

**Town of Brookfield**  
645 N. Janacek Road  
Brookfield, WI 53045  
(P) 262-796-3788  
(F) 262-796-0339



## **MEETING NOTICE**

Meeting will be held at the  
Town of Brookfield Municipal Building, Eric Gnant Room  
645 N. Janacek Road, Brookfield, WI

**Wednesday, April 10, 2024**

### **Architectural Review Committee**

**6:00 p.m**

### **AGENDA**

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
- a. March 13, 2024 Meeting Minutes
- 5) Old Business:
  - a. None.
- 6) New Business:
  - a. Keith Hueffner, representing Master Spa Warehouse, for review and recommendation of preliminary approval for a new warehouse building for the property located at 21675 Doral Rd.
  - b. Scott Bence (JBJ Develop, L.P.) is requesting a recommendation for preliminary and final approval of the continuation of the Eagles Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016).
- 7) Communication and Announcements.
- 8) Adjourn.

*Posted this 7th day of March, 2024*  
*Bryce Hembrook*  
*Town Planner*

TOWN OF BROOKFIELD  
ARCHITECTURAL REVIEW COMMITTEE MINUTES  
MARCH 13, 2024

**The regular meeting of the Architectural Review Committee was held in the Erich Gnant Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.**

1) CALL TO ORDER.

Chairman Dean Pearson called the meeting to order at 6:00 p.m. with the following people present: Town Planner Bryce Hembrook; Town Supervisors Steve Kohlmann, and John Charlier; Committee members Alan Lee, and Matt Paris. Richard Diercksmeier was absent and excused.

2) MEETING NOTICES.

Planner Hembrook reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA.

Motion by Supervisor Charlier approve the agenda.

Seconded by Supervisor Kohlmann.

*Motion carried unanimously.*

4) APPROVAL OF MINUTES.

Motion by Supervisor Charlier to approve the minutes of the February 14, 2024 minutes as presented.

Seconded by Committee Member Lee.

*Motion carried unanimously.*

5) Old Business:

- a. None.

6) New Business:

- a. Scott Boese (Bauer Sign & Lighting), representing Strive Integrative Health, is requesting approval for a wall mounted sign, located at 19555 West Bluemound Road, Suite 14.

Planner Hembrook presented the item as follows: The sign is proposed to be an internally illuminated, wall mounted white channel sign above their entrance. It is proposed to be approximately 23.98 square feet, which meets the 24 square feet allowed by code. The occupant has 30 lineal feet of storefront. The proposed sign appears to meet all sign code requirements, and appears proportional to existing adjacent signs.

Motion by Committee Member Paris to **approve** a wall mounted sign for Strive Integrative Health, located at 19555 West Bluemound Road, Suite 14.

Seconded by Supervisor Charlier.

*Motion carried unanimously.*

- b. Max Grossman (Last Mile Investments), representing Galleria West, is requesting approval for permanent signage for a multi-tenant monument sign, located at 18900 West Bluemound Road.

Hembrook described a previous approval of signage in November of 2023, for a large multi-tenant monument sign, and a freestanding directional sign, and conditions, including that the sign will need to be located on the subject property and meet the 5' setback requirement, or receive a variance. Hembrook reported that the applicant is currently going through the process of a Certified Survey Map and a vacation of right-of way (ROW) for the southern frontage road. This would extend the property line to the south, and proposed location of the new signage would meet the 5-foot setback from the property line. The previously approved sign was proposed to be 20' in height and 10' wide, and the Committee approved a height and sign display area exception for this sign. The height and width are the same for this proposed sign. There are additional tenant panels, from 14 to 19, with smaller tenant panels. The base is slightly different in color and the address numerals are at the bottom of the base. It was clarified that the MLG portion of the frontage road is not included in the ROW vacation.

Hembrook suggested if the ARC decides to recommend approval, staff recommends to approve with 14 tenant panels as originally approved, and to require a site plan that shows the 5' setback, and not only shown on a rendering. Chairman Pearson reminded the committee that the address numerals at the bottom of the base would get covered with snow; however, the words "Galleria West" that are higher on the sign helps to identify it. Mr. Paris opined that although he was not in attendance for the sign approval in November of 2023, he prefers the previously approved sign, even though he feels it is too large. David Birdsall with Last Mile Investments was present, and stressed the need for the sign approval to close on the sale of Galleria West. Mr. Birdsall reported that tenants were interviewed, and a priority to them is signage. Lorrie Weichman of 310 Kossow Road, Brookfield 53186 was present and asked if the Galleria West arch sign would remain. Mr. Birdsall responded that it will remain, as that sign faces Bluemound Road, and the proposed new sign is perpendicular to Bluemound Road. It was the consensus of the ARC members that the address numeral location is a concern. Chairman Pearson indicated that he is not in favor of limiting the number of panels to 14, and suggested the applicant consider an Electronic Message Center (EMC). Mr. Birdsall indicated that the idea could be looked at in the future, however this is the signage they are seeking approval for at this time, and knowing they have sign approval is imperative.

Motion by Committee Member Lee to **approve** permanent signage for a multi-tenant monument sign, pending the address numerals are moved up higher on the sign above the stone base, located at 18900 West Bluemound Road.

Seconded by Supervisor Charlier.

*Motion carried 3-2, with Chairman Pearson and Committee Member Paris dissenting.*

- c. J'Kayla Hodges (Sign Effectz), representing Residence Inn & Courtyard, is requesting approval for 9 permanent wall signs, located at 20300 West Bluemound Road.

Planner Hembrook reported that the development was reviewed and approved in early 2022. The review included a conceptual signage package, and this proposal matches what was reviewed in 2022. Eight signs would be for the Residence Inn, and Courtyard; one sign would be for hotel guest parking. Locations of the signs on the building were reviewed, as well as square footage. Proposed signs will be internally illuminated white channel letter signs. The signs conform to the approved conceptual signage plan for the Poplar Creek Town Center development. Supervisor Kohlmann opined that he likes what has been presented and seems to fit the architecture and square footage of the building. Hembrook noted that a vertical sign that was in the renderings is not included in this proposal. Mr. Paris mentioned the quantity of signs; however, with some signs being directional in nature, it is appropriate. ARC signage approval for future signage for the development was clarified, given that retail signage will be facing Barker and Bluemound Roads, as opposed to being inside the development.

Motion by Supervisor Kohlmann to **approve** 9 permanent wall signs for Residence Inn & C, located at 20300 West Bluemound Road as presented.

Seconded by Committee Member Paris.

*Motion carried unanimously.*

7) COMMUNICATION AND ANNOUNCEMENTS.

None.

8) ADJOURN.

Motion by Supervisor Kohlmann to adjourn at 6:49pm.

Seconded by Supervisor Charlier.

*Motion carried unanimously.*

Respectfully submitted,  
Bryce Hembrook, Town Planner



Building a Better World  
for All of Us®

## TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: April 4, 2024  
ACC MEETING DATE: April 10, 2024

RE: ARC Staff Report – April Agenda Items

### **Master Spa Warehouse – Preliminary Approval**

**Applicant: Keith Hueffner**

**Location: 21675 Doral Rd**

**Request: Preliminary Approval for a New Warehouse Building**

- The subject property experienced a fire a few years ago that resulted in the western building being razed. The applicant is proposing to construct a new warehouse building in the same location and this building is intended to be used for Master Spa Warehouse. There is an existing building on the east side of the property.
- Proposed Size = 53,173 square feet including mezzanine.
- Zoning District = M-1 Limited Manufacturing District
- Lot size = 3.6 acres.
- Proposed Use = Warehousing.
- Proposed setbacks:
  - Street (Doral Rd) = 130'
  - Street (I-94) = 52'
  - Side (west) = 10'
  - Side (east) = 240'
  - Building separation from east building = 69'
  - All building setbacks will meet code requirements.
- Sum total of floor area
  - Proposed = 46.4% of lot area for both buildings.
  - Required = Sum total of the floor area of the principal building and all accessory buildings shall be not less than 8,000 square feet or 20% of the lot area, whichever is less. Also, sum total of the floor area of the principal building and all accessory buildings shall not exceed 50% of the lot area.
  - Requirement is met.
- Parking

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax



- Code requirement: 1 space per employee for the work shift with the largest number of employees, plus 1 space per 5,000 square feet of gross floor area.
- Proposed: 19 new parking spaces.
- The application did not specify number of employees, so there is not enough information to determine if the parking requirement is met at this time, but can be addressed during preliminary and final review.
- Architectural requirements for manufacturing districts
  - The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. Fifty percent of a facade facing a street shall be finished with brick, decorative masonry, glass panel, or other appropriate finished facade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of as least 20 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.
- Number of Structures
  - The Plan Commission may permit more than one structure per lot in other districts where more than one structure is needed for the orderly development of the parcel. Where additional structures are permitted, the Plan Commission may impose additional yard requirements, landscaping requirements, or parking requirements, or require a minimum separation distance between principal structures.
- Lighting
  - Not provided at time of packet completion.
- Landscaping
  - Not provided at time of packet completion.

The development review team is currently reviewing and feedback may be provided at the time of the meeting.

**Preliminary Approval**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site.

**Scott Bence – Preliminary and Final Approval**

**Applicant: Scott Bence (JBJ Develop, L.P.)**

**Location: Eagle Drive and Aerie Circle – Off of Brookfield Road**

**Request: Preliminary and Final Approval of the Continuation of the Eagles Nest Condominium Project with Updated Building Plans**

- The Eagles Nest Condominium Project was originally approved in 2004 with a revised building design in May of 2008. 42 units were approved during the original proposal.

- Currently all the infrastructure has been built including the overall site grading, paving, stormwater management, sanitary, storm and watermain, and site lighting.
- There are 7 pad ready condo lots available for construction.
- Due to the housing market crash in 2008, a portion of the project was delayed and the approval for the project expired.
- The zoning code requires that all new multifamily projects receive conceptual, preliminary, and final approval as outlined in § 17.02(7) of the zoning code.
- The applicant is requesting conceptual, preliminary, and final approval from the Plan Commission because the proposal is remaining the same, except for a few architectural difference.
- According to the applicant, “Our desire is to start building with building pad 9, this pad allows for 6 condominium units. The attached plan is consistent with what was approved in 2008, because of the updated building codes, we are proposing 3 duplex (2 family buildings) zero lot line buildings vs. a traditional six-unit multifamily building. It is important to note that the 3 buildings are individual buildings with an air gap/sheathing on both exterior walls (Detail 20/A4.0) The only difference is the exterior facade (Siding/stone/shingles) are carried across the separation gap to give it a uniform look to match the look of the traditional six-unit multifamily building. The end look will be the same, but the 3 buildings are governed by a different set of rules. We will be applying for three two family building permits for building pad #9. Note the color and materials are consistent with the existing building and what was previously approved.
- Zoning District = RM-2 Multifamily Residential District
- Lot size = 6.6 acres.
- The property currently has 2 buildings with 5 units towards the south side of the property, as originally approved.
- Proposed buildings are located within the same footprint as the original approved plans and utilities are generally provided near proposed buildings.
  - The proposed buildings are all townhouse style units; whereas the original approved plans consisted of a mix of flats and townhouses.
- 32 units are proposed.
  -
- Proposed setbacks:
  - All building setbacks will meet code requirements and are not changing from original approval.
- Sum total of floor area
  - Proposed = 17.84% of lot area.
  - Required = Sum total of the floor area of the principal buildings and all accessory buildings shall not exceed 25% of the lot area.
  - Requirement is met.
- Parking
  - Parking is proposed to remain the same as originally approved and there appears to be sufficient parking.
- Lighting
  - Street lighting is existing and the buildings have coach lights on the garage elevations which are shown on sheet E1.0 in the packet. These are the same as the existing buildings (100 watt light fixtures).
- Landscaping
  - Proposed to remain the same from the original approval and is included in the packet.

The development review team is currently reviewing the plans and may provide feedback by the time of the meeting.

**Preliminary Approval**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site.

**Final Approval**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

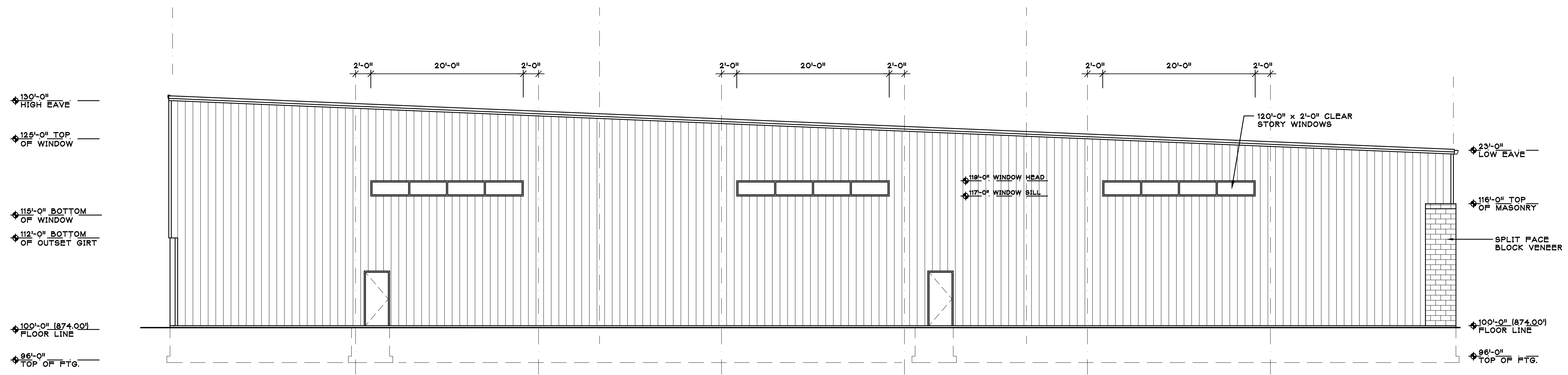
PROPOSED NEW FACILITY FOR  
**WAREHOUSE BLD'G.**  
 TOWN OF BROOKFIELD, WISCONSIN

DATE: APRIL 2, 2024  
 ARCH. K. SPERL  
 D. BY: \_\_\_\_\_  
 JOB: \_\_\_\_\_  
 REV. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**A**  
**2.0**



**SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"

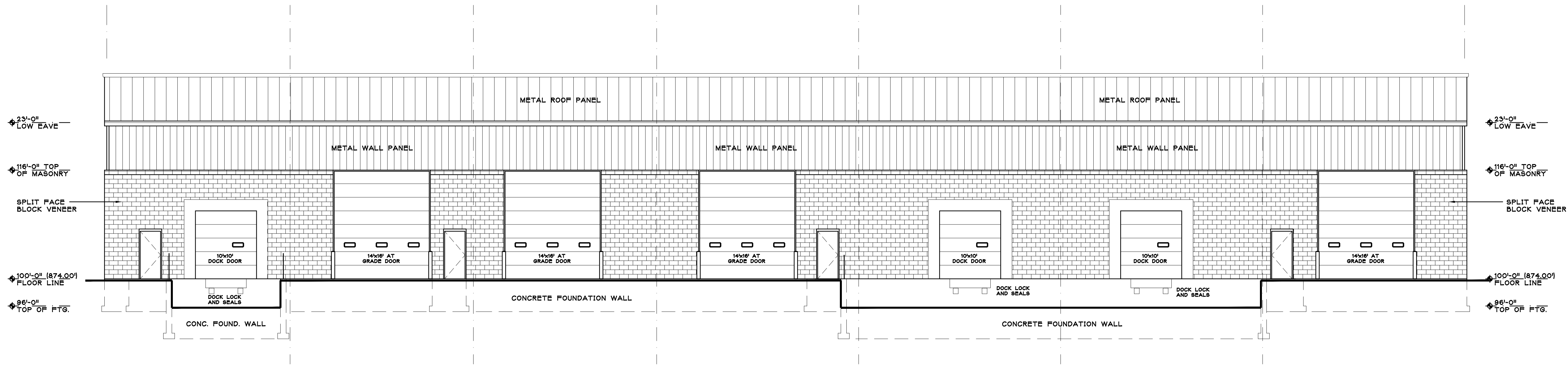


**WEST ELEVATION**  
 SCALE: 1/8"=1'-0"

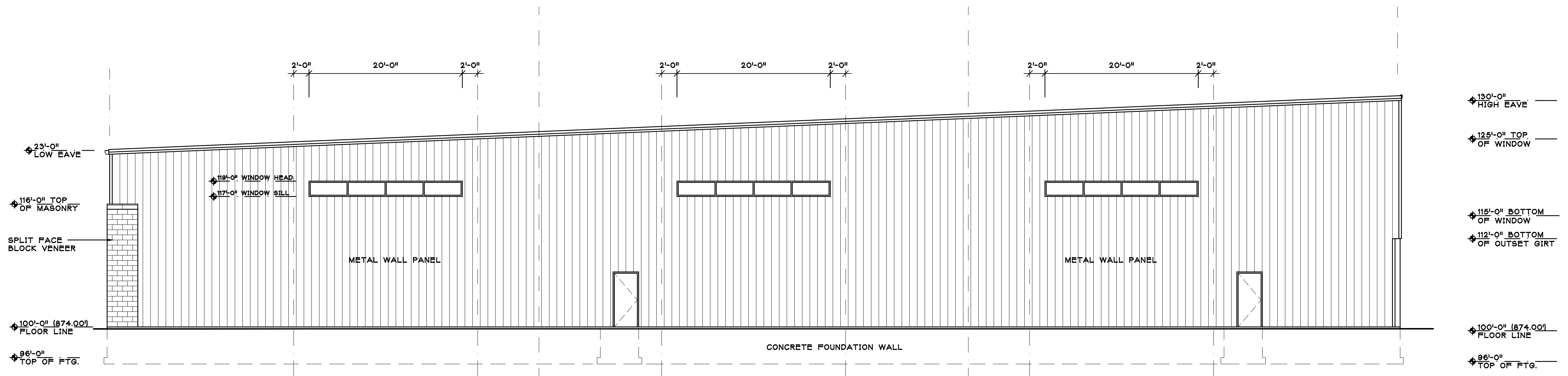
PROPOSED NEW FACILITY FOR  
**WAREHOUSE BLD'G.**  
 TOWN OF BROOKFIELD, WISCONSIN

DATE: APRIL 2, 2024  
 ARCH. K. SPERL  
 D. BY: \_\_\_\_\_  
 JOB: \_\_\_\_\_  
 REV. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**A**  
**2.1**



**NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
 SCALE: 1/8"=1'-0"





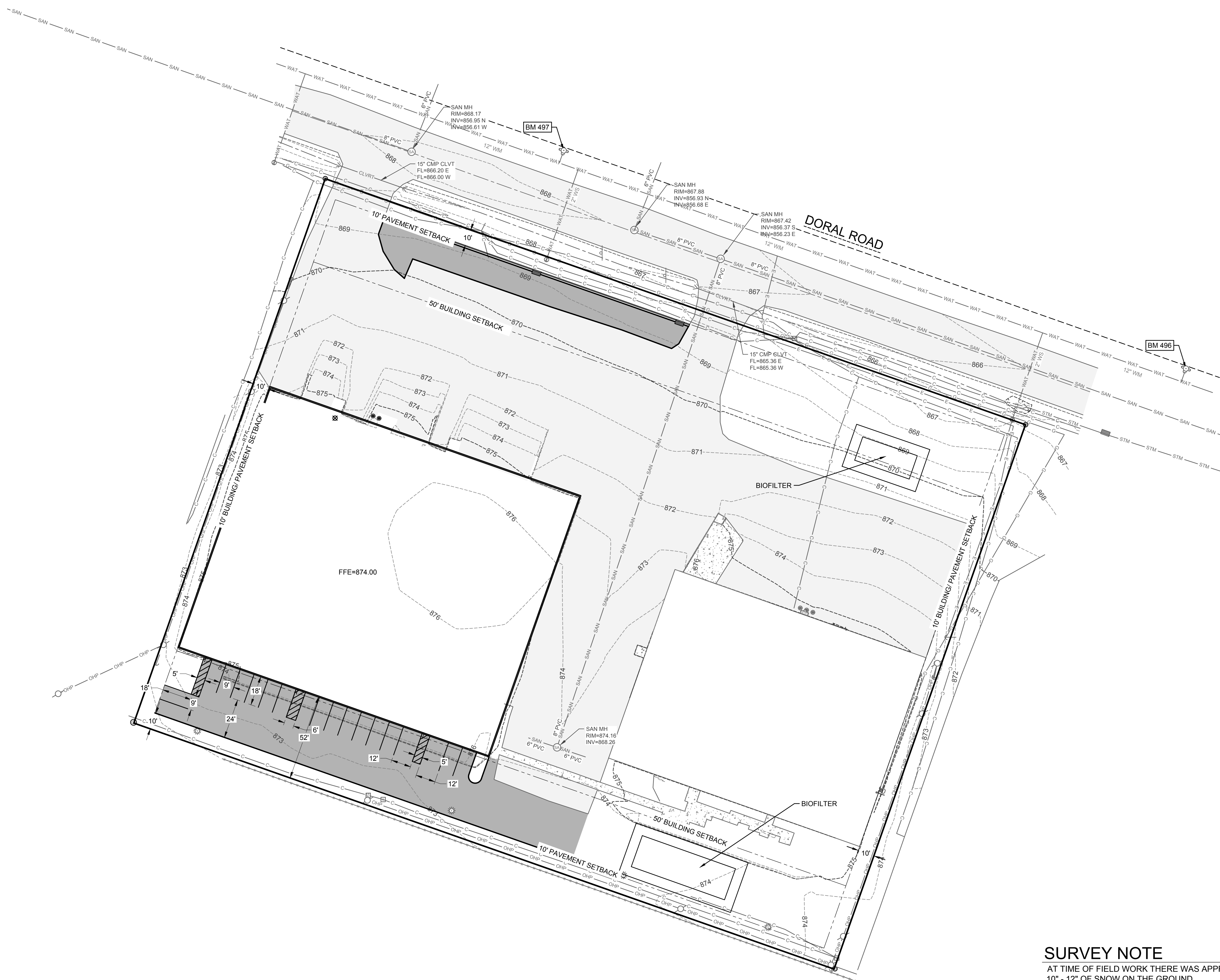
Proposed Building For:  
**Master Spas Waukesha Warehouse Building**  
 Waukesha, Wisconsin

DATE: 03/06/24  
 ARCH: K. SPERL  
 D. BY: J. MILLER  
 JOB: 22-025  
 REV.



# PRELIMINARY SITE PLAN

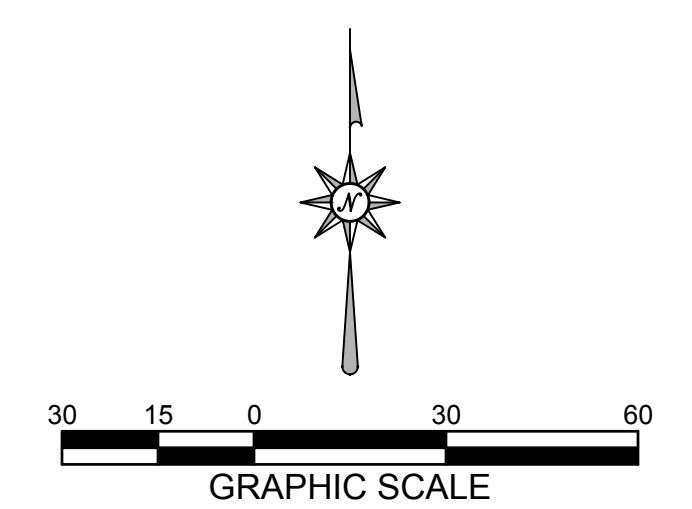
Benchmarks		
Label	Elevation	Description
BM 496	866.74	HYDRANT FLAG BOLT
BM 497	870.25	HYDRANT FLAG BOLT




327 RANDOLPH DR. STE #C1  
APPLETON, WI 54913  
TELE: 920-707-4226 FAX: 920-240-8072

**ADDITION AND ALTERATIONS FOR,  
21675 DORAL ROAD  
TOWN OF BROOKFIELD,  
WISCONSIN**

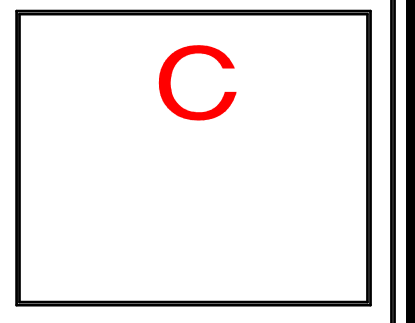
DATE: JANUARY 31, 2024  
ARCH: J. EHRFURTH  
D. BY: RPH  
JOB: 23-003  
REV: \_\_\_\_\_



**SURVEY NOTE**  
AT TIME OF FIELD WORK THERE WAS APPROXIMATELY  
10" - 12" OF SNOW ON THE GROUND

**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH: 920-569-5765; Fax: 920-569-5767  
www.mach-iv.com  
Project Number: 2148-01-23





Building a Better World  
for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: March 21, 2024  
PC MEETING DATE: March 26, 2024

RE: **Eagles Nest – Conceptual, Preliminary, & Final Approval  
Eagle Drive BKFT1124974016**

SEH No. 171421, TASK 54

**Applicant:** Scott Bence (JBJ Develop, L.P.)  
**Application Type:** Conceptual, Preliminary, and Final Approval

### Request

Applicant is requesting conceptual, preliminary, and final approval of the continuation the Eagles Nest Condominium Project with updated building plans.

### Summary of Request

- The Eagles Nest Condominium Project was originally approved in 2004 with a revised building design in May of 2008. 42 units were approved during the original proposal.
  - Currently all the infrastructure has been built including the overall site grading, paving, stormwater management, sanitary, storm and watermain, and site lighting.
  - There are 7 pad ready condo lots available for construction.
  - Due to the housing market crash in 2008, a portion of the project was delayed and the approval for the project expired.
  - The zoning code requires that all new multifamily projects receive conceptual, preliminary, and final approval as outlined in § 17.02(7) of the zoning code.
  - The applicant is requesting conceptual, preliminary, and final approval from the Plan Commission because the proposal is remaining the same, except for a few architectural difference.
- According to the applicant, “Our desire is to start building with building pad 9, this pad allows for 6 condominium units. The attached plan is consistent with what was approved in 2008, because of the updated building codes, we are proposing 3 duplex (2 family buildings) zero lot line buildings vs. a traditional six-unit multifamily building. It is important to note that the 3 buildings are individual buildings with an air gap/sheathing on both exterior walls (Detail 20/A4.0) The only difference is the exterior facade (Siding/stone/shingles) are carried across the separation gap to give it a uniform look to match the look of the traditional six-unit multifamily building. The end look will be the same, but the 3

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax



buildings are governed by a different set of rules. We will be applying for three two family building permits for building pad #9. Note the color and materials are consistent with the existing building and what was previously approved.

- Zoning District = RM-2 Multifamily Residential District
- Lot size = 6.6 acres.
- The property currently has 2 buildings with 5 units towards the south side of the property, as originally approved.
- Proposed buildings are located within the same footprint as the original approved plans and utilities are generally provided near proposed buildings.
  - The proposed buildings are all townhouse style units; whereas the original approved plans consisted of a mix of flats and townhouses.
- 32 units are proposed.
  -
- Proposed setbacks:
  - All building setbacks will meet code requirements and are not changing from original approval.
- Sum total of floor area
  - Proposed = 17.84% of lot area.
  - Required = Sum total of the floor area of the principal buildings and all accessory buildings shall not exceed 25% of the lot area.
  - Requirement is met.
- Parking
  - Parking is proposed to remain the same as originally approved and there appears to be sufficient parking.
- Lighting
  - Street lighting is existing and the buildings have coach lights on the garage elevations which are shown on sheet E1.0 in the packet. These are the same as the existing buildings (100 watt light fixtures).
- Landscaping
  - Proposed to remain the same from the original approval and is included in the packet.

The development review team is currently reviewing the plans and may provide feedback by the time of the meeting.

### **Conceptual Approval**

The purpose of conceptual project review shall be to determine the best use of a building site. The Plan Commission will consider the proposed land use and its compatibility with adjacent land uses. The Plan Commission should consider ingress and egress, off-street parking, and internal traffic patterns.

### **Preliminary Approval**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey

shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site.

**Final Approval**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

PROJECT NAME:

# Eagles Nest Condominiums 3 Duplexes (6 Units)

165 Aerie Circle - Bldg #9  
Brookfield, WI 53045  
Job # 2302J

GENERAL CONTRACTOR



**JB Development**  
(A Division of JBJ Companies Inc.)  
W178 N9912 Rivercrest Dr., Ste 101  
Germantown, WI 53022-4645  
(262) 255-1800 Fax (262) 255-2234  
www.JBJCompanies.com

**THE  
CUSTOM  
HOUSE LLC**

ARCHITECTURE UNLIMITED

RESIDENTIAL  
COMMERCIAL

1506 S. 58th STREET  
WEST ALLIS, WI 53214  
PHONE (414) 617-0352

**Eagles Nest  
Condominiums**  
165 Aerie Circle - Bldg #9  
Brookfield, WI 53045  
Job # 2302J

All Rights Reserved

OWNERSHIP OF DOCUMENTS

This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of The Custom House LLC, and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of The Custom House LLC.

COPYRIGHT 2020

Sheet Contents

TITLE SHEET  
CODE INFORMATION  
LOCATION PLAN  
DEVELOPMENT PLAN

Issued For: Prelim 1  
Date: 10 Dec, 2020

75% Set 19 Feb, 2021  
45% Set 19 Feb, 2021  
For Construction 19 March, 2021  
Rev 1 23 April, 2021  
Rev 2 29 May, 2021  
Rev 3 27 Nov, 2023  
Bld Set 06 Dec, 2023

Drawn By: DG

Checked By: DG

Date: 04 Dec, 2020

Job Number: 20,044

Sheet Number

**T 1.0**

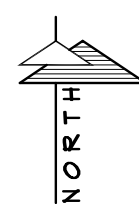


### DRAWING INDEX :

ARCHITECTURAL:	INTERIOR DECORATING
T 1.0 TITLE SHEET	ID 100 COVER SHEET
A 1.0 BASEMENT PLANS	ID 101 MATERIAL LEGEND - SCHEME A
A 1.1 FLOOR PLANS	ID 102 MATERIAL LEGEND - SCHEME B
A 1.2 ROOF PLAN	
A 2.0 ELEVATIONS	ID 200 FINISH PLAN - BASEMENT
	ID 201 FINISH PLAN - FIRST FLOOR
	ID 202 FINISH PLAN - SECOND FLOOR
A 3.0 WALL SECTIONS	ID 300 DECORATIVE ELEVATIONS
A 3.1 UNIT A SECTIONS	
A 3.2 UNIT B & C SECTIONS	
A 4.0 UNIT A PLANS	
A 4.1 UNIT A PLANS (OPP.)	
A 4.2 UNIT B PLANS	
A 4.3 UNIT C PLANS	
A 5.0 CASWORK	
E 1.0 BASEMENT & EXTERIOR ELECTRICAL	
E 1.1 UNIT A ELECTRICAL PLANS	
E 1.2 UNIT B ELECTRICAL PLANS	
E 1.3 UNIT C ELECTRICAL PLANS	
S 1.0 FOUNDATION PLAN	
S 1.1 FOUNDATION PLAN	
S 1.2 FLOOR FRAMING	
S 1.3 ROOF FRAMING	
S 1.4 BRACING PLANS	

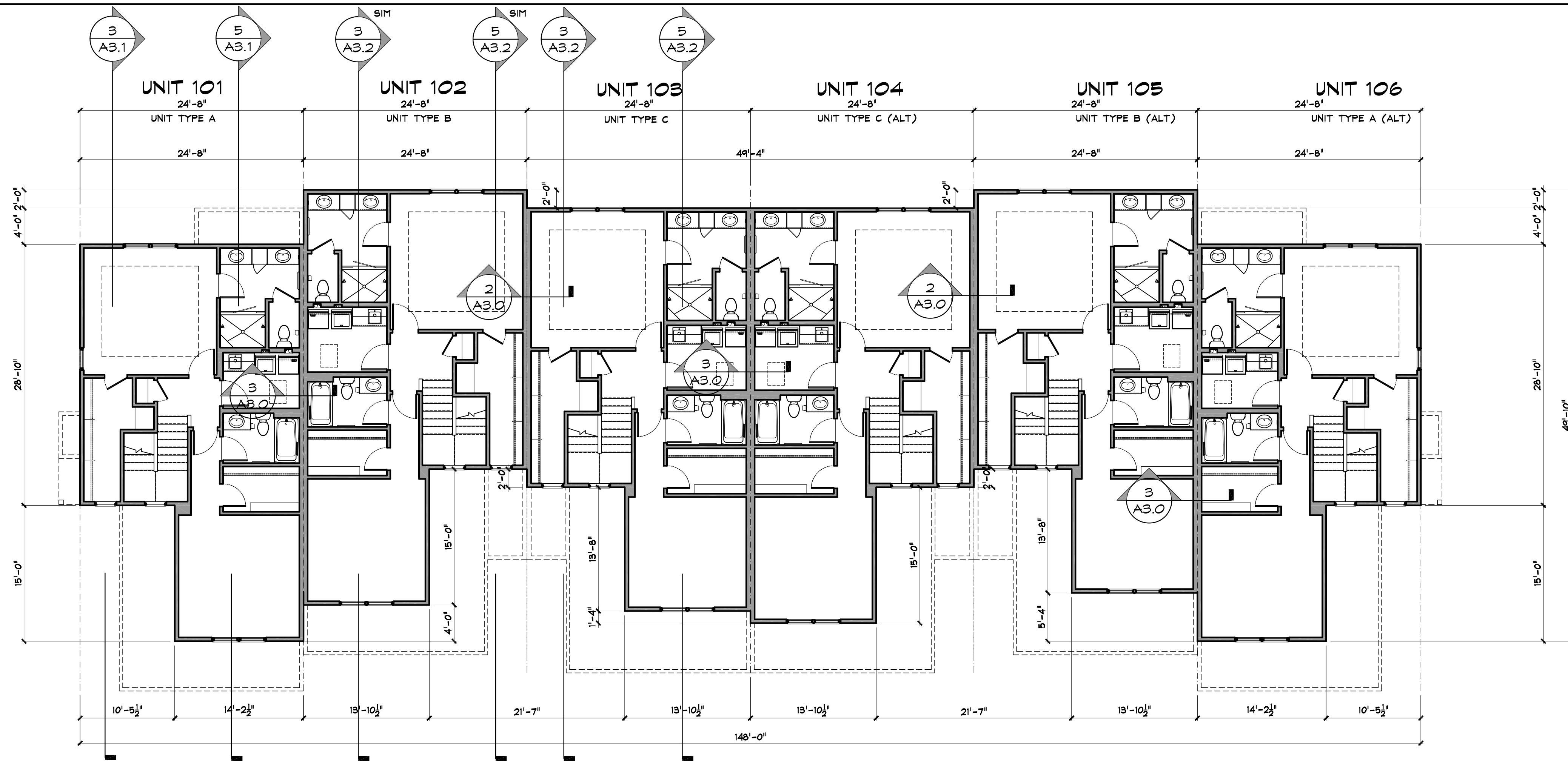
### CODE INFORMATION :

CODE AND PROJECT SCOPE:  
PER SPS 320.04 (6) THESE BUILDINGS ARE CONSIDERED  
(6) DUPLEXES UNDER THE UDC - SPS320-325



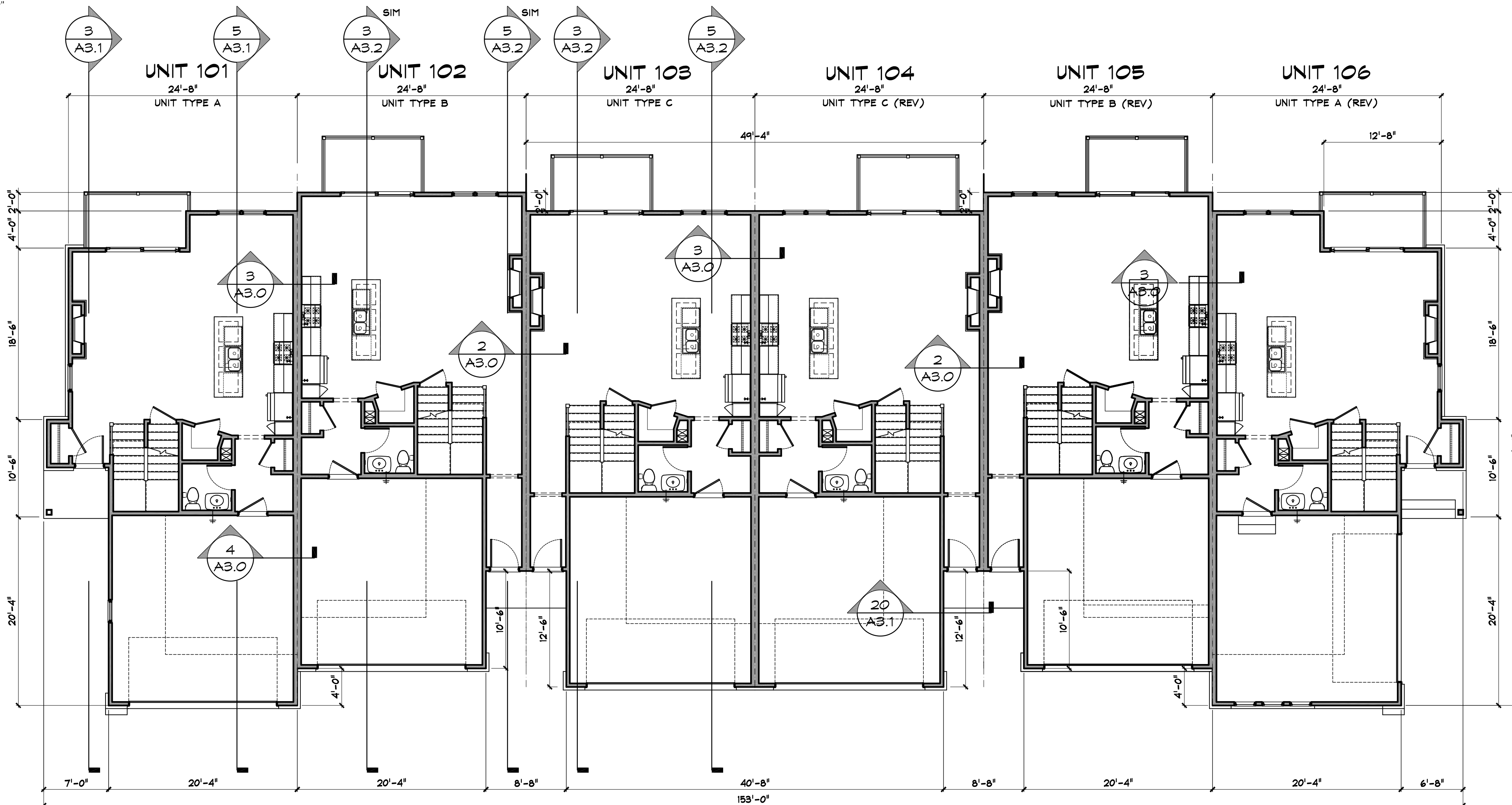
5 SITE DEVELOPMENT PLAN

1" = 60'-0"



14 SECOND FLOOR PLAN

1/8" = 1'-0"



4 FIRST FLOOR PLAN

1/8" = 1'-0"

# THE CUSTOM HOUSE LLC

ARCHITECTURE UNLIMITED

RESIDENTIAL  
COMMERCIAL

1506 S. 58th STREET  
WEST ALLIS, WI 53214  
PHONE (414) 617-0352

Eagles Nest  
Condominiums  
165 Aerie Circle - Bldg #9  
Brookfield, WI 53045  
Job # 2302J

All Rights Reserved

#### OWNERSHIP OF DOCUMENTS

This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of The Custom House LLC, and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of The Custom House LLC.

COPYRIGHT 2020

#### Sheet Contents

FLOOR PLANS

Issued For:	Date:
Prelim 1	10 Dec, 2020
Prelim 2	21 Dec, 2020
Prelim 4	13 Jan, 2021
Prelim 5	14 Jan, 2021
Prelim 6	27 Jan, 2021
Prelim 7	01 Feb, 2021
Prelim 8	14 Feb, 2021
75% Set	19 Feb, 2021

For Construction	19 March, 2021
Rev 1	23 April, 2021
Rev 2	29 May, 2021
Rev 3	27 Nov, 2023
Bld Set	06 Dec, 2023

Drawn By: DG  
Checked By: DG

Date: 04 Dec, 2020

Job Number: 20.044

Sheet Number

A 1.1





# THE CUSTOM HOUSE LLC

ARCHITECTURE UNLIMITED

RESIDENTIAL  
COMMERCIAL

1506 S. 58th STREET  
WEST ALLIS, WI 53214  
PHONE (414) 617-0352

Eagles Nest  
Condominiums  
165 Aerie Circle - Bldg #9  
Brookfield, WI 53045  
Job # 2302J

All Rights Reserved

OWNERSHIP OF DOCUMENTS

This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of The Custom House LLC, and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of The Custom House LLC.

COPYRIGHT 2020

Sheet Contents

ELEVATIONS

Issued For: Date:

Prelim 5	14 Jan. 2021
Prelim 6	27 Jan. 2021
Prelim 7	01 Feb. 2021
Prelim 8	14 Feb. 2021
75% Set	19 Feb. 2021
45% Set	19 Feb. 2021
For Construction	19 March. 2021
Rev 1	29 April. 2021
Rev 2	29 May. 2021
Rev 3	27 Nov. 2023
Bld Set	06 Dec. 2023

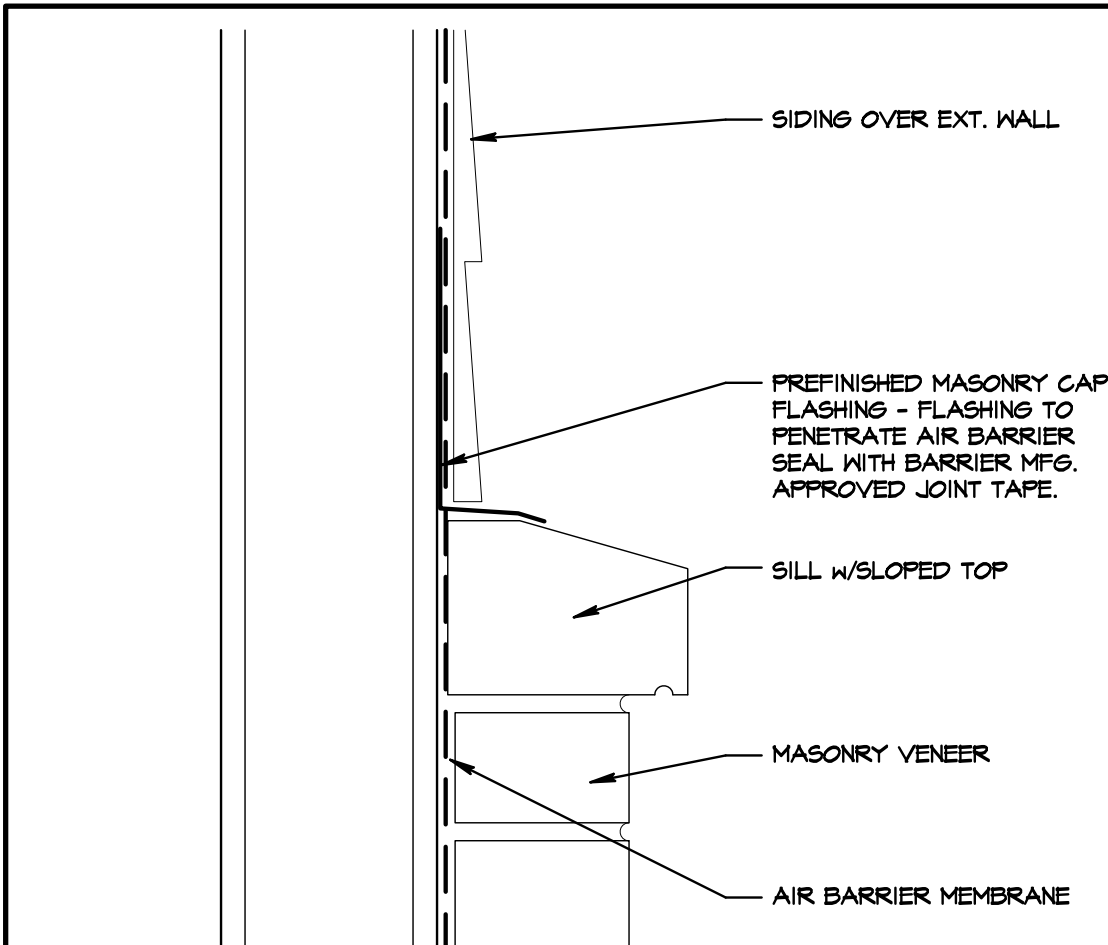
Drawn By: DG  
Checked By: DG

Date: 04 Dec. 2020

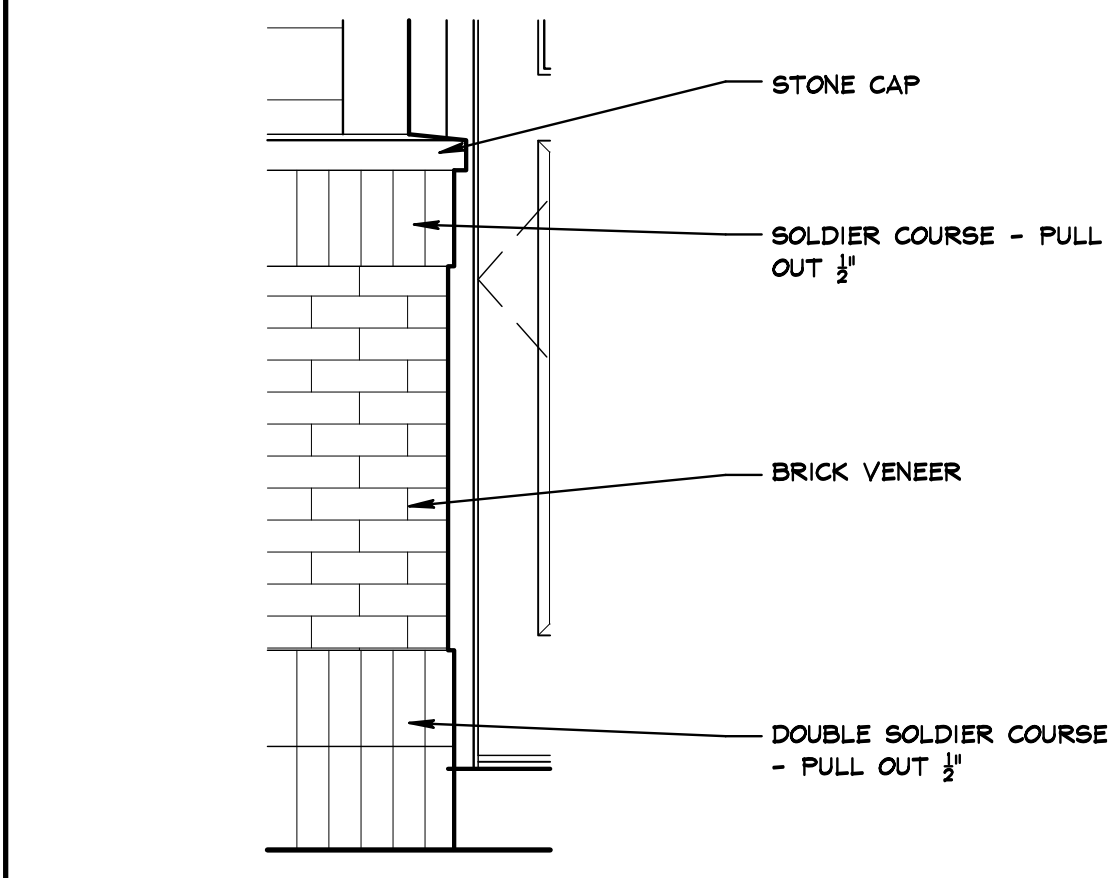
Job Number: 20,044

Sheet Number

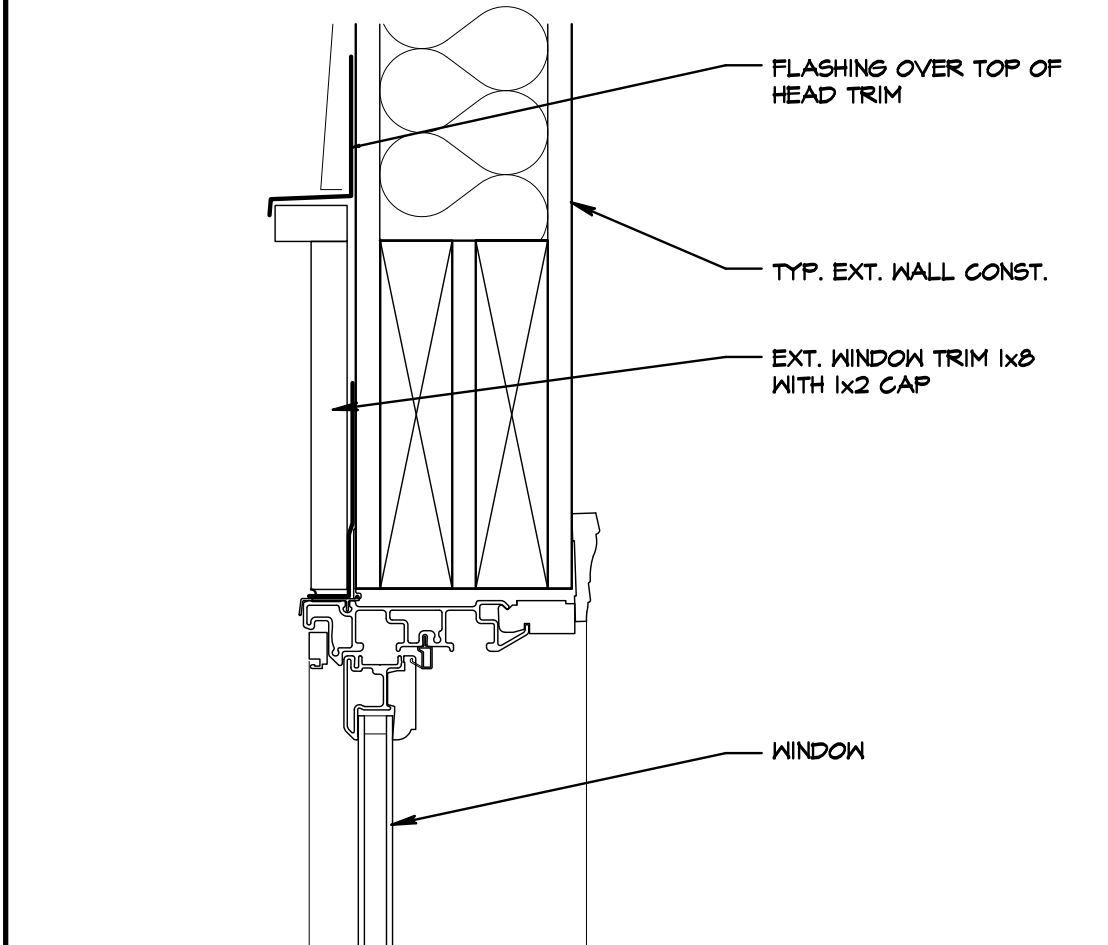
# A 2.0



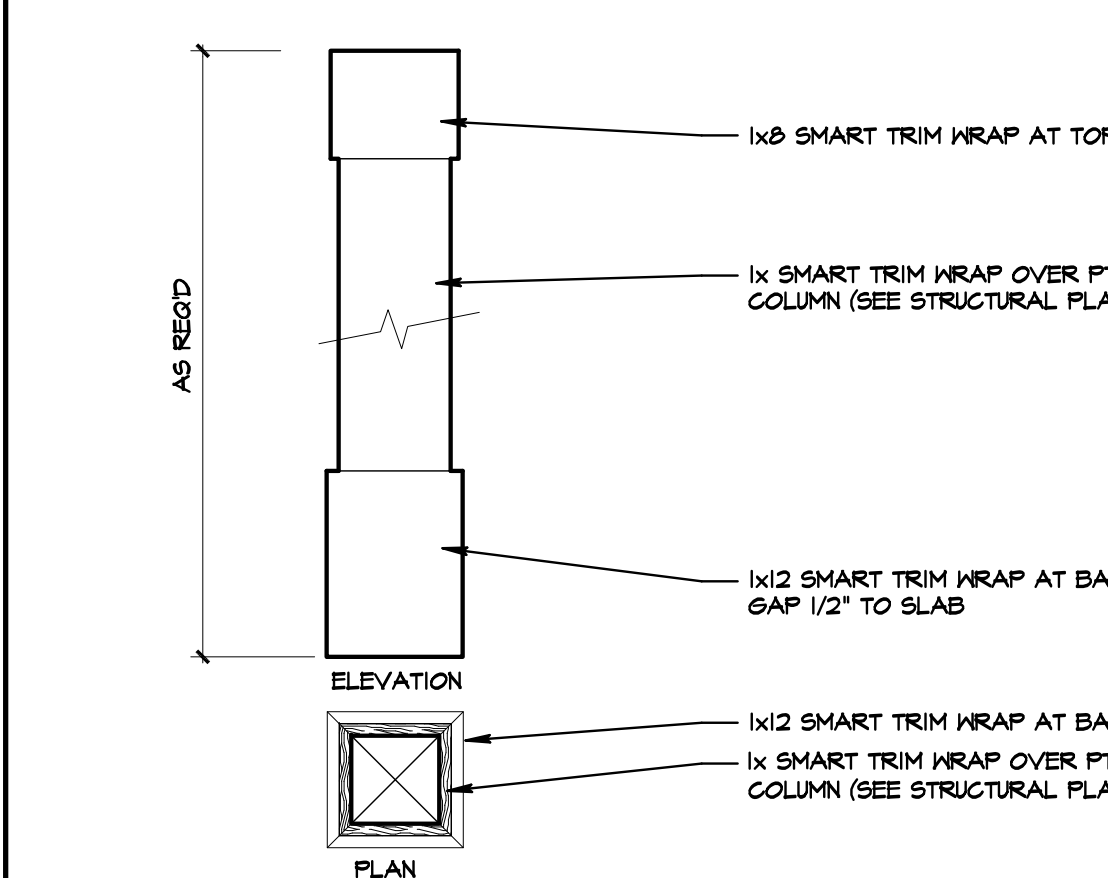
20 MASONRY CAP FLASHING  
3/8" = 1'-0"



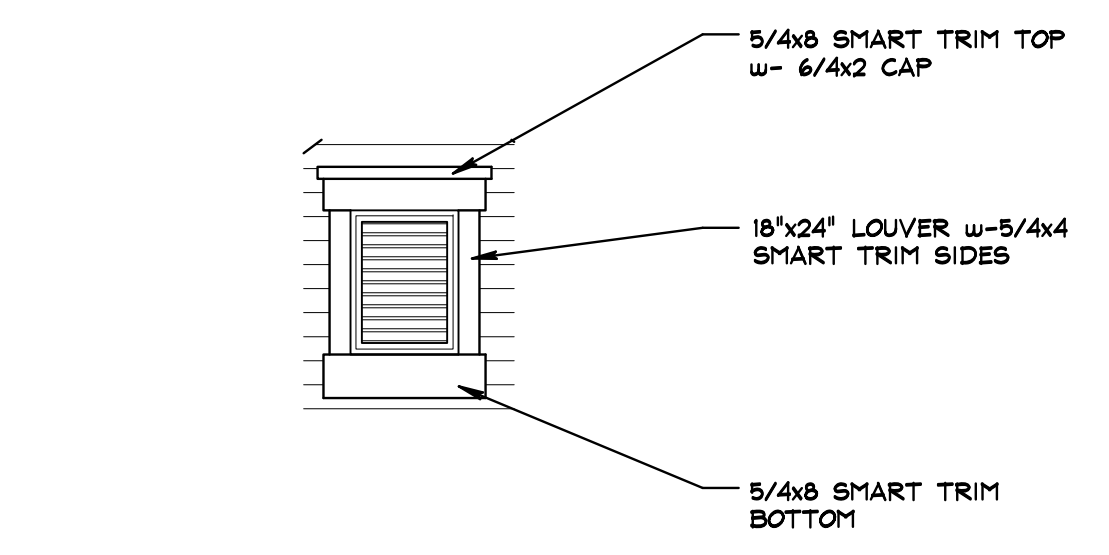
15 MASONRY DETAIL  
3/4" = 1'-0"



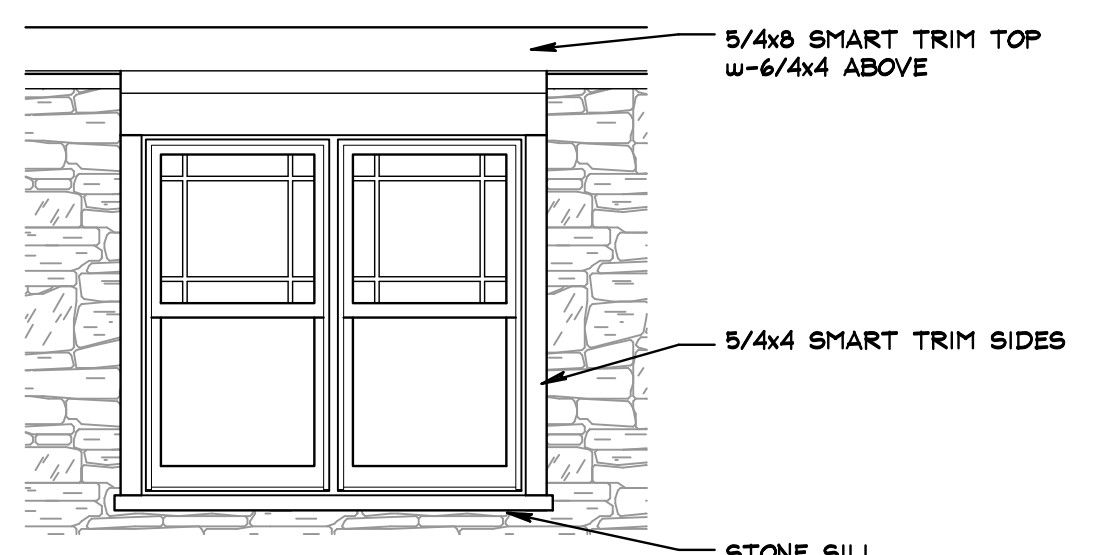
10 TYPICAL WINDOW HEAD TRIM  
3/8" = 1'-0"



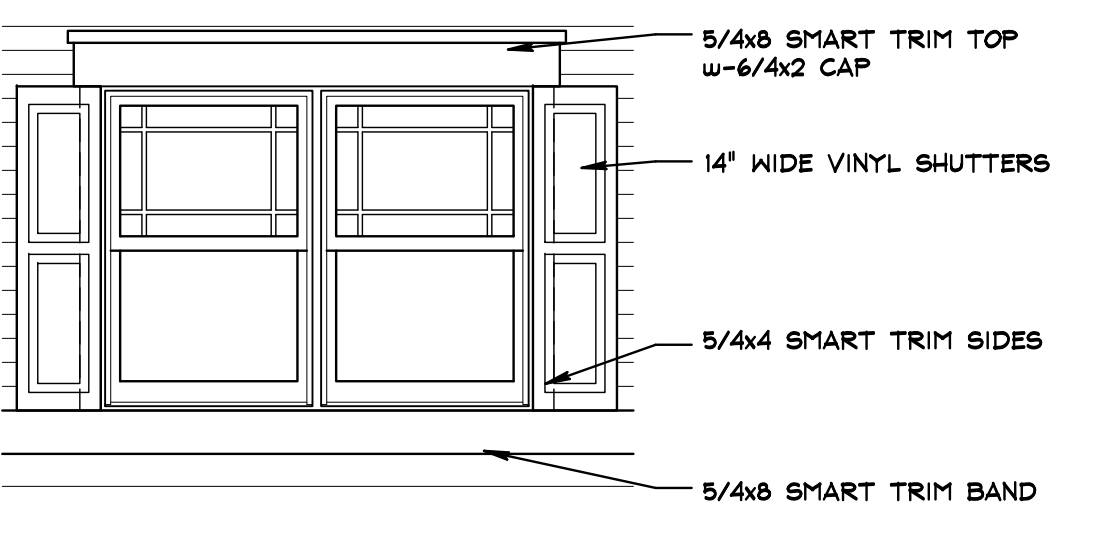
5 DECORATIVE COLUMN DETAIL  
1" = 1'-0"



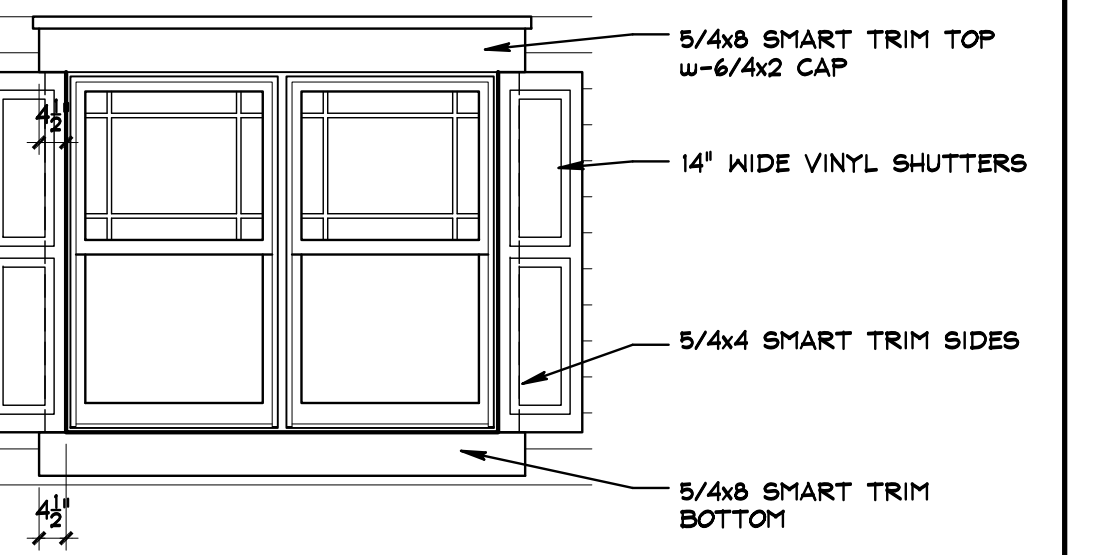
19 LOUVER TRIM DETAIL  
3/8" = 1'-0"



18 LOWER LEVEL WINDOW TRIM  
3/8" = 1'-0"



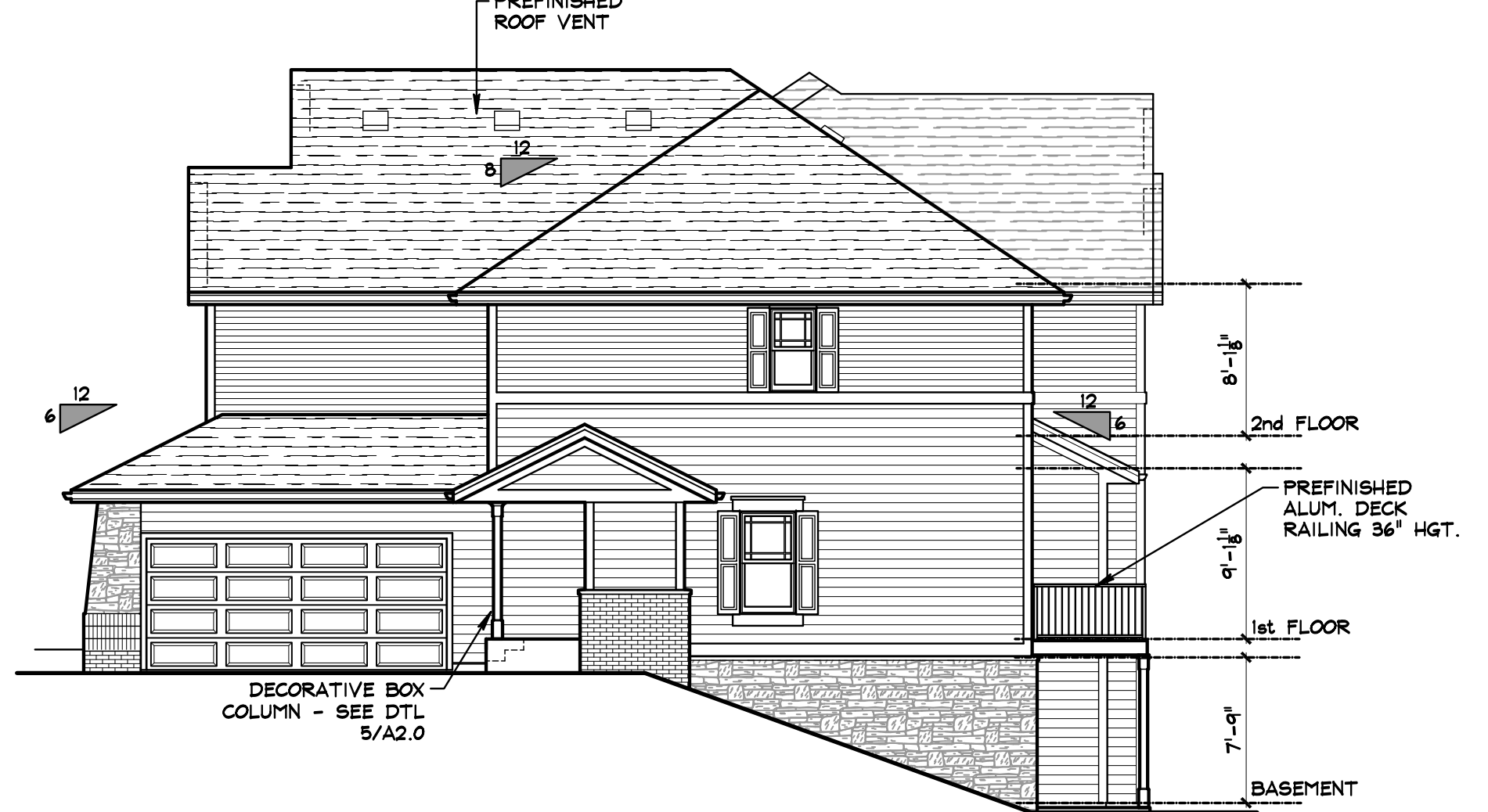
17 2nd FLOOR WINDOW TRIM  
3/8" = 1'-0"



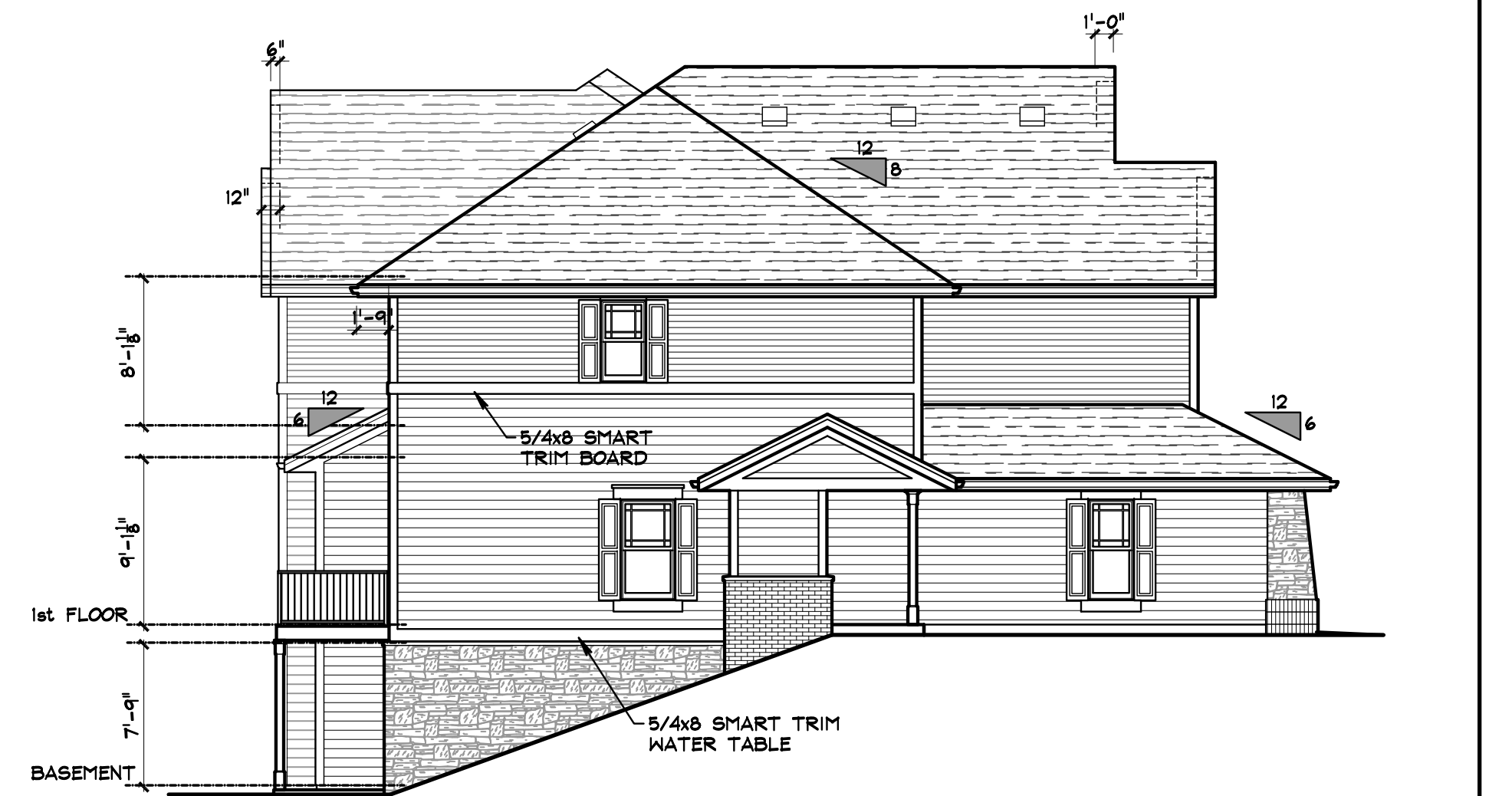
16 TYPICAL WINDOW TRIM  
3/8" = 1'-0"



14 FRONT ELEVATION  
1/8" = 1'-0"



8 SIDE ELEVATION  
1/8" = 1'-0"

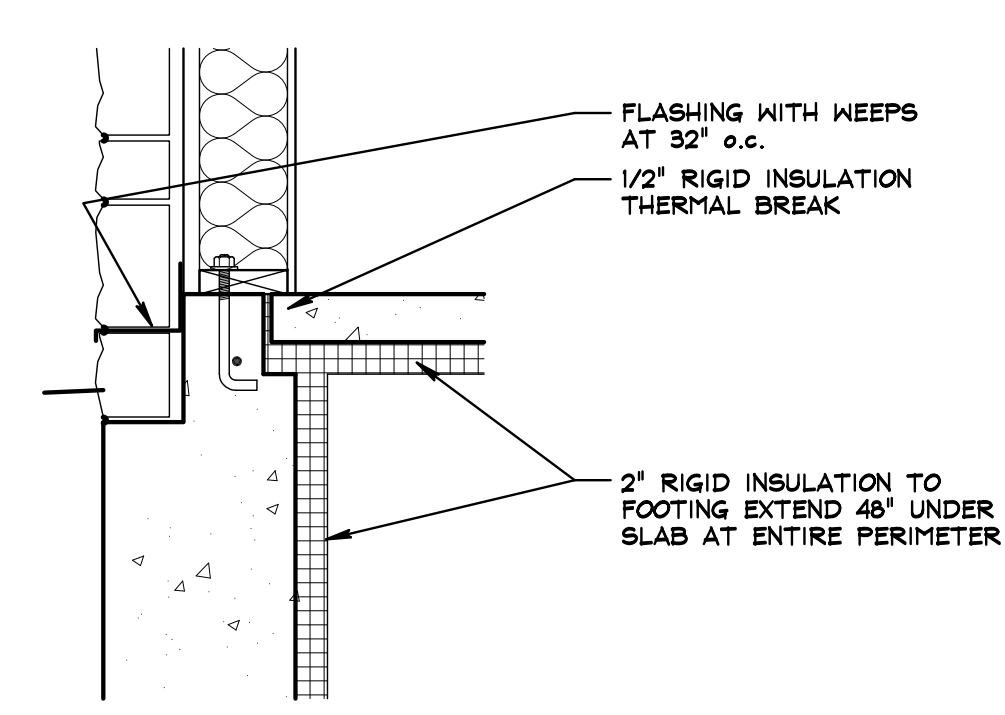


7 SIDE ELEVATION  
1/8" = 1'-0"

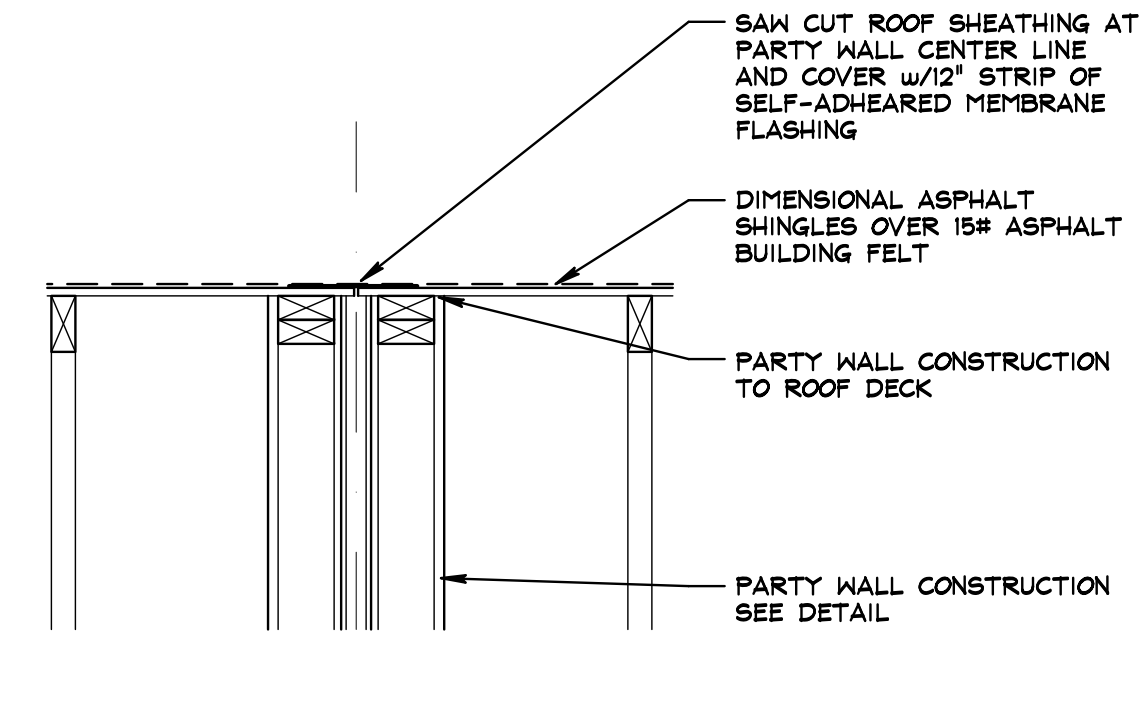


4 FRONT ELEVATION  
1/8" = 1'-0"

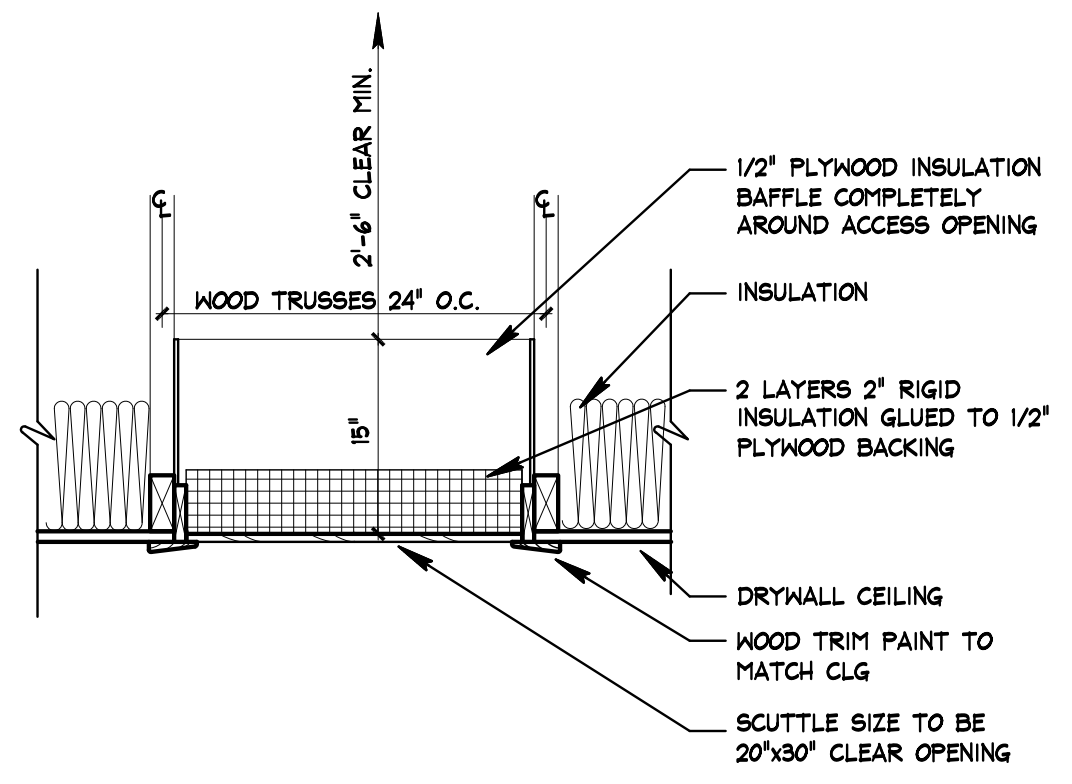




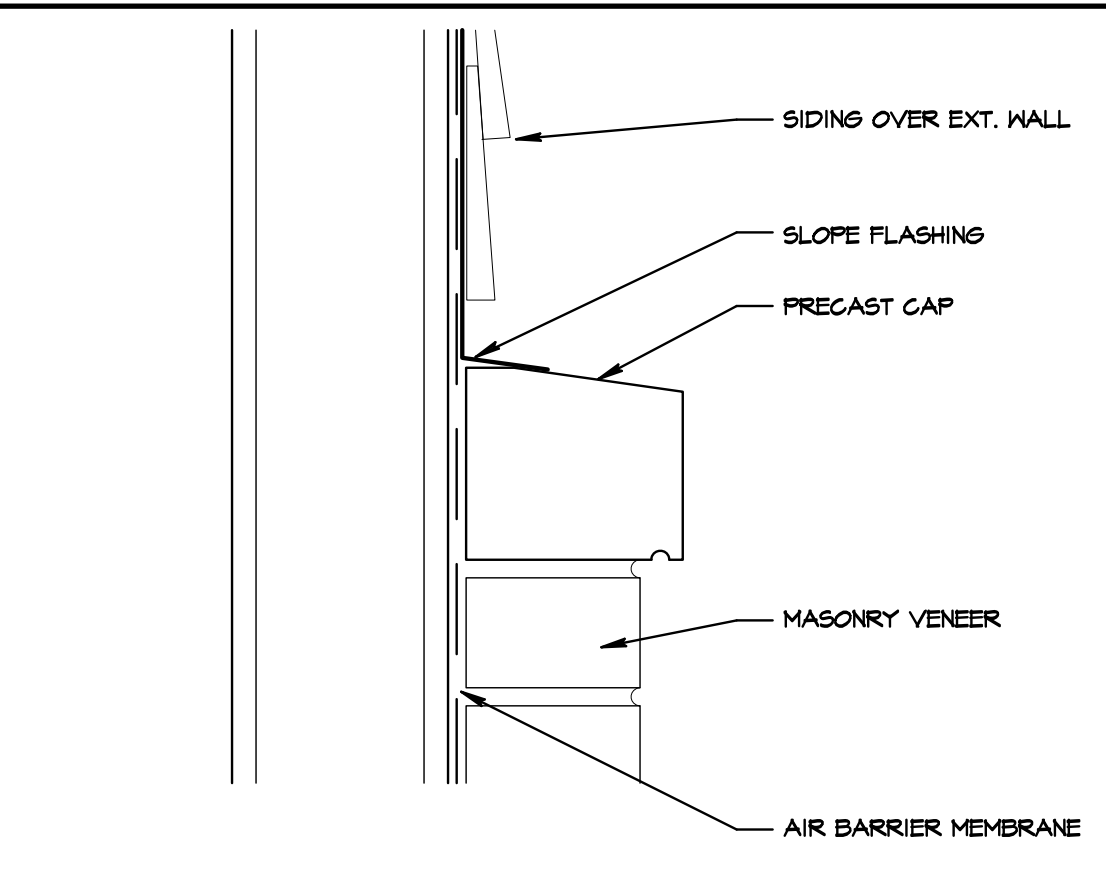
19 SILL DETAIL EXPOSURE  
1" = 1'-0"



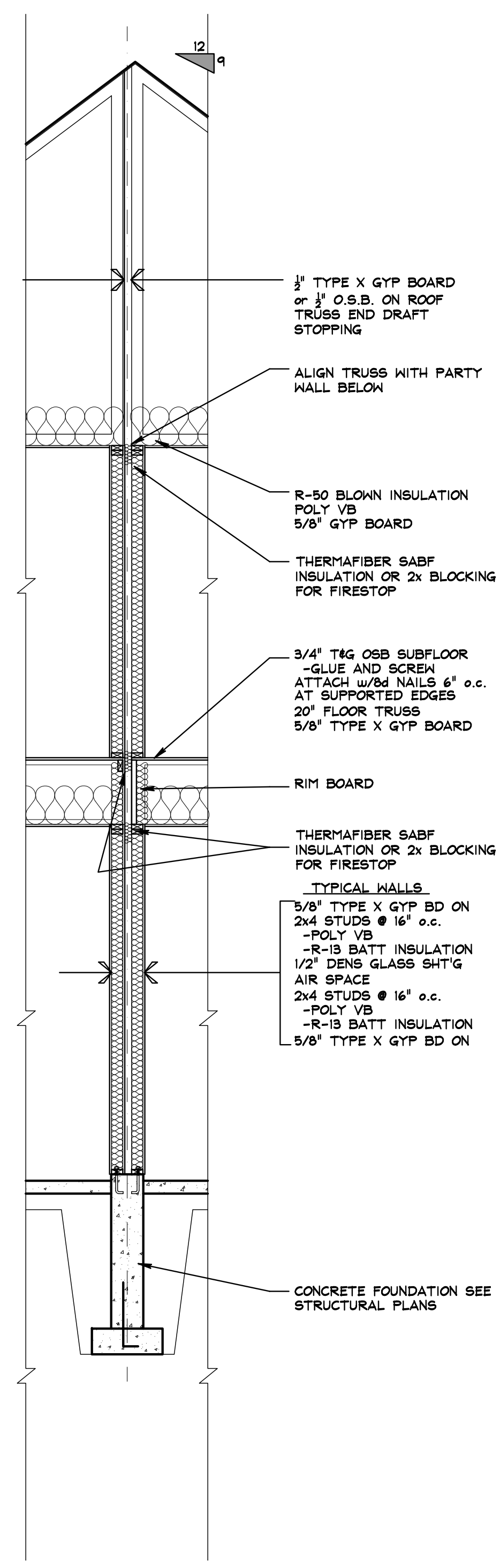
18 ROOF DETAIL  
1" = 1'-0"



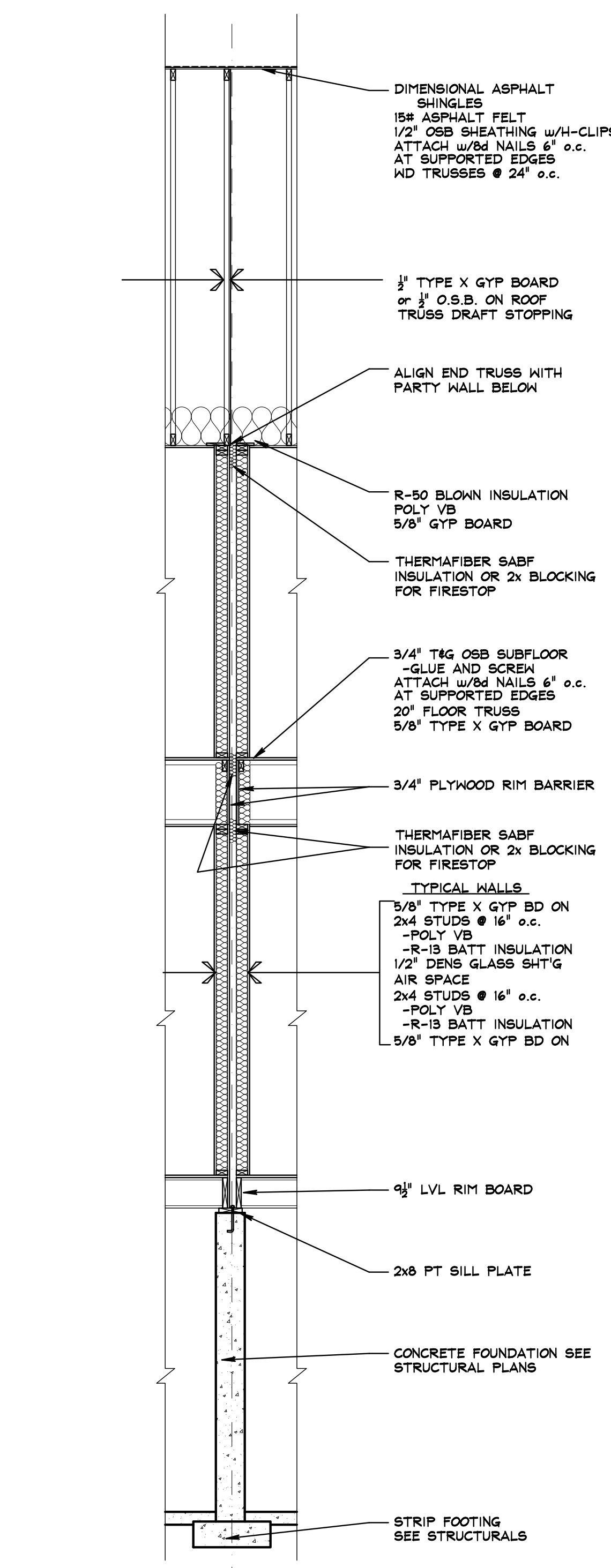
17 ATTIC SCUTTLE  
1" = 1'-0"



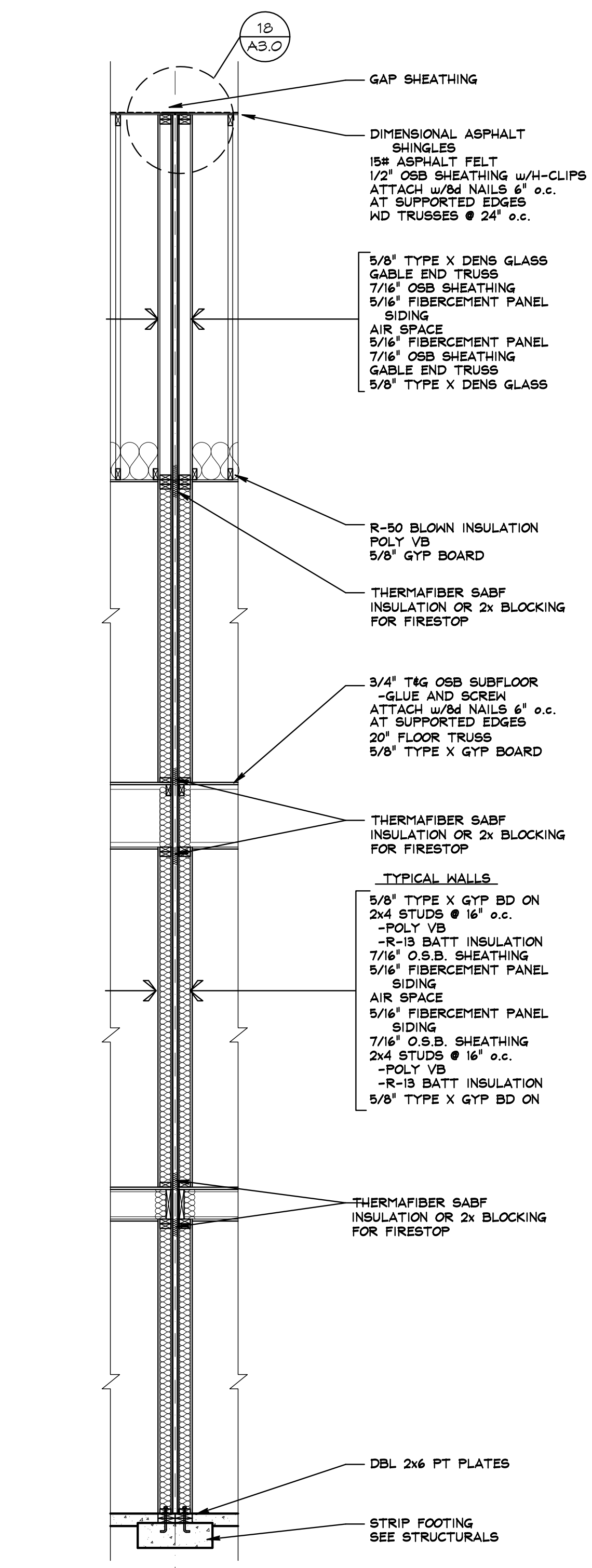
16 MASONRY CAP FLASHING  
3/8" = 1'-0"



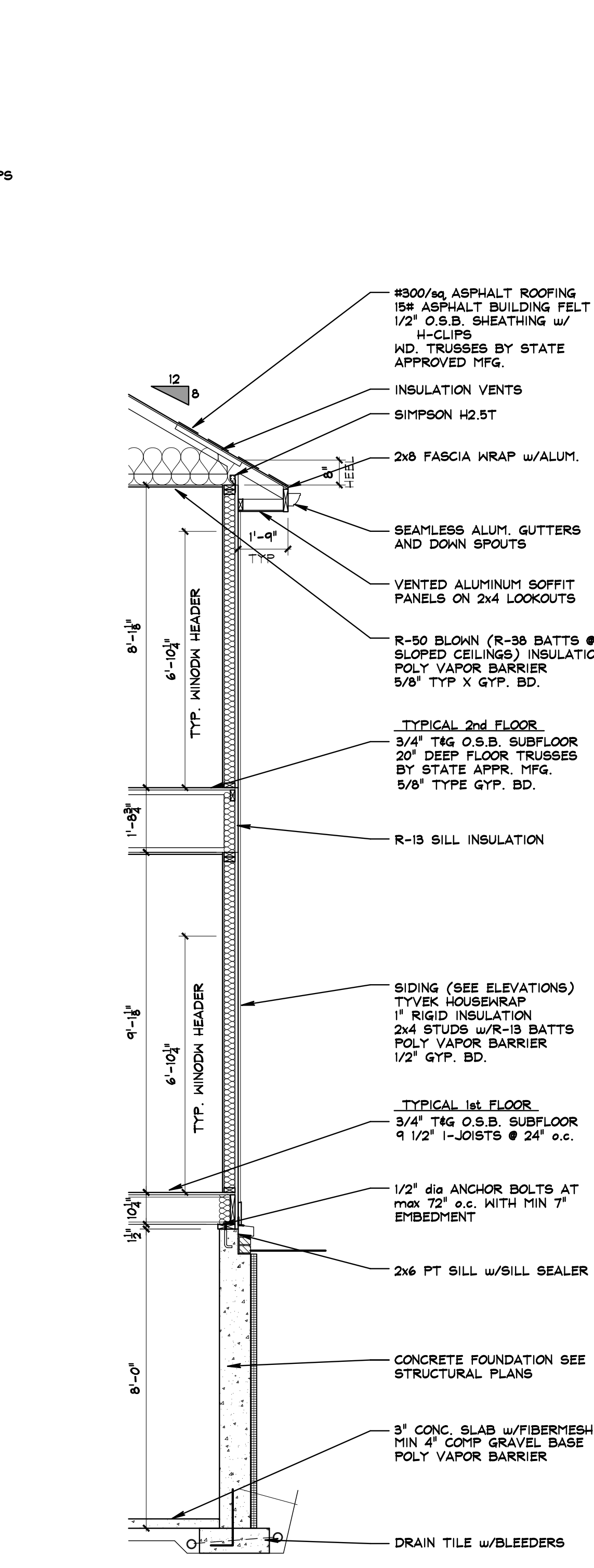
4 GARAGE PARTY WALL  
3/8" = 1'-0"



3 DUPLEX PARTY WALL  
3/8" = 1'-0"



2 DUPLEX SEPARATION WALL  
3/8" = 1'-0"



1 TYPICAL WALL SECTION  
3/8" = 1'-0"

# THE CUSTOM HOUSE LLC

ARCHITECTURE UNLIMITED

RESIDENTIAL  
COMMERCIAL

1506 S. 58th STREET  
WEST ALLIS, WI 53214  
PHONE (414) 617-0352

Eagles Nest  
Condominiums  
165 Aerie Circle - Bldg #9  
Brookfield, WI 53045  
Job # 2302J

All Rights Reserved

### OWNERSHIP OF DOCUMENTS

This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of The Custom House LLC, and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of The Custom House LLC.

COPYRIGHT 2020

### Sheet Contents

SECTIONS	
---	
---	
---	
---	

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

Prelim 5	19 Jan, 2021
Prelim 6	27 Jan, 2021
Prelim 7	01 Feb, 2021
Prelim 8	14 Feb, 2021
75% Set	19 Feb, 2021
85% Set	19 Feb, 2021
For Construction	19 March, 2021
Rev 1	29 April, 2021
Rev 2	29 May, 2021
Rev 3	27 Nov, 2023
Bld Set	06 Dec, 2023

Drawn By: **DG**

Checked By: **DG**

Date: **04 Dec, 2020**

Job Number: **20,044**

Sheet Number

# A 3.0





# THE CUSTOM HOUSE LLC

ARCHITECTURE UNLIMITED

RESIDENTIAL  
COMMERCIAL

1506 S. 58th STREET  
WEST ALLIS, WI 53214  
PHONE (414) 617-0352

Eagles Nest  
Condominiums  
165 Aerie Circle - Bldg #9  
Brookfield, WI 53045  
Job # 2302J

All Rights Reserved

OWNERSHIP OF DOCUMENTS

This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of The Custom House LLC, and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of The Custom House LLC.

COPYRIGHT 2020

Sheet Contents

SECTIONS - UNIT C

Issued For: \_\_\_\_\_ Date: \_\_\_\_\_

Prelim 5	19 Jan, 2021
Prelim 6	27 Jan, 2021
Prelim 7	01 Feb, 2021
Prelim 8	14 Feb, 2021
75% Set	19 Feb, 2021
85% Set	19 Feb, 2021
For Construction	19 March, 2021
Rev 1	29 April, 2021
Rev 2	29 May, 2021
Rev 3	27 Nov, 2023
Bld Set	06 Dec, 2023

Drawn By: **DG**

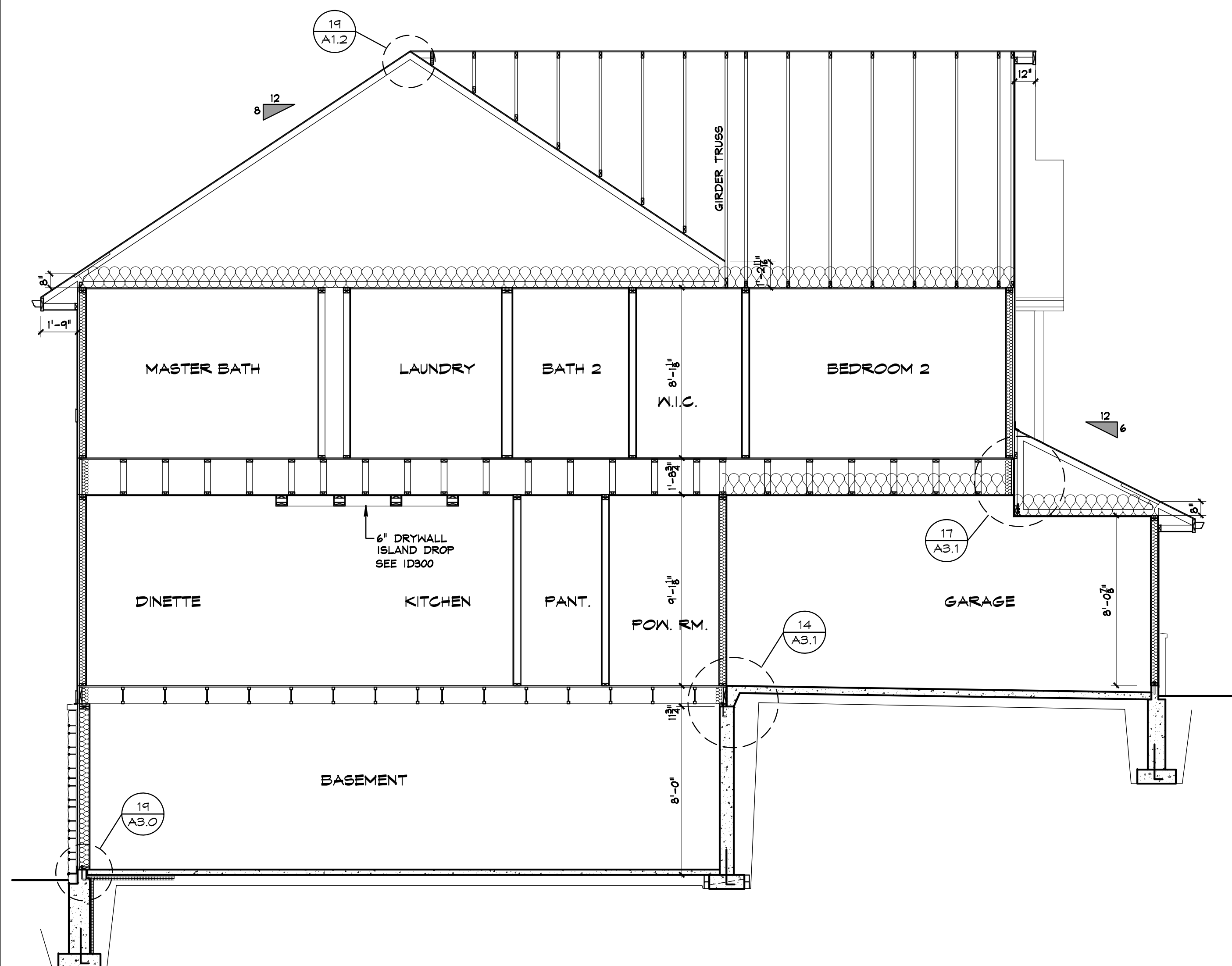
Checked By: **DG**

Date: 04 Dec, 2020

Job Number: 20,044

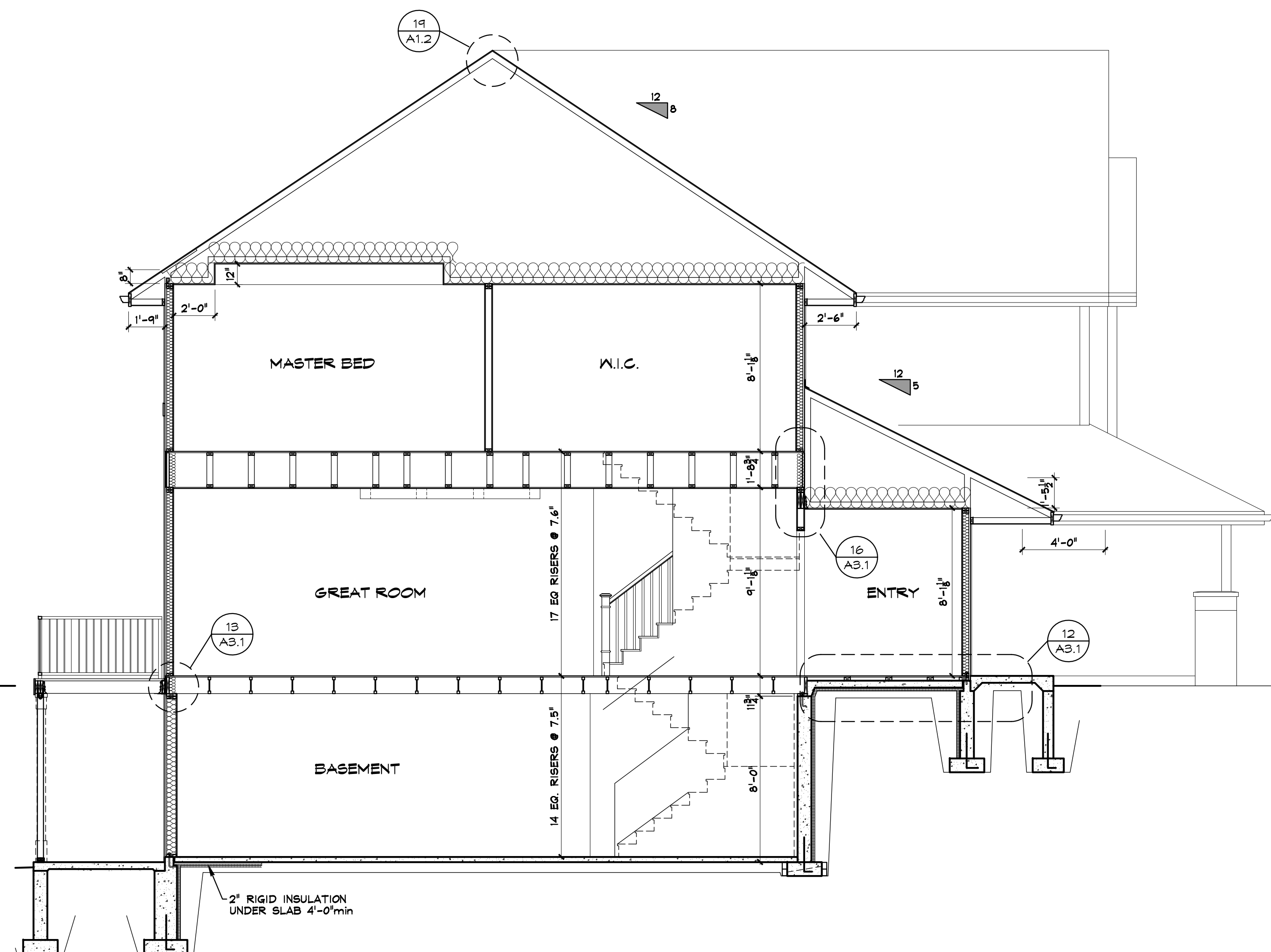
Sheet Number

## A 3.2



SECTION AT GARAGE (UNIT 103 & 104 REV)

1/4" = 1'-0"



SECTION AT ENTRY (UNIT 103 & 104 REV)

1/4" = 1'-0"

# THE CUSTOM HOUSE LLC

ARCHITECTURE UNLIMITED

RESIDENTIAL  
COMMERCIAL

1506 S. 58th STREET  
WEST ALLIS, WI 53214  
PHONE (414) 617-0352

**Eagles Nest  
Condominiums**  
165 Aerie Circle - Bldg #9  
Brookfield, WI 53045  
Job # 2302J

All Rights Reserved

### OWNERSHIP OF DOCUMENTS

This document, and the ideas and design incorporated herein, as an instrument of professional service, is the sole property of The Custom House LLC, and is not to be used in whole or in part for any other project or purpose without the expressed written authorization of The Custom House LLC.

COPYRIGHT 2020

### Sheet Contents

ELECTRIC PLANS

Issued For:	Date:
Prelim 1	10 Dec. 2020
Prelim 2	21 Dec. 2020
Prelim 4	13 Jan. 2021
Prelim 5	14 Jan. 2021
Prelim 6	27 Jan. 2021
Prelim 7	01 Feb. 2021
Prelim 8	14 Feb. 2021
75% Set	19 Feb. 2021
85% Set	19 Feb. 2021
For Construction	19 March 2021
Rev 1	23 April 2021
Rev 2	29 May 2021
Rev 3	27 Nov. 2023
Bld Set	06 Dec. 2023

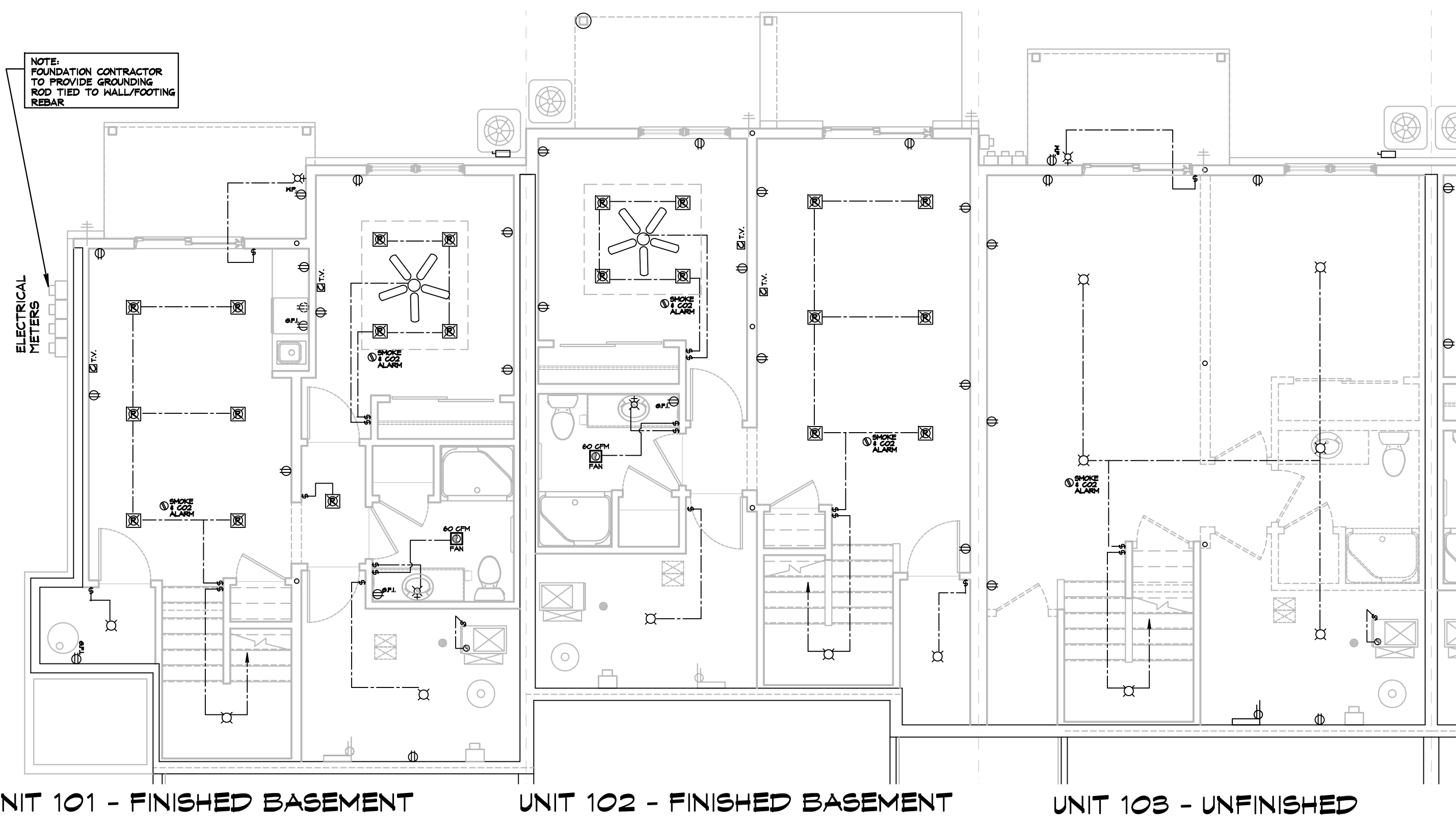
Drawn By: **DG**  
Checked By: **DG**

Date: 04 Dec. 2020

Job Number: 20,044

Sheet Number

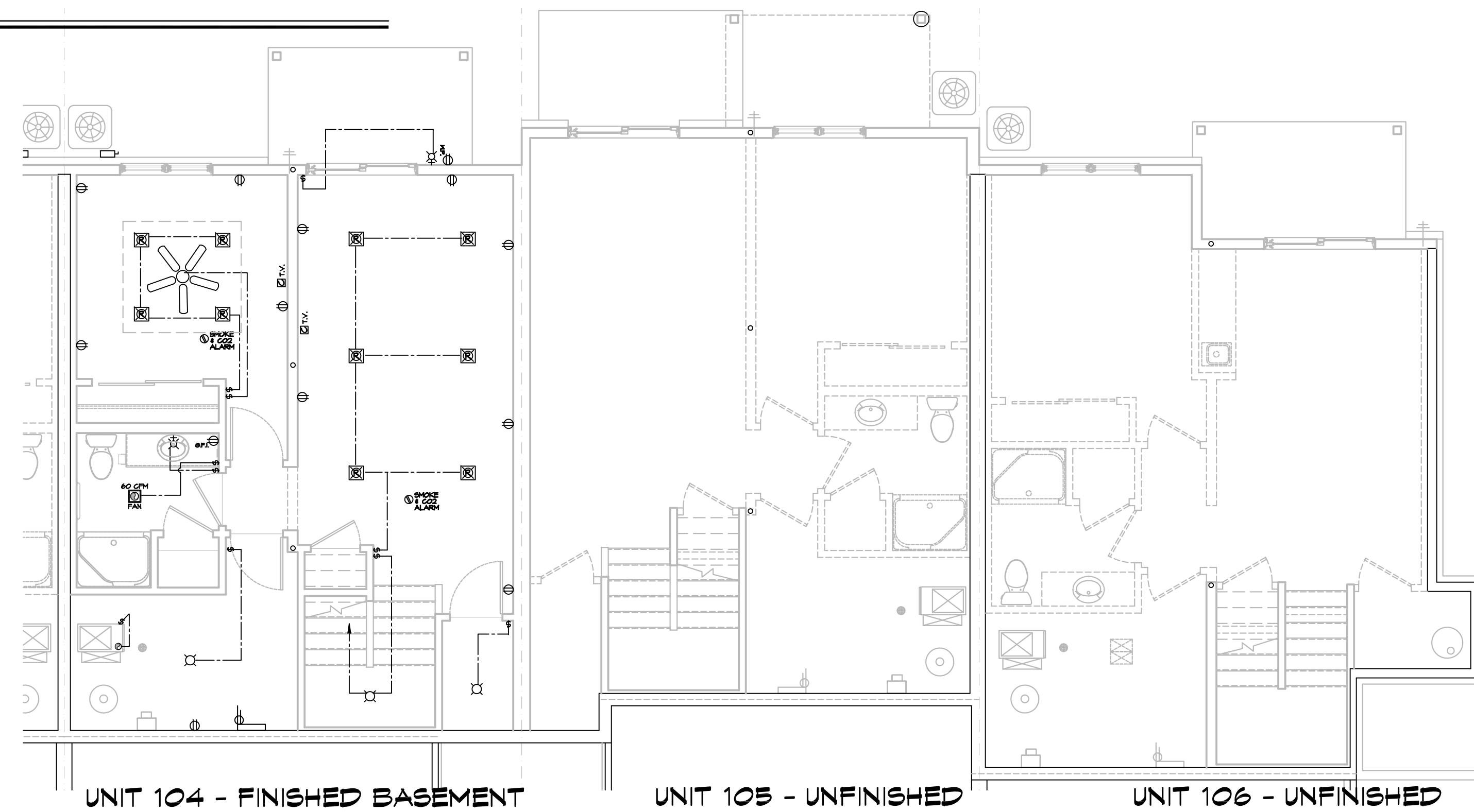
# E 1.0



15 PARTIAL BASEMENT LEVEL ELECTRIC PLAN

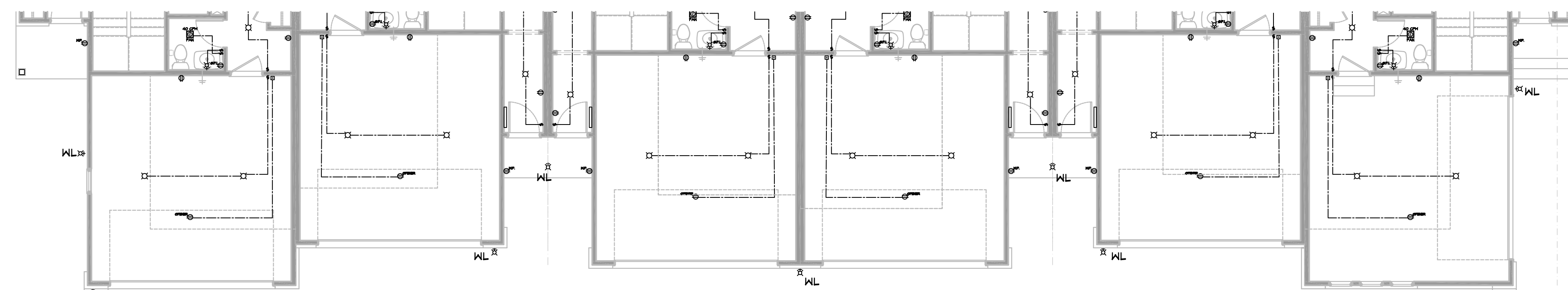
3/16" = 1'-0"

ELECTRICAL KEY	
	60 CFM CEILING MOUNT BATH FAN
	60 CFM CEILING MOUNT BATH FAN/LIGHT
	CEILING FAN BOX LOCATION
	24" FLUORESCENT FIXTURE
	CEILING LIGHT
	PULL CHAIN
	DUPLEX RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	220 VOLT RECEPTACLE
	WEATHERPROOF RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	DISCONNECT
	RECESSED LIGHT (SHALLOW STYLE - NO BONNETT)
	INTERCONNECTED SMOKE BRK R120LBL CO2 ALARM BRK SC4120LBL
	SWITCH
	DIMMER SWITCH
	JAMB SWITCH
	WALL LIGHT
	PHONE/CABLE
	PHONE
	CABLE T.V. JACK
	SPEAKER JACK
	DOORBELL CHIME
	THERMOSTAT
	WALL SCONCE
	SERVICE PANEL WALL MT.
	SERVICE PANEL RECESSED
	MOTOR



16 PARTIAL BASEMENT LEVEL ELECTRIC PLAN

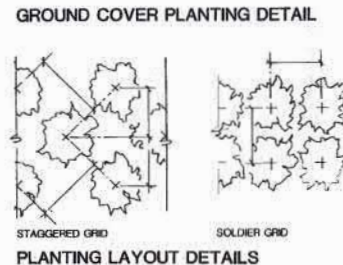
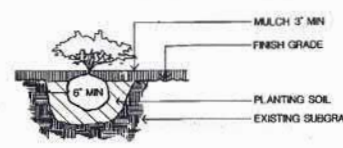
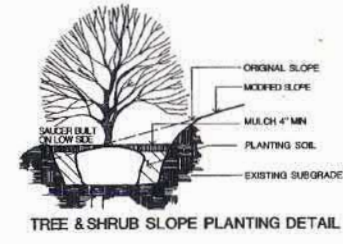
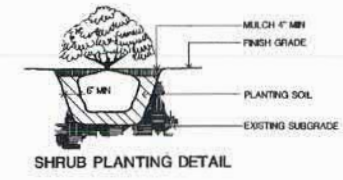
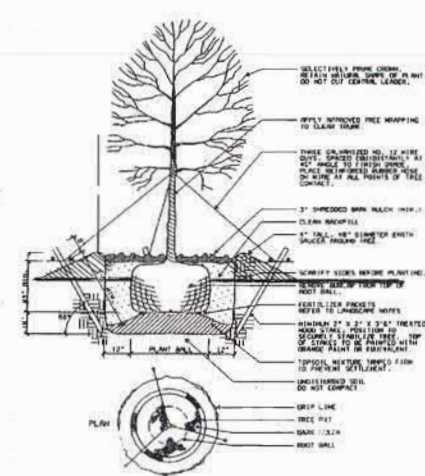
3/16" = 1'-0"



4 EXTERIOR PUBLIC ELECTRIC PLAN

1/8" = 1'-0"





- JOB SPECIFICATIONS**
- All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
  - All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
  - All plant beds will receive three to four inches of shredded hardwood mulch, treated with Trellon Pre-Emergent both below and on top of the mulch.
  - All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
  - All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kanblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
  - Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curlex Blankets to help prevent wind and water erosion.
  - Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
  - All large trees and evergreens are to be guyed and staked.

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
<b>SHADE TREES</b>					
ABM	18	Autumn Blaze Maple	Acer freemanii	2 1/2-3'	B. B.
SL	13	Skyline Locust	Gleditsia triacanthos	2 1/2-3'	B. B.
LLL	7	Little Leaf Linden	Tilia cordata	2 1/2-3'	B. B.
WA	12	White Ash	Fraxinus americana	2 1/2-3'	B. B.
<b>ORNAMENTAL TREES</b>					
PFC	18	Prairie Fire Flowering Crab	Malus 'prairie fire'	2-2 1/2'	B. B.
DWC	11	Donald Wymen Flowering Crab	Malus 'donald wymen'	2-2 1/2'	B. B.
PSFC	4	Pinkspire Flowering Crab	Malus 'pinkspire'	2-2 1/2'	B. B.
CSP	26	Cleveland Select Pear	Pyrus calleryana	2 1/2-3'	B. B.
JTL	8	Japanese Tree Lilac	Syringa pekinensis	2-2 1/2'	B. B.
<b>EVERGREEN TREES</b>					
BS	23	Blue Spruce	Picea pungens glauca	7-8'	B. B.
GS	5	Green Spruce	Picea pungens	7-8'	B. B.
BHS	10	Blackhill Spruce	Picea glauca densata	7-8'	B. B.
TA	34	Techney Arborvitae	Thuja occidentalis 'Techney'	7-8'	B. B.
AP	23	Austrian Pine	Pinus nigra	7-8'	B. B.
<b>SHRUBS AND PERENNIALS</b>					
KJ	9	Kalley Juniper	Juniperus chinensis	24"	B. B.
CSR	10	Champlain Shrub Rose	Rosa meidland	18"	B. B.

**J.B.J. Development**  
(a division of J.B.J. Companies, Inc.)  
W178 N9912 Rivercrest Drive, Suite 101  
Germantown, WI 53022-4645  
Phone: (262) 255-1800  
Fax: (262) 255-2234  
E-mail: www.jbjcompanies.com

**NELSON**  
**Landscape Inc.**  
262.549.6111  
Fax 262.549.9229  
RESIDENTIAL  
COMMERCIAL  
INSTITUTIONAL  
Landscape Designers  
& Contractors with  
Over 40 Years of  
Outstanding Results

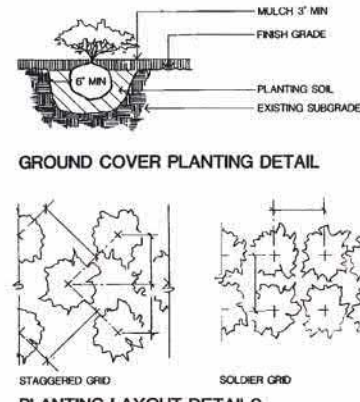
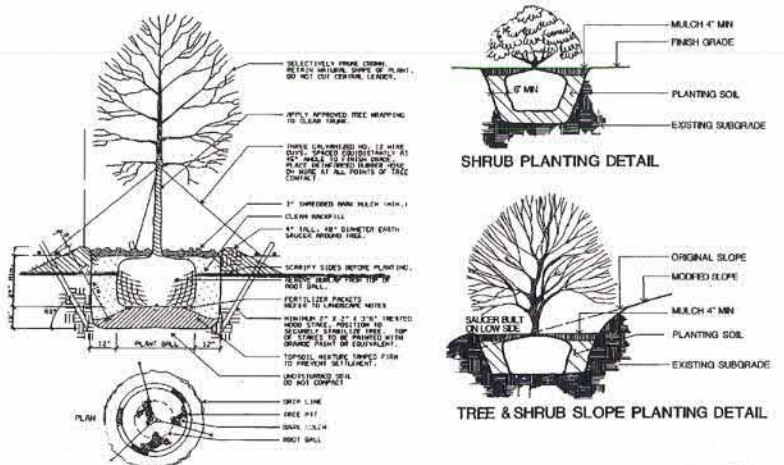
**DIGGERS HOTLINE**  
WISCONSIN STATE STATUTE 182.0178 REQUIRES  
THREE WORK DAYS NOTICE BEFORE YOU DIG. CALL  
CALL DIGGERS HOTLINE 1-800-242-8511

**EAGLES NEST  
CONDOMINIUMS**  
Job #2302  
BROOKFIELD ROAD  
TOWN OF BROOKFIELD, WI

**SITE LANDSCAPE PLAN**  
REVISIONS: 7-17-04, 12-23-04  
DRAWN BY: D.K.N.

Project: \_\_\_\_\_ Sheet: \_\_\_\_\_  
Date: 6-23-04  
Scale: 1"=40' 0" **L1**





- JOB SPECIFICATIONS**
- All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
  - All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
  - All plant beds will receive three to four inches of shredded hardwood mulch, treated with Trellon Pre-Emergent both below and on top of the mulch.
  - All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
  - All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kenblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
  - Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curlex Blankets to help prevent wind and water erosion.
  - Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
  - All large trees and evergreens are to be guyed and staked.

**LANDSCAPE PLANT DATA**

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
<b>SHADE TREES</b>					
ABM	18	Autumn Blaze Maple	Acer freemanii	2 1/2-3"	B. B.
SL	13	Skyline Locust	Gleditsia triacanthos	2 1/2-3"	B. B.
LLL	7	Little Leaf Linden	Tilia corolata	2 1/2-3"	B. B.
WA	12	White Ash	Fraxinus americana	2 1/2-3"	B. B.
<b>ORNAMENTAL TREES</b>					
PFC	18	Prairie Fire Flowering Crab	Malus 'prairie fire'	2-2 1/2"	B. B.
DWC	11	Donald Wyman Flowering Crab	Malus 'donald wyman'	2-2 1/2"	B. B.
PSFC	4	Pinkspire Flowering Crab	Malus 'pinkspire'	2-2 1/2"	B. B.
CSP	26	Cleveland Select Pear	Pyrus calleryana	2 1/2-3"	B. B.
JTL	8	Japanese Tree Lilac	Syringa pekinensis	2-2 1/2"	B. B.
<b>EVERGREEN TREES</b>					
BS	23	Blue Spruce	Picea pungens glauca	7-8"	B. B.
GS	5	Green Spruce	Picea pungens	7-8"	B. B.
BHS	10	Blackhill Spruce	Picea glauca densata	7-8"	B. B.
TA	34	Techney Arborvitae	Thuja occidentalis 'Techney'	7-8"	B. B.
AP	23	Austrian Pine	Pinus nigra	7-8"	B. B.
<b>SHRUBS AND PERENNIALS</b>					
KJ	9	Kailey Juniper	Juniperus chinensis	24"	B. B.
CSR	10	Champlain Shrub Rose	Rosa meidland	18"	B. B.

**J.B.J. Development**  
(a division of J.B.J. Companies, Inc.)  
W178 N9912 Rivercrest Drive, Suite 101  
Germantown, WI 53022-4645  
Phone: (262) 255-1800  
Fax: (262) 255-2234  
E-mail: www.jbjcompanies.com

**NELSON**  
**Landscape Inc.**  
**262.549.6111**  
Fax 262.549.9229  
RESIDENTIAL  
COMMERCIAL  
INSTITUTIONAL  
Landscape Designers  
& Contractors with  
Over 40 Years of  
Outstanding Results

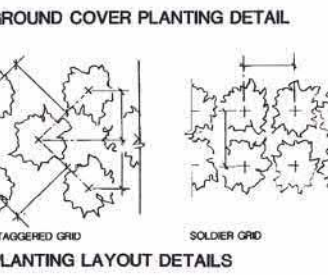
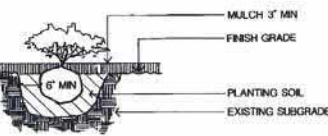
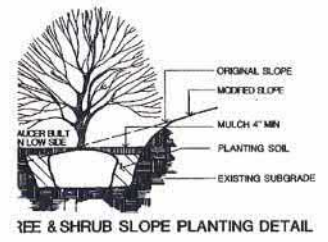
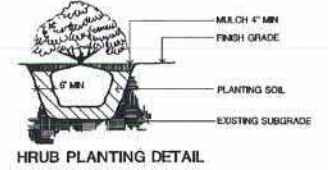
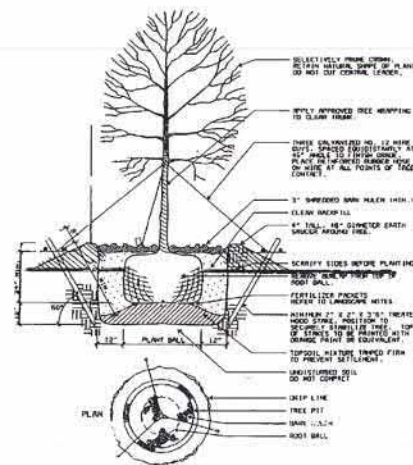
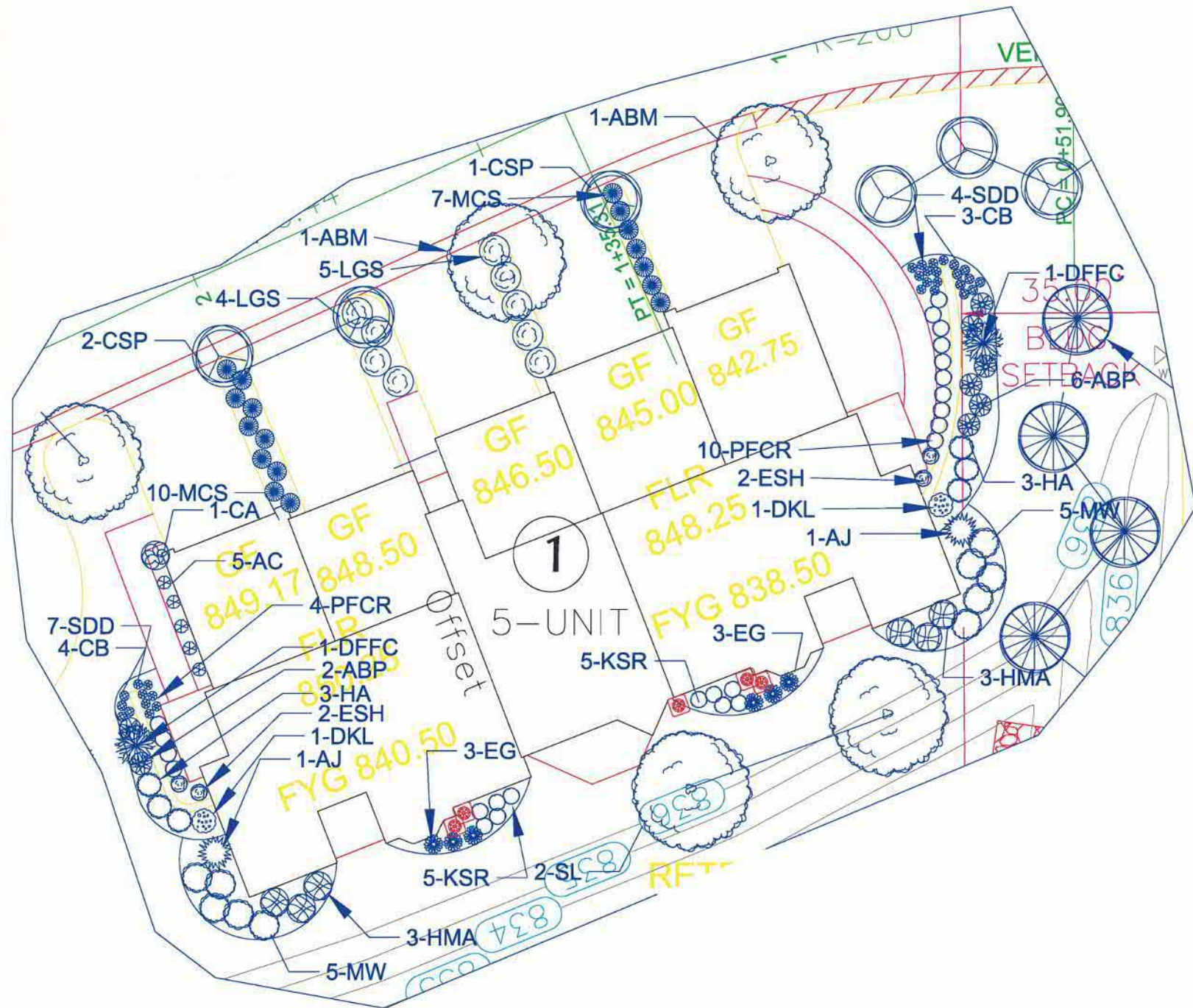
**DIGGERS HOTLINE**  
WISCONSIN STATE STATUTE 182.075 REQUIRES  
THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE  
CALL DIGGERS HOTLINE 1-800-242-8511

**EAGLES NEST  
CONDOMINIUMS**  
**Job #2302**  
**BROOKFIELD ROAD**  
**TOWN OF BROOKFIELD, WI**

**SITE LANDSCAPE PLAN**  
**REVISIONS: 7-17-04, 12-23-04**  
**DRAWN BY: D.K.N.**

Project: \_\_\_\_\_ Sheet: \_\_\_\_\_  
Date: **6-23-04**  
Scale: **1"=40' 0"** **L2**





- JOB SPECIFICATIONS**
- All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
  - All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
  - All plant beds will receive three to four inches of shredded hardwood mulch, treated with Treflon Pre-Emergent both below and on top of the mulch.
  - All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
  - All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kenblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
  - Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curfex Blankets to help prevent wind and water erosion.
  - Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
  - All large trees and evergreens are to be guyed and staked.

**LANDSCAPE PLANT DATA**

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
HA	6	Holmstrup Arborvitae	Thuja occidentalis holmstrup	4-5'	B. B.
AJ	2	Arcadia Juniper	Juniperus chinensis	24-30"	B. B.
HMA	6	Hetz Midjet Arborvitae	Thuja occidentalis hetz	18"	B. B.
GVB	0	Green Velvet Boxwood	Buxus green velvet	24"	B. B.
EG	6	Euonymus Gaely	Euonymus fortunei	18"	B. B.
DFFC	2	Dwarf Firebird Flowering Crab	Malus	1 3/4-2"	B. B.
CA	1	Compact Atlas	Euonymus alata	30-36"	B. B.
DKL	2	Dwarf Korean Lilac	Syringa meyeri	36-42"	B. B.
ABP	8	Abbotswood Potentilla	Potentilla fruticosa	18-24"	B. B.
GS	0	Goldmound Spirea	Spiraea bumalda	18-24"	B. B.
LGS	9	Low Grow Sumac	Rhus aromatica	18-24"	B. B.
MCS	17	Magic Carpet Spirea	Spiraea japonica	15-18"	B. B.
AC	5	Alpine Currant	Ribes alpinum	18-24"	B. B.
MW	10	Minuet Weigela	Weigela florida brigela'	18"	B. B.
KSR	10	Knockout Shrub Rose	Rosa knockout	2-3'	B. B.
ESH	4	Endless Summer Hydrangea	Hydrangea macrophylla	18"	B. B.
PFCR	14	Pink Flower Carpet Rose	Rosa flower carpet	18"	B. B.
SDD	14	Stella D'Or Daylily	Hemerocallis	1 gal.	pots
CB	12	Coral Bell	Heuchera micrantha	1 gal.	pots



**J.B.J. Development**  
 (a division of J.B.J. Companies, Inc.)  
 W178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4845  
 Phone: (262) 255-1800  
 Fax: (262) 255-2234  
 E-mail: www.jbjcompanies.com



**Landscape Inc.**  
**262.549.6111**  
 Fax 262.549.9229  
 RESIDENTIAL  
 COMMERCIAL  
 INSTITUTIONAL

Landscape Designers  
 & Contractors with  
 Over 40 Years of  
 Outstanding Results



WISCONSIN STATE STATUTE 192.0176 REQUIRES  
 THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE  
 CALL DIGGERS HOTLINE 1-800-242-8511

**EAGLES NEST  
 CONDOMINIUMS**  
 Job #2302  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI

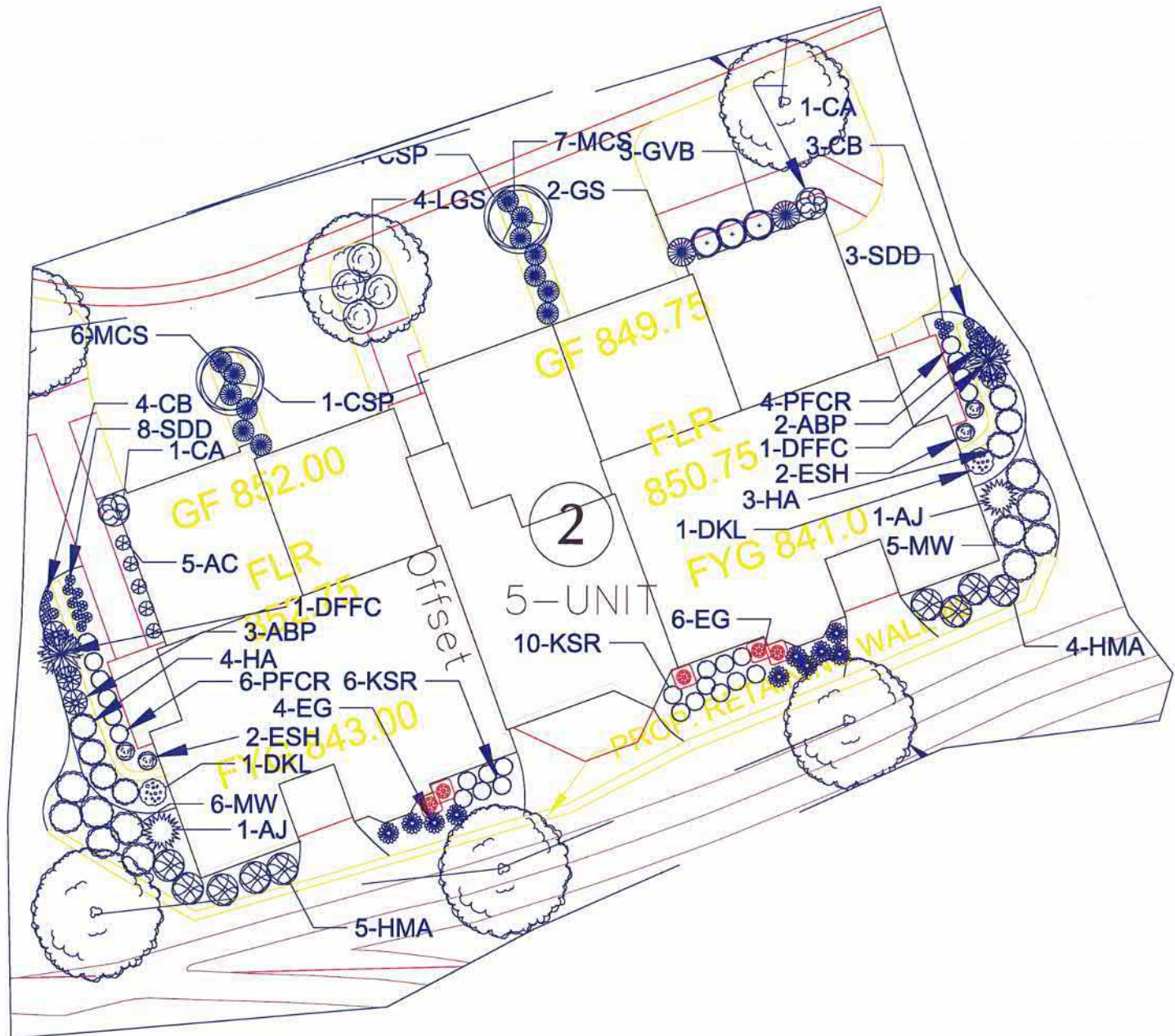
**BUILDING 1 FOUNDATION  
 PLANTINGS**

REVISIONS: 7-17-04, 12-23-04

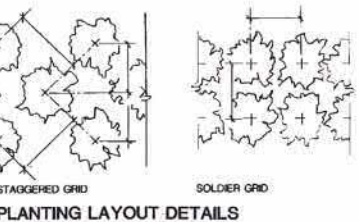
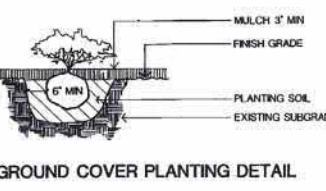
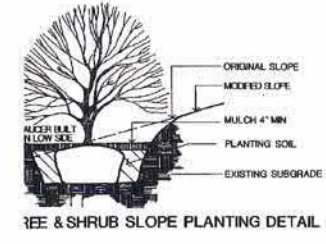
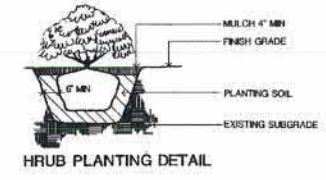
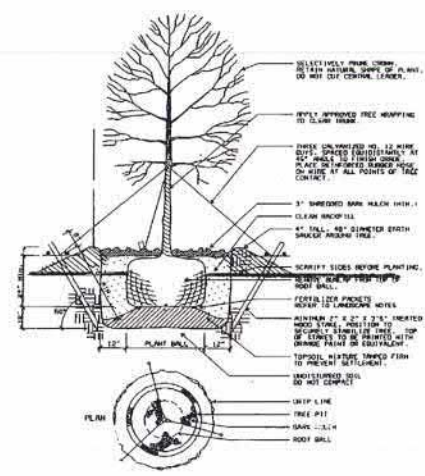
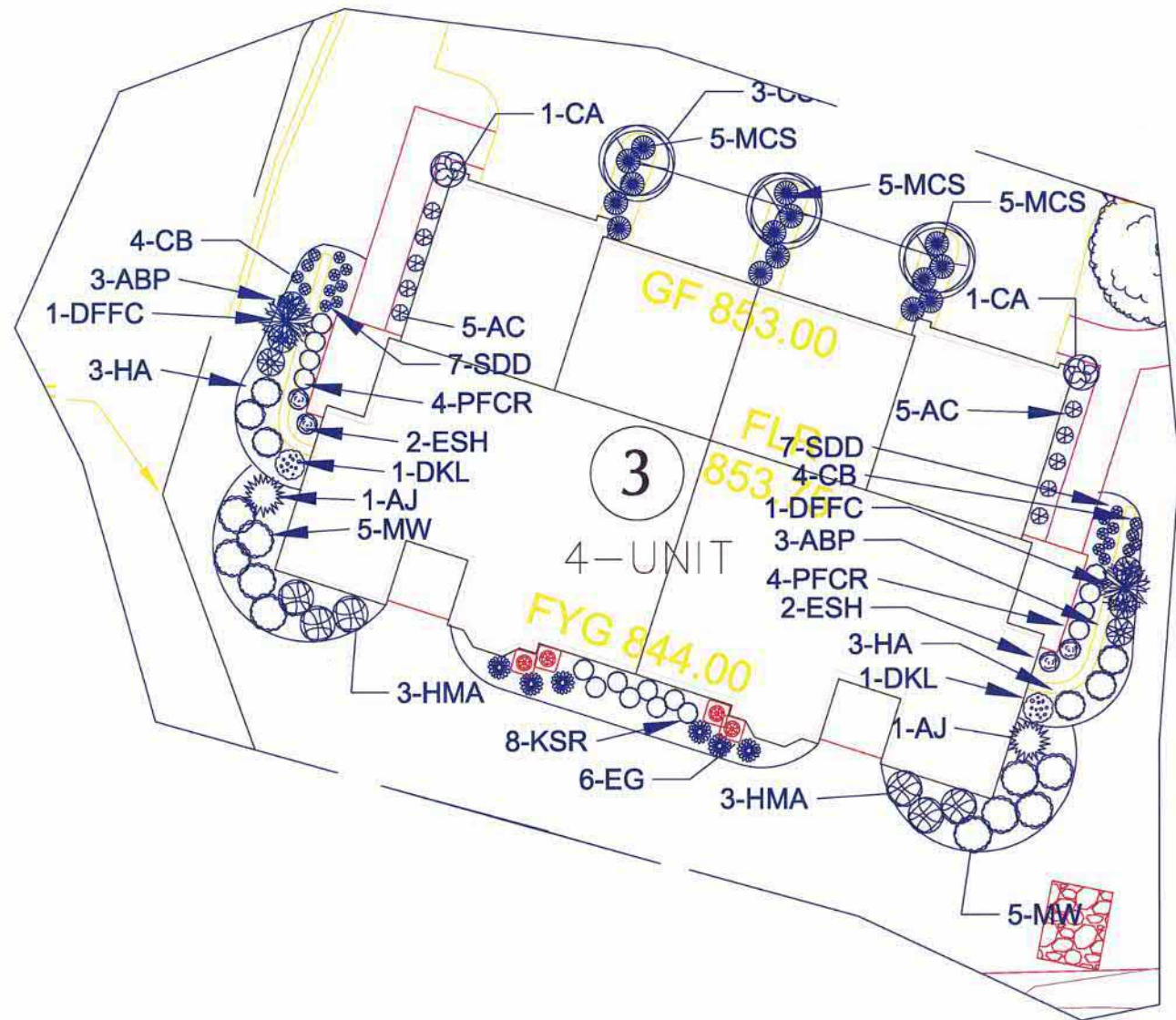
DRAWN BY: D.K.N.

Project: \_\_\_\_\_ Sheet: \_\_\_\_\_  
 Date: 6-23-04  
 Scale: 1"=10' 0" **L3**









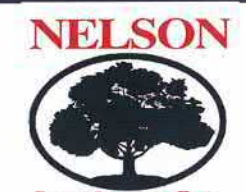
- JOB SPECIFICATIONS**
- All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
  - All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
  - All plant beds will receive three to four inches of shredded hardwood mulch, treated with Treflon Pre-Emergent both below and on top of the mulch.
  - All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
  - All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kenblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
  - Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curlex Blankets to help prevent wind and water erosion.
  - Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
  - All large trees and evergreens are to be guyed and staked.

**LANDSCAPE PLANT DATA**

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
HA	6	Holmstrup Arborvitae	Thuja occidentalis holmstrup	4-5'	B. B.
AJ	2	Arcadia Juniper	Juniperus chinensis	24-30"	B. B.
HMA	6	Hetz Midget Arborvitae	Thuja occidentalis hetz	18"	B. B.
GVB	0	Green Velvet Boxwood	Buxus green velvet	24"	B. B.
EG	6	Euonymus Gaety	Euonymus fortunei	18"	B. B.
DFFC	2	Dwarf Firebird Flowering Crab	Malus	1 3/4-2"	B. B.
CA	2	Compact Alatus	Euonymus alata	30-36"	B. B.
DKL	2	Dwarf Korean Lilac	Syringa meyeri	36-42"	B. B.
ABP	6	Abbotswood Potentilla	Potentilla fruticosa	18-24"	B. B.
GS	0	Goldmound Spirea	Spiraea bumalda	18-24"	B. B.
LGS	0	Low Grow Sumac	Rhus aromatica	18-24"	B. B.
MCS	15	Magic Carpet Spirea	Spiraea japonica	15-18"	B. B.
AC	10	Alpine Cumant	Ribes alpinum	18-24"	B. B.
MW	10	Minuet Weigela	Weigela florida 'brigela'	18"	B. B.
KSR	8	Knockout Shrub Rose	Rosa knockout	2-3'	B. B.
ESH	4	Endless Summer Hydrangea	Hydrangea macrophylla	18"	B. B.
PFCR	8	Pink Flower Carpet Rose	Rosa flower carpet	18"	B. B.
SDD	14	Stella O' Ora Daylily	Hemerocallis	1 gal.	pots
CB	8	Coral Bell	Heuchera micrantha	1 gal.	pots



**J.B.J. Development**  
(a division of J.B.J. Companies, Inc.)  
W178 N9912 Rivercrest Drive, Suite 101  
Germantown, WI 53022-4645  
Phone: (262) 255-1800  
Fax: (262) 255-2234  
E-mail www.jbjcompanies.com



**Landscape Inc.**  
**262.549.6111**  
Fax 262.549.9229  
RESIDENTIAL  
COMMERCIAL  
INSTITUTIONAL  
Landscape Designers  
& Contractors with  
Over 40 Years of  
Outstanding Results



**EAGLES NEST CONDOMINIUMS**  
Job #2302  
BROOKFIELD ROAD  
TOWN OF BROOKFIELD, WI

**BUILDING 3 FOUNDATION PLANTINGS**  
REVISIONS: 7-17-04, 12-23-04  
DRAWN BY: D.K.N.

Project: \_\_\_\_\_ Sheet: **L5**  
Date: **6-23-04**  
Scale: **1"=10' 0"**









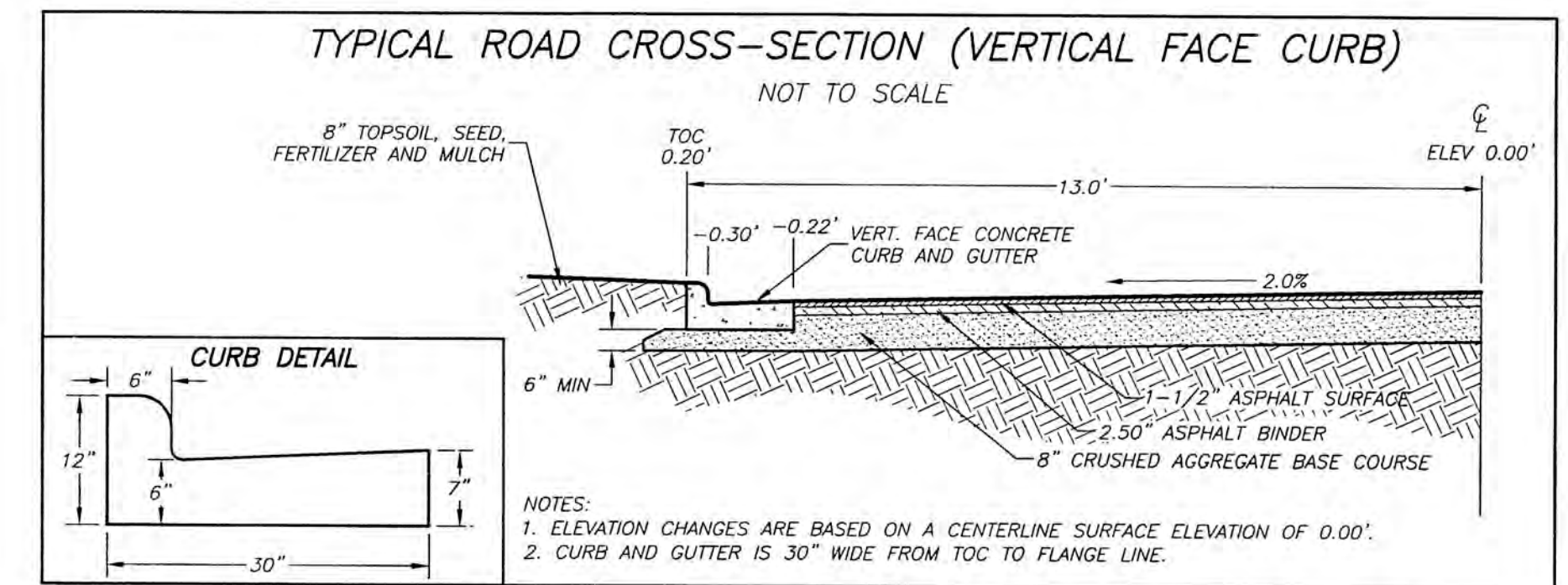
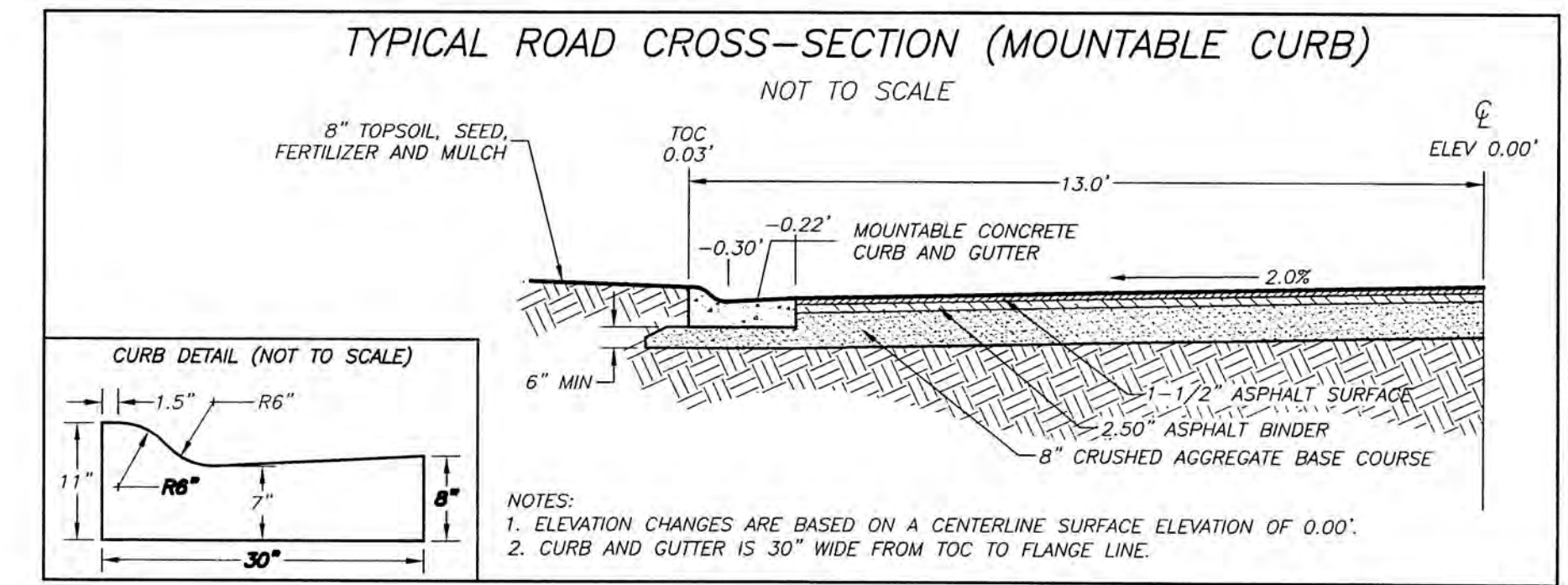


# EAGLES NEST CONDOMINIUMS

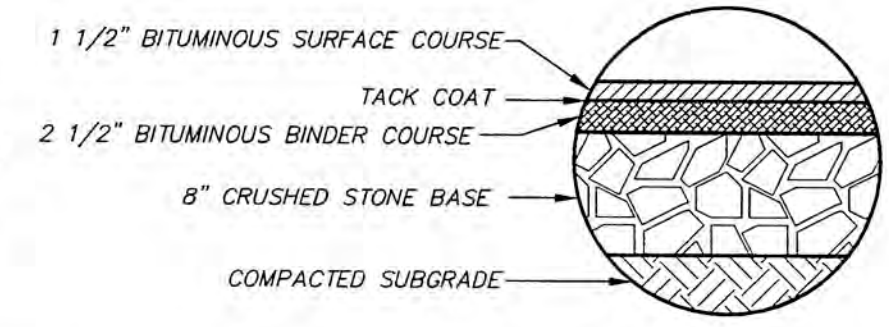
Being a part of the Southeast 1/4 of the Southeast 1/4 of Section 29, Township 7 North, Range 20 East,  
in the Town of Brookfield, Waukesha County, Wisconsin.

## SHEET INDEX

- C1 SITE PLAN / TITLE SHEET
- C2 GRADING PLAN
- C3 EROSION CONTROL PLAN
- C4 ROAD PROFILE
- C5 OVERALL UTILITY PLAN
- C6 SANITARY SEWER PLAN
- C7 SANITARY SEWER & WATERMAIN PROFILE
- C8 WATERMAIN PLAN
- C9 WATERMAIN PROFILE (NORTH)
- C10 STORM SEWER PLAN
- C11 STORM SEWER PROFILE
- C12 SURVEY, DEMOLITION & TREE REMOVAL PLAN
- C13 SITE LIGHTING PLAN
- C14 ENTRANCE SIGN PLAN

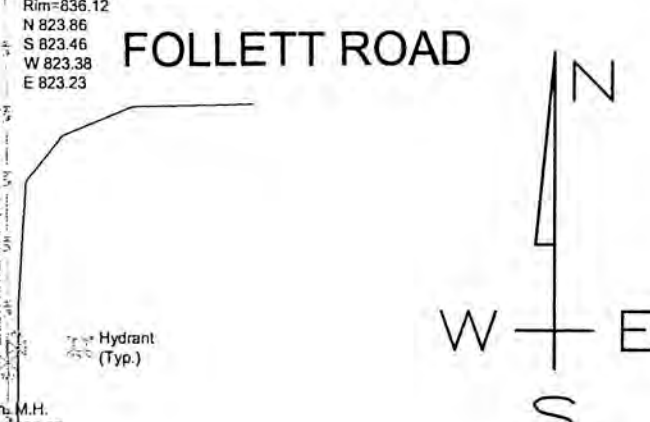
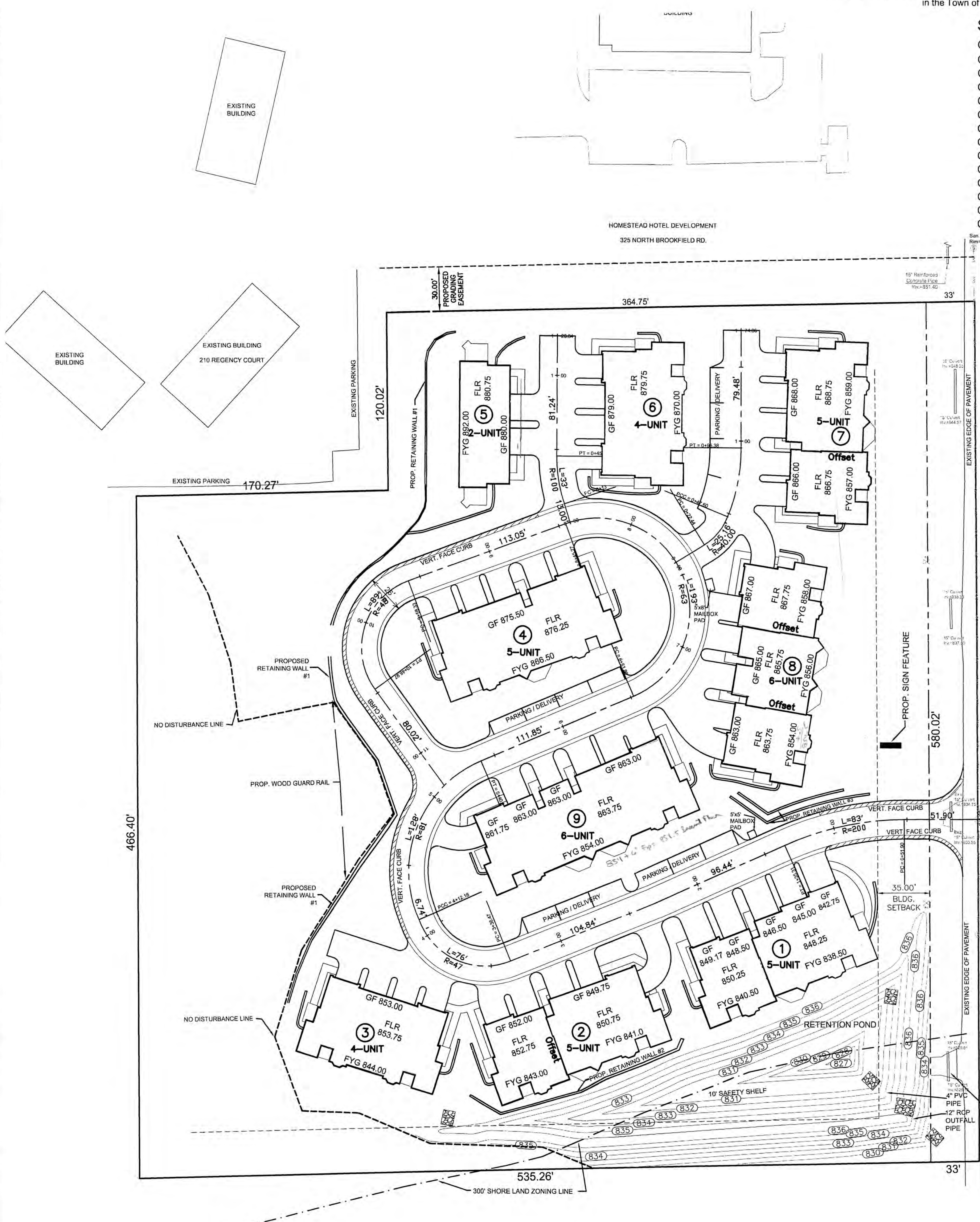


- NOTES:
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
  2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



## SEQUENCE OF CONSTRUCTION

1. PLACE SILT FENCE AND TRACKING MAT AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN.
2. CONSTRUCT RETENTION POND AND BERMS.
3. STRIP TOPSOIL IN ROADS AND FILL AREAS. STOCKPILE TOPSOIL FOR REUSE IN ROAD DITCHES, CURB BACKFILL, AND TO COVER DISTURBED SLOPES. SURROUND THE DOWNHILL SIDE OF THIS PILE WITH SILT FENCE.
4. ROUGH GRADE THE REMAINDER OF ROAD AND DITCHES TO WITHIN ±0.5' OF SUBGRADE.
5. CONSTRUCT DRAINAGE STRUCTURES.
6. FINE GRADE ALL DITCHES AND ROAD SUBBASE TO WITHIN ±0.10' BEING SURE TO LEAVE DITCHES AND DISTURBED AREAS LOW ENOUGH TO ACCEPT 4" (MIN.) OF TOPSOIL.
7. INSTALL UNDERGROUND CABLE UTILITIES.
8. RESPREAD TOPSOIL TO A DEPTH OF 8" (MIN.) ON ALL DISTURBED AREAS, SOD OR SEED, FERTILIZE AND MAT AS SPECIFIED. RESTORE UTILITY TRENCHES AFTER UTILITY INSTALLATION.
- 8a. IF SOD CANNOT BE PLACED AS REQUIRED DUE TO WEATHER OR TIME OF YEAR, THEN SOD AREAS MUST BE SEEDED AND MATTED THEN SODDED IN THE SPRING.
9. PLACE STONE SUBBASE IN ROAD AREAS AND UNDER CURB AREA.
10. PAVE CURB AND BEGIN PAVING ASPHALT.
11. SEVEN DAYS AFTER CURB PAVING, BACKFILL CURBS WITH TOPSOIL AND IMMEDIATELY TOPSOIL, SEED, FERTILIZE AND COVER WITH TACKIFIED MULCH.
12. UPON STABILIZATION OF 90% OF DISTURBED AREAS A CLOSURE REPORT WILL BE FILED WITH THE WI DNR AND WHEN APPROVED, ACCUMULATED SEDIMENT MUST BE REMOVED FROM SILTATION BASINS AND REMOVE EROSION CONTROLS. SILTATION BASINS WILL REMAIN TO FUNCTION AS PERMANENT WATER QUALITY PONDS.



LANDCRAFT SURVEY AND ENGINEERING, INC.  
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227  
PH. (414) 604-0874 FAX (414) 604-0877  
INFO@LANDCRAFTSE.COM

DESIGNED BY: CVH/ 6/24/04  
CHECKED BY: MPD 11/8/04  
APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN/CITY ENGINEER  
PROJECT NO.-REVISION: 030642 - 12/15/04  
SCALE: 1"=40'

J.B.J. Construction  
(a division of J.B.J. Companies, Inc.)  
W178 N9912 Rivercrest Drive, Suite 101  
Germanstown, WI 53022-4645  
www.jbjcompanies.com  
Job No. 2302

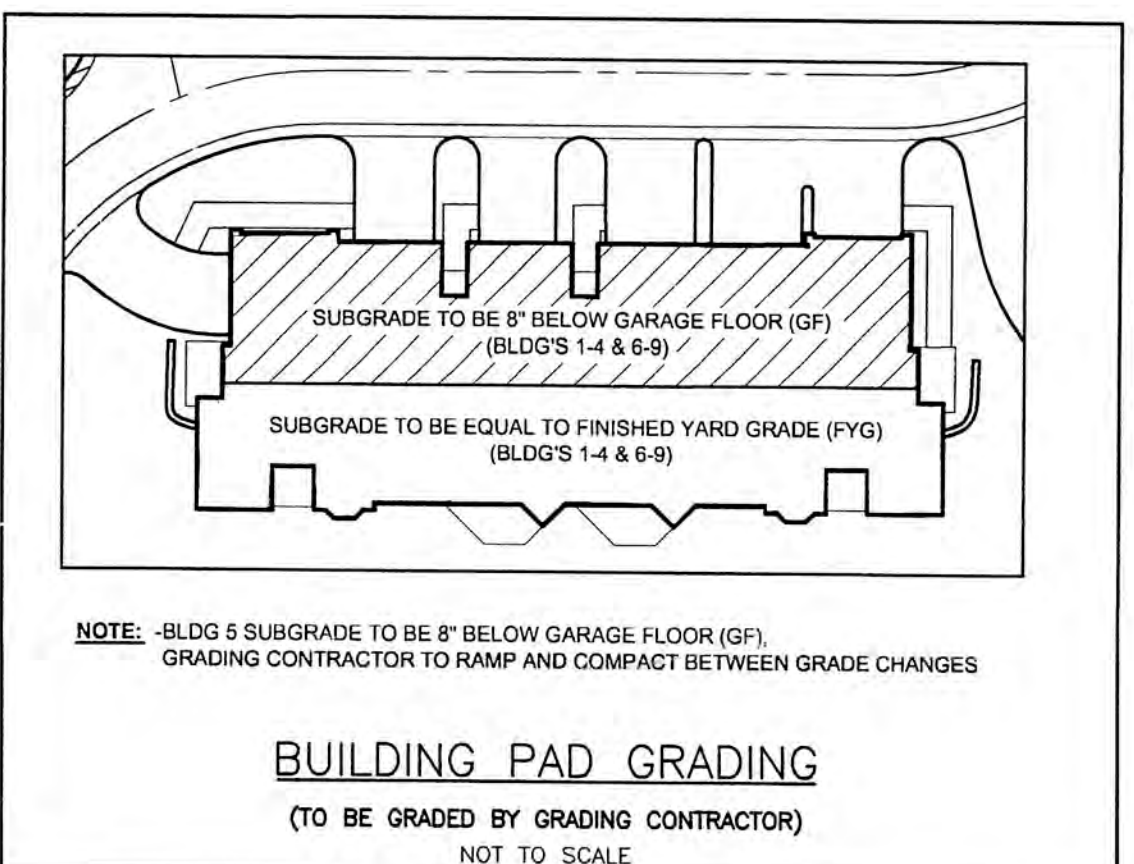
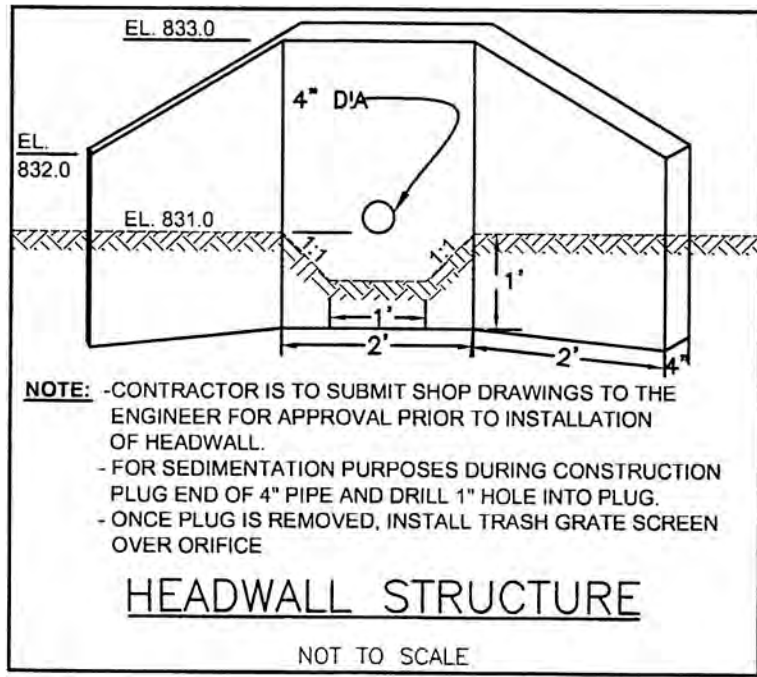
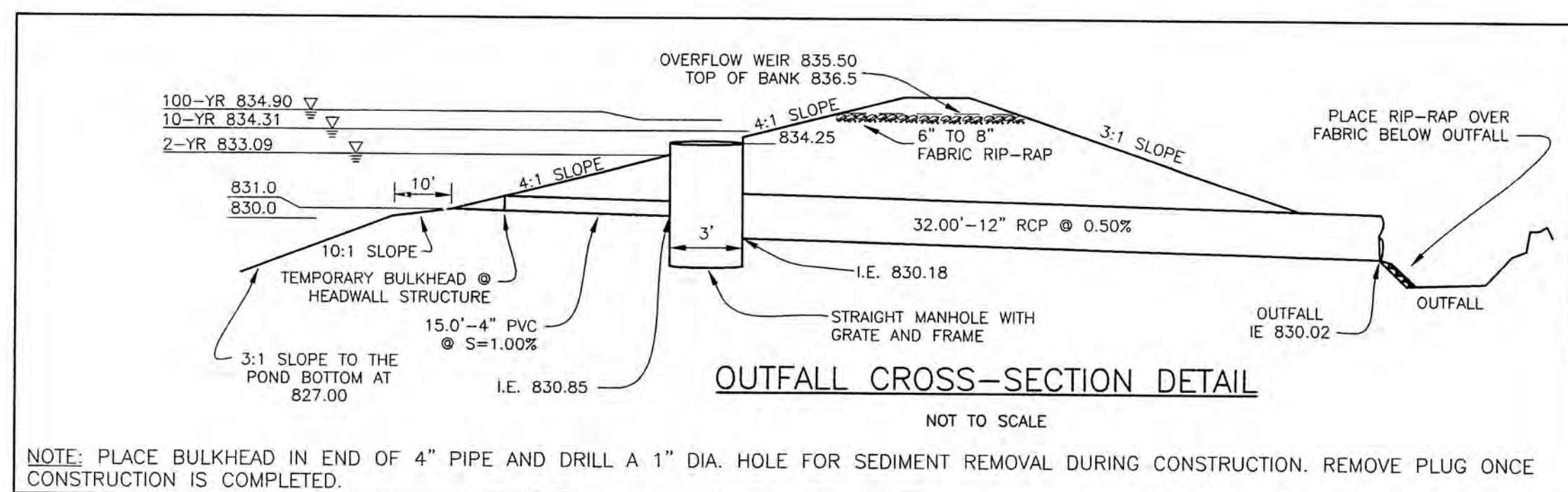
**EAGLES NEST CONDOMINIUMS**  
BROOKFIELD ROAD  
TOWN OF BROOKFIELD, WI  
SITE PLAN / TITLE SHEET  
C1

© COPYRIGHT 2003, LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.





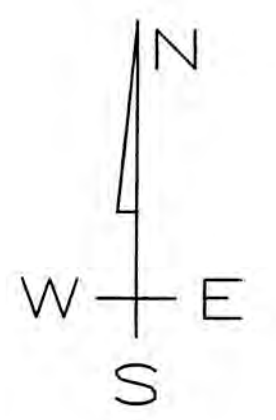
GRADING CONTRACTOR TO RESTORE EASEMENT AREA AS REQUIRED IMMEDIATELY AFTER GRADING OF AREA IS COMPLETE  
 -SEED & EROSION MAT AS REQUIRED



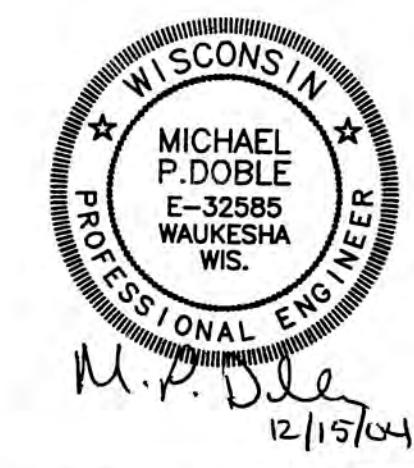
EXISTING 15" CULVERT TO BE REMOVED AND REPLACED W/ NEW 15" CULVERT. GRADE DITCH AS REQUIRED.

FOLLETT ROAD

BROOKFIELD ROAD



NOTES:  
 1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
 2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



LANDCRAFT SURVEY AND ENGINEERING, INC.  
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
 2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227  
 PH. (414) 604-0674 FAX (414) 604-0677  
 INFO@LANDCRAFTSE.COM

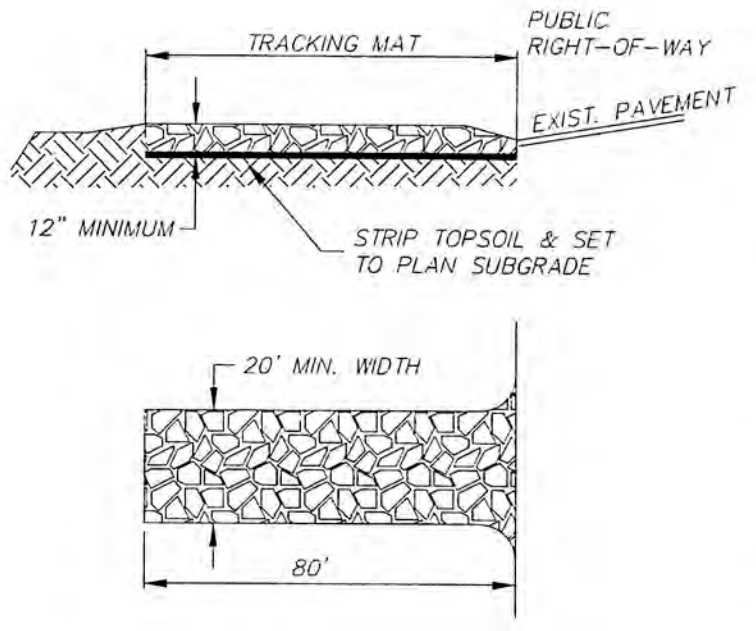
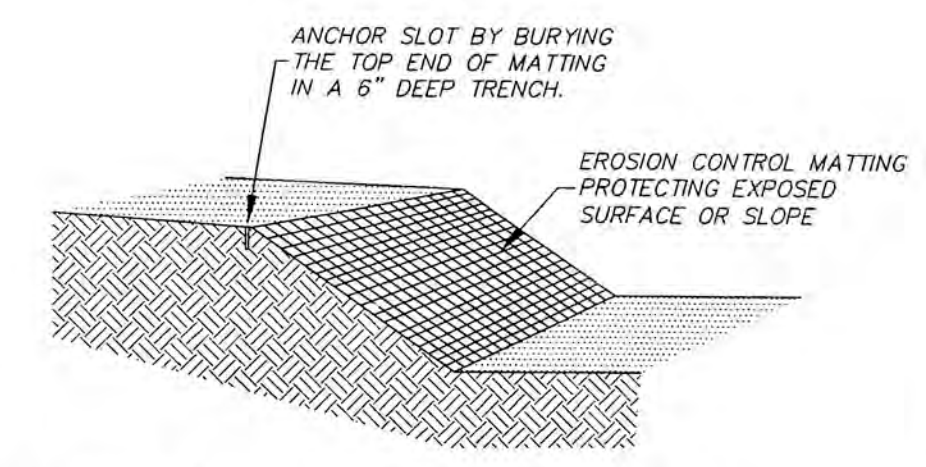
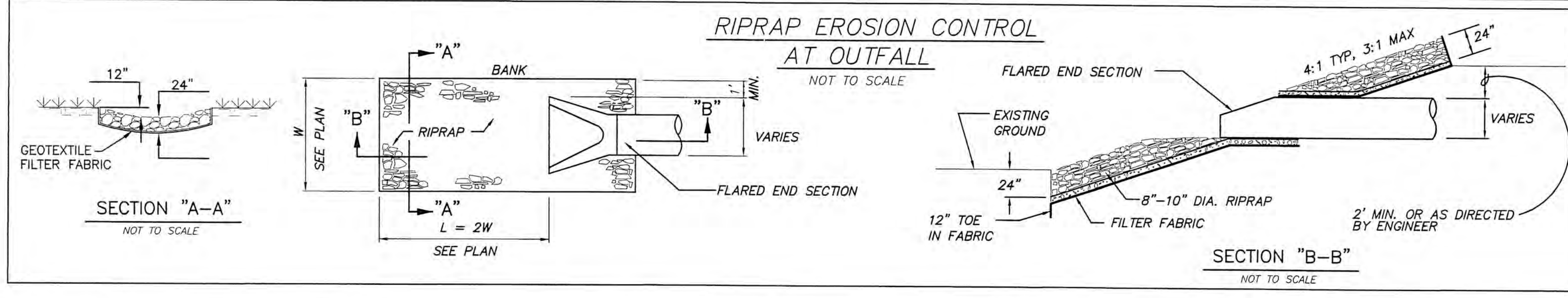
DESIGNED BY: CWH 6/24/04  
 CHECKED BY: MPD 11/8/04  
 APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 TOWN/CITY ENGINEER  
 PROJECT NO.-REVISION: 030642 - 12/15/04  
 SCALE: 1"=40'

**EAGLES NEST CONDOMINIUMS**  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI  
 GRADING PLAN  
 C2

J.B.J. Construction  
 (a division of J.B.J. Companies, Inc.)  
 W178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 www.jbjcompanies.com  
 Job No. 2302

© COPYRIGHT 2003. LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.





- PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLODS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
- THE MATTING SHALL BE ANCHORED ALONG ITS ENTIRE PERIMETER WITH A 6" X 6" ANCHOR TRENCH. AFTER MATTING IS LAID IN TRENCH, BACKFILL AND COMPACT WITH SOIL OR GRAVEL.
- THE MATTING SHALL BE ANCHORED TO THE GROUND USING 10 GAUGE WIRE STAPLES, 6" IN LENGTH BY 1" WIDE WITH A COVERAGE NOT LESS THAN 1 STAPLE PER EVERY 4 SQUARE FEET OF MATTING.
- INSTALLATIONS SHALL ALSO BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED GUIDELINES.
- EROSION CONTROL MATTING SHALL BE ONE OF THE FOLLOWING:
  - JUTE MAT COMPOSED OF A JUTE YARN WEAVED IN A BASIC MANNER AND FREE OF ANY DYE AND HAVING A MINIMUM UNIT WEIGHT OF 2.7 LBS. PER SQ. YARD.
  - WOOD FIBER MAT COMPOSED OF WOOD FIBERS ENCASED IN A NETTING MADE OF NYLON, COTTON OR SIMILAR MATERIAL AND HAVING A MINIMUM UNIT WEIGHT OF 1.0 LBS. PER SQ. YARD.
  - SYNTHETIC WEBSING MAT MADE OF POLYNYL, CHLORIDE POLYPROPYLENE MONOFILAMENTS HAVING A MINIMUM UNIT WEIGHT OF 11 OUNCES PER SQ. YARD AND A MINIMUM TENSILE STRENGTH OF 25 LBS. IN ALL DIRECTIONS (ASTM D-1682.64)
- MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
- STAPLES SHALL BE REMOVED FROM THE GROUND ONCE THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

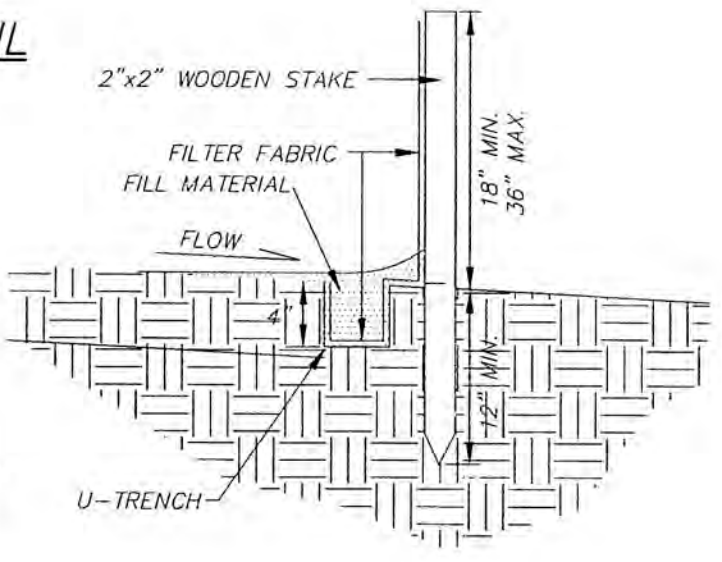
- NOTES:
- USE #2 STONE, MINIMUM 18" LENGTH OR AS SHOWN ON PLAN, MINIMUM 20" WIDTH, MINIMUM 12" THICK.
  - FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. THE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
    - GRAB STRENGTH: 220 LBS. (ASTM D-1682)
    - MULLEN BURST: 430 PSI MIN. (ASTM D-3786)
    - EQUIVALENT OPENING SIZE: 40-80 (US STD. SIEVE)
    - ELONGATION AT FAILURE: 60% (ASTM D-1682)
    - PUNCTURE STRENGTH: 125 LBS. (ASTM D-751)
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - ACCESS PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.



**EROSION CONTROL MATTING DETAIL**

EROSION CONTROL CONTRACTOR SHALL DO WHATEVER IS NECESSARY TO PREVENT EROSION OR SILTING. ADDITIONAL EROSION CONTROL METHODS SUCH AS SILT FENCE, HAY BALE CHECKS, EROSION MAT, ETC. (ABOVE AND BEYOND THE QUANTITIES LISTED ON THE BID PROPOSAL) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT TO PREVENT WASHOUTS OR SILT TRANSFER PROBLEMS WITHIN THE CONSTRUCTION SITE OR DOWNSTREAM.

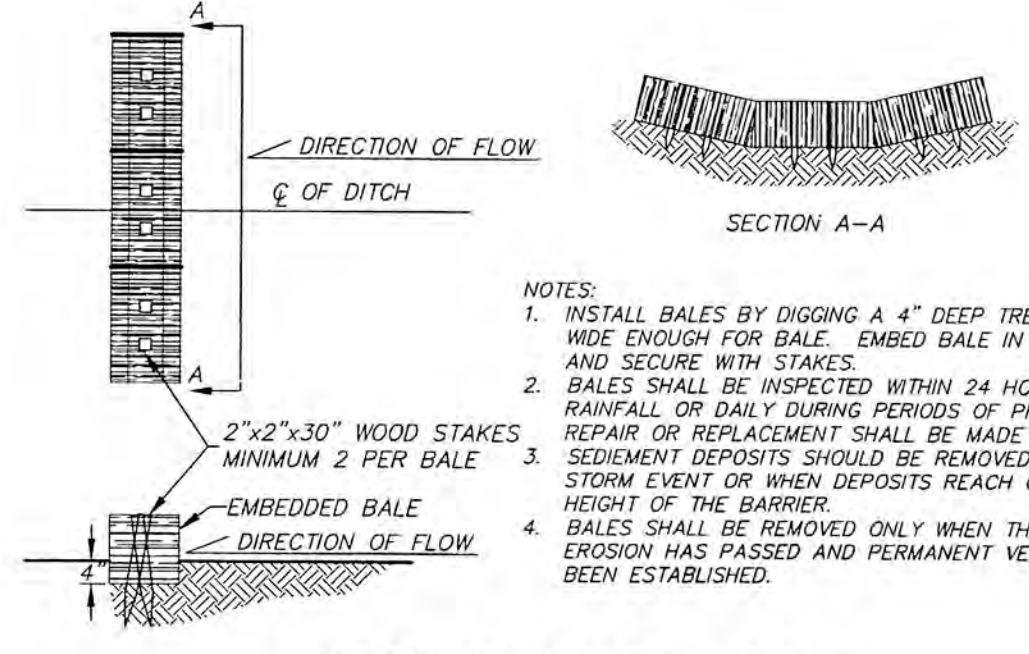
NOTE:  
CONTRACTOR TO INSTALL SILT FENCE AT ALL TOPSOIL AND SOIL STOCKPILES.



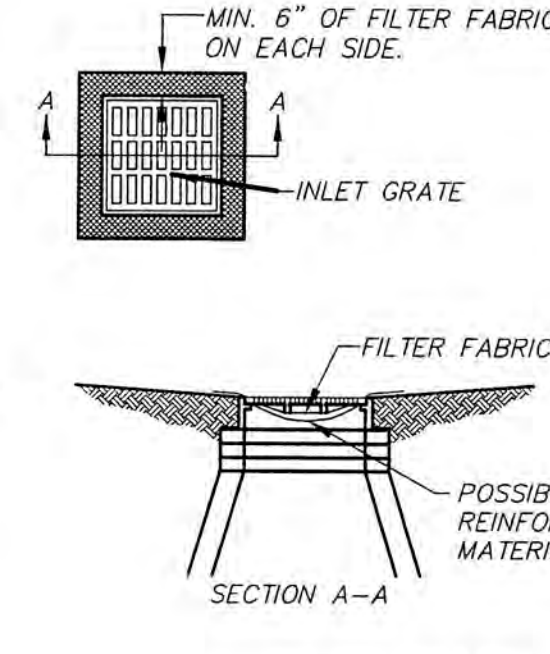
- NOTES:
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY AND/OR WITHIN 24 HOURS OF CONSTRUCTING DITCHES, DIVERSIONS, OR OTHER CHANNELS.
  - SILT FENCE SHALL HAVE THE FOLLOWING PROPERTIES:
    - GRAB STRENGTH: 100 LBS. (ASTM D-1682)
    - MULLEN BURST: 200 PSI MIN. (ASTM D-3786)
    - EQUIVALENT OPENING SIZE:
      - BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
      - BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
    - WATER FLOW RATE OF 10 GAL/MIN/SQ. FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
    - ULTRA VIOLET RADIATION STABILITY OF 90%
    - IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
  - INSTALLATION PROCEDURE AS FOLLOWS:
    - EXCAVATE A U-TRENCH UP-SLOPE FROM THE LINE OF STAKES.
    - INSTALL SILT FENCE IN TRENCH. CARE SHOULD BE TAKEN TO AVOID TEARING FABRIC. TORN FABRIC SHALL BE REMOVED AND A NEW SEGMENT OF SILT FENCE SHALL BE PLACED. STAKES SHALL BE DRIVEN A MINIMUM OF 12" DEEP. SILT FENCE SHALL BE A MINIMUM OF 18" AND A MAXIMUM OF 36" IN HEIGHT.
    - FIT LOWER 8" OF FILTER FABRIC INTO U-TRENCH. BACKFILL AND COMPACT U-TRENCH.
    - SILT FENCE SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
    - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH ONE HALF THE HEIGHT OF THE BARRIER.
    - SILT FENCE SHALL BE REMOVED ONLY WHEN THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

**SILT FENCE DETAIL**

8" TOPSOIL, SEED & EROSION MATTING

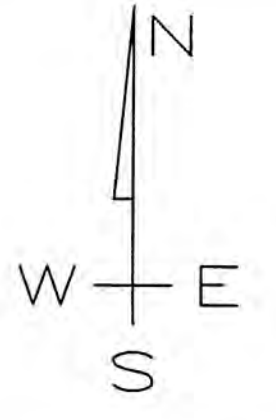


- NOTES:
- INSTALL BALES BY DIGGING A 4" DEEP TRENCH WIDE ENOUGH FOR BALE. EMBED BALE IN TRENCH AND SECURE WITH STAKES.
  - BALES SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH ONE HALF THE HEIGHT OF THE BARRIER.
  - BALES SHALL BE REMOVED ONLY WHEN THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.



**INLET GRATE SCREEN DETAIL**

- NOTES:
- THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
  - ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



**DIGGERS HOTLINE**  
WISCONSIN STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE  
CALL DIGGERS HOTLINE 1-800-242-8511

WISCONSIN PROFESSIONAL ENGINEER  
MICHAEL P. DOBLE  
E-30285  
WAUKESHA, WIS.  
M.P. Doble  
12/15/04

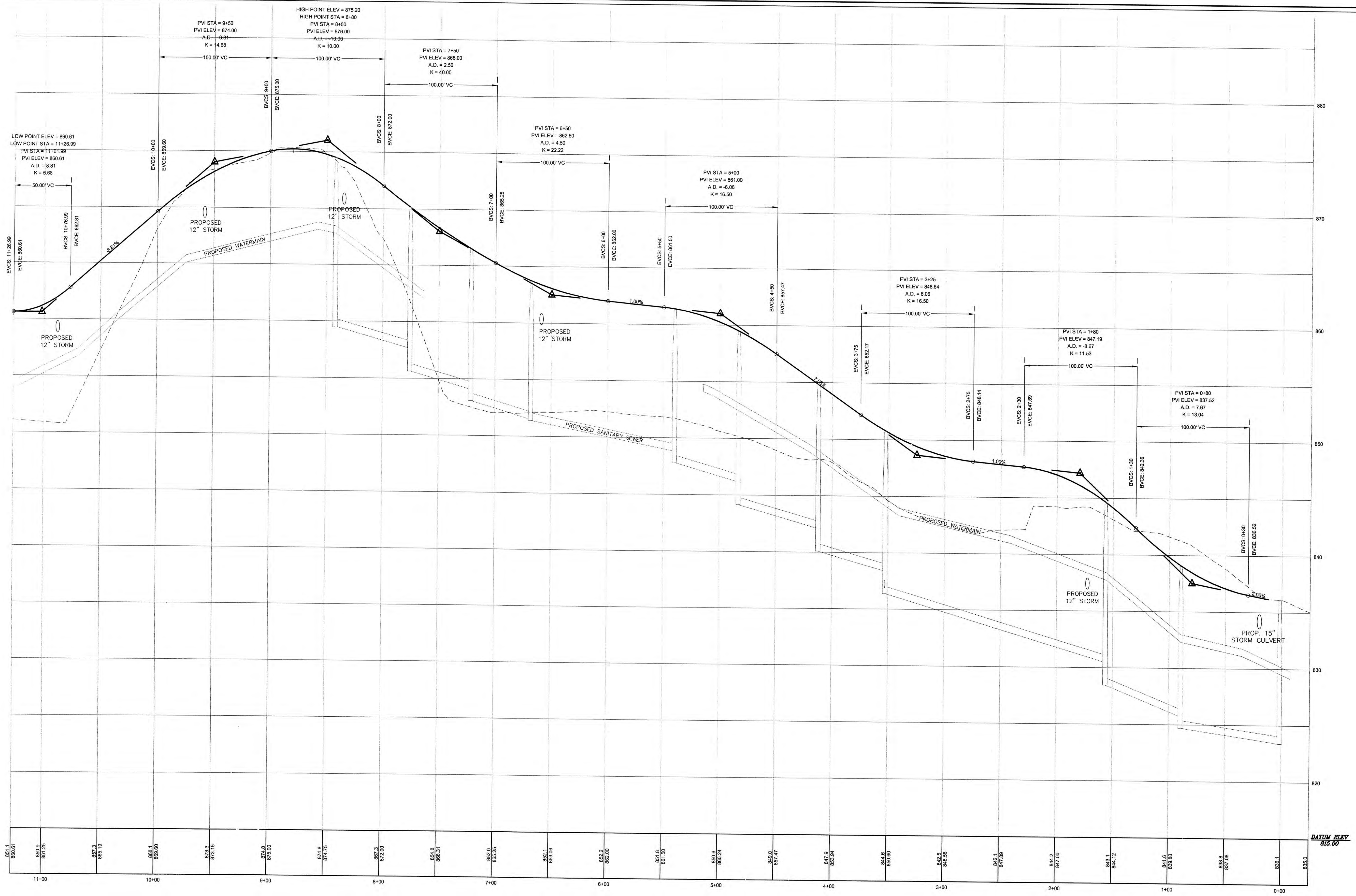
LANDCRAFT SURVEY AND ENGINEERING, INC.  
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
2077 SOUTH 16TH STREET, WEST ALLIS, WI 53227  
PH. (414) 604-0674 FAX (414) 604-0677  
INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04  
CHECKED BY: MPD 11/8/04  
APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
TOWN/CITY ENGINEER  
PROJECT NO.-REVISION: 030642 - 12/15/04  
SCALE: 1"=40'

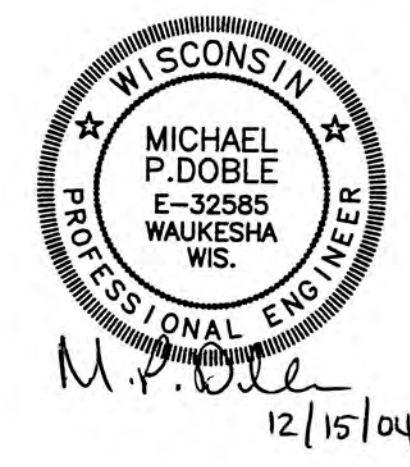
J.B.J. Construction  
(a division of J.B.J. Companies, Inc.)  
W178 N9912 Rivercrest Drive, Suite 101  
Germantown, WI 53022-4645  
www.jbjcompanies.com  
Job No. 2302

**EAGLES NEST CONDOMINIUMS**  
BROOKFIELD ROAD  
TOWN OF BROOKFIELD, WI  
**EROSION CONTROL PLAN**  
C3





**NOTES:**  
 1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
 2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



**LANDCRAFT SURVEY AND ENGINEERING, INC.**  
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
 2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227  
 PH. (414) 604-0674 FAX (414) 604-0677  
 INFO@LANDCRAFTSE.COM

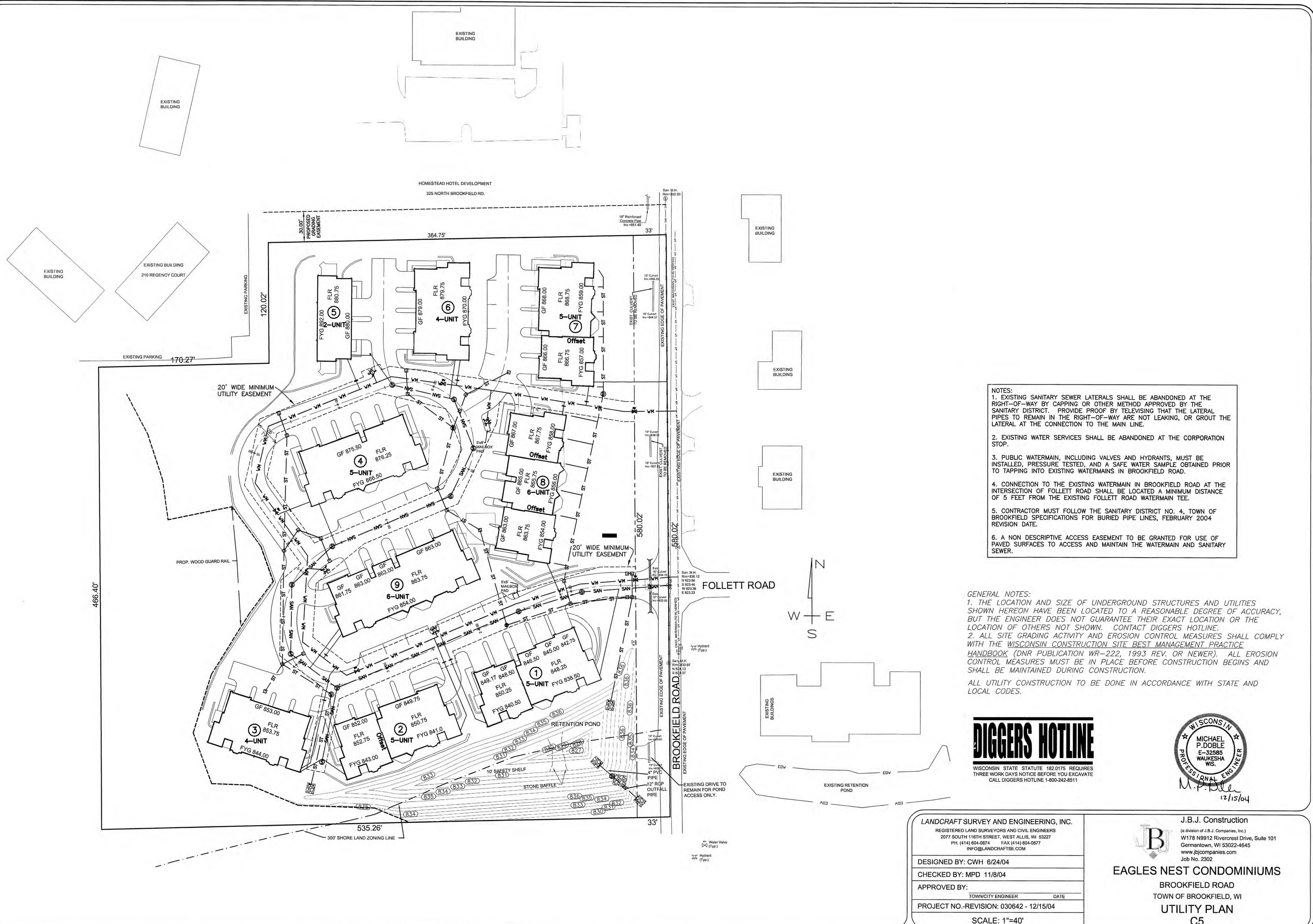
DESIGNED BY: CWH 6/24/04  
 CHECKED BY: MPD 9/27/04  
 APPROVED BY: \_\_\_\_\_  
 TOWN/CITY ENGINEER DATE  
 PROJECT NO.-REVISION: 030642 - 12/15/04  
 SCALE: 1"=40' HORZ. 1"=4' VERT.

**J.B.J. Construction**  
 (a division of J.B.J. Companies, Inc.)  
 W178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 www.jbjcompanies.com  
 Job No. 2302

**EAGLES NEST CONDOMINIUMS**  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI  
 ROAD PROFILE  
 C4

© COPYRIGHT 2003, LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.



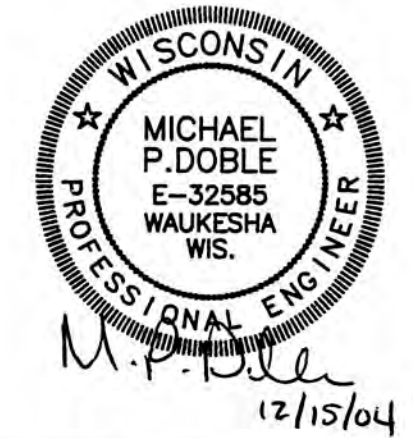


- NOTES:**
1. EXISTING SANITARY SEWER LATERALS SHALL BE ABANDONED AT THE RIGHT-OF-WAY BY CAPPING OR OTHER METHOD APPROVED BY THE SANITARY DISTRICT. PROVIDE PROOF BY TELEVISION THAT THE LATERAL PIPES TO REMAIN IN THE RIGHT-OF-WAY ARE NOT LEAKING, OR GROUT THE LATERAL AT THE CONNECTION TO THE MAIN LINE.
  2. EXISTING WATER SERVICES SHALL BE ABANDONED AT THE CORPORATION STOP.
  3. PUBLIC WATERMAIN, INCLUDING VALVES AND HYDRANTS, MUST BE INSTALLED, PRESSURE TESTED, AND A SAFE WATER SAMPLE OBTAINED PRIOR TO TAPPING INTO EXISTING WATERMANS IN BROOKFIELD ROAD.
  4. CONNECTION TO THE EXISTING WATERMAIN IN BROOKFIELD ROAD AT THE INTERSECTION OF FOLLETT ROAD SHALL BE LOCATED A MINIMUM DISTANCE OF 5 FEET FROM THE EXISTING FOLLETT ROAD WATERMAIN TEE.
  5. CONTRACTOR MUST FOLLOW THE SANITARY DISTRICT NO. 4, TOWN OF BROOKFIELD SPECIFICATIONS FOR BURIED PIPE LINES, FEBRUARY 2004 REVISION DATE.
  6. A NON DESCRIPTIVE ACCESS EASEMENT TO BE GRANTED FOR USE OF PAVED SURFACES TO ACCESS AND MAINTAIN THE WATERMAIN AND SANITARY SEWER.

**GENERAL NOTES:**

1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.



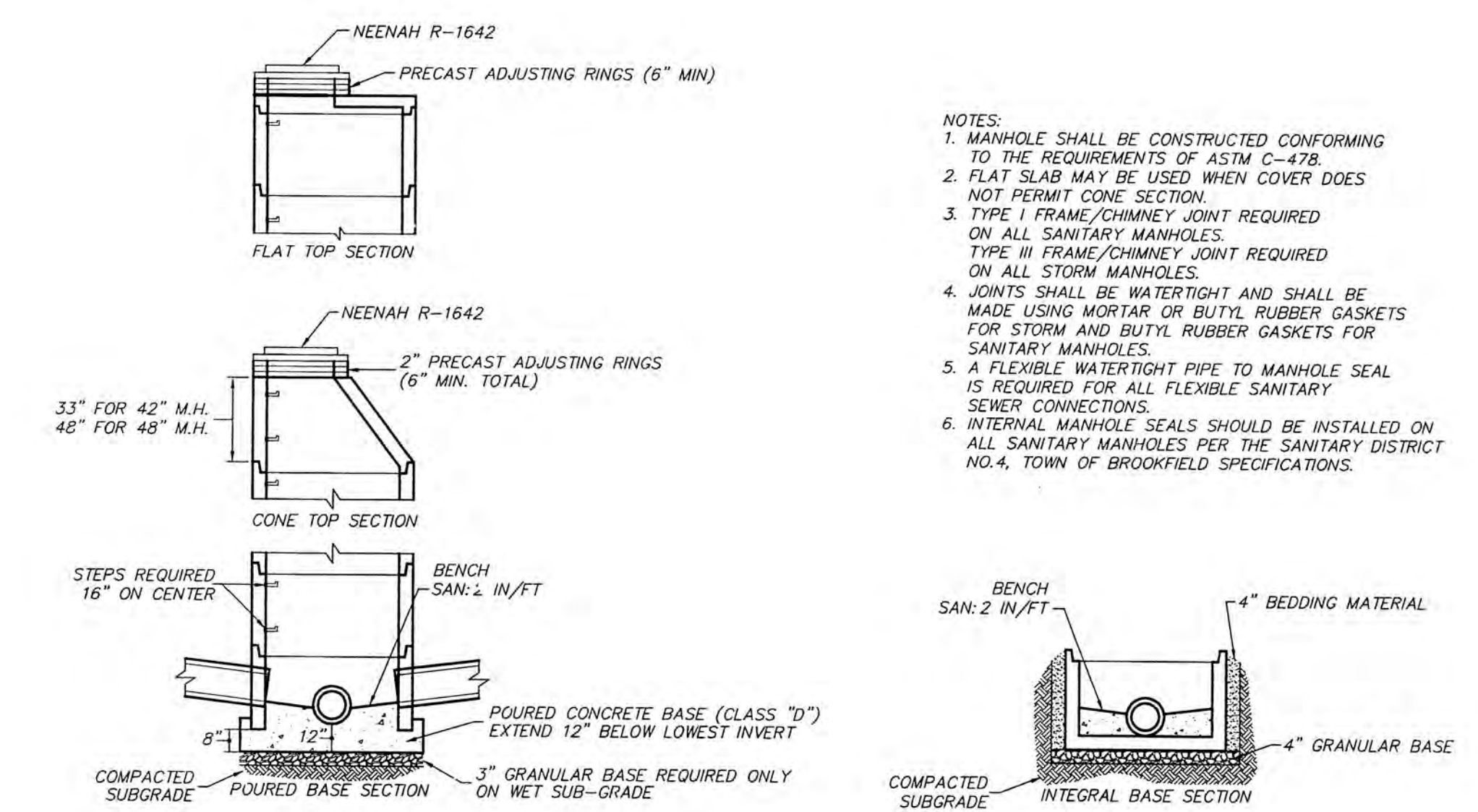
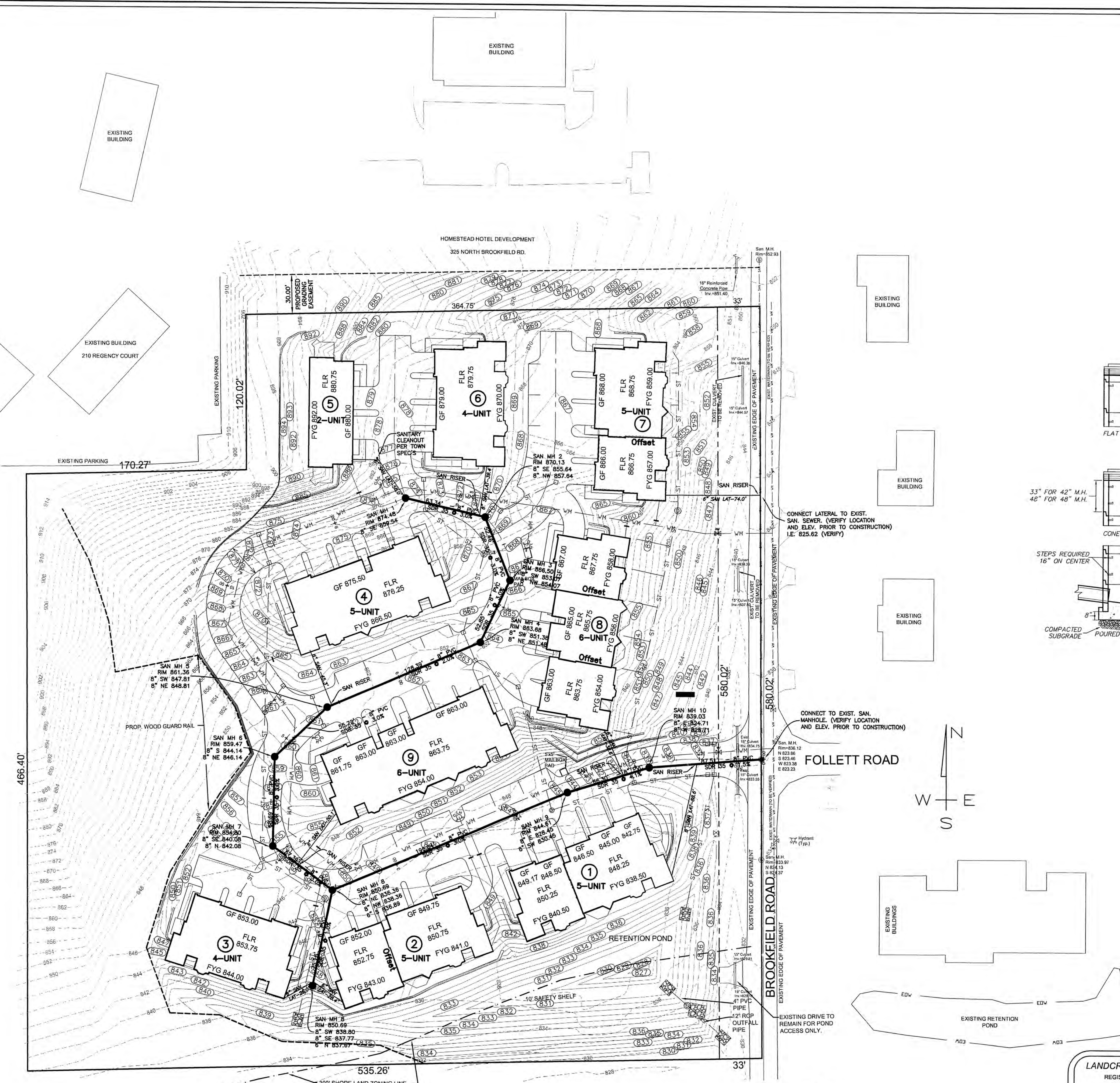
**LANDCRAFT SURVEY AND ENGINEERING, INC.**  
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
 2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227  
 PH. (414) 604-0874 FAX (414) 604-0877  
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04  
 CHECKED BY: MPD 11/8/04  
 APPROVED BY: \_\_\_\_\_  
 TOWN/CITY ENGINEER DATE  
 PROJECT NO.-REVISION: 030642 - 12/15/04  
 SCALE: 1"=40'

**J.B.J. Construction**  
 (a division of J.B.J. Companies, Inc.)  
 1178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 www.jbjcompanies.com  
 Job No. 2302

**EAGLES NEST CONDOMINIUMS**  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI  
 UTILITY PLAN  
 C5



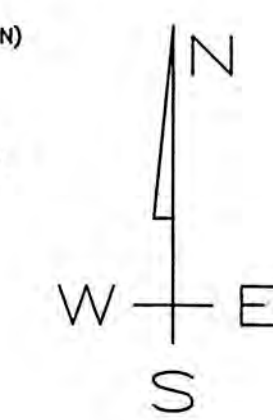


**PRECAST MANHOLE DETAIL**

- NOTES:**
1. MANHOLE SHALL BE CONSTRUCTED CONFORMING TO THE REQUIREMENTS OF ASTM C-478.
  2. FLAT SLAB MAY BE USED WHEN COVER DOES NOT PERMIT CONE SECTION.
  3. TYPE I FRAME/CHIMNEY JOINT REQUIRED ON ALL SANITARY MANHOLES. TYPE III FRAME/CHIMNEY JOINT REQUIRED ON ALL STORM MANHOLES.
  4. JOINTS SHALL BE WATER TIGHT AND SHALL BE MADE USING MORTAR OR BUTYL RUBBER GASKETS FOR STORM AND BUTYL RUBBER GASKETS FOR SANITARY MANHOLES.
  5. A FLEXIBLE WATER TIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL FLEXIBLE SANITARY SEWER CONNECTIONS.
  6. INTERNAL MANHOLE SEALS SHOULD BE INSTALLED ON ALL SANITARY MANHOLES PER THE SANITARY DISTRICT NO. 4, TOWN OF BROOKFIELD SPECIFICATIONS.

ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

**NOTE:** SEE SHEET C7 FOR SANITARY SEWER RISER INFORMATION. FOR SERVICES WITHOUT RISERS WYES ARE REQUIRED.



**DIGGERS HOTLINE**  
 WISCONSIN STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

WISCONSIN PROFESSIONAL ENGINEER  
 MICHAEL P. DOBLE  
 E-32585  
 WAUKESHA, WIS.  
 M.P. DOBLE  
 12/15/04

LANDCRAFT SURVEY AND ENGINEERING, INC.  
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
 2077 SOUTH 118TH STREET, WEST ALLIS, WI 53227  
 PH. (414) 804-0874 FAX (414) 804-0877  
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04  
 CHECKED BY: MPD 11/8/04  
 APPROVED BY: \_\_\_\_\_  
 TOWN/CITY ENGINEER DATE  
 PROJECT NO.-REVISION: 030642 - 12/15/04  
 SCALE: 1"=40'

J.B.J. Construction  
 (a Division of J.B.J. Companies, Inc.)  
 W178 N912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 www.jbjcompanies.com  
 Job No. 2302

**EAGLES NEST CONDOMINIUMS**  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI  
**SANITARY SEWER PLAN**  
 C6

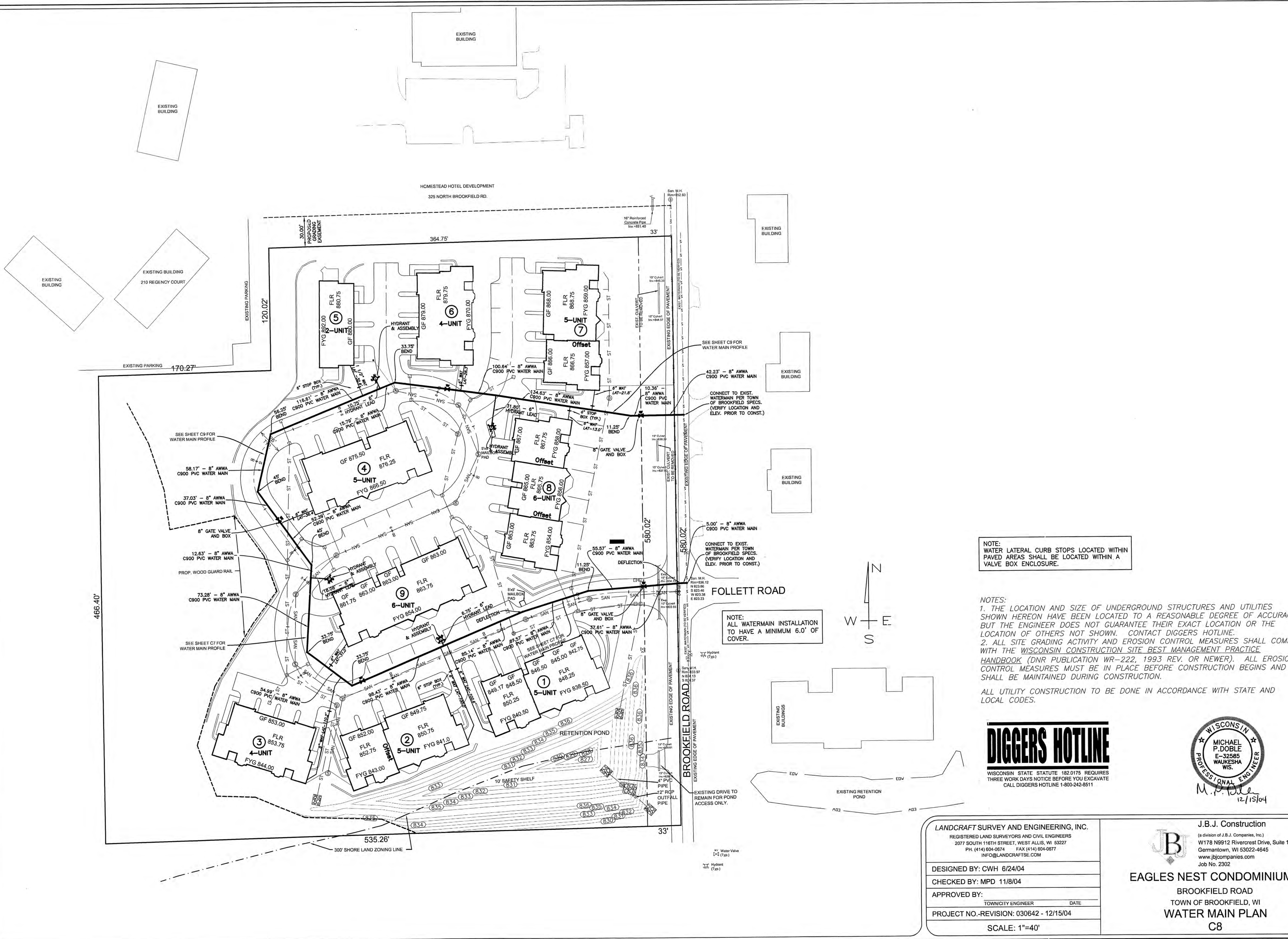
© COPYRIGHT 2003. LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.







© COPYRIGHT 2003, LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.



NOTE:  
WATER LATERAL CURB STOPS LOCATED WITHIN PAVED AREAS SHALL BE LOCATED WITHIN A VALVE BOX ENCLOSURE.

NOTE:  
ALL WATERMAIN INSTALLATION TO HAVE A MINIMUM 6.0' OF COVER.

NOTES:  
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

**DIGGERS HOTLINE**  
WISCONSIN STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511



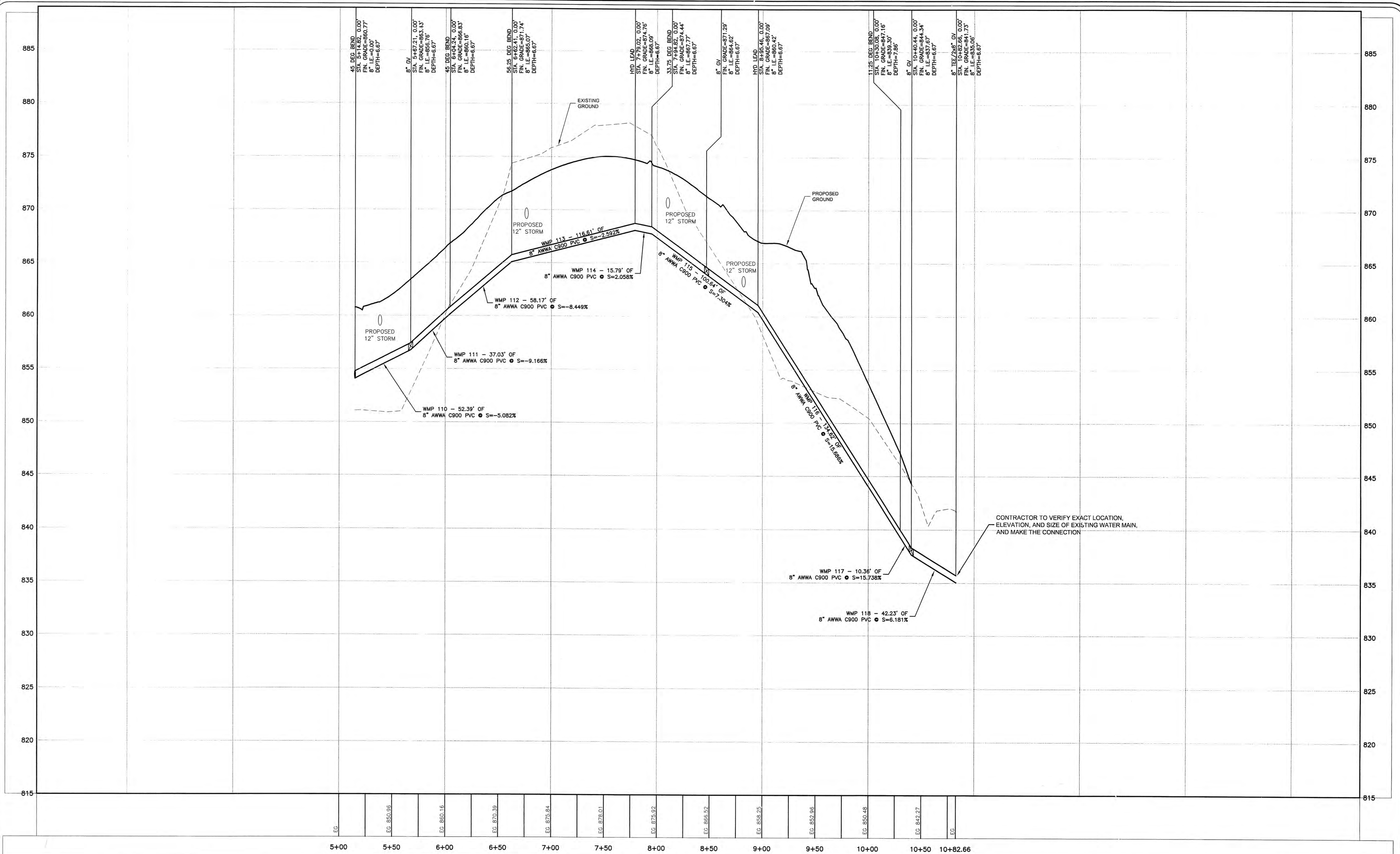
**LANDCRAFT SURVEY AND ENGINEERING, INC.**  
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227  
PH. (414) 694-0674 FAX (414) 694-0677  
INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04  
CHECKED BY: MPD 11/8/04  
APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
PROJECT NO.-REVISION: 030642 - 12/15/04  
SCALE: 1"=40'

**EAGLES NEST CONDOMINIUMS**  
BROOKFIELD ROAD  
TOWN OF BROOKFIELD, WI  
WATER MAIN PLAN  
C8

J.B.J. Construction  
(a division of J.B.J. Companies, Inc.)  
W178 N8912 Rivercrest Drive, Suite 101  
Germanstown, WI 53022-4645  
www.jbjcompanies.com  
Job No. 2302

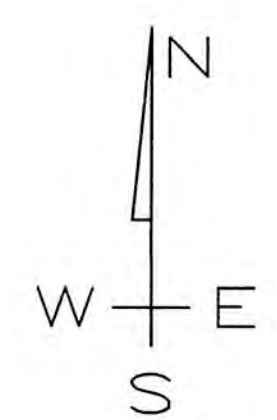




© COPYRIGHT 2004, LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.

**NOTES:**  
 1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE-TO-NODE (I.E. CENTER-TO-CENTER OF MANHOLES).  
 2. SEE SHEET 1 OF THIS SET FOR DETAILS.  
 3. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
 4. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

**ABBREVIATIONS**  
 STP - STORM SEWER PIPE  
 SSM - SANITARY SEWER MANHOLE  
 SSP - SANITARY SEWER PIPE  
 HYD - HYDRANT  
 GV - GATE VALVE  
 WM - WATERMAIN  
 AV - AIR RELIEF VALVE AND BOX  
 WMP - WATERMAIN PIPE



**DIGGERS HOTLINE**  
 WISCONSIN STATE STATUTE 182.0175 REQUIRES  
 THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE  
 CALL DIGGERS HOTLINE 1-800-242-8511



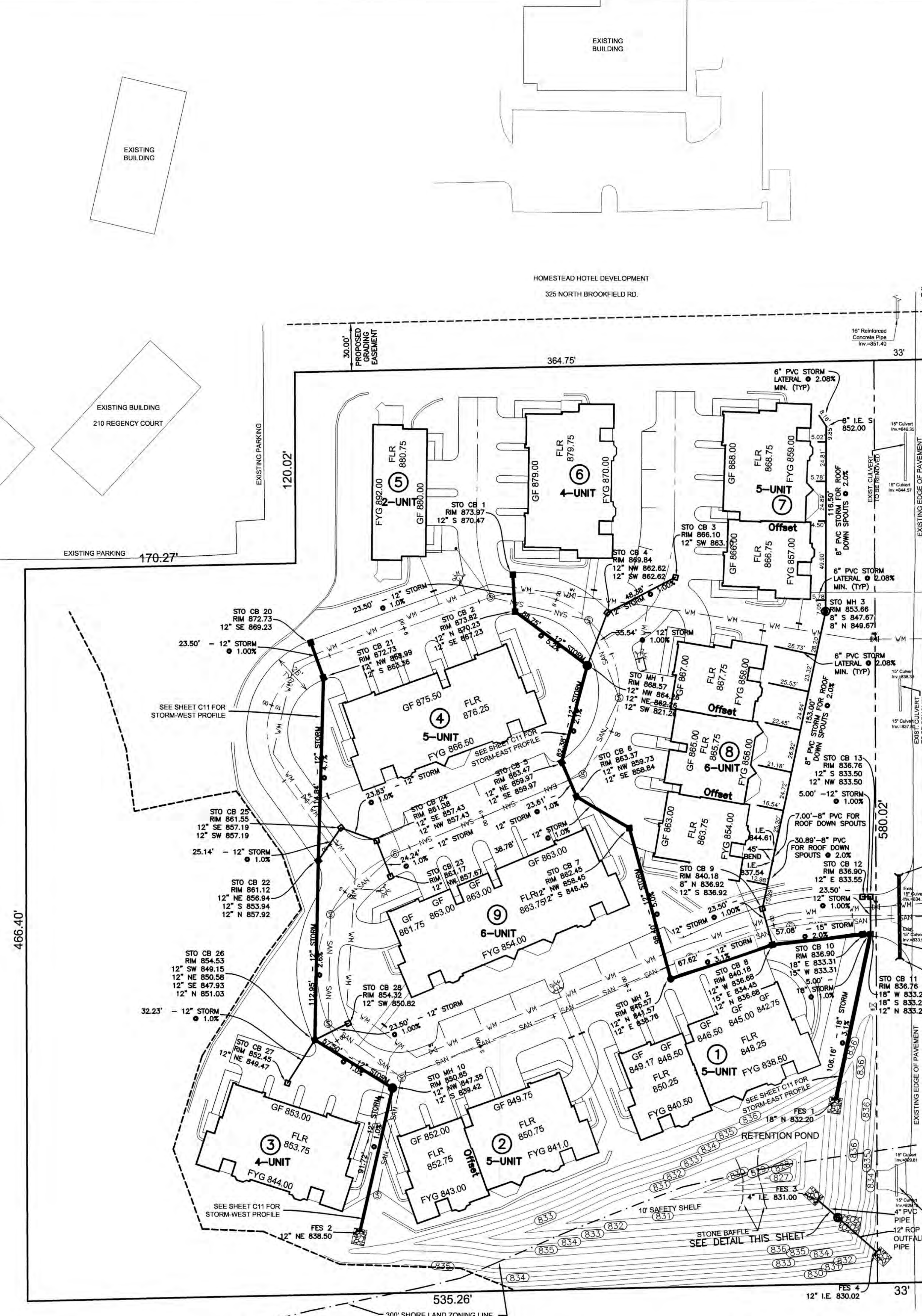
**LANDCRAFT SURVEY AND ENGINEERING, INC.**  
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
 2077 SOUTH 116th STREET, WEST ALLIS, WI 53227  
 PH. (414) 604-0674 FAX (414) 604-0677  
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 9/1/04  
 CHECKED BY: MPD 9/27/04  
 APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 TOWN/CITY ENGINEER DATE  
 PROJECT NO.-REVISION: 030642 - 12/15/04  
 HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'

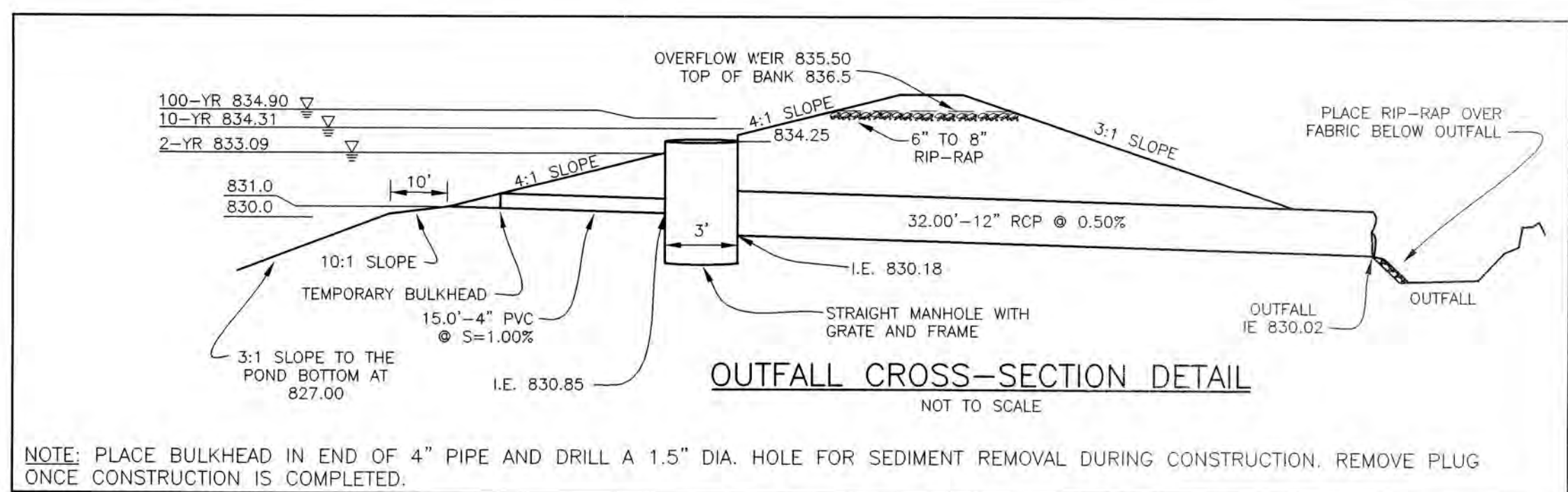
**J.B.J. Construction**  
 (a division of J.B.J. Companies, Inc.)  
 W178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 www.jbjcompanies.com  
 Job No. 2302

**EAGLES NEST CONDOMINIUMS**  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI  
**WATERMAIN PROFILE (NORTH)**  
 C9

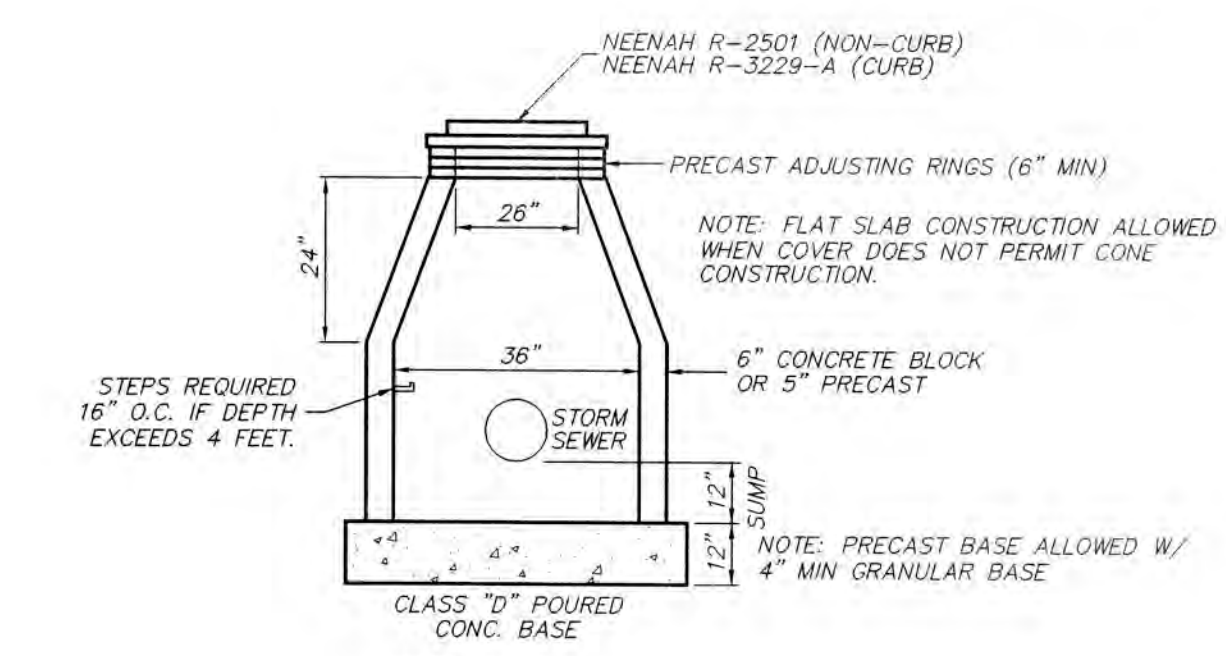




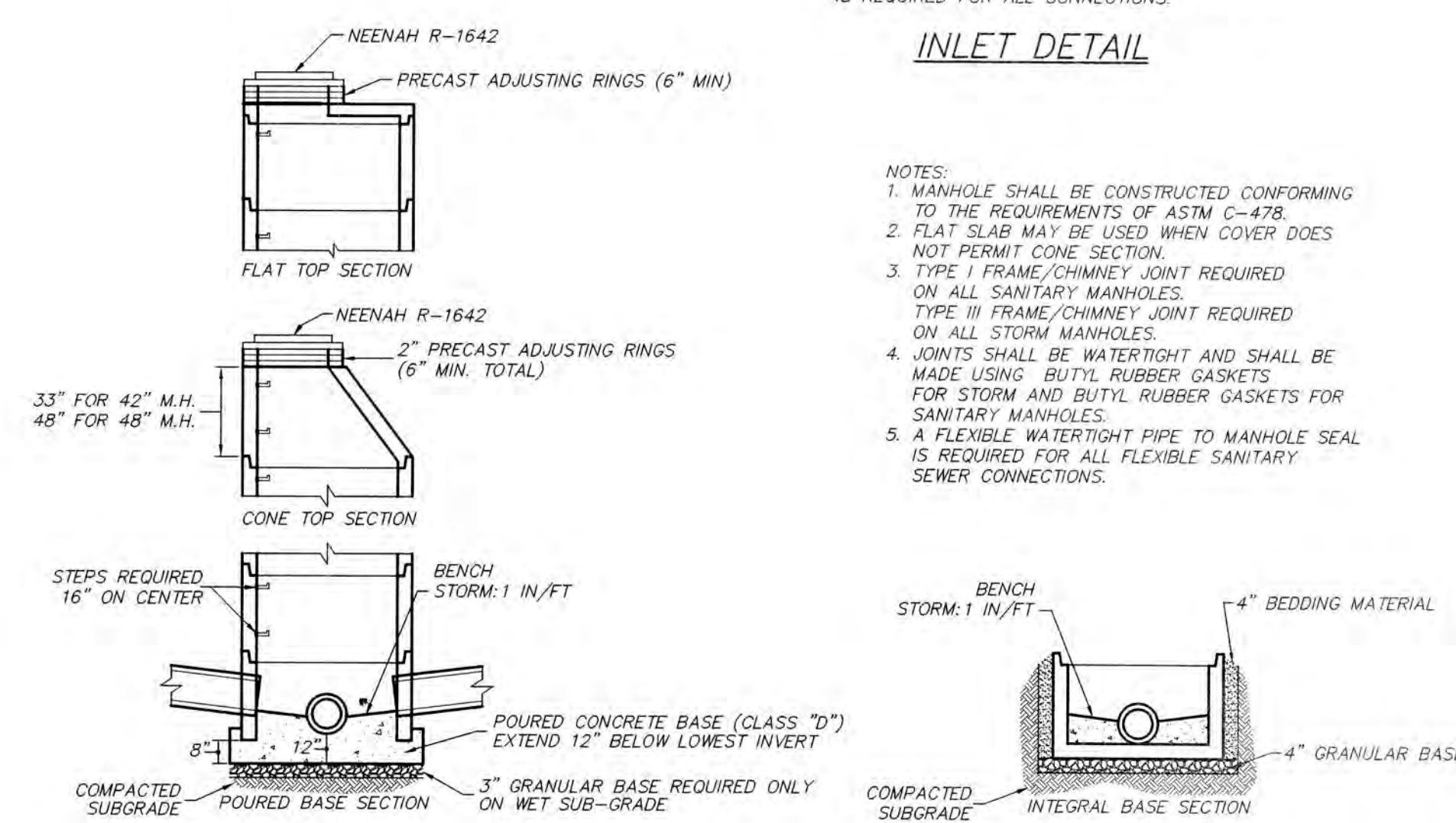
**NOTE:**  
ALL STORM SEWER PIPE IS  
RCP UNLESS NOTED OTHERWISE.



**NOTE:** PLACE BULKHEAD IN END OF 4" PIPE AND DRILL A 1.5" DIA. HOLE FOR SEDIMENT REMOVAL DURING CONSTRUCTION. REMOVE PLUG ONCE CONSTRUCTION IS COMPLETED.



**NOTES:**  
1. INLET SHALL BE CONSTRUCTED CONFORMING TO THE REQUIREMENTS OF ASTM C-478.  
2. JOINTS SHALL BE WATER TIGHT AND SHALL BE MADE USING BUTYL RUBBER GASKETS.  
3. A FLEXIBLE WATER TIGHT PIPE TO MANHOLE SEAL IS REQUIRED FOR ALL CONNECTIONS.



**NOTES:**  
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.  
ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

**DIGGERS HOTLINE**  
WISCONSIN STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE  
CALL DIGGERS HOTLINE 1-800-242-8511



**LANDSCAPE SURVEY AND ENGINEERING, INC.**  
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227  
PH. (414) 864-0674 FAX (414) 864-0677  
INFO@LANDCRAFTSSE.COM

DESIGNED BY: CWH 6/24/04  
CHECKED BY: MPD 12/15/04  
APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
PROJECT NO.-REVISION: 030642 - 2/23/05  
SCALE: 1"=40'

**J.B.J. Construction**  
(a division of J.B.J. Companies, Inc.)  
W178 N9912 Rivercrest Drive, Suite 101  
Germantown, WI 53022-4645  
www.jbjcompanies.com  
Job No. 2302

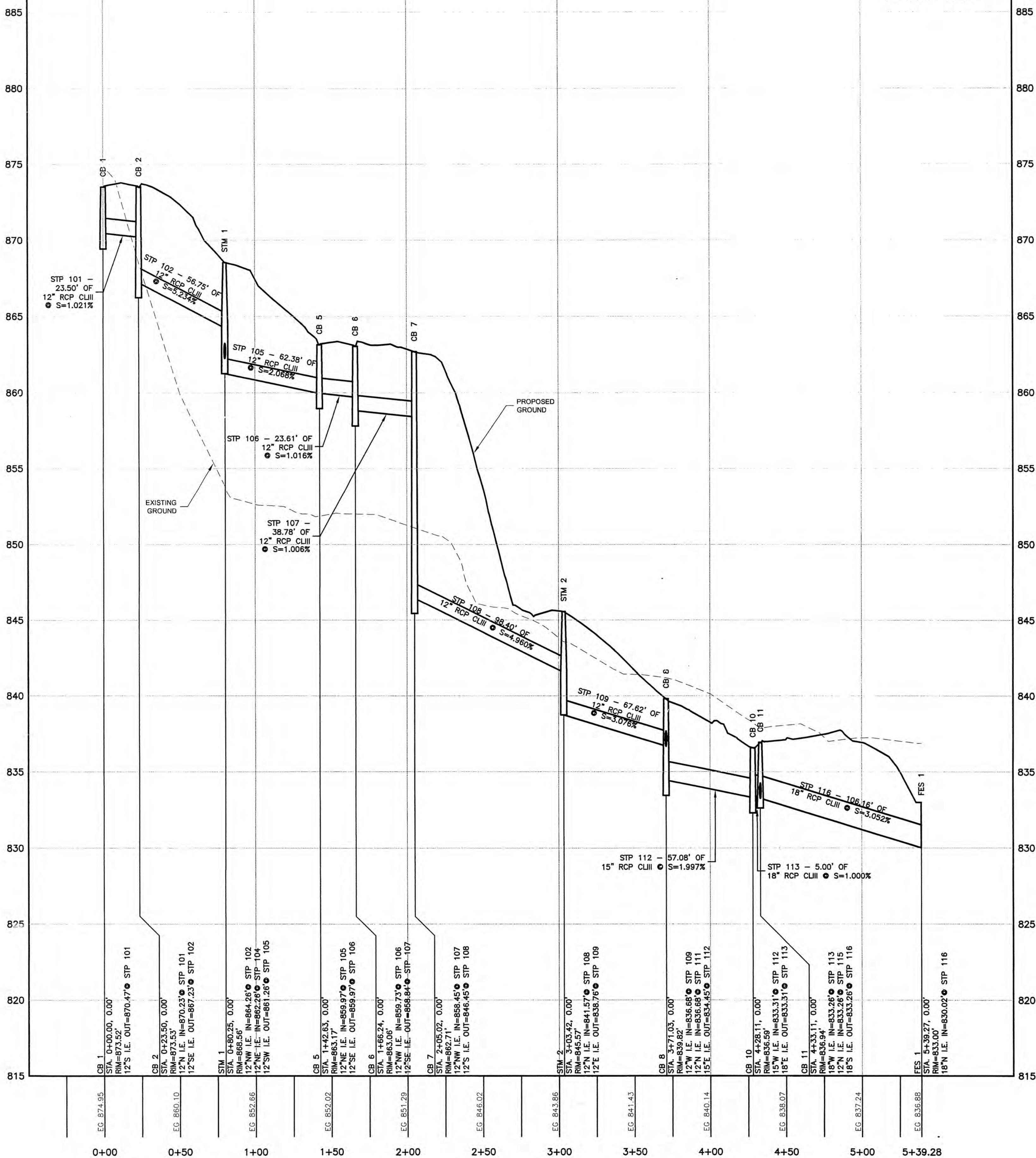
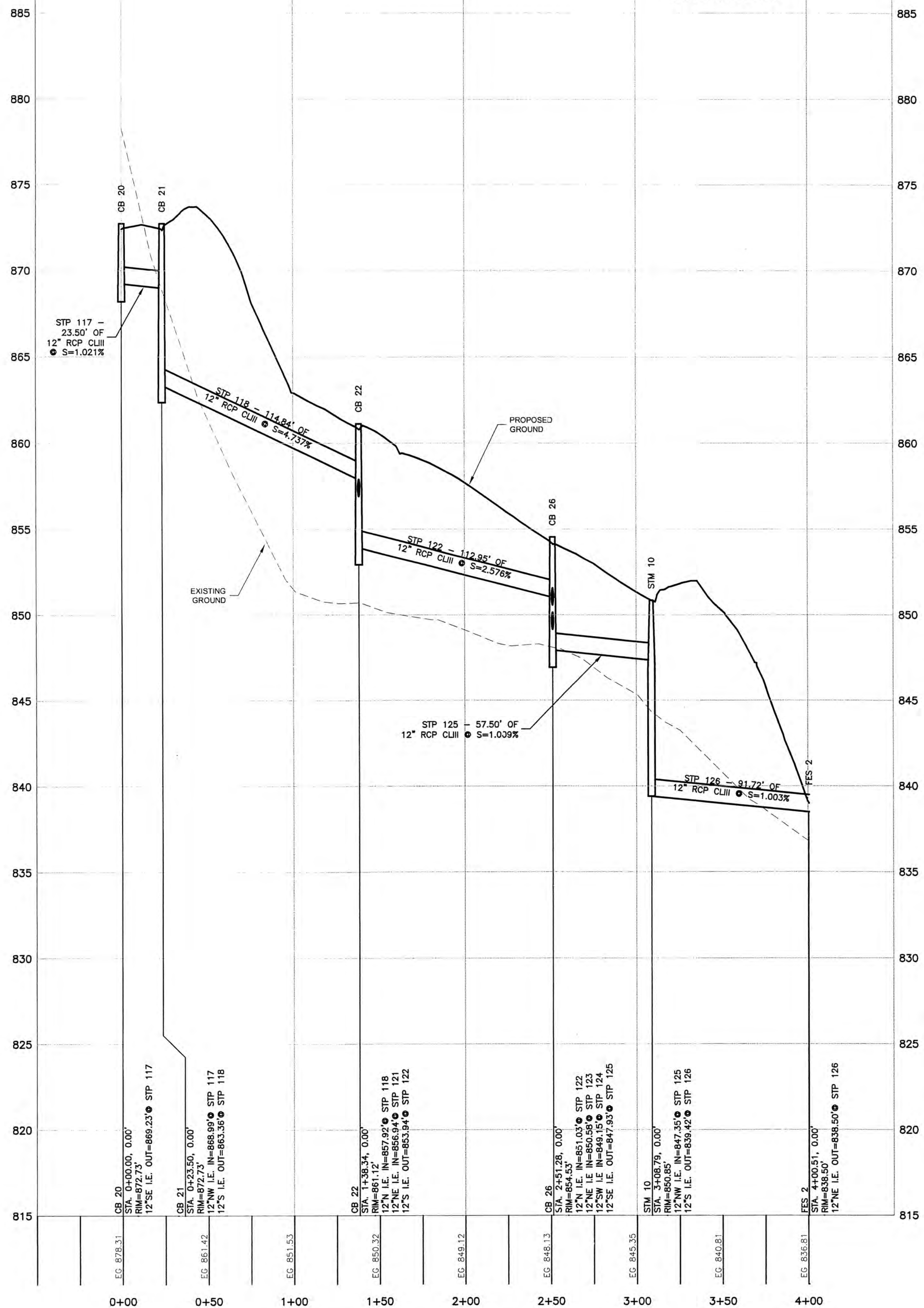
**EAGLES NEST CONDOMINIUMS**  
BROOKFIELD ROAD  
TOWN OF BROOKFIELD, WI  
STORM SEWER PLAN  
C10

© COPYRIGHT 2003, LANDSCAPE SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.



STORM-WEST

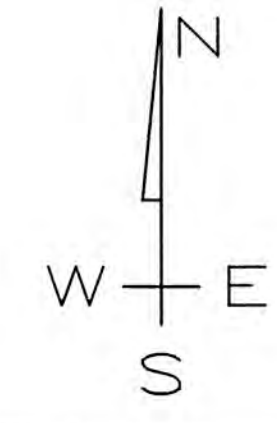
STORM-EAST



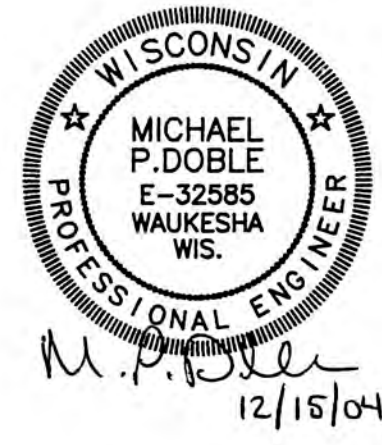
© COPYRIGHT 2004, LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.

**NOTES:**  
 1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE-TO-NODE (I.E. CENTER-TO-CENTER OF MANHOLES).  
 2. SEE SHEET 1 OF THIS SET FOR DETAILS.  
 3. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
 4. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

**ABBREVIATIONS**  
 STP - STORM SEWER PIPE  
 SSM - SANITARY SEWER MANHOLE  
 SSP - SANITARY SEWER PIPE  
 HYD - HYDRANT  
 GV - GATE VALVE  
 WM - WATERMAIN  
 AV - AIR RELIEF VALVE AND BOX  
 WMP - WATERMAIN PIPE



**DIGGERS HOTLINE**  
 WISCONSIN STATE STATUTE 182.0175 REQUIRES  
 THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE  
 CALL DIGGERS HOTLINE 1-800-242-8511



LANDCRAFT SURVEY AND ENGINEERING, INC.  
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
 2077 SOUTH 118th STREET, WEST ALLIS, WI 53227  
 PH. (414) 604-0674 FAX (414) 604-0677  
 INFO@LANDCRAFTSE.COM

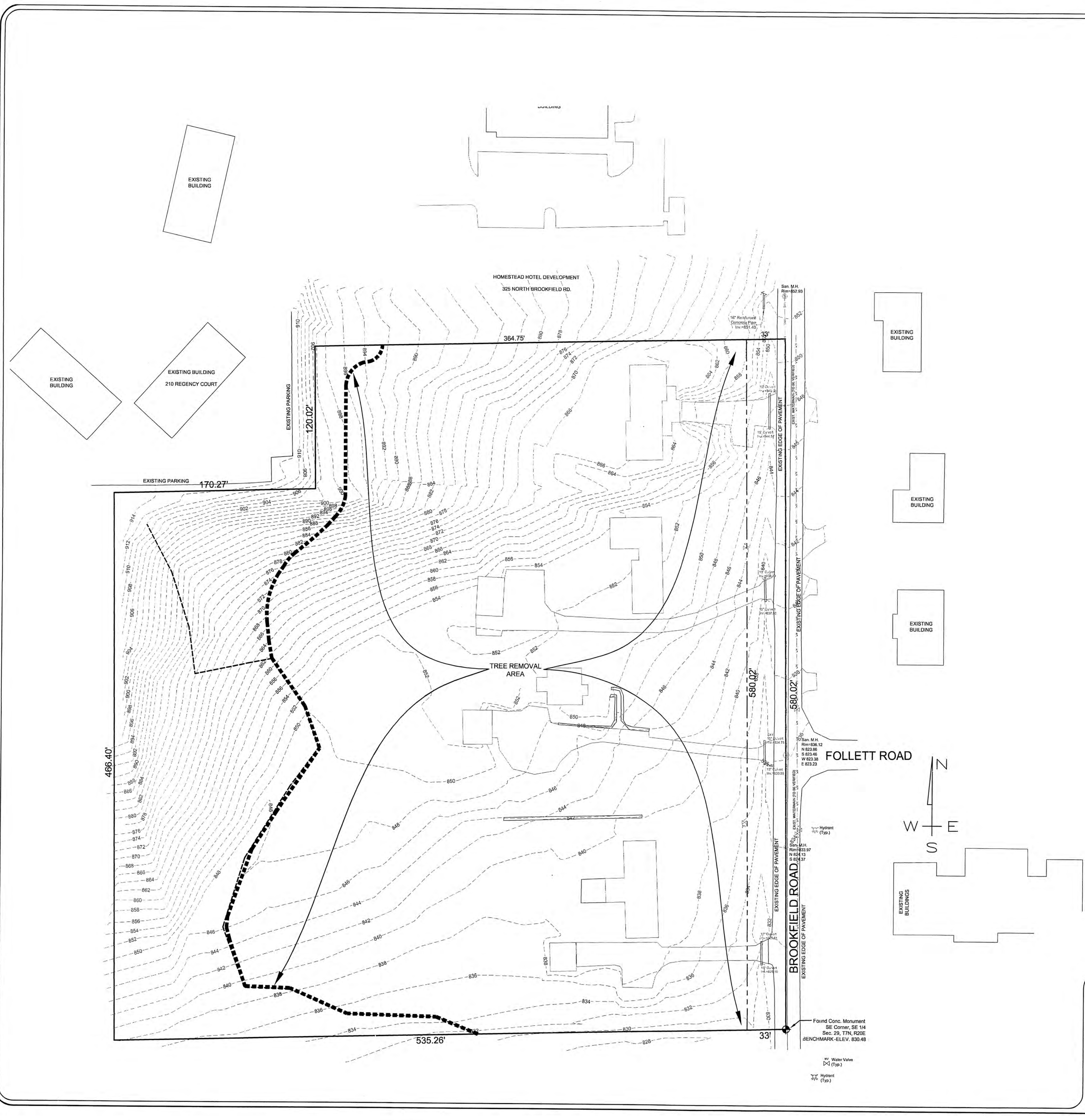
DESIGNED BY: CWH	9/1/04
CHECKED BY: MPD	9/27/04
APPROVED BY:	
TOWN/CITY ENGINEER	DATE
PROJECT NO.-REVISION: 030642 - 12/15/04	
HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'	

**J.B.J. Construction**  
 (a division of J.B.J. Companies, Inc.)  
 W178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 www.jbjcompanies.com  
 Job No. 2302

**EAGLES NEST CONDOMINIUMS**  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI  
**STORM SEWER PROFILE**  
**C11**



© COPYRIGHT 2003, LANDCRAFT SURVEY AND ENGINEERING, INC. ALL RIGHTS RESERVED.



NOTE:  
 TREE REMOVAL CONTRACTOR TO MEET WITH OWNER REGARDING THE TREES TO BE SAVED AND TRIMMED ALONG BROOKFIELD ROAD, AND The South property line.

NOTES:  
 1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.  
 2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



LANDCRAFT SURVEY AND ENGINEERING, INC.  
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS  
 2077 SOUTH 118TH STREET, WEST ALLIS, WI 53227  
 PH (414) 604-0674 FAX (414) 604-0677  
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04  
 CHECKED BY: MPD 6/24/04  
 APPROVED BY: \_\_\_\_\_  
 TOWN/CITY ENGINEER DATE  
 PROJECT NO.-REVISION: 030642 - 9/27/04  
 SCALE: 1"=40'

J.B.J. Construction  
 (a division of J.B.J. Companies, Inc.)  
 1178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 www.jbjcompanies.com  
 Job No. 2302

**EAGLES NEST CONDOMINIUMS**  
 BROOKFIELD ROAD  
 TOWN OF BROOKFIELD, WI  
 SURVEY, DEMOLITION &  
 TREE REMOVAL PLAN C12



Quota # 3403  
Date 06-20-04  
Drawing # 04-02-012.9.9

**DYNAMIC LIGHTING INC.**  
5220 SHANK ROAD PEARLAND, TX 77581  
PHONE: (281) 997-5400 FAX: (281) 997-5441  
TOLL FREE: (800) 364-0098

**LIGHT DISTRIBUTION**  
 ● TYPE II REFRACTOR ○ SPECIFY  
 ○ TYPE I REFRACTOR  
 ○ STANDARD SYMMETRICAL  
 ○ TYPE III REFRACTOR  
 ○ TYPE V REFRACTOR

**FINISH**  
 ○ TB: TEXTURED BLACK  
 ○ SB: SMOOTH SATIN BLACK  
 ○ GRN: GREEN  
 ○ STG: GRANITE GREEN  
 ○ WHT: WHITE  
 ○ ATC: ANTIQUE COPPER  
 ○ CB: CLASSIC BRONZE  
 ○ CUD: CUSTOM COLOR

**VOLTAGE**  
 ○ 120 ○ 277 ○ SPECIFY  
 ○ 208 ○ MULTITAP  
 ○ 240

**MH Metal Halide FL/CF G Compact**  
 HPS: High Pressure Sodium Fluorescent  
**LIGHT SOURCE** SPECIFY  
 ○ 50MH ○ 70HPS  
 ○ 70MH ○ 100HPS  
 ○ 100MH ○ 150HPS  
 ○ 150MH ○ 175HPS  
 ○ 200MH ○ 250HPS  
 ○ C28 ○ INCANDESCENT  
 ○ C11 ○ C25 ○ C32 ○ C42

**GENERAL**  
 EXTERIOR HARDWARE WILL BE STAINLESS STEEL.  
 ELECTRICAL COMPONENTS WILL BE ETL LISTED "SUITABLE FOR WET LOCATIONS"

**FIXTURE**  
 D131AO25PC-CL-L3

**BRACKET**  
 NONE

**POLE**  
 POLE D30-10

**OTHER COMPONENTS**  
 TR

**FILE LOCATION**  
 Actual drawing shop drawings not sheets  
 File Name: Eagle Nest  
 0399

**CHECKED BY:**

**NOTES**  
 THIS DRAWING SHOULD ACCOMPANY YOUR ORDER. THANK YOU.

Approved By \_\_\_\_\_

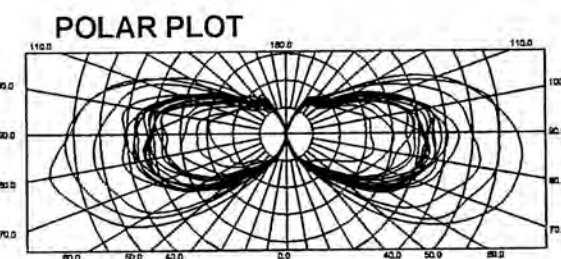


www.DynamicLighting.com

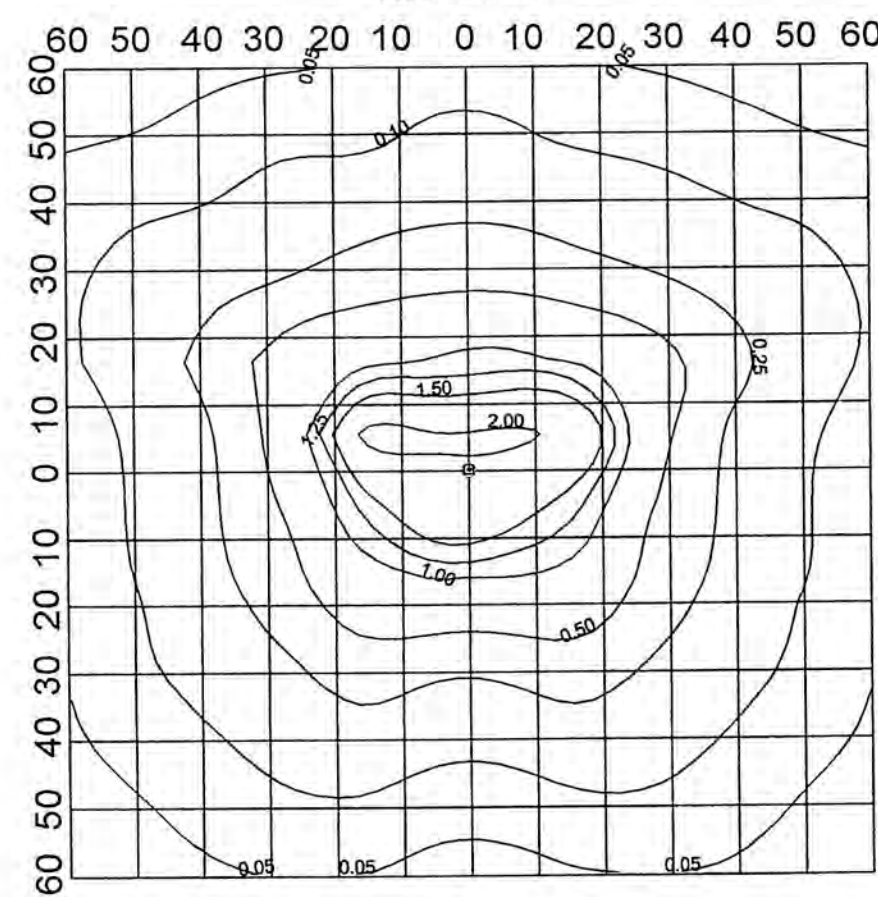
Iso-footcandle Lines of Horizontal Illumination

Catalog # AO25PC-CL / L3 / REFLECTOR / 150HPS  
 Light Source 150w High Pressure Sodium  
 Description Cast aluminum fitter, reflector  
 Clear textured diffuser, type III glass refractor

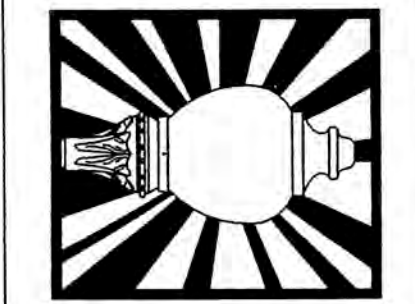
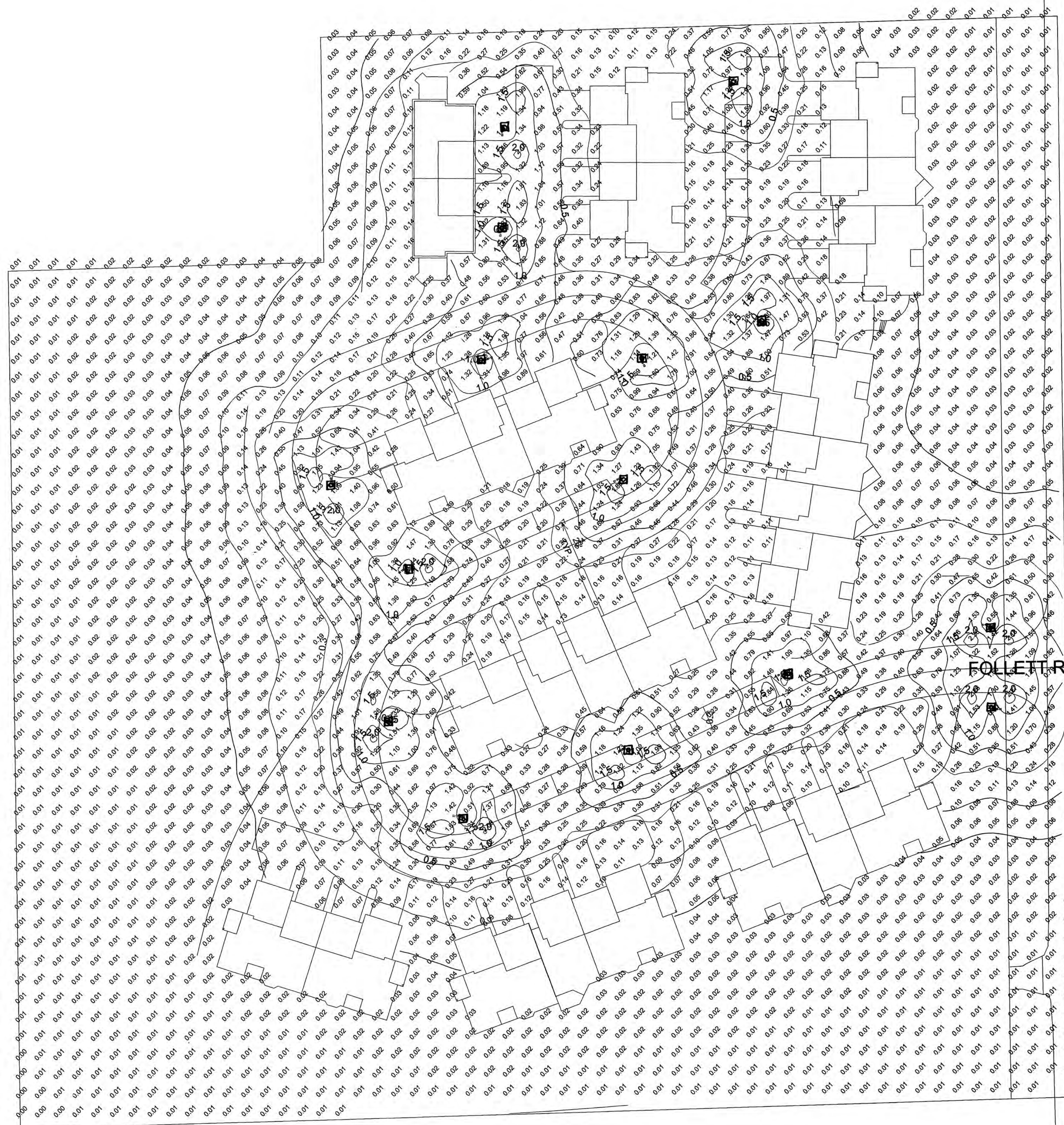
Lamp Lumens 16,000  
 Mounting Height 11.6'



120' GRID



5220 Shank Rd. Pearland, Texas 77581 (800)364-0098 (281)997-5441 Fax



**DYNAMIC LIGHTING INC.**

WWW.DYNAMICLIGHTING.COM  
 5220 SHANK ROAD  
 PEARLAND, TEXAS 77581  
 PHONE: (281) 997-5400  
 FAX: (281) 997-5441  
 TOLL FREE: 1 (800) 364-0098

**GENERAL NOTES**  
 AVG: .26  
 MIN: .00  
 MAX: 2.36

**LEGEND**  
 D131/AO25PC-CL  
 Light Lid  
 Type III Refractor  
 D30-10  
 150w HPS

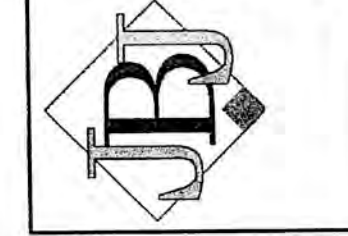
**JOB**  
 Eagles Nest

**PHOTOMETRICS BY:**  
 JMT  
**DATE**  
 05/22/04

**SCALE**  
 NONE

Job # 2302  
 Eagle's Nest  
 Condominiums  
 Town of Brookfield

J.B.J. Construction  
 (a division of JBJ Companies, Inc.)  
 W178 N9912 Rivercrest Drive, Suite 101  
 Germantown, WI 53022-4645  
 Phone: (262) 255-1800  
 Fax: (262) 255-2234  
 www.jbjcompanies.com



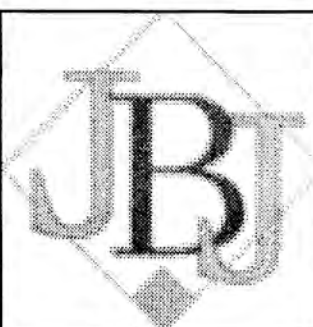


**EAGLES NEST CONDOMINIUMS**

Town of Brookfield, Wisconsin  
Job # 2302

CONSTRUCTION MANAGER:  
**BJ CONSTRUCTION**  
(a division of J.B.J. Companies, Inc.)

W78 N9912 Rivercrest Drive, Suite 101  
Germantown, WI 53022-4645  
Phone: (262) 255-1800  
Fax: (262) 255-2234  
E-mail: www.jbjcompanies.com



COPYRIGHT 2003 - Drawings and Designs are protected by U.S. Copyright Law. Use, copy and/or alteration in part or whole of these drawings without written authority by The Shepherd Partnership is prohibited.

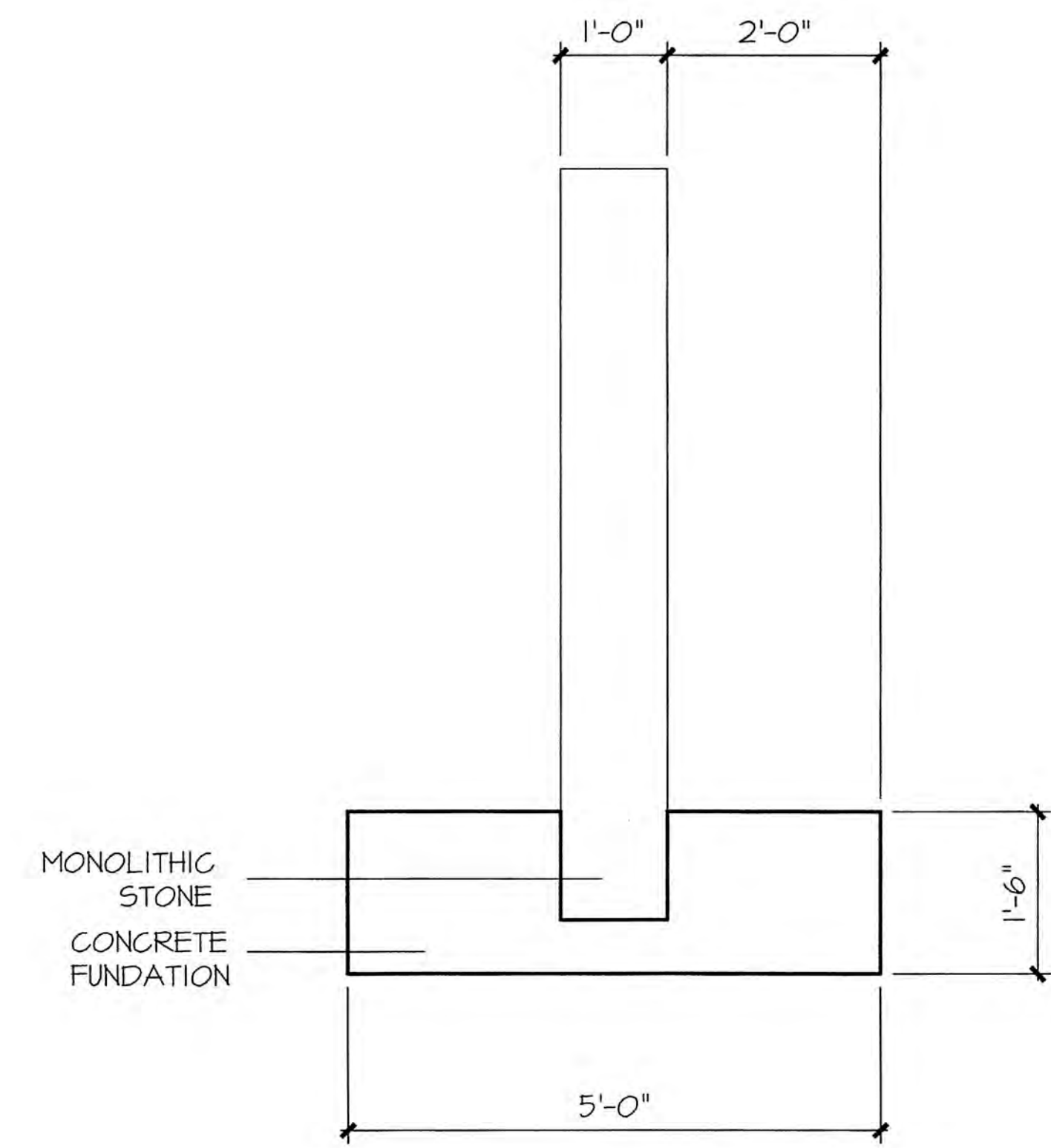
PROJECT NO. 0326.01  
DRAWING

**SIGN**

DRAWN BY: ISSUE DATE: 25 JUNE 2004  
REVIEWED BY: JBS REVISION: 02 SEP 2004

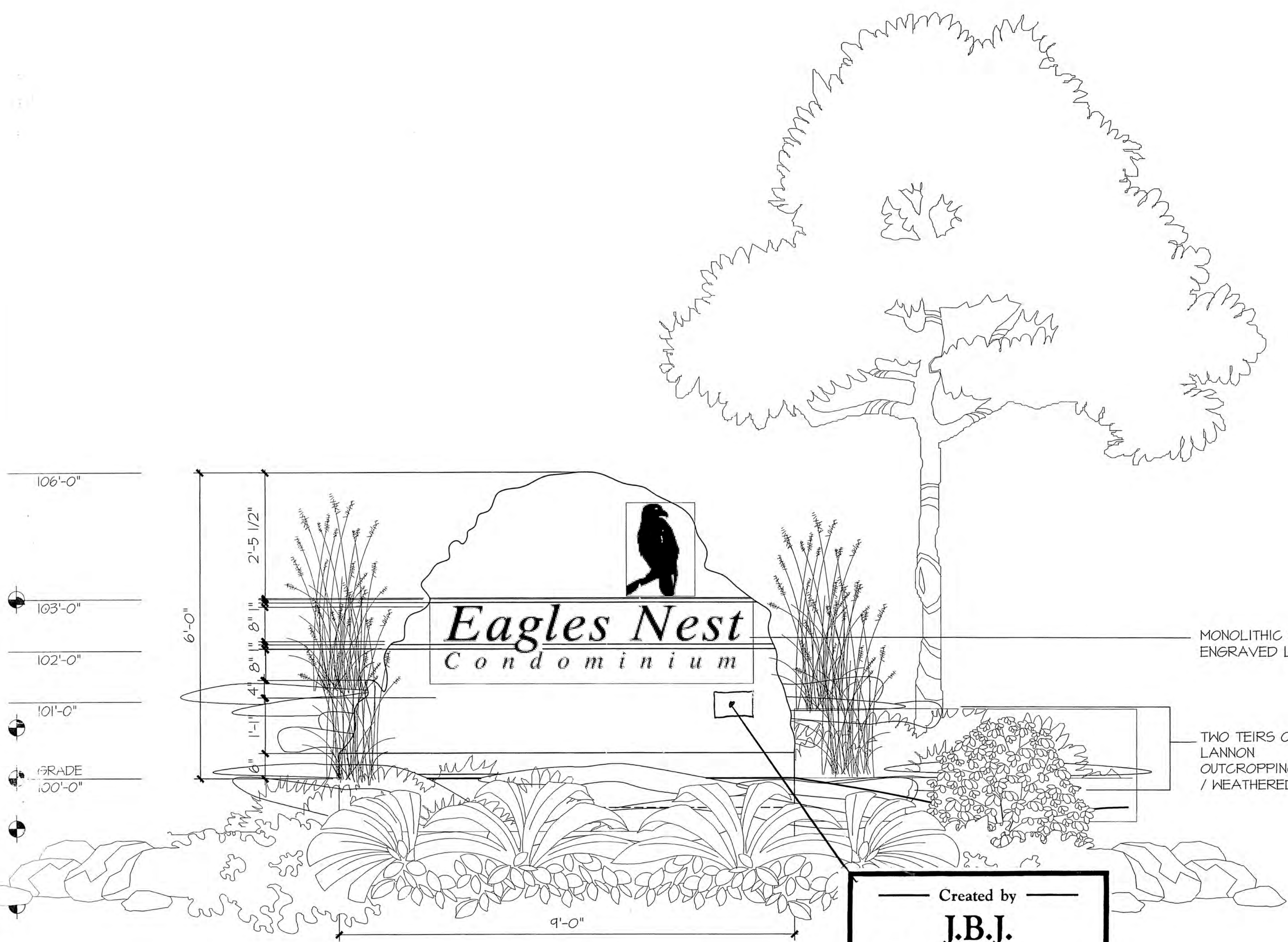
C14

**3/4" ENTRANCE SIGN**



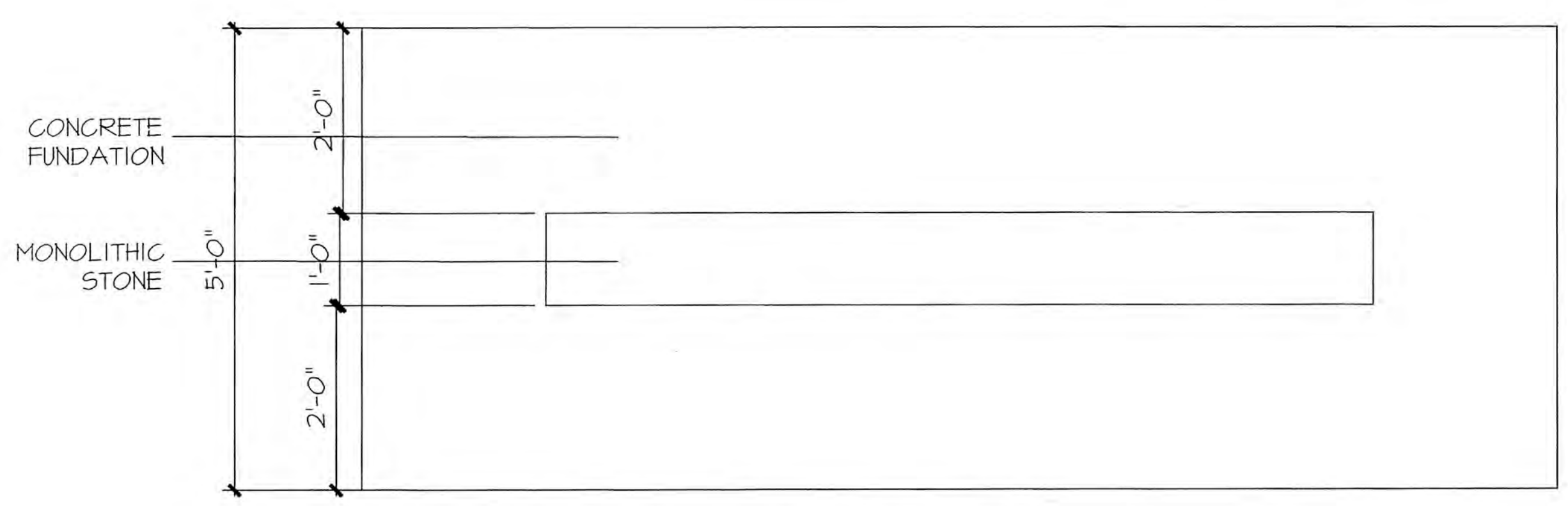
**SIGN SECTION**  
3/4" = 1'-0"

⊕ = Light  
Rudd or Equal  
MODEL: NS6407-D  
SPEC: POST MOUNT,  
BRONZE FINISH, CLEAR  
TEMPERED AND ANNEALED  
GLASS LENS  
9 3/4" WIDE, 6 1/4" HIGH,  
4 3/4" DEEP  
1 - 70W MH LAMP  
**MONUMENT SIGN FLOOD**  
SUPPLIED WITH DB-9 DEEP  
BAFFLE.



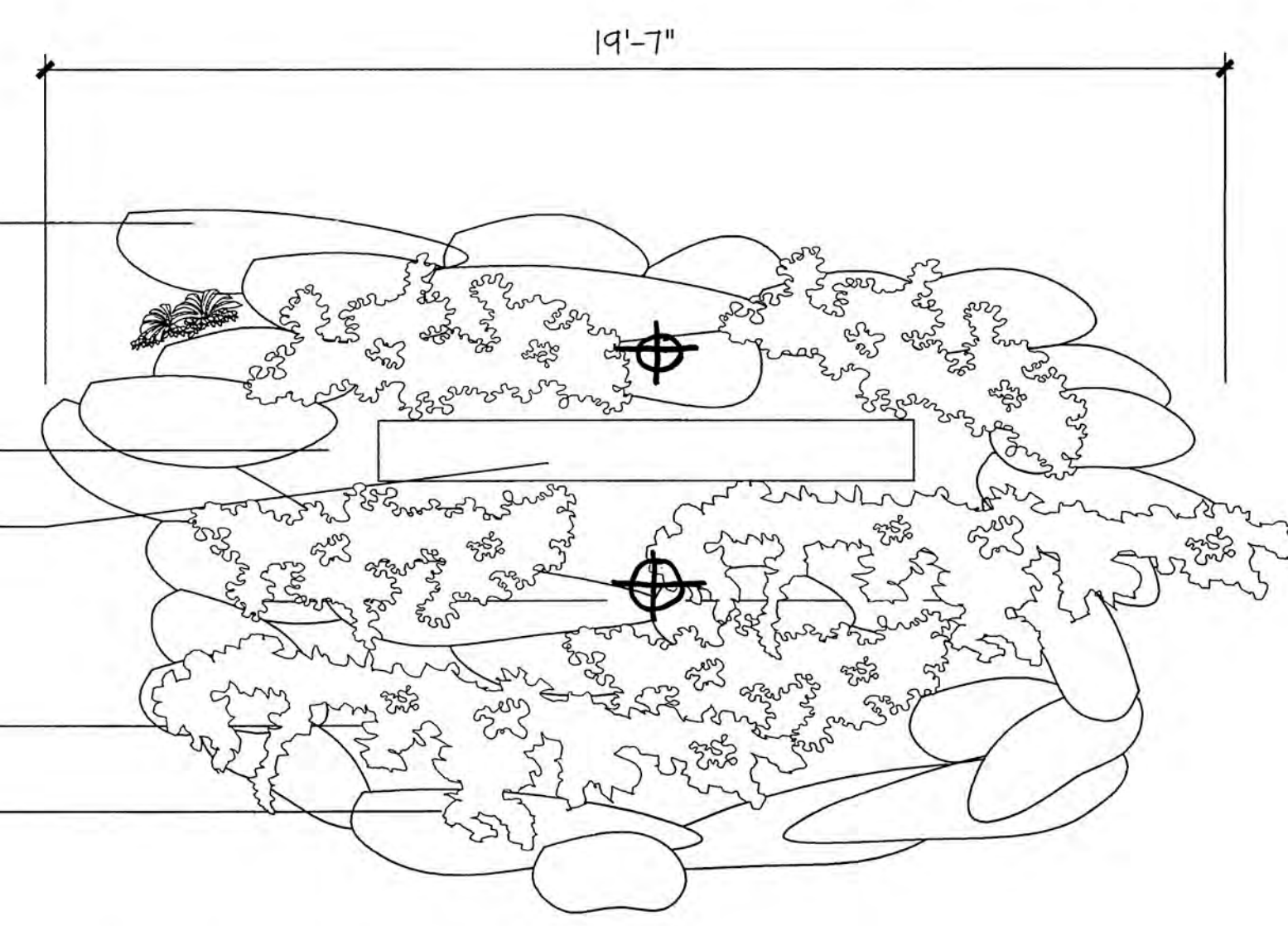
**SIGN & FOUNTAIN ELEVATION**  
3/4" = 1'-0"

Created by  
**J.B.J. Development**  
2005 A.D.  
(a division of J.B.J. Companies, Inc.)



**PLAN VIEW SIGN**  
3/4" = 1'-0"

SECOND TIERS OF LANNON OUTCROPPING STONE / WEATHEREDGE  
LANDSCAPE  
SIGN  
LANDSCAPE  
FIRST TIERS OF LANNON OUTCROPPING STONE / WEATHEREDGE



**PLAN VIEW SIGN & FOUNTAIN**