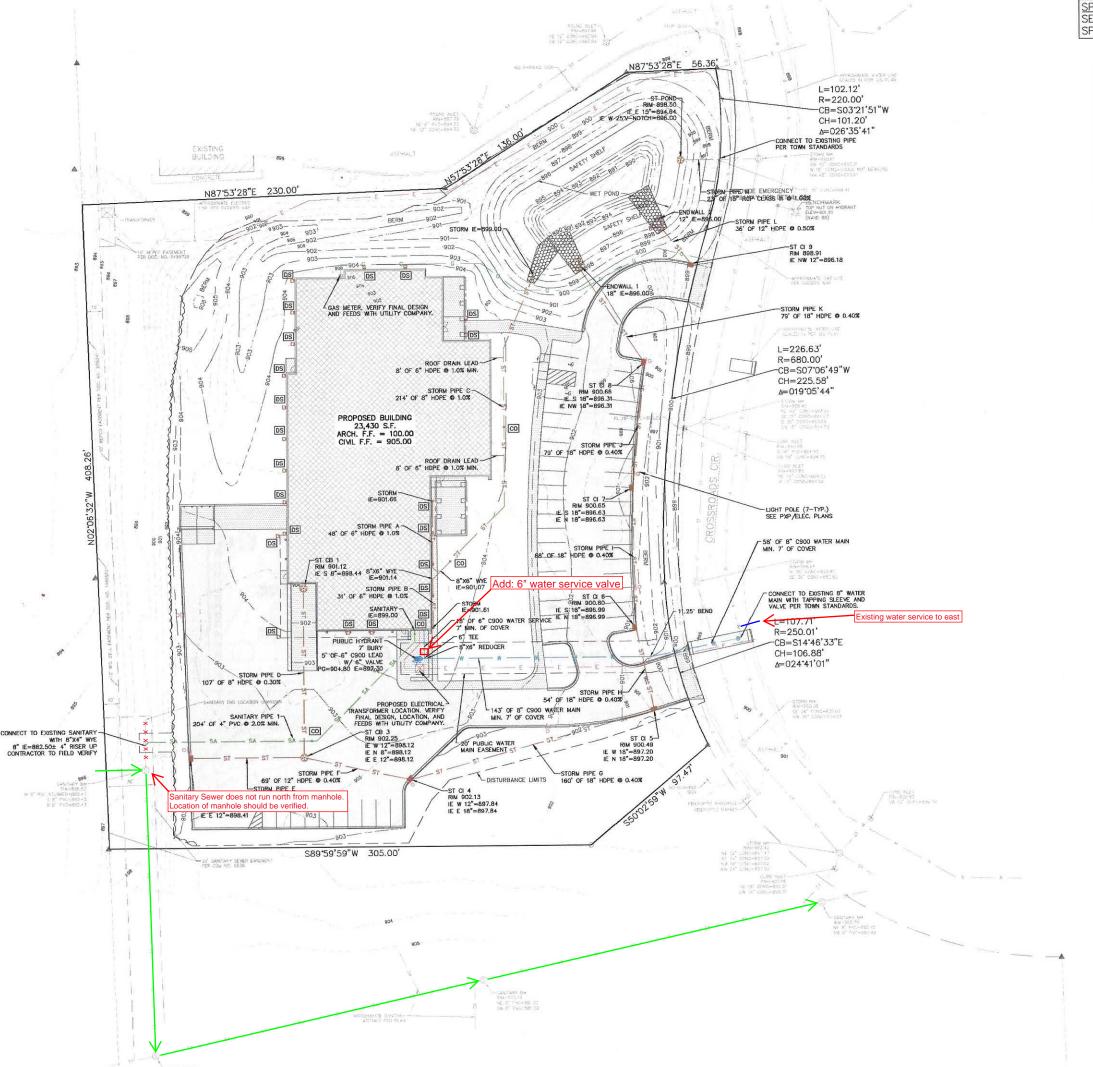
Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®

Justin J. Gutoski, P.E.

c: Tom Hagie, P.E. Town Administrator, Town of Brookfield Tony Skof, Sanitary District No. 4 Superintendent, Town of Brookfield Scott Hartung, Department of Public Works Superintendent, Town of Brookfield



DOWNSPOUT NOTE:

DS = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

DOWNSPOUT NOTE:

• = DENOTES DOWNSPOUT
CONNECT TO CLEANOUT AT CRADE FOR STORM
SEWER LEAD. SEE ARCH PLANS FOR FINAL
LOCATIONS.

CLEANOUT NOTE:

= DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.



Always a Better Plan

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PROJECT INFORMATION

53186 ₹

BROOKFIELD, OF. TOWN CIRCLE

AND WAREHOUSE FOR: SHOWROOM, KTFM, OFFICES,

CROSSROADS

21055

PROPOSED

PRELIMINARY DATES APR. 19, 2023 FOR CONSTRUCTION NOT

JOB NUMBER 230030600

NORTH

CIVIL UTILITY PLAN

SHEET NUMBER