

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
(P) 262-796-3788
(F) 262-796-0339



MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Gnant Room
645 N. Janacek Road, Brookfield, WI

Wednesday, January 10, 2024

Architectural Review Committee

6:00 p.m

AGENDA - AMENDED

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
 - a. December 13, 2023 Meeting Minutes
- 5) New Business:
 - a. Eric Olson (Graves Signs, Inc.), representing Lendmark Financial Services, is requesting approval for window signage located at 17800 West Bluemound Road, Suite D.
 - b. Christopher Reiger representing Landmark Credit Union, is requesting approval of a digital menu board sign for the bank drive-thru, located at 19600 West Bluemound Road.
 - c. Lisa Burck (Innovative Signs), representing Landmark Credit Union, is requesting approval for a reface of a monument sign, replacing two channel letter wall signs, and refacing directional and informational signage located at 19600 West Bluemound Road.
 - d. Lisa Burck (Innovative Signs), representing Werfen, is requesting approval for permanent free standing sign, located at 20925 Crossroads Circle.
 - e. Ryan Janssen, representing Avery & Birch, for a recommendation for Preliminary Approval of a new building consisting of a three-story salon suite facility, located at 21055 Crossroads Circle.
- 6) Communication and Announcements.
- 7) Adjourn.

Posted this 5th day of January, 2024

Tom Hagie

Administrator/Interim Clerk

TOWN OF BROOKFIELD
ARCHITECTURAL REVIEW COMMITTEE MINUTES
DECEMBER 13, 2023

The regular meeting of the Architectural Review Committee was held in the Erich Gnant Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER.

Chairman Dean Pearson called the meeting to order at 6:00 p.m. with the following people present: Town Planner Bryce Hembrook, Town Supervisors John Charlier, Steve Kohlmann; Committee members Richard Diercksmeier, Alan Lee, and Matt Paris.

2) MEETING NOTICES.

Planner Hembrook reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA.

Motion by Kohlmann to approve the agenda. Seconded by Charlier.

Motion carried unanimously.

4) APPROVAL OF MINUTES.

Motion by Charlier to approve the minutes of the November 8, 2023 minutes as presented.

Seconded by Diercksmeier.

Motion carried unanimously, with Paris and Kohlmann voting present.

Chairman Pearson requested clarification regarding Item 5 (Callister's Christmas signage). Hembrook confirmed that the special occupancy is over on December 27, 2023 and there has been no request from Callister's to renew, therefore signage approved on November 8, 2023 must be removed per the voted on and approved motion.

5) New Business:

- a. Dan Schaefer (Signworks), representing Robertson Ryan, is requesting approval of a monument sign, located at 20975 Swenson Drive.

Planner Hembrook reported that the request is to replace the existing monument sign with a new monument sign in order to update the company logo and slightly alter the shape of the sign. The proposed sign is just under 15 square feet, with a four and a half square foot base, and approximately four and a half feet tall. It will be located in the same location as the current monument sign, which is approximately seven feet from the property line, and meets setback requirements. The background is grey with dark grey letters and maroon for the logo. Hembrook reported that with there would be two freestanding signs on the property due to the large monument sign showing the property address. Hembrook noted that another nearby property has a large address sign, and another monument sign with tenant panels, so this would be consistent with the other property. Pearson inquired about the height of the address numerals on the proposed sign, and the requirement that they be eight inches. Mr. Schaefer (Signworks) clarified that the numerals are not eight inches, and because the larger address only sign is very near, it would be redundant to have the numerals that prominent on this sign. It was further clarified that the proposed sign is not internally illuminated.

Motion by Kohlmann to approve a monument sign, located at 20975 Swenson Drive.

Seconded by Paris.

Motion carried unanimously.

- b. Lisa Burck (Innovative Signs), representing Werfen, is requesting approval for permanent freestanding sign, located at 20925 Crossroads Circle.

Planner Hembrook presented the item, and reported that on the site plan provided by the applicant, there was not a property line nor a setback showing. The site plan shows the proposed sign being located on the property line where the existing sign is located. The sign will need to meet the 5' setback. Hembrook contacted Innovative Signs to update the site plan, and will be sure that setbacks are met, or they would have to go through a variance process.

The sign is proposed to be 10' from grade and has four panels, two showing property address and two showing the Werfen logo. The Werfen logo panels are approximately 14.14 square feet total. The property address panels are approximately 7.4 square feet total. All panels equal approximately 21.54 square feet total. The majority of the sign structure is blue and the lettering is white. The signs will be internally illuminated. Dimensions were not provided for the address numerals, and the typical requirement is a minimum of eight inches. The proposed sign appears to meet all other sign code requirements. Pearson inquired why they are proposing a pylon sign instead of a monument sign, like the signs in the rest of the development, and opined that it is too high. Discussion was had regarding the two-face display, and whether that fits into the code, and looks aesthetically pleasing. It was the general consensus that the sign is too high, and the two-sided face looks somewhat like a street sign, but is appealing. Kohlmann suggested the applicant attend the next meeting.

Motion by Kohlmann to deny permanent freestanding sign, located at 20925 Crossroads Circle.
Seconded by Lee.

Additional discussion by Kohlmann was that Hembrook inform the sign company of concerns.

Motion carried 4-2, with Paris dissenting, and Diercksmeier abstaining.

- c. Eric Olson (Graves Signs, Inc.), representing Lendmark Financial Services, is requesting approval for permanent signage for a wall sign, located at 17800 West Bluemound Road, Suite D.

Hembrook reported that Lendmark Financial Services is requesting approval to add one wall sign above the tenant entrance. The sign would be a front-illuminated red channel letter sign on a raceway. The sign area is approximately 23.66 square feet. According to the application, the tenant frontage is 31', thus 24.8 square feet of signage is permitted. The proposed size appears to be similar in style and size to other signs on the building. The proposed sign meets all other sign code requirements. Also included was window signage, and Hembrook will look into the ordinance to see if they are allowed without approval. It was suggested to inform the applicant of those findings. Signs with hours of operation and "open/close" are fine.

Motion by Charlier to approve permanent signage for a wall sign for Lendmark Financial Services as presented, located at 17800 West Bluemound Road, Suite D.

Seconded by Kohlmann.

Motion carried unanimously.

6) Communication and Announcements.

Paris read sign code regarding the height for the Werfen sign proposal as stating, "height must be maintained ten feet high from property line". There is a hill involved, so is that taken into account? Hembrook will have the applicant clarify on their site plan the property line and setbacks, as indicated in earlier discussion, as well as more specific height information.

Hembrook reported that he and his team are working on clarifying the sign code in order for greater understanding for both the committee and the applicants. Any suggestions are welcomed.

Supervisor Kohlmann thanked the Committee for their hard work over the past year.

7) Adjourn.

8) ADJOURN.

Motion by Kohlmann to adjourn at 6:24 pm.

Seconded by Charlier.

Motion carried unanimously.

Respectfully submitted,
Bryce Hembrook, Town Planner



Building a Better World
for All of Us®

TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Bryce Hembrook, AICP
Town Planner

REPORT DATE: January 4, 2024

ACC MEETING DATE: January 10, 2024

RE: ARC Staff Report – January Agenda Items

Landmark Credit Union (Digital Menu Board) – Sign Review

Applicant: Christopher Rieger (Landmark Credit Union)

Location: 19600 W Bluemound Rd

Request: Approval of digital information board

- Requesting to add a “digital menu board” to be located near the bank drive thru on the north side of the Landmark Credit Union building.
- Proposed sign is approximately 8 square feet in size.
- The proposed sign is intended to provide information to customers that are already on-site and using their drive thru.
- The sign code does not specifically address menu boards and the only mention of digital signage is for electronic message centers (EMC)’s and digital changeable copy signs. Generally, these EMC’s and digital changeable copy signs are intended to advertise the business or service directed toward traffic or pedestrians in right-of-way; whereas a menu board is generally oriented to persons within the premises.
- The ARC discussed this type of sign in 2023 but the general consensus was that it depends on the specific proposed sign; thus the Committee should determine whether or not this sign should be approved.

Landmark Credit Union (Innovative Signs) – Sign Review

Applicant: Lisa Burck (Innovative Signs), representing Landmark Credit Union

Location: 19600 W Bluemound Rd

Request: Approval of Permanent Signage

- Requesting to reface the existing monument sign, replace existing wall signage to include new company logo/font on the east and south elevation, and reface directional and information signage.
- Monument sign
 - Refacing the gray sign panel. Base and digital display area to remain as is.
 - Sign is approximately 34.68sf

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351

SEH is 100% employee-owned | **sehinc.com** | 262.646.6855 | 888.908.8166 fax

- Includes a gray background, white letters and blue and white logo.
- Internally illuminated.
- South and east elevation channel letter wall signs
 - Both signs are approximately 48 square feet.
 - These signs appears to be similar in size to the existing signage, but likely smaller.
 - Channel letters and logo will be internally illuminated.
 - East elevation frontage = 65'.
 - Allowable sign area = 52 square feet
 - South elevation frontage = 71'.
 - Allowable sign area = 56.8 square feet
 - Both signs meet sign area requirements.
- Directional signs
 - Refacing several directional and informational signs and will include logo on each sign.
 - These types of signs do not require a permit but do require approval by the Committee. The sign code state that these signs should be directional in character, without identification graphics, font size shall not exceed 5 inches and the total display area shall not exceed either inches by 30 inches per tenant, unless approved to provide consistency with design features of the development.
 - The proposed signs do not meet all of these requirements, but the ARC can decide to approve as presented with those exceptions.

Werfen – Sign Permit

Applicant: Lisa Burck (Innovative Signs) representing Werfen

Location: 20925 Crossroads Circle

Request: Approval of Permanent Signage

- Proposing to add a freestanding sign near the entrance of the parking lot. The site plan in the packet shows the proposed sign being located on the property line where the existing sign is currently located. The sign will need to meet the 5' setback and/or receive a variance. The applicant has stated that they will likely request a variance. If the Committee decides to approve this sign, a condition should be applied to require that the sign either meets the 5' setback requirement or a variance is granted.
- Sign is proposed to be 4.6' from grade and has two panels showing the property address and the Werfen logo.
 - Both panels are approximately 27.6 square feet each (55.2 square feet total).
- The majority of the sign structure is blue and the lettering is white.
- The signs will be internally illuminated.
- No dimensions were provided for the address numerals. The typical requirement is a minimum of 8 inches.
- Proposed sign appears to meet all other sign code requirements.

Avery & Birch – Preliminary Approval

Applicant: Ryan Janssen representing Avery & Birch

Location: 21055 Crossroads Circle

Request: Preliminary approval of a new building consisting of a three-story salon suite facility

- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.6 acre parcel in an office park.

- Quest Interiors received final approval for their facility on the subject property earlier this year but decided to no longer pursue the project.
- The applicant intends to eventually split the existing lot into 2 lots but is not planning on splitting the property at this time. The plans show where the potential property split may occur.
 - Potential lot size (if divided) = Approximately 1.82 acres or 79,505 square feet.
 - This will require a certified survey map review and approval. The lot size may differ than current plans but must still meet setback and lot size requirements.
- Proposed structure = 16,500 total square foot three-story facility with salon suites. Approximately 5,500 square feet each floor.
- Approximately 89 parking stalls currently proposed, including 2 handicap stalls.
 - The proposed use is likely considered a personal service use, which requires one space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.
 - There appears to be an adequate amount of parking provided on-site.
 - The proposed site plan shows a drive access connection to the future lot to the north.
- Proposed setbacks:
 - Front = 210+'
 - Side = 66' north and 87' south
 - Rear = 69'
 - All building setbacks will meet code requirements.
 - The pavement setback along the Crossroads Circle right-of-way appears to meet the 10' requirement.
- Sum total of floor area
 - Proposed = 20.7% of lot area.
 - Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area.
 - Requirement is met.
- No building height dimensions were provided but the building will likely meet the 45' height requirement.
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The applicant intends to keep the existing landscaping to serve as a buffer for the residential properties.
- The applicant is proposing to add a stormwater pond to the north of the building and this is proposed to serve the potential northern lot as well.
- Note: Some of the site data provided on the site plan (Sheet C100) is inaccurate as the total floor area and the floor area ratio.

Any review comments or concerns from the Development Review Team will be provided at the time of the meeting.

Preliminary Approval Requirements

The purpose of preliminary project review is to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one-inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. This information was provided by the applicant and included in the plan sets.

According to Section 17.02(4)(c) of the zoning code, the Committee needs to review the following:

- site plan
- existing and proposed structures
- architectural plans
- driveway location
- loading and unloading
- highway access
- traffic generation and circulation
- drainage
- utilization of landscaping and open space.

When deciding whether to approve the preliminary plans, the Committee should consider these elements.

Development Review Team Feedback

The Development Review Team members are currently reviewing the proposed plans. Any feedback will be provided at the time of the meeting.

Next Steps

If the preliminary approval is granted by this committee, the Plan Commission will also review preliminary plans at the next available meeting. If approved by Plan Commission, the applicant can submit for final approval, which is reviewed by Architectural Review Committee, Plan Commission, and approved by the Town Board.



GRAPHICS: Red / White Opaque die cut vinyl
Font shown is Arial Bold w/ 1/16" White Contour

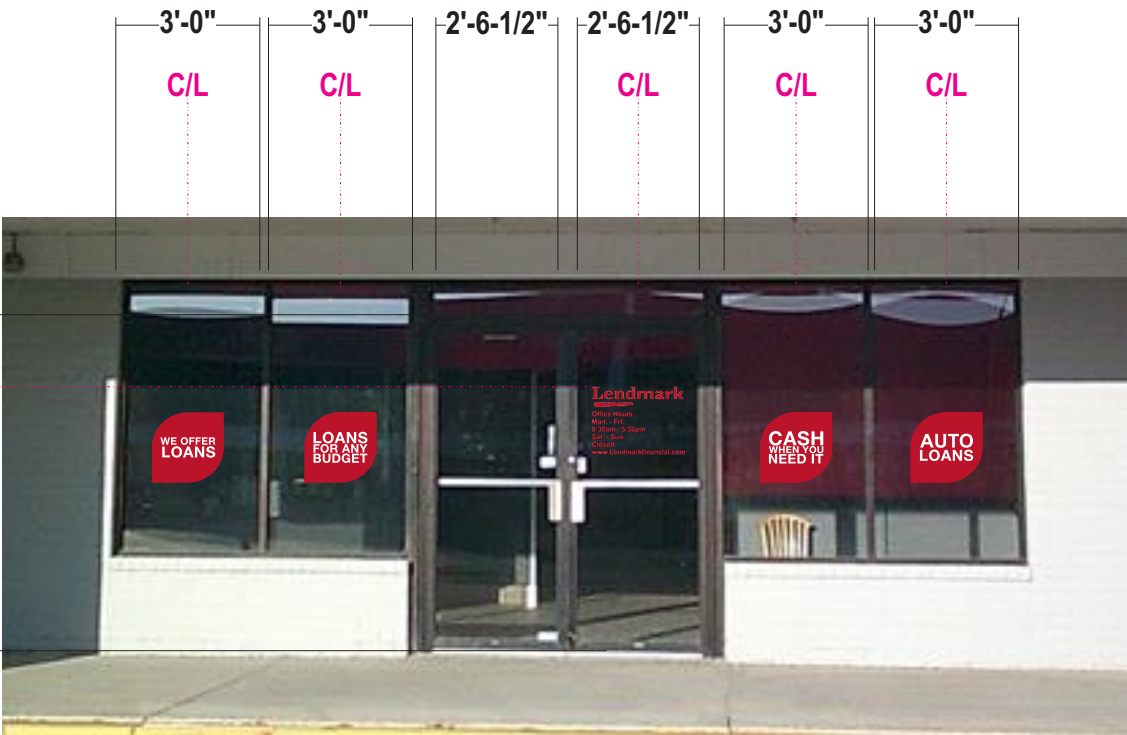
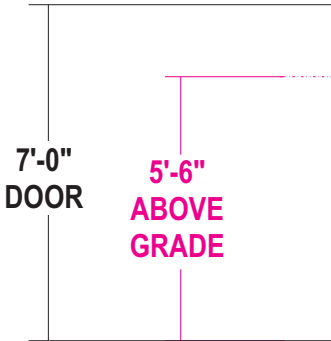
APPLICATION: First surface to outside of window,
Centered in available space

QUANTITY: (1) ONE VINYL SET REQUIRED

COLOR PALETTE

3M 7725-93 Opaque Red
Pantone 200 Red

3M 7725-10
Opaque White



PROPOSED SIGNAGE: Scale: 1/4"=1'-0"



- GRAPHICS:** Red / White Opaque die cut vinyl
- APPLICATION:** First surface to outside of window,
Centered in available space
- QUANTITY :** **TOTAL (4) FOUR VINYL GRAPHICS SETS REQUIRED;**
(1) ONE OF EACH LAYOUT

COLOR PALETTE

3M 7725-93 Opaque Red
Pantone 200 Red

3M 7725-10
Opaque White



| Rev # | Req # | Date/Artist | Description | Rev # | Req # | Date/Artist | Description |
|----------|--------|---------------|-------------|-------|-------|-------------|-------------|
| Original | 449919 | 10/13/23 Z-RA | | | | | |
| Rev 1 | 454790 | 11/18/23 Z-SA | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | | | | | |

Landmark Credit Union
608 N Janacek Rd

Menu Board/Monitor Location



Landmark Credit Union
595 N Janacek Rd

Menu Board/Monitor Location



Slim & Robust Design with Outstanding Visibility

Ultra High Brightness Outdoor Display
XE4F Series

49

With a tough design that is also remarkably slim and lightweight, the XE4F Series can be easily installed to meet needs in a variety of custom outdoor environments. With upgraded brightness, the XE4F displays can capture customers' attention even under direct sunlight.



Slim & Light
Design



Outstanding
Visibility



IP56 Rated
Dust/Water Proof



Easy Data Control
& Maintenance

| Train number | Class | Destination | Arrivals | Track | Numbering of wagons |
|--------------|------------|--------------------|----------|-------|---------------------|
| 709 | high-speed | N.Novgorod-Moscow | 14:58 | 1 | rear |
| 717 | high-speed | Ivanovo-Moscow | 10:50 | | rear |
| 084 | Express | Adler-Moscow | 11:25 | | rear |
| 835 | high-speed | Kovrov-Moscow | 12:20 | | rear |
| 142 | Express | Lgov-Moscow | 12:31 | | rear |
| 072 | Express | Belgorod-Moscow | 12:56 | | rear |
| 058 | high-speed | Stary Oskol-Moscow | 13:10 | | rear |
| 020 | Express | Kharkiv-Moscow | 15:52 | | rear |
| 7050 | sub | Tula-Moscow | 15:57 | | |
| 737 | high-speed | Ivanovo-Moscow | 16:05 | | rear |
| 7081 | sub | Vladimir-Moscow | 16:09 | 8T | |
| 701 | high-speed | N.Novgorod-Moscow | 16:20 | 1 | rear |



Slim & Light Design

XE4F series composed of single display with a light and slim design and it can be easily customized to suit various external environments with no need for separate casing.



Easy integration for partner's customized design

Because the XE4F Series is significantly thinner and lighter than previous designs, it is mount-ready and can be more easily customized for a variety of applications.



Bright & Brilliant

The XE4F series possess powerful brightness of 4,000nits, providing clear and vivid picture quality even under direct sunlight.



Wide Viewing Angle

IPS technology provides better control of the liquid crystals, which in turn allows the screen to be viewed at virtually any angle.



Long Lasting Brightness

With a powerful brightness of 4,000 nits and wide viewing angles, the XE4F Series delivers content clearly and catches the attention of viewers no matter where they are, making it the ultimate display for outdoor visibility.



Visible with Polarized Sunglasses

Quarter Wave Plate technology in this display enables clear visibility even when the viewer is wearing polarized sunglasses.



Secured Protection with IP56 Design

The XE4F Series is rated IP56 for protection against dust and liquids so that it can serve reliably outdoors in almost all kinds of weather.



Protective Glass (IK10 Certified)

The tempered and laminated front glass ensures optimum protection from outdoor extremities, reducing / minimizing damage from external impacts.



* The image is for illustrative purposes only

**IK rating refers to the degree of resistance against external impacts on a scale of 0 to 10.
(10 indicates the highest level of protection.)

Support for HDBaseT™

The XE4F Series supports the HDBaseT global standard for the transmission of ultra-high definition video and audio, Ethernet, controls, USB and IR over a single, long-distance cable for easier control of the display.



Web Monitoring

The embedded web monitoring allows a variety of parameters to be diagnosed in real time using temperature, pixel, door, ambient light and gyro sensors. It can be easily controlled at all times.

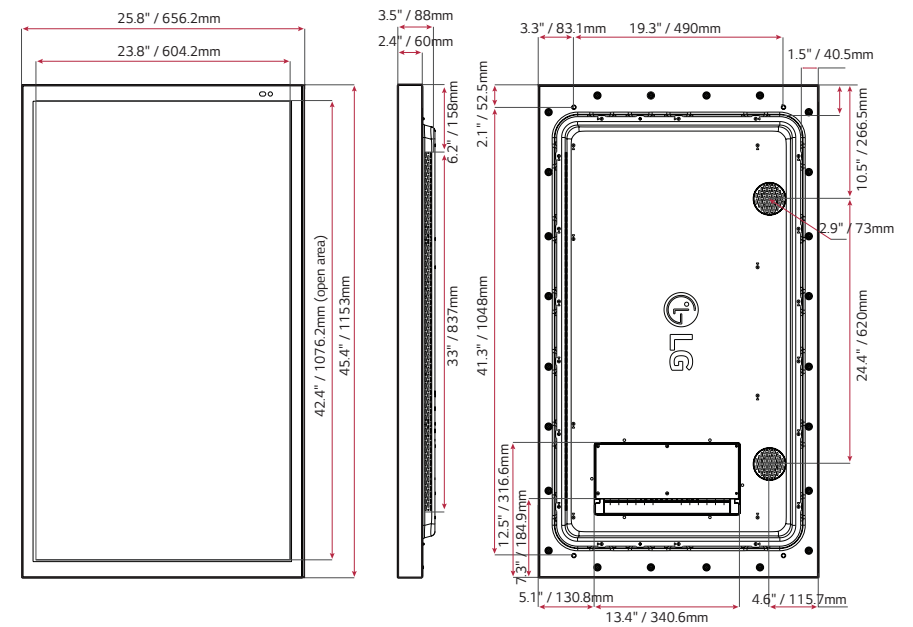


DIMENSIONS

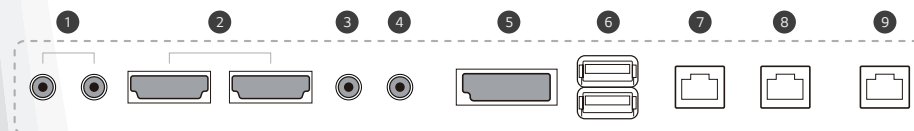
IP-Rated Outdoor Display | XE4F Series

49

49XE4F



CONNECTIVITY



- 1 SPEAKER OUT
- 2 HDMI IN
- 3 RS232C IN
- 4 RS232C OUT
- 5 DP IN
- 6 USB IN
- 7 LAN IN
- 8 LAN OUT
- 9 HDBaseT IN

HDMI™
HIGH DEFINITION MULTIMEDIA INTERFACE

SPECIFICATIONS

IP-Rated Outdoor Display | XE4F Series

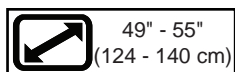
49

| | Model | | 55XE4F | 49XE4F |
|--------------------------|--------------------------------|----------------------------|---|---|
| | Screen Size | | 55" | 49" |
| PANEL | Panel Technology | | IPS | IPS |
| | Back Light Type | | Direct | Direct |
| | Aspect Ratio | | 16 : 9 | 16 : 9 |
| | Native Resolution | | 1,920 x 1,080 (FHD, WRGB) | 1,920 x 1,080 (FHD, WRGB) |
| | Refresh Rate | | 60Hz | 60Hz |
| | Brightness | | Typ. 4,000nit, Min. 3,200nit | Typ. 4,000nit, Min. 3,200nit |
| | Contrast Ratio | | 1,300:1 | 1,300:1 |
| | Dynamic CR | | 500,000:1 | 500,000:1 |
| | Color gamut | | 72% | 72% |
| | Viewing Angle(H x V) | | 178 x 178 | 178 x 178 |
| | Color Depth | | 1.07 Billion (10bit) | 1.07 Billion (10bit) |
| | Response Time (G to G) | | 8 ms | 8 ms |
| | Surface Treatment(Haze) | | Haze 3% | Haze 3% |
| | QWP(Quarter Wave Plate) | | Yes | Yes |
| INPUT | Life time(Typ.) | | 50,000 Hrs | 50,000 Hrs |
| | Operation Hours | | 24 Hrs | 24 Hrs |
| | Orientation | | Portrait & Landscape | Portrait & Landscape |
| | Digital | HDMI | Yes (2), HDCP2.2 | Yes (2), HDCP2.2 |
| | | DP | Yes (1), HDCP1.3 | Yes (1), HDCP1.3 |
| | | DVI-D | No | No |
| | Analog | HDBaseT | Yes | Yes |
| | | RGB | No | No |
| | | Audio In | No | No |
| | External Control | RS232C IN | Yes | Yes |
| | | RJ45(LAN) | Yes | Yes |
| | | USB | Yes (2), USB2.0 | Yes (2), USB2.0 |
| OUTPUT | External Speaker Out | RS232C OUT | Yes (1) | Yes (1) |
| | | RJ45(LAN) | Yes (1), HDBaseT | Yes (1), HDBaseT |
| | | Depth | 5 mm | 5 mm |
| | Protection Glass | Degree of Protection | IK10 | IK10 |
| | | Tempered | Yes | Yes |
| | | Anti-Reflective | Yes | Yes |
| | | Infrared - Resistance (IR) | Yes | Yes |
| | Shatter-Proof | Yes | Yes | Yes |
| | | Black | Black | Black |
| | Bezel Color | | Black | Black |
| | Bezel Width | | 38.4mm(T/B), 26.0mm(L/R) | 38.4mm(T/B), 26.0mm(L/R) |
| | Monitor Dimension (W x H x D) | | 29" x 50.9" x 3.1" / 737.4 x 1,292.5 x 88.0mm | 25.8" x 45.4" x 3.5" / 656.2 x 1,153.8 x 88.0mm |
| | Handle | | No | No |
| | VESA™ Standard Mount Interface | | No (non-standard) | No (non-standard) |
| | Internal Memory | | 16GB (System 4GB + Available 12GB) | 16GB (System 4GB + Available 12GB) |
| MECHANICAL SPECIFICATION | Wi-Fi | Built-in | No | No |
| | | Dongle ready | No | No |
| | Sensors | Temperature Sensor | Yes (Panel Front, M/Board, LCM , Inside) | Yes (Panel Front, M/Board, LCM , Inside) |
| | | Auto Brightness sensor | Yes | Yes |
| | | BLU Sensor | Yes | Yes |
| | | Pixel sensor | Yes | Yes |
| | | Proximity Sensor | No | No |
| | | Gyro Sensor | Yes | Yes |
| | | Humidity Sensor | Yes | Yes |
| | | Current Sensor | Yes | Yes |
| | | Power Indicator | No | No |
| | Local Key Operation | | No | No |
| | FAN | | Yes (Open Loop , Closed Loop) | Yes (Open Loop , Closed Loop) |
| | Dust / Water Proof | | IP56 | IP56 |
| | Direct Sunlight | | Yes | Yes |
| | Power Supply | | 100-240V~, 50/60Hz | 100-240V~, 50/60Hz |
| ELECTRICAL | Power Type | | Built-In Power | Built-In Power |
| | DPM | | 1W | 1W |
| | Power off | | 0.5W | 0.5W |

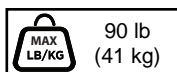
| | Model | | 55XE4F | 49XE4F |
|----------|---|---------------------------|--------------------------------------|--|
| | webOS ver. | | webOS 4.0 | webOS 4.0 |
| SOFTWARE | Embedded CMS | USB Auto Playback | Yes | Yes |
| | | Local Contents Scheduling | Yes | Yes |
| | | Group Manager | Yes | Yes |
| | Fail over | Booting Logo | Yes | Yes |
| | | No Signal | Yes | Yes |
| | Customization | RS-232C | Yes | Yes |
| | | Backlight sync | Yes | Yes |
| | | Local Network | Yes | Yes |
| | Content Sync. | PIP | Yes | Yes |
| | | PBP | Yes (2) | Yes (2) |
| | Screen Share | | No | No |
| | Video Tag | | Yes (4) | Yes (4) |
| | Play via URL | | Yes | Yes |
| | OSD Rotation | | Yes | Yes |
| | Lock mode | | Yes | Yes |
| SOFTWARE | Content Rotation | | Yes | Yes |
| | Gapless Playback | | Yes | Yes |
| | Tile Mode Setting | | Yes (Max.15x15) | Yes (Max.15x15) |
| | Setting Data Cloning | | Yes | Yes |
| | Firmware Update by Network | | Yes | Yes |
| | SNMP | | Yes | Yes |
| | ISM Mode (Image Sticking Minimization) | | Yes | Yes |
| | Auto Set ID | | Yes | Yes |
| | Status Mailing | | Yes | Yes |
| | "Outdoor API control (Backlight, Fan, Illuminance, Humidity, Door, check screen, rotation)" | | Yes | Yes |
| | Control Manager | | Yes | Yes |
| | 3rd Party Control Compatibility | Creston Connected | No | No |
| | | DPM | Yes | Yes |
| | | On/Off Schedule | Yes | Yes |
| SOFTWARE | Power Mgmt. | Holiday Schedule | Yes | Yes |
| | | Power on Status | Yes (Standby, Power On, Last Status) | Yes (Standby, Power On, Last Status) |
| | | Energy Saving | Yes | Yes |
| | ENVIRONMENT CONDITIONS | Smart Energy Saving | Yes | Yes |
| | | PM mode | Yes | Yes |
| | | Wake on LAN | Yes | Yes |
| | SOUND | Power on Delay | Yes | Yes |
| | | Daylight Saving Time | Yes | Yes |
| | | Beacon | Yes | Yes |
| | CERTIFICATIONS | HDMI-CEC | Yes | Yes |
| | | SI Server Setting | Yes | Yes |
| | | HDBaseT | Yes | Yes |
| SOFTWARE | SOFTWARE COMPATIBILITY | WOL | Yes | Yes |
| | | webRTC | Yes | Yes |
| | | Operation Temperature | -22°F to 122°F / -30°C to 50 °C | -22°F to 122°F / -30°C to 50 °C |
| | LANGUAGE | Operation Humidity | 5 % to 100 % | 5 % to 100 % |
| | | Speaker | No | No |
| | | Safety | UL / cUL / CB | UL / cUL / CB |
| | ACCESSORIES & OTHER | EMC | FCC Class "A" / CE / KCC | FCC Class "A" / CE / KCC |
| | | ErP / Energy Star | Yes / No | Yes / No |
| | | SuperSign CMS | Yes | Yes |
| SOFTWARE | SuperSign Control/Control+ | | Yes/Yes | Yes/Yes |
| | SuperSign White Balance | | No | No |
| | Signage 365 Care | | Yes | Yes |
| | LANGUAGE | | Languages | English, French, German, Spanish, Italian, Korean , Chinese(Simplified), Chinese(Original), Portugues(Brazil), Swedish, Finnish, Norwegian, Danish, Russian, Japanese, Portugues(Europe), Dutch, Czech, Greek, Persian |
| | ACCESSORIES & OTHER | | Basic | Remote Controller, Manual(EIG, ESG), Regulation Book, Phone to RS232C Gender, HDMI Cable |
| | Warranty | | 3 Year Limited | 3 Year Limited |



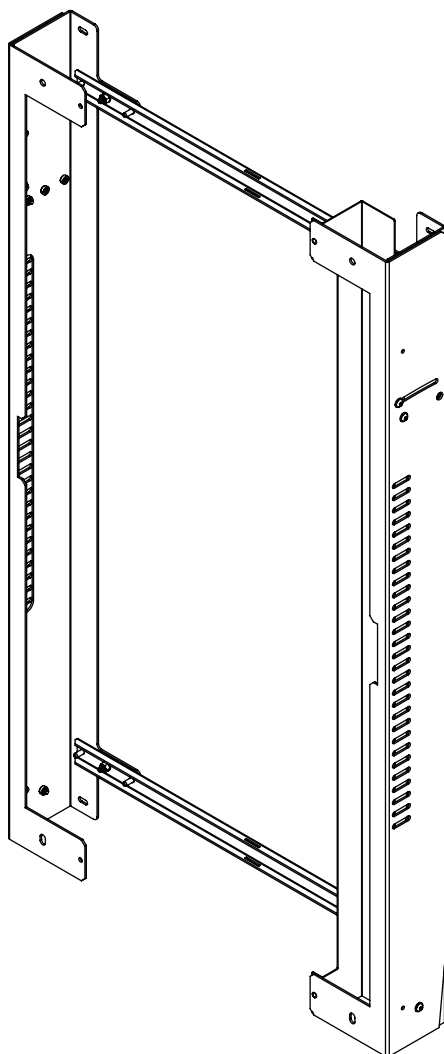
EWP-49XE4F, EWP-55XE4F



49" - 55"
(124 - 140 cm)



90 lb
(41 kg)



ENG
ESP
FRN
DEU
NEL
ITL
ČES
SLK
POR
TUR





BROOKFIELD WEST
19600 W. BLUEMOUND ROAD
BROOFIELD WI 53045



21700 DORAL ROAD
WAUKESHA WI 53186
262.432.1330
www.innovative-signs.com

19600 W. Bluemound Rd , Brookfield - Monument



www.innovative-signs.com

Before



After - Day



After - Night



Customer

Landmark Credit Union
19600 W. Bluemound Rd

Date Project Manager

12/15/2023 Shaun R.

Order # Designer




ISI - 12302 Brian H.

Materials & Specifics

Monument Face Update

- Existing face to be cut out, leaving 3" all the way around for new face to be screwed into.
- New face to be routed alum. painted SW 7074 Software Gray
- 7328 White acrylic backing
- Translucent digital print with lamination to best match Pantone 7708c
- New face to be screwed into existing face/frame
- Countersunk screws to be used.

Colors

-  Pantone 7708c
-  7328 White Acrylic
-  SW 7074 Software Gray

Qty: 2



Approval
Signature: _____

Customer

Landmark Credit Union
Channel Letters

DateProject Manager

10/20/2023Shaun R.

Order #Designer

EST - 12302Brian H.

Trim Cap ColorAcrylic Faces

3/4" Black7328 White

Return ColorReturn Depth

BlackStandard 4"

Materials & Specifics

Face Lit & Halo Lit Logo

- White LED 7000k
- 7328 White acrylic face, 2777 white acrylic back
- Translucent digital print to best match Pantone 7708c
- Pin Mounted with 2" spacer for halo effect

Channel Letter Copy - Face Lit

- White LED 7000k
- 2447 White acrylic face
- Raceway mounted; painted MP04349 Canyon Coral

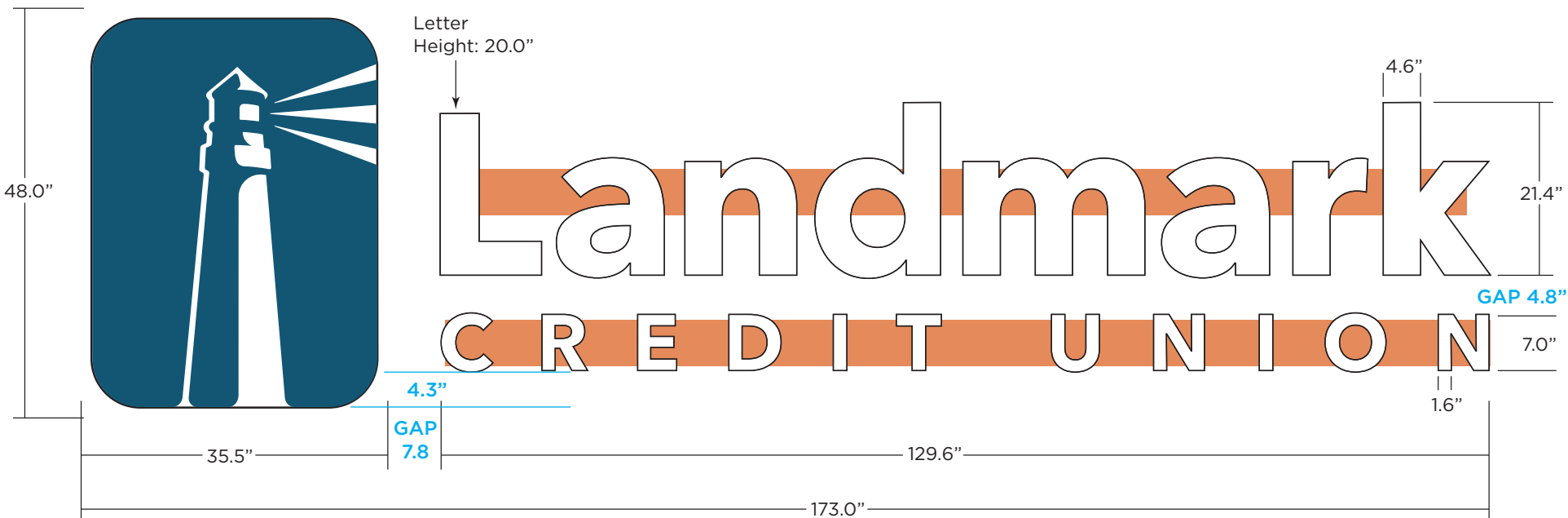
Colors

- 7328 white acrylic
- 2777 white acrylic(back for halo)
- 2447 white acrylic
- Black
- Pantone 7708c
- Raceway Color: MP04349 Canyon Coral

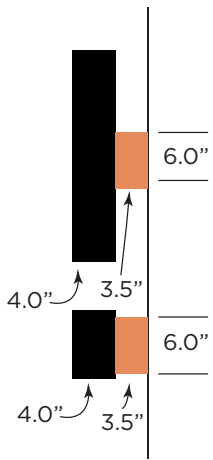
Profile View



Qty: 2



Profile View



Before



After - Day



After - Night



Before



After - Day



After - Night



Directional A



www.innovative-signs.com

Before



After - Day



Customer

Landmark Credit Union
19600 W. Bluemound Rd

Date

10/20/2023

Project Manager

Shaun R.

Order #

ISI - 12302




Designer

Brian H.

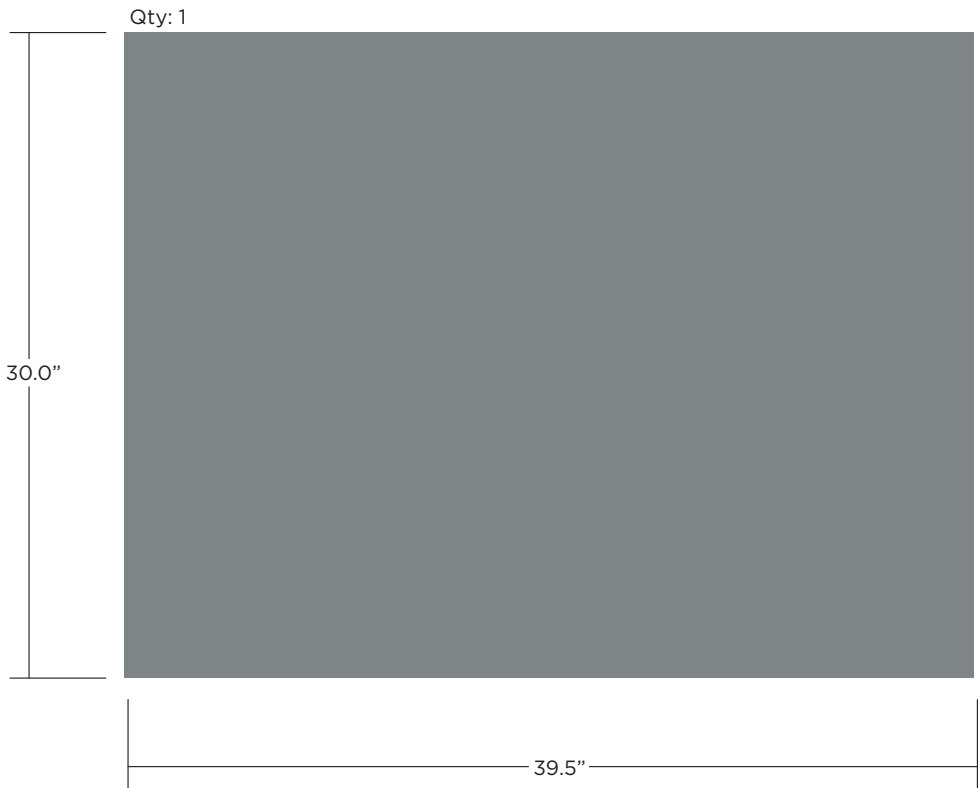
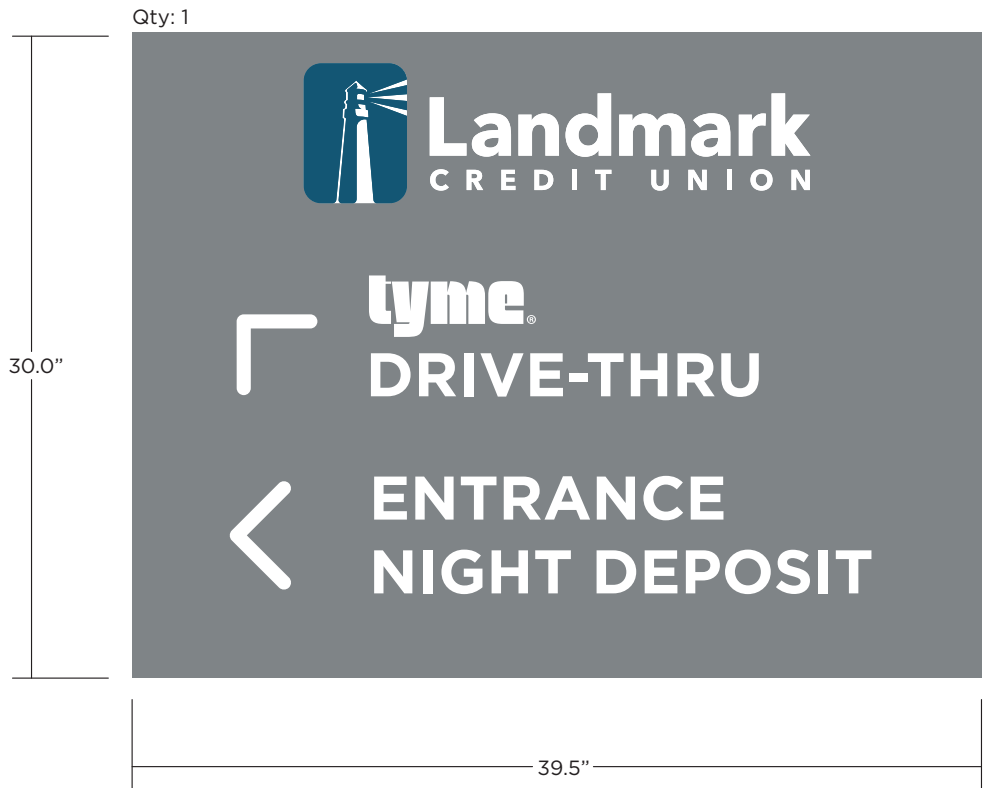
Materials & Specifics

- Directional Reface**
- 1/8" Aluminum panel painted to best match SW 7074 Software Gray
 - Digital Prints with lamination contour cut logo
 - Oracal 751-010 White Copy

Colors

-  Pantone 7708c
-  Oracal 751-010 White
-  SW 7074 Software Gray

Approval
Signature: _____



Directional B



www.innovative-signs.com

Before



After - Day



Customer

Landmark Credit Union
19600 W. Bluemound Rd

Date

10/20/2023

Project Manager

Shaun R.

Order #

ISI - 12302





Designer

Brian H.

Materials & Specifics

- Directional Reface**
- 1/8" Aluminum panel painted to best match SW 7074 Software Gray
 - Digital Prints with lamination contour cut logo
 - Oracal 751-010 White Copy
 - Oracal 751-326 Signal Red

Colors

-  Pantone 7708c
-  Oracal 751-010 White
-  SW 7074 Software Gray
-  Oracal 751-326 Signal Red

Approval
Signature: _____

Qty: 1



Qty: 1



Directional C & D



www.Innovative-Signs.com

Customer

Landmark Credit Union
19600 W. Bluemound Rd

DateProject Manager

10/20/2023Shaun R.

Order #Designer




ISI - 12302Brian H.

Materials & Specifics

Directional Reface

- 1/8" Aluminum panel painted to best match SW 7074 Software Gray
- Digital Prints with lamination contour cut logo
- Oracal 751-010 White Copy

Colors

-  Pantone 7708c
-  Oracal 751-010 White
-  SW 7074 Software Gray

Before



After - Day



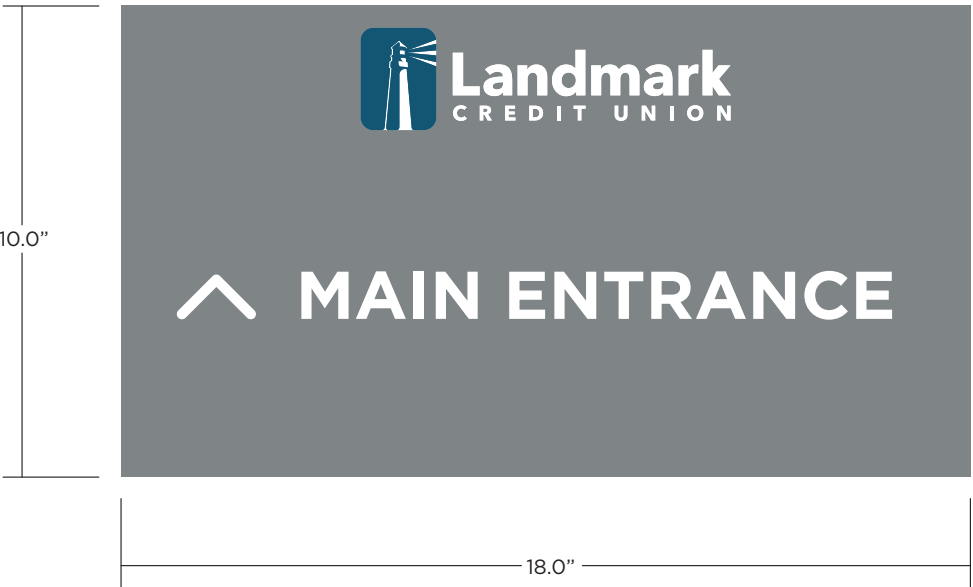
Sign C

Qty: 1



Sign D

Qty: 1



Approval
Signature: _____

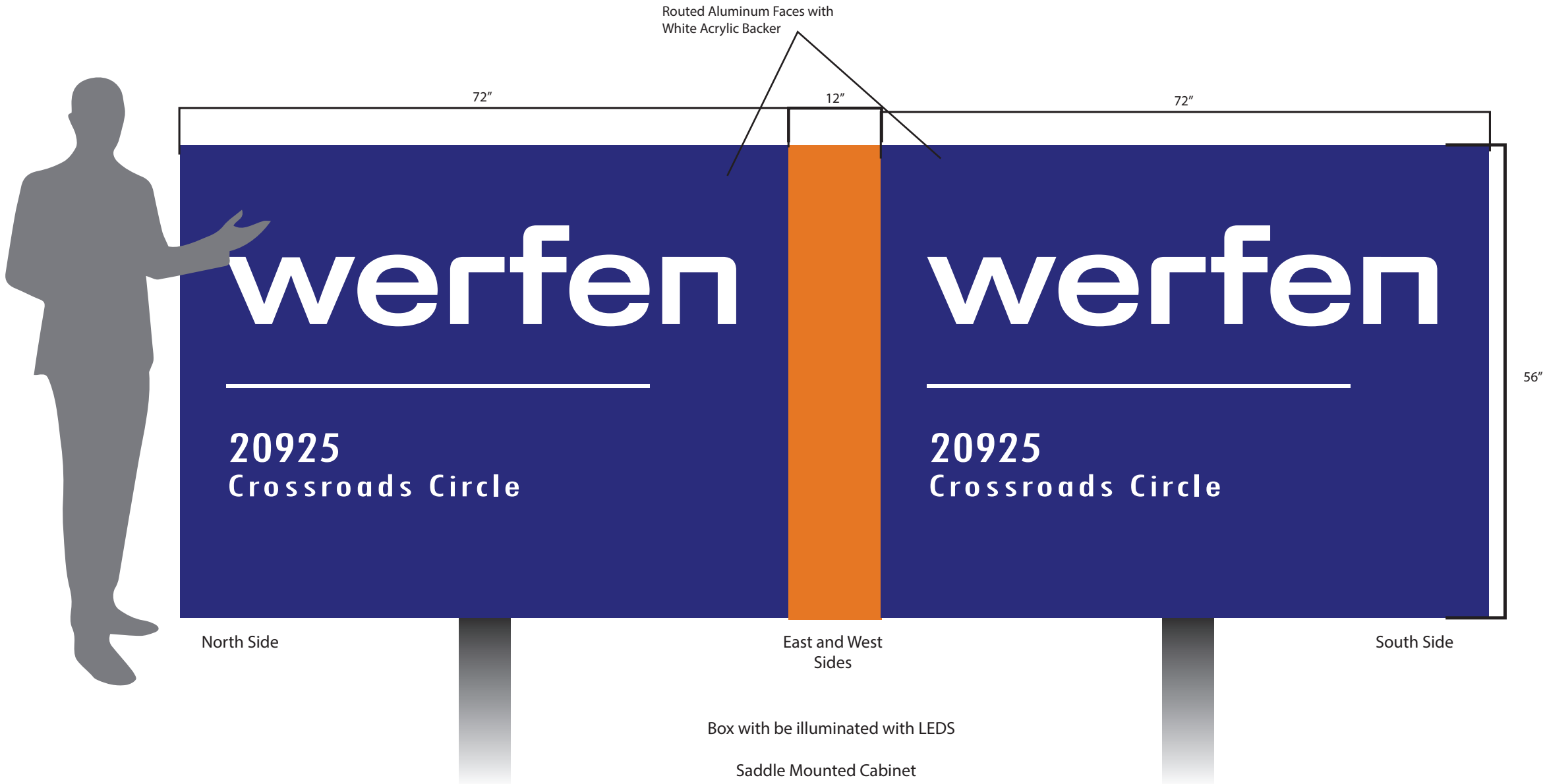
werfen

20925 CROSSROADS CIRCLE
WAUKESHA, WI 53186



21700 DORAL ROAD
WAUKESHA WI 53186
262.432.1330
www.innovative-signs.com

Flattened Elevation



www.Innovative-Signs.com

Customer

Werfen
Vertical Monument

DateProject Manager

07/28/2023Shawn H.

Order #Designer

EST - 12237Brian H.

Sq. Ft.Surveyor

36.6TBD

SidesMounting

S/S ☐ D/S ☒ Saddle Mounting

Pole ShapePole Size

☐ Square (1) 4" - O.D: 4.5"
☒ Circle Wall: 1/4"

Materials & Specifics

- Custom Monument Sign**
- Aluminum monument construction
 - Painted faces and profiles
 - Routed faces backed with white acrylic
 - 3/16" - 7328 white acrylic backing
 - Vertical monument
 - Internally illuminated - 7000k LED's

Colors

- Pantone 158c
- Pantone 2738c
- 7328 White Acrylic

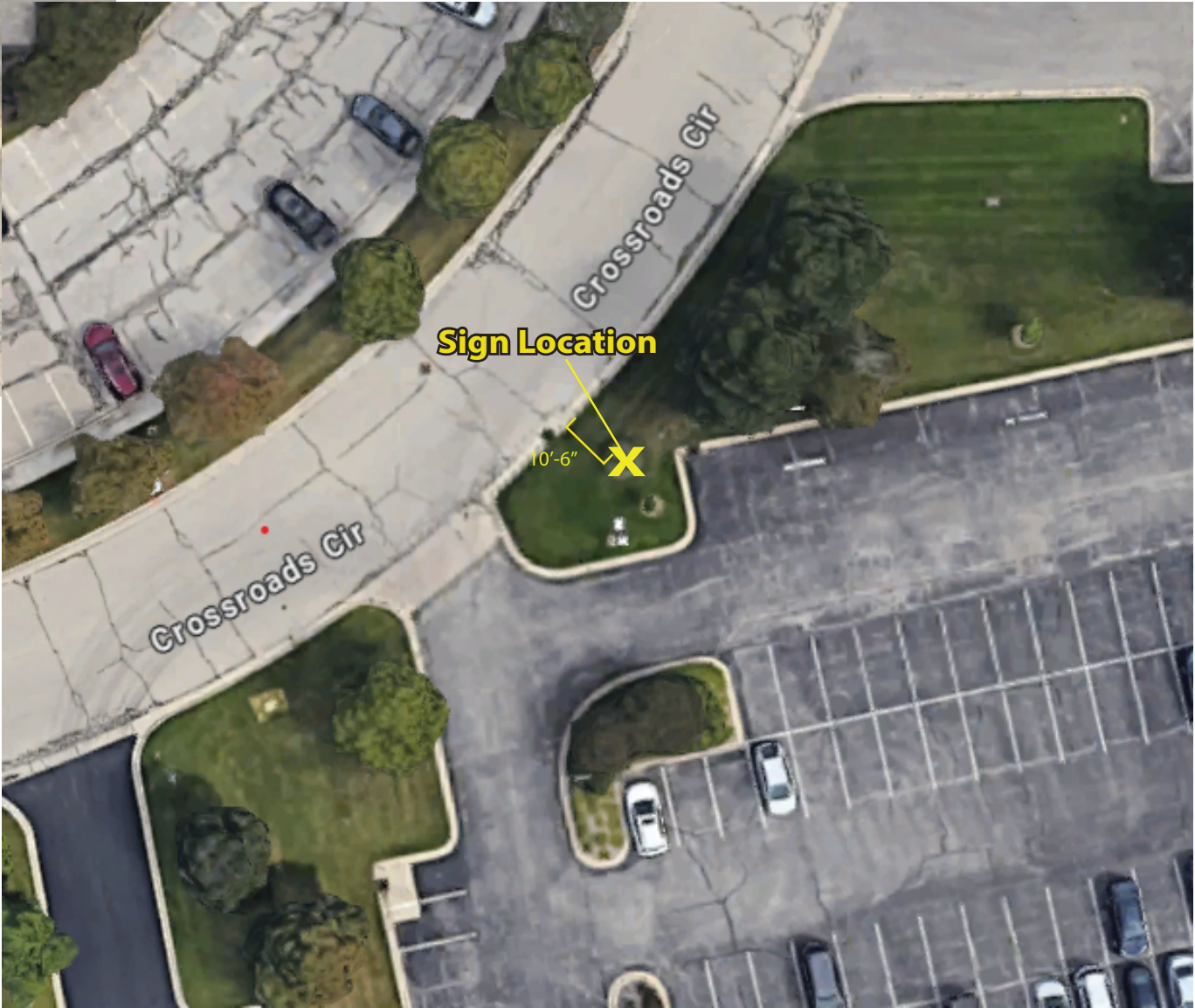
Approval
Signature: _____



Sign Location & Set Back



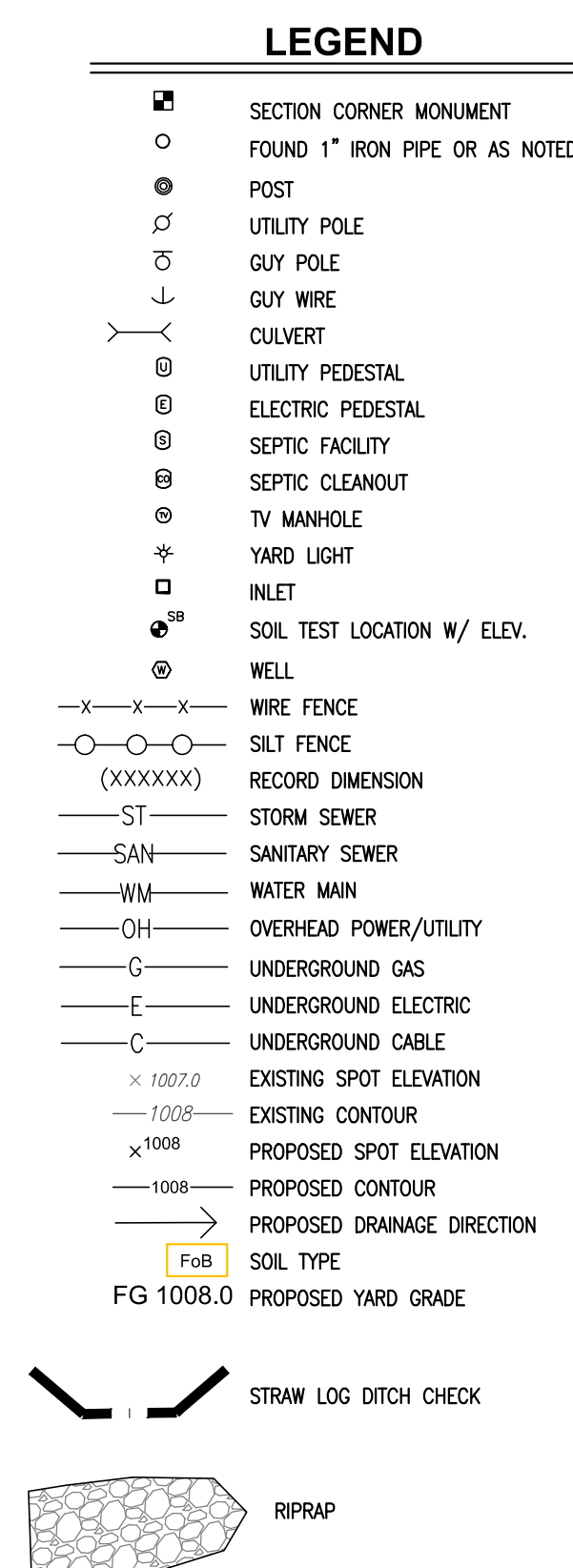
New sign will replace the existing sign shown. Set back will be the same.





Sign Location Off Setback

CONSTRUCTION PLANS
FOR
AVERY & BIRCH
21055 CROSSROADS CIRCLE
TOWN OF BROOKFIELD, WISCONSIN



NOTES:

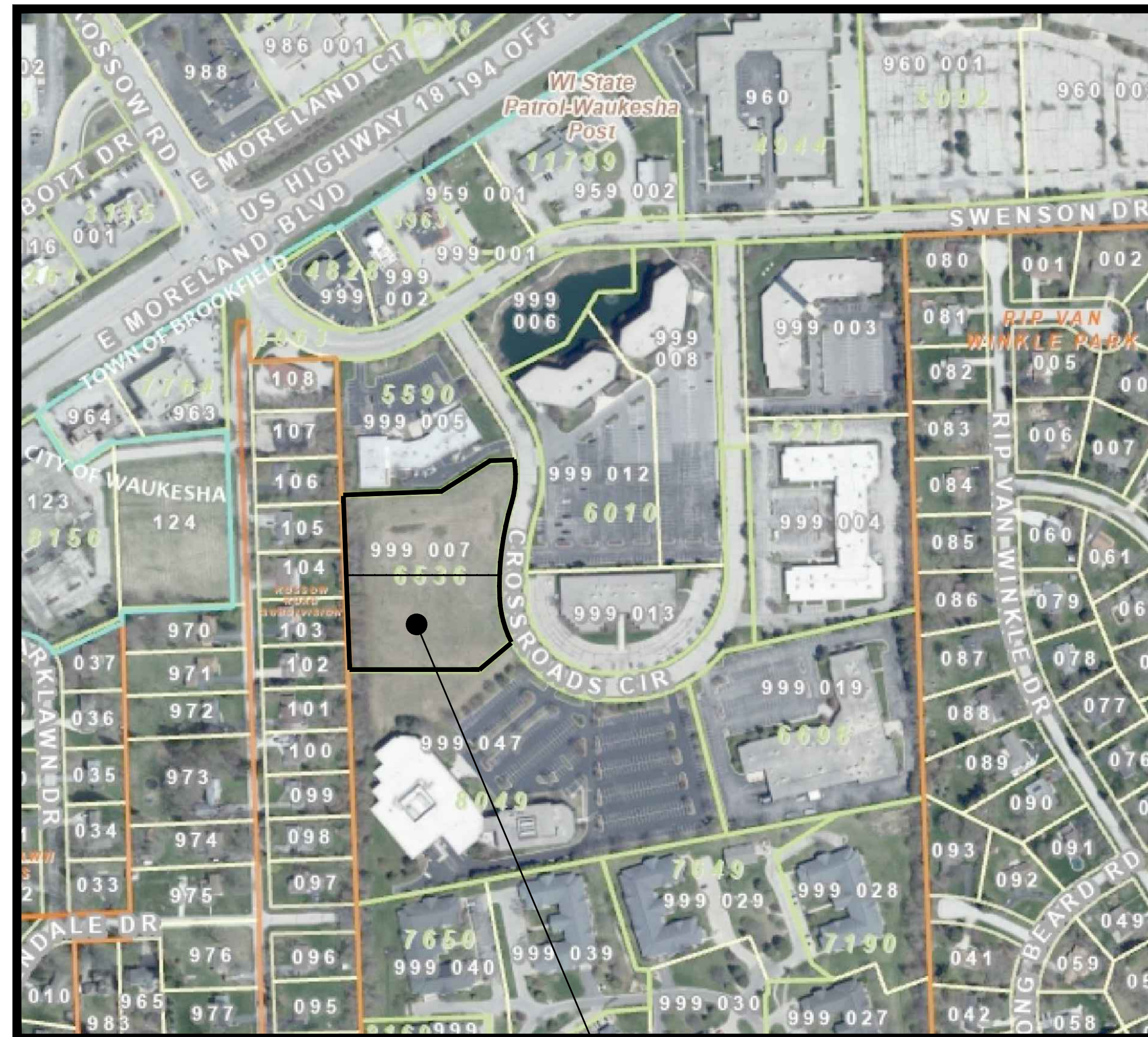
- 1) A LEGEND SHOWING SPECIAL SYMBOLS, LINE TYPES, ETC. IS SHOWN HEREON.
- 2) UNDERGROUND UTILITIES MUST BE LOCATED BY "DIGGERS HOTLINE" PRIOR TO START OF CONSTRUCTION.

GENERAL NOTES:

1. BEARINGS ARE REFERENCED TO THE CERTIFIED SURVEY MAP NO. 6536, IN WHICH WEST LINE OF THE NE 1/4 OF SEC. 31-7-20 WAS TAKEN TO BEAR S02°06'31"W.

2. Vertical datum is based on North American Vertical Datum of 1988.

3. ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CURRENT TOWN OF BROOKFIELD CONSTRUCTION STANDARDS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



| SUBJECT | PROPERTY |
|---------|----------|
| | |

| <i>DESCRIPTION</i> | <i>SHEET NO.</i> |
|---------------------------------|-------------------------|
| SITE PLAN | C100 |
| GRADING, PAVING & DRAINAGE PLAN | C200 |
| UTILITY PLAN | C300 |
| EROSION CONTROL PLAN | C400 |
| DETAILS | C500 - C501 |

DEVELOPER:
Ryan Janssen
Ryan's Buying LLC
13416 Watertown Plank Rd. #245
Elm Grove, WI 53122
Phone: 414-736-3066
Email: ryan@ryansbuying.com


ENGINEER:
Mark R. Ellena, PE
Ellena Engineering Consultants, LLC
700 Pilgrim Parkway, Suite 100
Elm Grove, WI 53122
Phone: 262-791-6183
Email: mellena@eeceng.com

SURVEYOR:
TBD

APPROVAL AGENCY:
Town of Brookfield




SCALE: 1" = 200'

| | | | |
|--|----------|--|-------------|
| <div style="text-align: center;">  <p>ELLENA ENGINEERING CONSULTANTS, LLC SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT</p> <p>700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122 Phone: 262-719-6183 Fax: 866-457-2584 Email: melлена@eeceng.com</p> </div> | DATE | | DESCRIPTION |
| | 03-22-22 | | REVIEW No.1 |
| | | | |
| | | | |
| | | | |
| | | | |

AVERY & BIRCH SALON SUITE FACILITY TOWN OF BROOKFIELD, WI

COVER SHEET



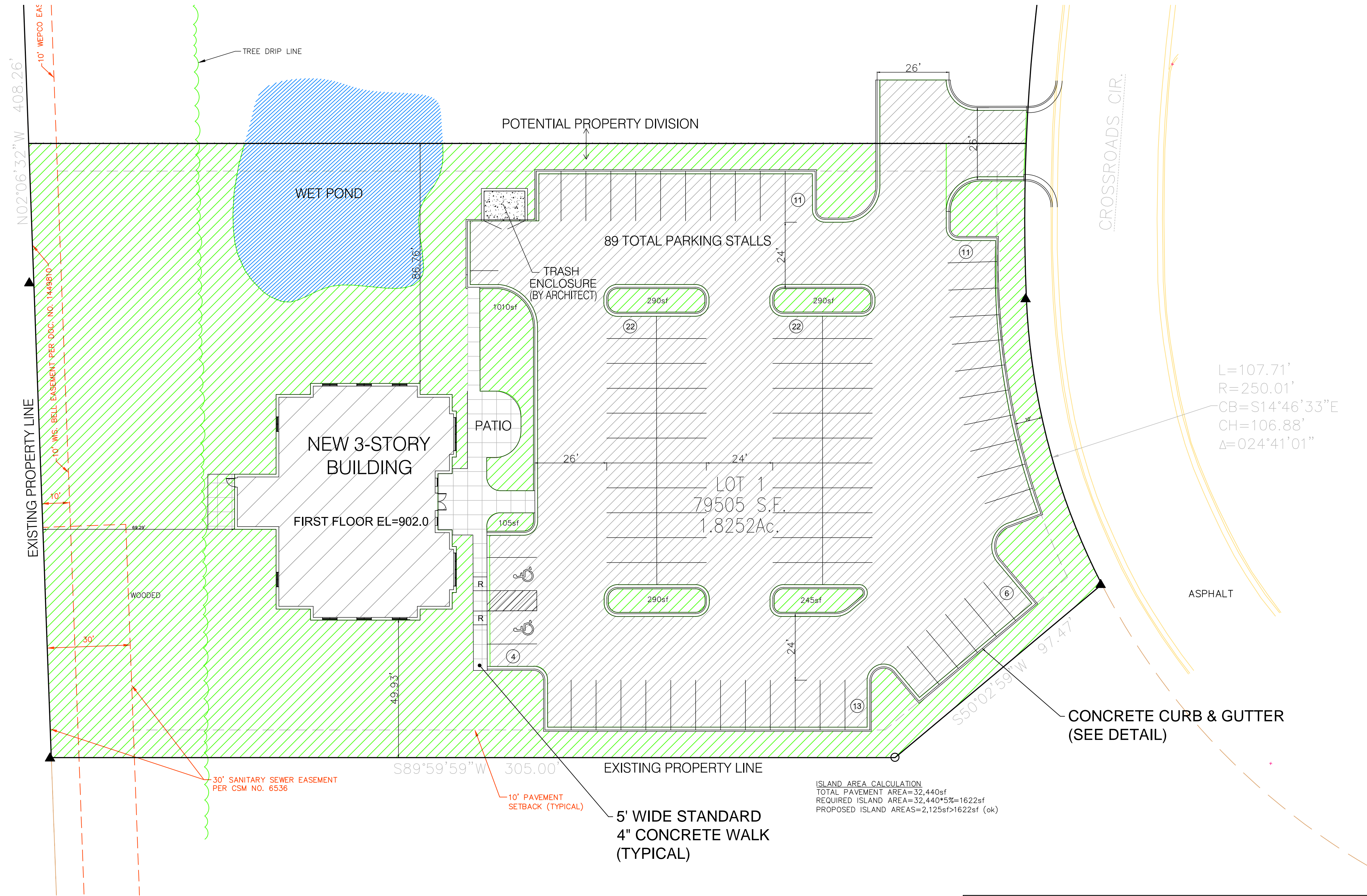
DATE: 12-22-23

BY: MARK R. ELLENA, PE

SHEET NUMBER

C000

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY EXCEL ENGINEERING.
WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS
CANNOT BE GUARANTEED NOR CERTIFIED TO.



ISLAND AREA CALCULATION
TOTAL PAVEMENT AREA=32,440sf
REQUIRED ISLAND AREA=32,440*5%=1622sf
PROPOSED ISLAND AREA=2,125sf>1622sf (ok)

| SITE DATA TABLE | | |
|---|--------------|-------------------------|
| | | PROPOSED |
| PROPERTY AREA : | | 79,505 S.F. |
| TOTAL BUILDING FLOOR AREA : | | 5,500 S.F. |
| FLOOR AREA RATIO : | | 5,500 / 79,505 = 6.9% |
| TOTAL PAVED SURFACE AREA (including concrete areas) : | | 33,860 S.F. |
| TOTAL OPEN AREA (GREEN SPACE): | | 40,145 S.F. |
| LANDSCAPE SURFACE AREA RATIO | | 40,145 / 79,505 = 50.5% |
| LOT COVERAGE RATIO | | 49.5% |
| TOTAL PARKING : | REQUIRED: 88 | PROVIDED: 89 |

AVERY & BIRCH SALON SUITE FACILITY
TOWN OF BROOKFIELD, WI

SITE PLAN

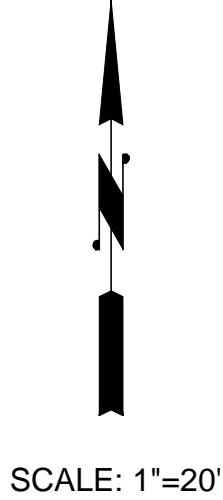


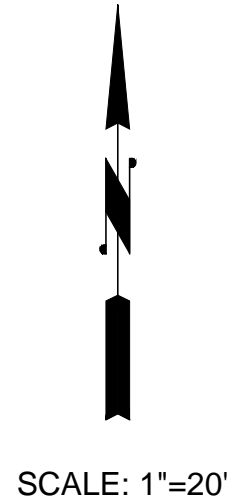
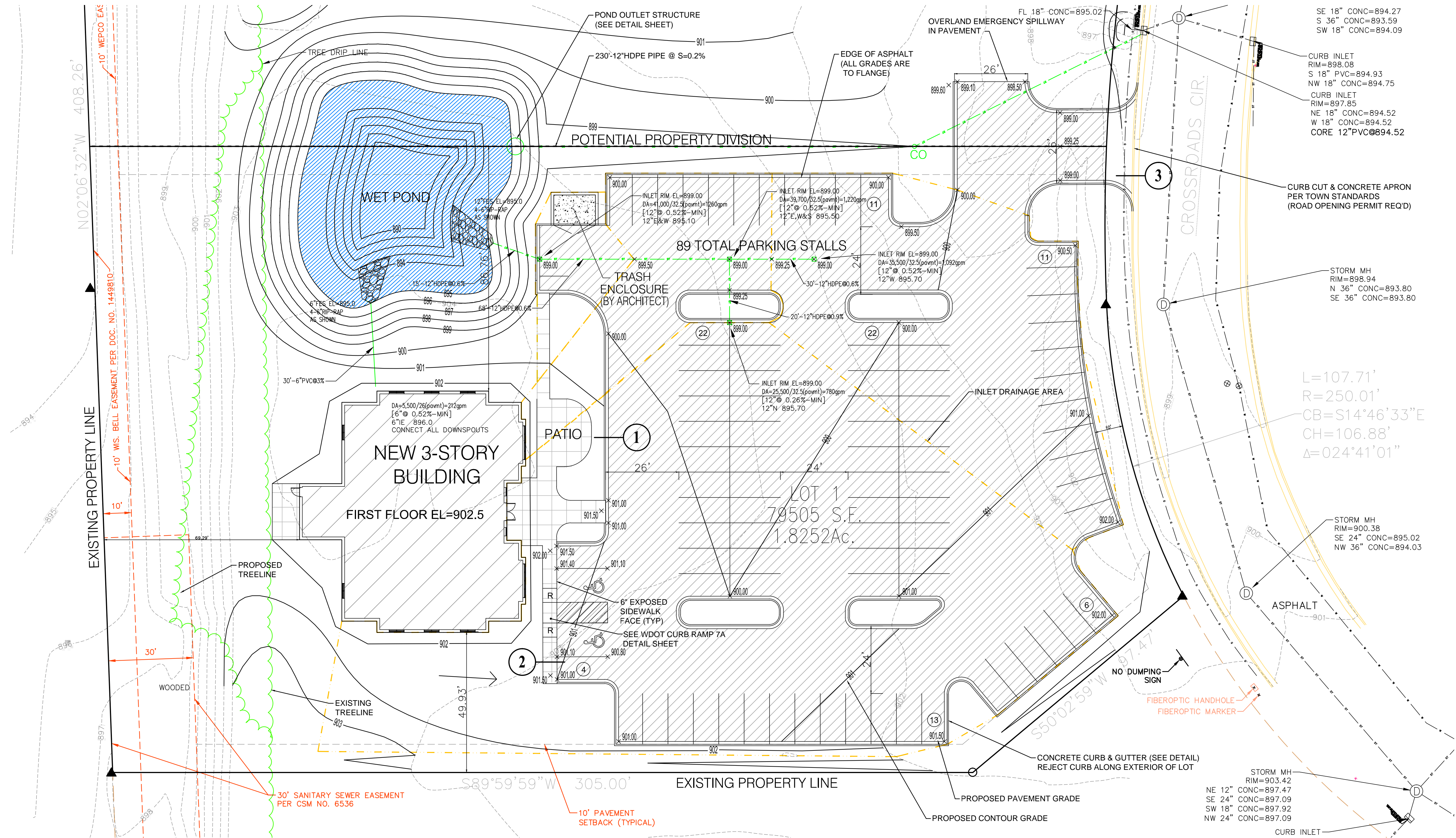
DATE: 12-22-23
BY: MARK R. ELLENA, PE
SCALE: 1"=20'

SHEET NUMBER
C100

| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |
| | |
| | |
| | |
| | |
| | |

EEC
ELLENA ENGINEERING CONSULTANTS, LLC
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellenae@eeceng.com





GENERAL SPECIFICATIONS FOR PRIVATE STORM SEWER:

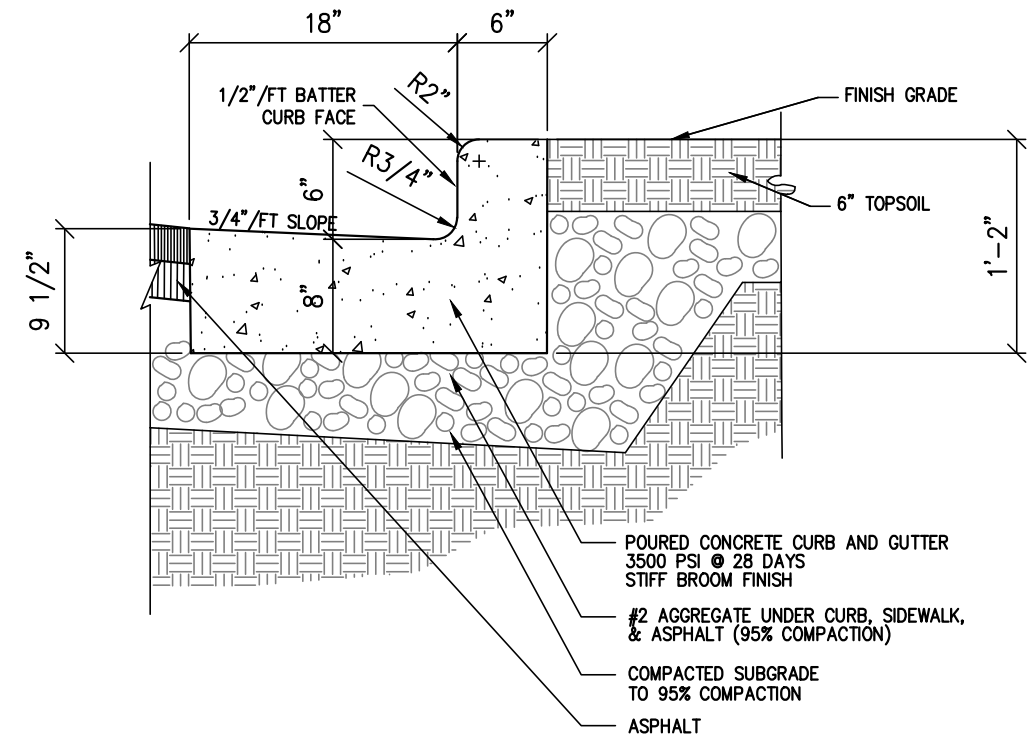
- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition, and the Town Ordinances and the State of Wisconsin Standard Specifications for Sewer and Water Construction in Wisconsin.
- The private storm sewer design, permitting, construction, installation, supervision, maintenance, inspection AND testing shall be in accordance with the Town of Brookfield Plumbing Inspection Department and the State of Wisconsin, Chapter SPS 382. All permits must be obtained by the contractor prior to commencing work.
- Private Storm Sewers shall be PVC (solid wall), DR-26 OR HDPE, per the State of Wisconsin Plumbing Code, Chapter SPS 382. Storm inlets shall be precast concrete box structures in accordance with File No. 29 of the Standard Specifications for Sewer & Water Construction in Wisconsin with a Neenah No. R3227-C frame & grate or approved equal.
- Private Storm Pond Outlet manhole shall be precast concrete in accordance with File No. 26 of the Standard Specifications for Sewer & Water Construction in Wisconsin with a Neenah No. R2471 frame & grate or approved equal.

GENERAL CONSTRUCTION SPECIFICATIONS:

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtained by the contractor prior to commencing work.
- All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
- All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
- All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
- The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
- The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
- Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
- Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
- Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
- All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.

PAVEMENT LEGEND:

STANDARD DUTY PAVEMENT
4" ASPHALT PAVEMENT
(2 LIFTS)
8" - 3/4" GRAVEL BASE



CONCRETE CURB & GUTTER

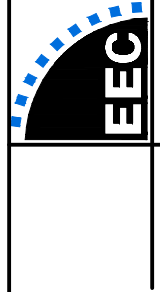
NO SCALE

NOTE: ALL UNDERGROUND CONTRACTOR ARE REQUIRED TO FIELD LOCATE EXISTING UTILITIES, STORM SIZE & INVERT PRIOR TO CONSTRUCTION. OBTAIN ALL TOWN OF BROOKFIELD PERMITS PRIOR TO CONSTRUCTION.

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PREPARED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

NOTE: THIS GRADING PLAN MUST BE APPROVED BY THE TOWN ENGINEER AND BUILDING INSPECTOR.

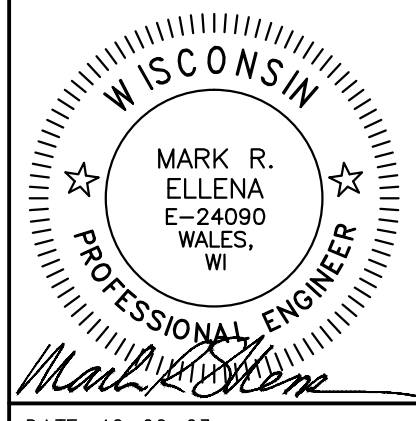
| DATE | DESCRIPTION |
|------|-------------|
| | |
| | |
| | |
| | |
| | |



ELLENA ENGINEERING CONSULTANTS, LLC
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@eeceng.com

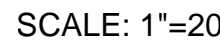
AVERY & BIRCH SALON SUITE FACILITY
TOWN OF BROOKFIELD, WI

GRADING, PAVING & DRAINAGE PLAN



DATE: 12-22-23
BY: MARK R. ELLENA, P.E.
SCALE: 1"=20'

SHEET NUMBER
C200



C300

[illegible]

- a. Permanent Vegetation (before September 15):
 - i. Seeding: Prepare seedbed and sow seeds per the rates and mixes of Wisconsin Department of Transportation (WisDOT) Roadway Standard Section 630.
 - ii. Erosion Control: Immediately apply mulch, erosion control matting, or other permanent stabilization BMPs as specified in the approved erosion control plans per DNR technical standards.
 - iii. Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full vegetative cover is obtained, and repair any erosion problems, wash cuts, etc.
- b. Temporary Vegetation (September 15 – October 15):

stabilization BMPs as specified below, following DNR technical standards. The approved plans may be more restrictive:

1. Channel Flow (roadside swales, etc.) and Backslopes: Slope erosion matting over all the entire channel cross-section and all backslopes using a minimum WisDOT Erosion Control Product Acceptability (PAL) Class 3 Type A matting, unless otherwise called for in the approved plan.
2. Other disturbed areas: Apply Type B Soil Stabilizer, mulch and tackifier from the WisDOT Product Acceptability List to all disturbed areas that remain exposed.
3. Inlets/Outfalls: Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion

i. Seeding Rate: Same seed mix as subsection (b) (including temporary cover crop except the rates for perennial species must applied at 1.5 x WisDOT section 630 rates (apply rates of 3-5 lbs./1000 sq.ft.).


II. Erosion Control:

1. Channel Flow (roadside swales, etc.) and Backslopes: Apply Type A soil stabilizer and stone. PAL Class 3 Type A erosion matting over the entire channel and all backslopes.
2. Other Areas: Apply Type A Soil Stabilizer from the WisDOT Product Acceptability List to all other disturbed areas that remain exposed.
3. Inlets/Outfalls: Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion locations in accordance with County standards.


iii. Maintenance: inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash out etc.

If construction schedules should change significantly, this plan narrative will be updated and resubmitted.

1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtain by the contractor prior to commencing work.
2. All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
3. All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
4. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
5. The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
6. The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
7. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
8. Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
9. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
10. All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.

 **ELLENA ENGINEERING CONSULTANTS, LLC**
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT

700 Pilgrim Parkway - Suite 100, Elm Grove, WI 53122
Phone: 262-779-6183 Fax: 866-457-2584 Email: mellena@eeceng.com




DATE: 12-22-23

BY: MARK R. ELLENA, PE

SCALE: 1"=20'

SHEET NUMBER
C400



DATE: 12-22-23

BY: MARK R. ELLENA, PE

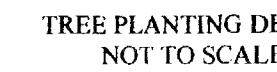
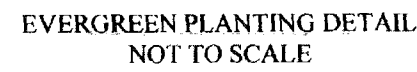
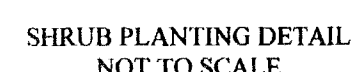
SCALE: 1"=40'

SHEET NUMBER

C500

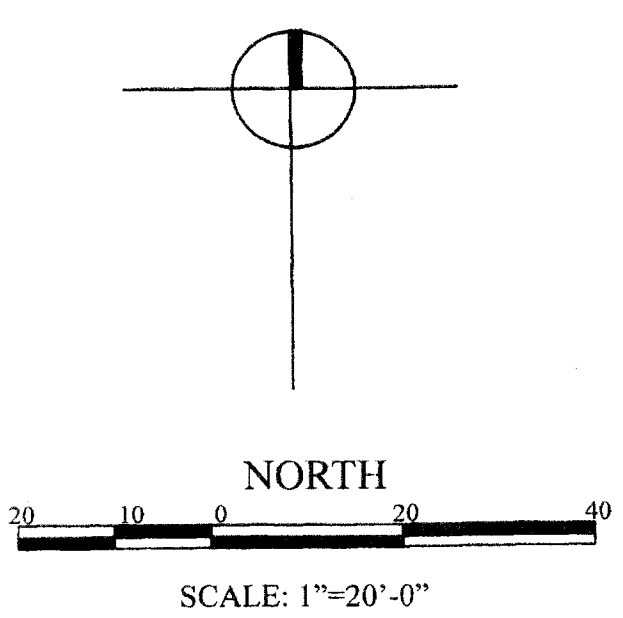
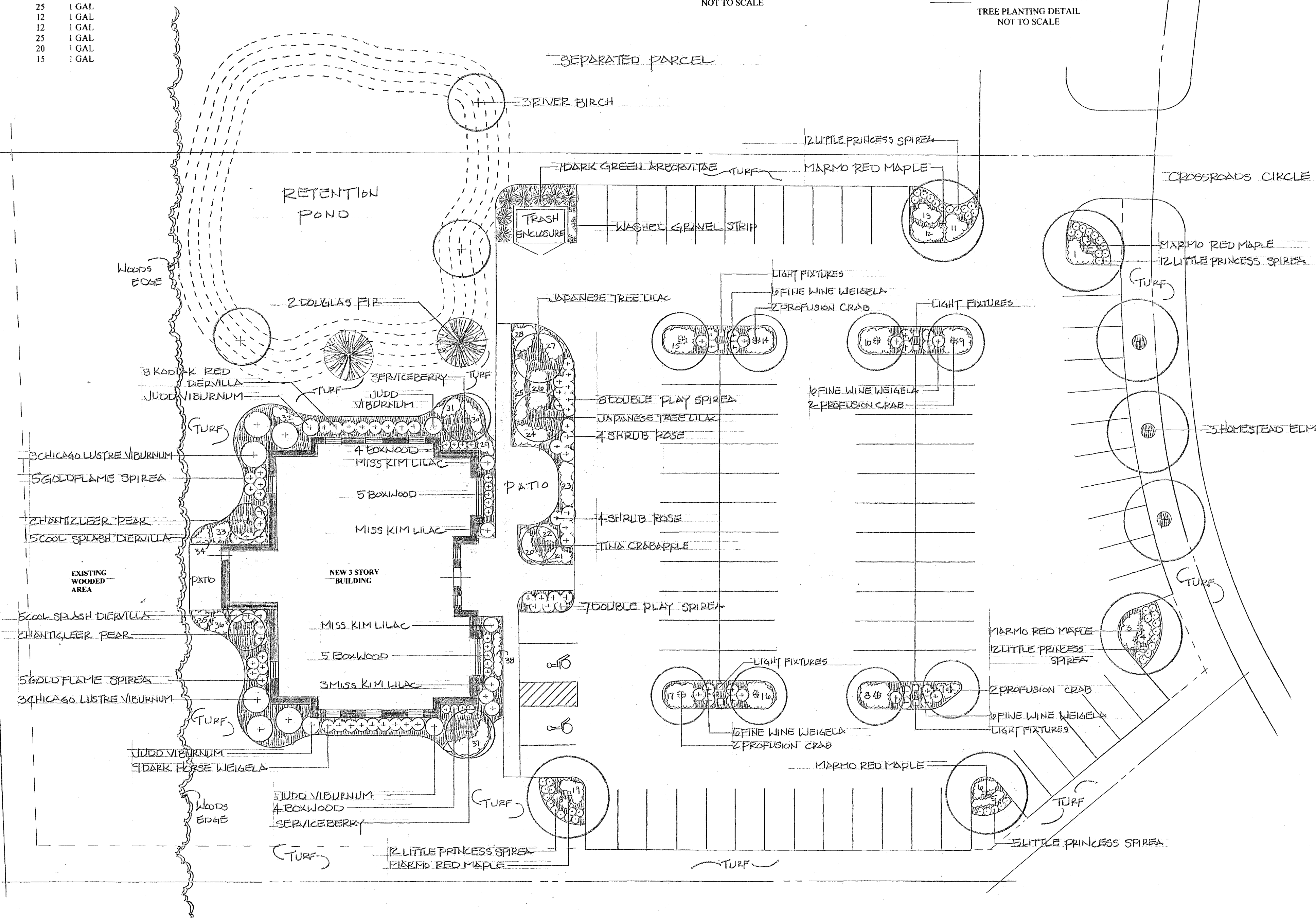
| # | BOTANICAL NAME | COMMON NAME | QTY | SIZE |
|----|----------------------------------|--------------------|-----|--------|
| 1 | HEMEROCALLIS SP. 'STELLA DE ORO' | DAYLILY | 10 | 1 GAL. |
| 2 | PEROVSKIA ATRIPICIFOLIA | RUSSIAN SAGE | 4 | 1 GAL. |
| 3 | HEMEROCALLIS SP. 'STELLA DE ORO' | DAYLILY | 15 | 1 GAL. |
| 4 | PEROVSKIA ATRIPICIFOLIA | RUSSIAN SAGE | 4 | 1 GAL. |
| 5 | PEROVSKIA ATRIPICIFOLIA | RUSSIAN SAGE | 6 | 1 GAL. |
| 6 | HEMEROCALLIS SP. 'STELLA DE ORO' | DAYLILY | 10 | 1 GAL. |
| 7 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 8 | 1 GAL. |
| 8 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 15 | 1 GAL. |
| 9 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 15 | 1 GAL. |
| 10 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 15 | 1 GAL. |
| 11 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 12 | 1 GAL. |
| 12 | HEMEROCALLIS SP. 'ROSEY RETURNS' | DAYLILY | 15 | 1 GAL. |
| 13 | ECHINACEA SP. 'PIXIE MEADOWBRIT' | CONEFLOWER | 12 | 1 GAL. |
| 14 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 15 | 1 GAL. |
| 15 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 15 | 1 GAL. |
| 16 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 15 | 1 GAL. |
| 17 | RUDBECKIA 'VIETTES LITTLE SUZY' | BLACKEYED SUSAN | 15 | 1 GAL. |
| 18 | PEROVSKIA ATRIPICIFOLIA | RUSSIAN SAGE | 5 | 1 GAL. |
| 19 | HEMEROCALLIS SP. 'ROSEY RETURNS' | DAYLILY | 15 | 1 GAL. |
| 20 | GERANIUM SANG. 'MAX FREI' | PERENNIAL GERANIUM | 10 | 1 GAL. |
| 21 | LEUCANTHEMUM SP. 'DAISY MAY' | DAISY | 10 | 1 GAL. |
| 22 | HEUCHERA SP. 'PALACE PURPLE' | CORAL BELLS | 12 | 1 GAL. |
| 23 | PANICUM VIRGATUM 'SHENANDOAH' | RED SWITCH GRASS | 12 | 1 GAL. |
| 24 | GERANIUM SANG. 'MAX FREI' | PERENNIAL GERANIUM | 15 | 1 GAL. |
| 25 | HEMEROCALLIS SP. 'ROSEY RETURNS' | DAYLILY | 18 | 1 GAL. |
| 26 | SEDUM SPECTABILE 'NEON' | NEON SEDUM | 12 | 1 GAL. |
| 27 | LEUCANTHEMUM SP. 'DAISY MAY' | DAISY | 10 | 1 GAL. |
| 28 | GERANIUM SANG. 'MAX FREI' | PERENNIAL GERANIUM | 10 | 1 GAL. |
| 29 | GERANIUM SANG. 'MAX FREI' | PERENNIAL GERANIUM | 12 | 1 GAL. |
| 30 | HEUCHERA SP. 'PALACE PURPLE' | CORAL BELLS | 12 | 1 GAL. |
| 31 | HOSTA SP. 'SUM AND SUBSTANCE' | HOSTA | 8 | 1 GAL. |
| 32 | HOSTA SP. 'SUM AND SUBSTANCE' | HOSTA | 8 | 1 GAL. |
| 33 | ALLIUM 'SUMMER BEAUTY' | ALLIUM | 25 | 1 GAL. |
| 34 | COREOPSIS SP. 'JETHRO TULL' | COREOPSIS | 12 | 1 GAL. |
| 35 | COREOPSIS SP. 'JETHRO TULL' | COREOPSIS | 12 | 1 GAL. |
| 36 | ALLIUM 'SUMMER BEAUTY' | ALLIUM | 25 | 1 GAL. |
| 37 | HEUCHERA SP. 'PALACE PURPLE' | CORAL BELLS | 20 | 1 GAL. |
| 38 | HEMEROCALLIS SP. 'ROSEY RETURNS' | DAYLILY | 15 | 1 GAL. |

| QTY | BOTANICAL NAME | COMMON NAME | SIZE |
|-----|-----------------------------------|--------------------------------|--------|
| 5 | ACER FREEMANII 'MARMO' | MARMO RED MAPLE | 2 1/2" |
| 2 | AMELANCHIER CANADENSIS | SERVICEBERRY | 8" |
| 2 | BETULA NIGRA | RIVER BIRCH | 24" |
| 18 | BUXUS 'CHICAGOLAND GREEN' | BOXWOOD | 24" |
| 10 | DIERVILLA 'COOL SPLASH' | COOL SPLASH RIVERBIRCH | 24" |
| 8 | DIERVILLA 'KODIAK RED' | KODIAK RED DIERVILLA | 24" |
| 8 | MALUS SP. 'PROFUSION' | PROFUSION CRABAPPLE | 2" |
| 1 | MALUS SP. 'TINA' | TINA CRABAPPLE | 2" |
| 1 | PSEUDOTSUGA MENZIESII | DUGLAS FIR | 7-8" |
| 2 | PYRUS CALLERYANA 'CHANTICLEER' | CHANTICLEER PEAR | 2 1/2" |
| 8 | ROSA SP. 'KNOCK OUT PINK DOUBLE' | SHRUB ROSE | 5 GAL |
| 10 | SPIREEA X BUMALDA 'GOLDFAME' | GOLDFAME SPIREA | 18-24" |
| 15 | SPIREEA X JAP. 'DOUBLE PLAY PINK' | DOUBLE PLAY PINK SPIREA | 18-24" |
| 6 | SPIREEA 'LITTLE PRINCESS' | LITTLE PRINCESS SPIREA | 18-24" |
| 2 | SYRINGA PATULA 'MISS KIM' | MISS KIM LILAC | 24" |
| 2 | SYRINGA RETICULATA 'IVORY SILK' | IVORY SILK JAPANESE TREE LILAC | 2" |
| 7 | THUJA OCCIDENTALIS 'NIGRA' | DARK GREEN ARBORVITAE | 5" |
| 3 | ULMUS CARPINIFOLIA 'HOMESTAD' | HOMESTAD ELM | 2 1/2" |
| 1 | WEIGELA 'DENT. CHICAGO LUSTRE' | DENTED WEIGELA VIBURNUM | 6" |
| 1 | VIBURNUM X JUDDII | JUDD VIBURNUM | 16" |
| 2 | WEIGELA FLORIDA 'DARK HORSE' | DARK HORSE WEIGELA | 24" |
| 24 | WEIGELA FLORIDA 'FINE WINE' | FINE WINE WEIGELA | 24" |



NOTE:
GRADE AND SEED ALL OPEN
AREAS NOT MULCHED OR
HARDCAPPED. SEED MIX TO
BE REINDERS LANDSCAPE
40 LAWN SEED MIX (OR EQUAL)
INSTALLED AT 150-200 LB/ACRE
(ROTARY OR DROP SEED
APPLICATION)
28% Kentucky Bluegrass
6% Named Kentucky Bluegrass
6% Named Kentucky Bluegrass
25% Creeping Red Fescue
15% Wicked Perennial Ryegrass
20% Annual Ryegrass
MOWING HEIGHT 2-3"
FERTILIZE APPLICATION
2-3/YR.

- NOTES AND SPECIFICATIONS**
1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH CITY, VILLAGE OR OTHER LOCAL LANDSCAPING OR CONSTRUCTION SPECIFICATIONS
 2. ALL INDIVIDUAL TREES TO RECEIVE 3" MIN. SHREDDED HARDWOOD BARK MULCH IN
4 1/2" DIAMETER WOOD RING.
 3. ALL PLANTING BEDS TO RECEIVE 3" MIN. SHREDDED BARK MULCH.
ALL PLANTING BEDS TO BE SPADE EDGED.
 4. ALL PLANT MATERIAL TO BE OF SPECIFIC QUALITY AND MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, WHICH IS PUBLISHED BY THE ANA (AMERICAN ASSOCIATION OF NURSERYMEN).
 6. ALL PLANTS (UNLESS OTHERWISE SPECIFIED) ARE TO BE BALLED & BURLAPPED OR IN A PAPER COATED CONTAINER STOCK
 7. ALL TREE, SHRUB BACK FILL MIX TO BE:
4 PARTS CLEAN PULVERIZED TOPSOIL
1 PART MUSHROOM COMPOST
 8. ALL PERENNIAL PLANTING MIX TO BE:
3 PARTS CLEAN PULVERIZED TOPSOIL
1 PART MUSHROOM COMPOST
1 PART SAND
40 # / 100 SF CYSPUM
(TILL 2" OF THIS MIX IN 6-8" DEEP)
 9. CONTRACTOR TO SUBMIT IN WRITING TO PROPERTY OWNERS, A ONE YEAR-100% GUARANTEE TO COMMENCE ON THE DAY OF PROJECT COMPLETION.
 10. CONTRACTOR RESPONSIBLE FOR CALLING DIGGERS HOTLINE 1-800-242-8511 TO LOCATE ALL UTILITIES PRIOR TO STARTING PROJECT
 11. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED FOR PROJECT INSTALLATION.
 12. CONTRACTOR TO ADJUST PLANTINGS FOR UNDERGROUND UTILITY LINES, ESCAPES, WINDOWS, CONDENSERS AND UTILITY METERS AND OVERHEAD UTILITY LINES.

[illegible]

AVERY AND BIRCH BEAUTY STUDIOS
21055 CROSSROADS CIRCLE
BROOKFIELD, WI 53186
DECEMBER 21, 2023
BY:SLS

**SCHIEL &
ASSOCIATES**

**LANDSCAPE DESIGN
RESIDENTIAL AND COMMERCIAL
LOW VOLTAGE OUTDOOR LANDSCAPE LIGHTING**

Phone: (815) 482-8187
E-mail: scheelandassociates@gmail.com
© Scheel and Associates 2023

SITE LANDSCAPING



Avery and Birch
beauty studios



in.studio
architecture

Avery and Birch
beauty studios

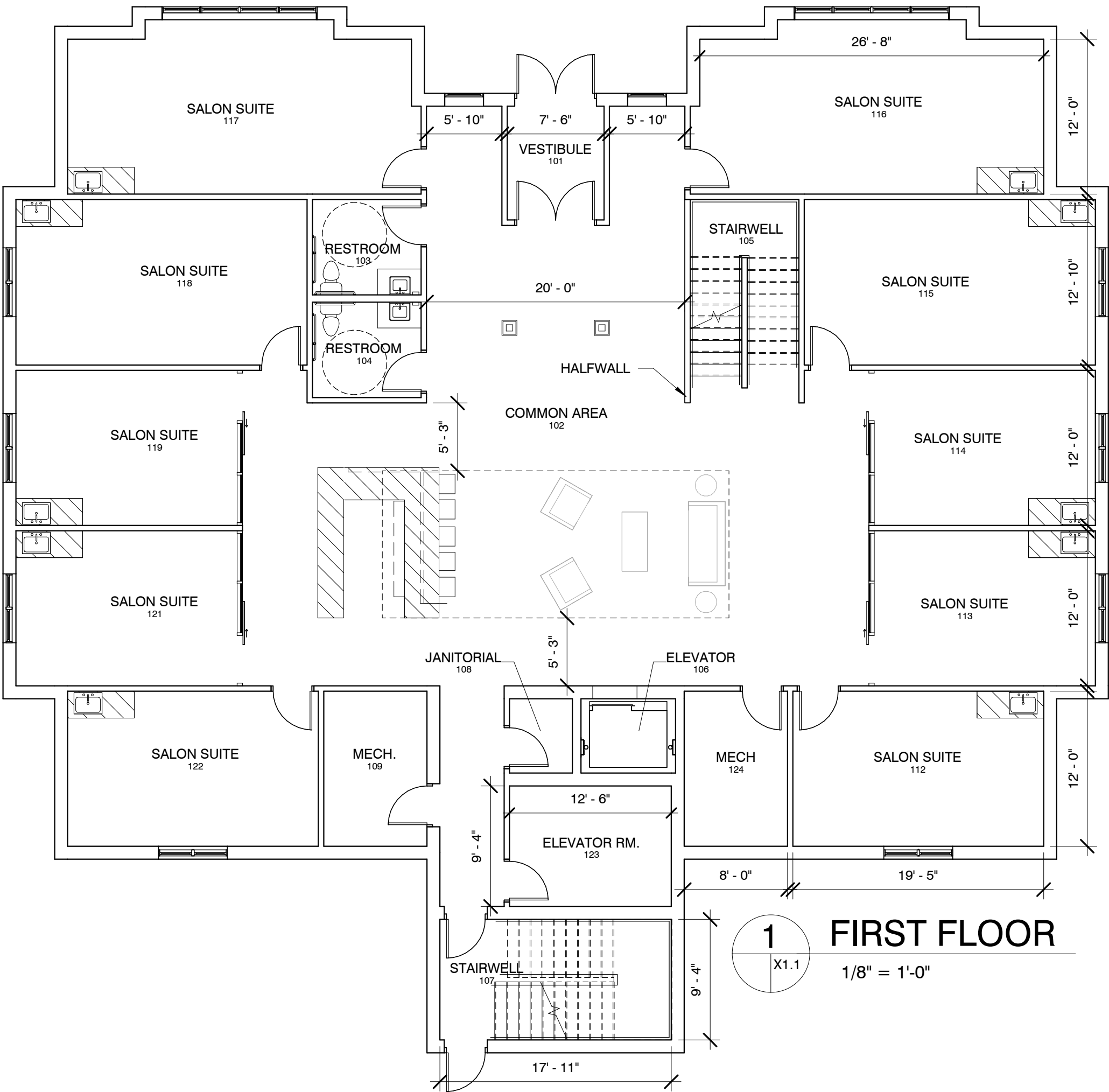


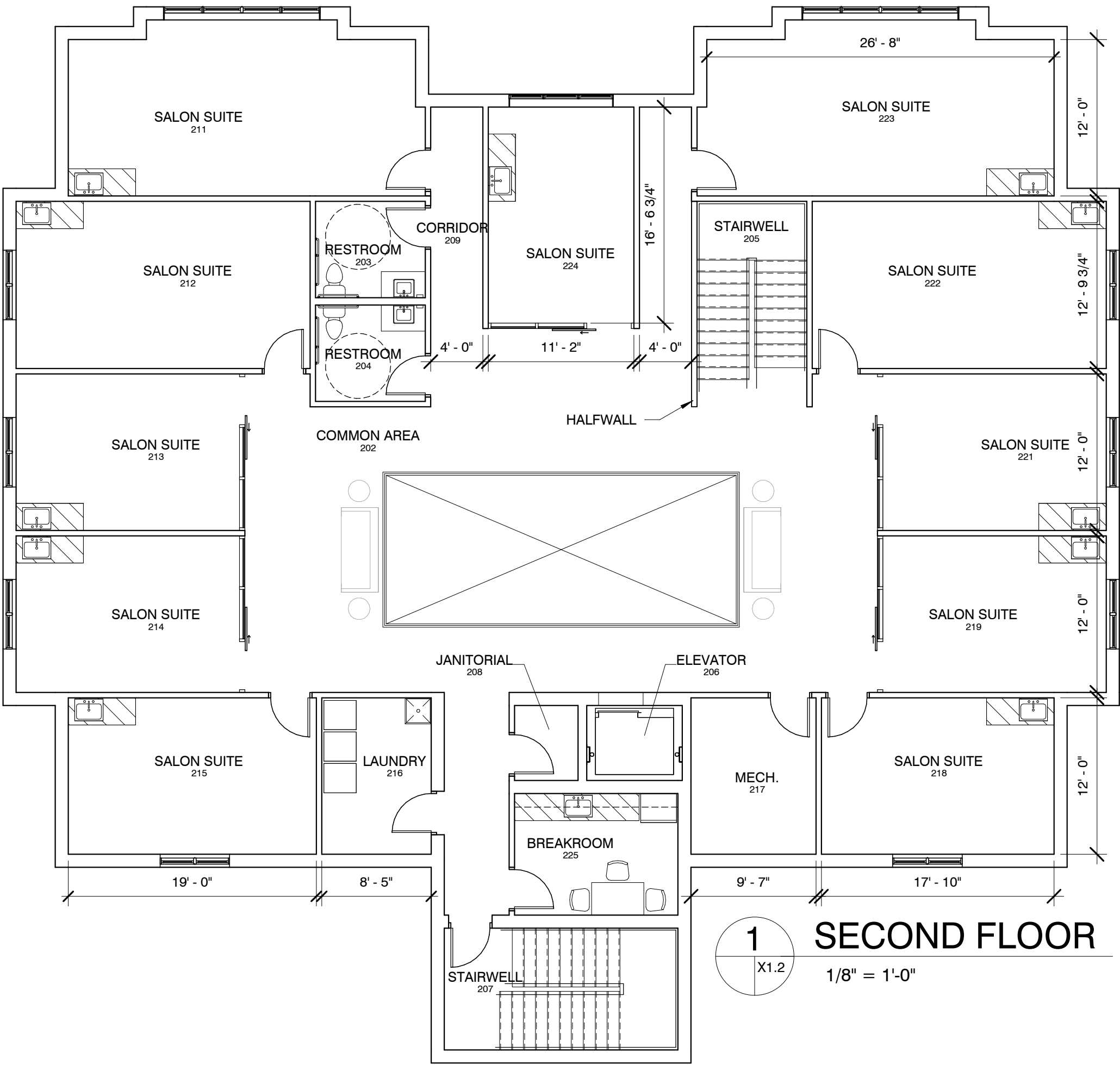
in.studio
architecture

Avery and Birch
beauty studios



m.studio
architecture





1 SECOND FLOOR
X1.2
1/8" = 1'-0"

