

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
(P) 262-796-3788
(F) 262-796-0339



MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Gnant Room
645 N. Janacek Road, Brookfield, WI

Wednesday, February 14, 2024

Architectural Review Committee

6:00 p.m

AGENDA

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
 - a. January 10, 2024 Meeting Minutes
- 5) Old Business:
 - a. None.
- 6) New Business:
 - a. Aaron Penazek (Signs and Lines By Stretch), Representing Glow Doctor, is requesting approval for a wall mounted sign located at 19035 West Bluemound Road, Suite 11.
 - b. Raymond Mandarino (All Signs Skokie, Inc), Representing Hyderabad House, is requesting approval for a wall mounted sign and replacing a monument sign insert located at 19035 West Bluemound Road, Suite 13-15.
 - c. Scott Kuehn (Optimum Signs), Representing Grieve Law, is requesting approval to replace two existing monument signs located at 225 & 245 Regency Ct.
 - d. Ryan Janssen, representing Avery & Birch, for a recommendation for Final Approval of a new building consisting of a three-story salon suite facility, located at 21055 Crossroads Circle.
- 7) Communication and Announcements.
- 8) Adjourn.

Posted this 9th day of February, 2024

Zach Hochevar

Acting Town Planner

TOWN OF BROOKFIELD
ARCHITECTURAL REVIEW COMMITTEE MINUTES
JANUARY 10, 2024

The regular meeting of the Architectural Review Committee was held in the Erich Gnant Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER.

Chairman Dean Pearson called the meeting to order at 6:00 p.m. with the following people present: Town Planner Bryce Hembrook, Town Supervisor Steve Kohlmann; Committee members Richard Diercksmeier, Alan Lee, and Matt Paris. Town Supervisor John Charlier was absent.

2) MEETING NOTICES.

Planner Hembrook reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA.

Motion by Kohlmann to approve the agenda. Seconded by Lee.

Motion carried unanimously.

4) APPROVAL OF MINUTES.

Motion by Kohlmann to approve the minutes of the December 13, 2023 minutes as presented.

Seconded by Diercksmeier.

Motion carried unanimously.

5) New Business:

- a. Eric Olson (Graves Signs, Inc.), representing Lendmark Financial Services, is requesting approval for window signage located at 17800 West Bluemound Road, Suite D.

Planner Hembrook described the zoning code pertaining to signage. The proposed is temporary promotional window signage, placed on interior surface. Questions regarding allowable sign area, and the code stating "sign display area shall not exceed 25% of the window area in which the sign is displayed" were discussed.

Motion by Paris to **approve** window signage for Lendmark, located at 17800 West Bluemound Road, Suite D as presented.

Seconded by Kohlmann.

Motion carried unanimously.

- b. Christopher Reiger representing Landmark Credit Union, is requesting approval of a digital menu board sign for the bank drive-thru, located at 19600 West Bluemound Road.

Planner Hembrook described the proposed digital menu board as being located near the bank drive-thru on the north side of the Landmark Credit Union building. It is approximately 8 square feet in size. The sign is intended to provide information to customers that are already on-site and using their drive-thru. Hembrook explained that the sign code does not specifically address menu boards, only EMC's (electronic message centers), and changeable copy signs. Those types of signs are meant to be directed to traffic or pedestrians for advertisement purposes. Don Numer with Sign Effectz was present and referred to the sign as a digital poster board, advertising CD rates and other bank business. It would not be a sign that changes on a continuous rotation, but would change once or twice a month. Kohlmann opined that it should go dim or be turned off at night, and no change more than 24 hours. Pearson and Kohlmann agree that this is an EMC, and should be subject to those regulations.

Motion by Kohlmann to **approve** a digital menu board sign for the bank drive-thru for Landmark Credit Union located at 19600 West Bluemound Road, provided they have the same regulations as EMC's related to lighting, flickering, and other EMC standards.

Seconded by Diercksmeier.

Additional Discussion: Kohlmann described how much attention was given to regulate EMC's. EMC's cannot face residential property.

Motion carried unanimously. :

- c. Lisa Burck (Innovative Signs), representing Landmark Credit Union, is requesting approval for a reface of a monument sign, replacing two channel letter wall signs, and refacing directional and informational signage located at 19600 West Bluemound Road.

Planner Hembrook described the request as follows:

- Requesting to reface the existing monument sign, replace existing wall signage to include new company logo/font on the east and south elevation, and reface directional and information signage.
- Monument sign
 - Refacing the gray sign panel. Base and digital display area to remain as is.
 - Sign is approximately 34.68sf
 - Includes a gray background, white letters and blue and white logo.
 - Internally illuminated.
- South and east elevation channel letter wall signs
 - Both signs are approximately 48 square feet.
 - These signs appears to be similar in size to the existing signage, but likely smaller.
 - Channel letters and logo will be internally illuminated.
 - East elevation frontage = 65'.
 - Allowable sign area = 52 square feet
 - South elevation frontage = 71'
 - Allowable sign area = 56.8 square feet
 - Both signs meet sign area requirements.
- Directional signs
 - Refacing several directional and informational signs and will include logo on each sign.
 - These types of signs do not require a permit but do require approval by the Committee. The sign code state that these signs should be directional in character, without identification graphics, font size shall not exceed 5 inches and the total display area shall not exceed either inches by 30 inches per tenant, unless approved to provide consistency with design features of the development.
 - The proposed signs do not meet all of these requirements, but the ARC can decide to approve as presented with those exceptions.

Pearson indicated that the entrance sign is confusing. Kohlmann suggested adding "Building Entrance Only" for clarification. Further discussion was had regarding the logo, and whether it should be included on the proposed signage.

Motion by Kohlmann to **approve** reface of a monument sign, replacing two channel letter wall signs as presented for Landmark Credit Union, located at 19600 West Bluemound Road.

Seconded by Paris.

Motion carried unanimously.

A second motion was made by Kohlmann to **approve** directional and informational signage without the logo on all signs, and to allow the size of the font to not exceed the code requirement font of 5 inches for Landmark Credit Union, located at 19600 West Bluemound Road. Planner Hembrook can approve.

Seconded by Lee.

Motion carried unanimously. :

- d. Lisa Burck (Innovative Signs), representing Werfen, is requesting approval for permanent free-standing sign, located at 20925 Crossroads Circle.

Planner Hembrook described the request as follows:

- Proposing to add a freestanding sign near the entrance of the parking lot. The site plan in the packet shows the proposed sign being located on the property line where the existing sign is currently located. The sign will need to meet the 5' setback and/or receive a variance. The applicant has stated that they will likely request a variance. If the Committee decides to approve this sign, a condition should be applied to require that the sign either meets the 5' setback requirement or a variance is granted.
- Sign is proposed to be 4.6' from grade and has two panels showing the property address and the Werfen logo.
 - Both panels are approximately 27.6 square feet each (55.2 square feet total).
- The majority of the sign structure is blue and the lettering is white.
- The signs will be internally illuminated.
- No dimensions were provided for the address numerals. The typical requirement is a minimum of 8 inches.

Proposed sign appears to meet all other sign code requirements.

Additionally, Hembrook reported that the applicant is planning on setting the sign slightly back further than the existing sign. The post has a saddle mount with the post going straight to the ground. Landscaping at the base was discussed.

Motion by Paris to **approve** a permanent free-standing sign for Werfen, located at 20925 Crossroads Circle as presented, with setback.

Seconded by Diercksmeier.

Motion carried unanimously.

:

- e. Ryan Janssen, representing Avery & Birch, for a recommendation for Preliminary Approval of a new building consisting of a three-story salon suite facility, located at 21055 Crossroads Circle.

Planner Hembrook described the proposed building and use. Please refer to the ARC memo for January 2024 for details. Paul Jenswold, Civil Engineer with Trio engineering was in attendance and noted that the proposed use is for a multi-tenant salon. Kohlmann indicated that he approves of the conceptual plan, but does not care for the architecture of the building. Paris agreed, and opined that the style does not fit the surrounding area. Mr. Jenswold indicated that architectural features could be discussed further to include modifications that might be more appealing to the ARC. Trash bin location, roof maintenance, and a storm water pond were also mentioned in the discussion as well as the potential of additional light poles.

Motion by Paris to **approve** a recommendation for Preliminary Approval of a new building consisting of a three-story salon suite facility, located at 21055 Crossroads Circle.

Seconded by Diercksmeier.

Motion carried 4-1, with Kohlmann dissenting.:

6) COMMUNICATION AND ANNOUNCEMENTS.

Planner Hembrook noted that he will not be available in February, and will be in contact regarding a meeting date.

7) ADJOURN.

Motion by Kohlmann to adjourn at 7:25 pm.

Seconded by Diercksmeier.

Motion carried unanimously.

Respectfully submitted,
Bryce Hembrook, Town Planner



Building a Better World
for All of Us®

TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Zach Hochevar
Acting Town Planner

REPORT DATE: February 8, 2024

ACC MEETING DATE: February 14, 2024

RE: ARC Staff Report – February Agenda Items

Glow Doctor Luxury Spray Tans – Sign Review

Applicant: Aaron Penazek (Signs and Lines By Stretch), Representing Glow Doctor

Location: 19035 W Bluemound Rd, Suite 11

Request: Approval of Permanent Signage

- Requesting to add an internally illuminated wall mounted sign above their storefront.
- Proposed sign is approximately 23.5 square feet in size, which does not meet the 13.3 square feet allowed by the Town's code (occupant has 16.7 lineal feet of storefront).
 - This does not meet typical sign area requirement, but the Committee may approve exceptions.
- Proposed sign will extend 12" from the building, which meets the Town's code.
- Proposed sign appears proportional to existing adjacent signs.

Hyderabad House (Monument Sign) – Sign Review

Applicant: Raymond Mandarino (All Signs Skokie, Inc), Representing Hyderabad House

Location: 19035 W Bluemound Rd, Suite 13-15

Request: Approval of Permanent Signage

- Requesting to replace an existing monument sign insert.
- Proposed sign has a red background, with "Hyderabad House" printed in white letters and includes the business' logo.
- Proposed sign is 26.3 square feet.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351

SEH is 100% employee-owned | **sehinc.com** | 262.646.6855 | 888.908.8166 fax

Hyderabad House (Wall Sign) – Sign Review

Applicant: Raymond Mandarino (All Signs Skokie, Inc), Representing Hyderabad House

Location: 19035 W Bluemound Rd

Request: Approval of Permanent Signage

- Requesting to remove and replace an existing wall sign.
- Proposed sign has a red background, with “Hyderabad House” printed in white letters and includes the business’ logo.
- Proposed sign is 68.5 square feet, which does not meet the 48.0 square feet allowed by the Town’s code (occupant has 60.0 lineal feet of storefront).
 - This does not meet typical sign area requirement, but the Committee may approve exceptions.
- Proposed sign will extend approximately 12” from the building, which meets the Town’s code.
- Proposed sign appears proportional to existing sign it will replace and existing adjacent signs.

Grieve Law – Sign Permit

Applicant: Scott Kuehn (Optimum Signs) representing Grieve Law

Location: 225 & 245 Regency Ct

Request: Approval of Permanent Signage

- There are currently two existing freestanding signs at this location that displays a multi-tenant panel sign for 225 & 245 Regency Ct.
- The proposed monument signs show a 2’ masonry base and the total height from grade is 7’ tall.
- Both signs show 5 tenant panel signs, with some panels currently vacant.
- Both sign areas are approximately 25 square feet each.
- The signs indicate the address but does not label the name of the development which is a requirement in the sign code.
 - The development name is required according to the Town’s sign code requirements.
- The existing 245 Regency Ct sign appears to be extend beyond the property line and the applicant is proposing to replace the existing signs in the same location. There is typically a 5’ setback for signs.
 - The setback does not meet the Town’s sign code requirements.
 - The Committee could make an exception since the sign would be located in the same location.
- The signs will be internally illuminated. The sign code requires that the “background of internally illuminated, cabinet-type sign faces shall be opaque or a color other than white”. The plans currently shows a white background.
 - The background color does not meet the Town’s sign code requirements.
 - An updated sign rendering showing the night view should be required, if approved.
- No dimensions were provided for the address numerals but I estimate the numerals are smaller than 6 inches. The code requires eight inches minimum height for address numerals.
 - The text height does not appear to meet the Town’s sign code requirements.

Avery & Birch – Final Approval

Applicant: Ryan Jansen representing Avery & Birch

Location: 21055 Crossroads Circle

Request: Preliminary approval of a new building consisting of a three-story salon suite facility

- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.6 acre parcel in an office park.

- Quest Interiors received final approval for their facility on the subject property earlier this year but decided to no longer pursue the project.
- The applicant intends to eventually split the existing lot into 2 lots but is not planning on splitting the property at this time. The plans show where the potential property split may occur.
 - Potential lot size (if divided) = Approximately 1.82 acres or 79,505 square feet.
 - This will require a certified survey map review and approval. The lot size may differ than current plans but must still meet setback and lot size requirements.
- Proposed structure = 16,500 total square foot three-story facility with salon suites. Approximately 5,500 square feet each floor.
- Approximately 89 parking stalls currently proposed, including 4 handicap stalls.
 - The proposed use is likely considered a personal service use, which requires one space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.
 - There appears to be an adequate amount of parking provided on-site.
 - The proposed site plan shows a drive access connection to the future lot to the north.
- Proposed setbacks:
 - Front = 210+’
 - Side = 87’ north and 50’ south
 - Rear = 69’
 - All building setbacks will meet code requirements.
 - The pavement setback along the Crossroads Circle right-of-way appears to meet the 10’ requirement.
- Sum total of floor area
 - Proposed = 20.7% of lot area.
 - Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area.
 - Requirement is met.
- No building height dimensions were provided but the building will likely meet the 45’ height requirement.
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The applicant intends to keep the existing landscaping to serve as a buffer for the residential properties.
- The applicant is proposing to add a stormwater pond to the north of the building and this is proposed to serve the potential northern lot as well.

Final Approval Requirements

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

Development Review Team Feedback

The site plans have been sent to the Town Engineer. The Town Engineer has not been able to finish their review prior the February ARC meeting.

Next Steps

If final approval is granted by this committee, the Plan Commission will review final plans at the next available meeting. If approved by Plan Commission, the Town Board will review and grant final approval.

Staff Recommendation

Per the discretion of the Plan Commission.

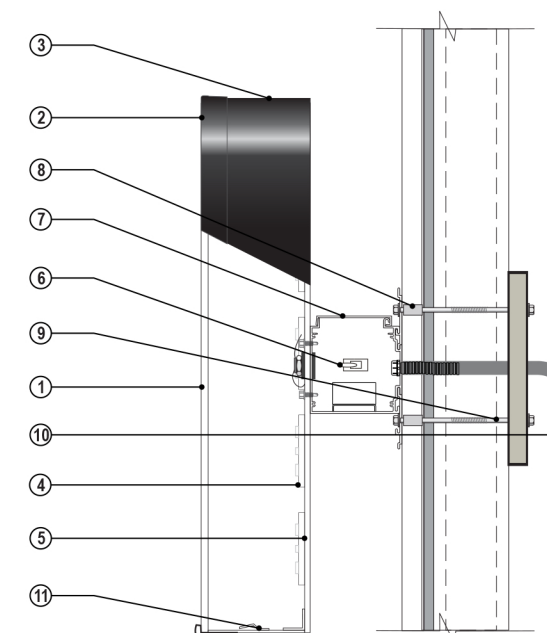
Face-Lit Channel Letters with Vinyl applied 1st Surface on White Translucent Acrylic Faces
5" Raceway painted to match building, 2" Square Tubes
Black Trimcap, 5" Black Return

3M 3630 Translucent Vinyl - Cardinal Red

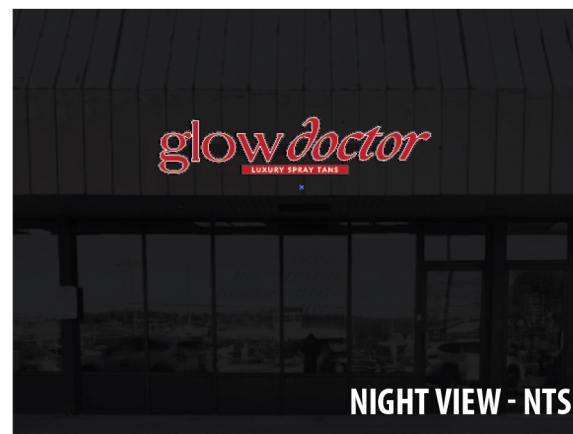
QTY: 1 - Channel Letters

RACEWAY CHANNEL LETTERS

- ① 1/4" #7328 WHITE ACRYLIC w/ 1ST SURFACE APPLIED RED VINYL
- ② 1" BLACK JEWELITE TRIM CAP
- ③ .040 BLK/WHT RETURNS 5" ALUMINUM LETTER COIL OUTSIDE TO BE BLACK & INSIDE TO BE WHITE
- ④ HANLEY PN2-24 WHITE LEDs
- ⑤ (35") WHITE 3MM ACM LETTER BACKS
- ⑥ DISCONNECT SWITCH INSTALLED SIDEWAYS FOR TAMPER RESISTANCE
- ⑦ 5" ELECTRICAL RACEWAY (SEE LAYOUT FOR PLACEMENT) HOUSES POWER SUPPLIES PAINTED TO MATCH BUILDING
- ⑧ 3/4" DIAMETER CONDUIT SPACER THRU DRYVIT
- ⑨ NON-CORROSIVE MOUNTING HARDWARE TO SUIT WALL/BLOCK OR ANGLE BEHIND STUDS AS REQUIRED
- ⑩ 20 AMP PRIMARY ELECTRIC BROUGHT TO SIGN AREA w/ FINAL CONNECTION BY INSTALLER WHERE LOCAL CODES ALLOW 6' WHIP LENGTH REQUIRED
- ⑪ 1/4" DIAMETER DRAIN HOLE w/ LIGHT BAFFLE (MIN. 1 PER LETTER)



SILICONE CAULK ALL PENETRATIONS



Raceway: 5"H x 111.75"W



Sign Overall Size: 26.9"H x 126.3"W (23.5 ft²)

DESIGN LAYOUTS ARE COPYRIGHT © 2023

Designer: Jo Amos	Date: 12.11.2023
-------------------	------------------

01: The Glow Doctor - Channel Letters - 25%.ai

02: The Glow Doctor - Channel Letters - 25% - VER2.ai

03: --,-- -- - Revision

04: --- -- - Revision

R 05: --.-- - Revision

06:----- Revision

ARTWORK CHARGE: One customer requested revision allowed per drawing/ estimate. There will be an artwork charge for any customer requested revisions.

Project: **The Glow Dr/Channel Letters**

Install Address: 19035 W Bluemound Rd, Ste 11, Brookfield, WI 53045

Sales Person: **Aaron Penazek**

Project Manager: **Patty Blicharz**

Approval: _____ Date: _____

Date: _____

I have checked the DETAILS of this proof and approve the design. Signs & Lines by Stretch is not responsible for typographical errors. My signature authorizes Signs & Lines by Stretch to proceed with production of this order. I understand that I will be charged for product and labor, even if I cancel the order after this date.

**W240 S3990 Rockwood Circle
Waukesha, WI 53189**

(262) 544 - 9628
www.slimes.net

49"

306"

39"



26"

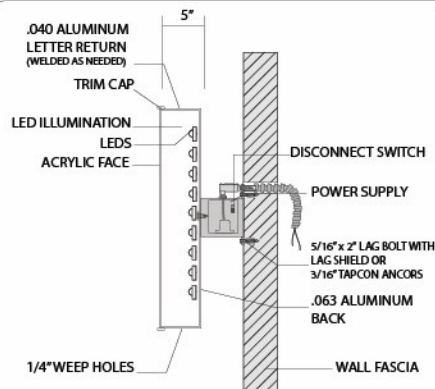
Hyderabad House

INDIAN
CUISINE

19"

368"

LED Face-Lit Channel Letters - Side View



All wiring & components to meet U.L. Standards



Product:	Size:	Qty:	Sides:	Notes:
Channel Letter storefront wall sign				

Customer Contact: Hyderabad House Brookfield WI Sales Rep: Payal

Design By: Krusha P.

Approval states that contents of this proof are correct and the responsibility of the client


Signarama
The way to grow your business.

Please review Art for accuracy in:
Dimension • Layout • Spelling • Color

Approval Signature: _____

Date: _____

8088 McCormick Blvd., Skokie, IL 60076 • Phone: 847-324-5500 • Fax: 847-324-5502 • www.signarama-skokie.com



Product:	Size:	Qty:	Sides:	Notes:
faces for Existing Monument sign	118.5" x 32"	2		

Customer Contact: Hyderabad House Brookfield WI Sales Rep: Payal

Design By: Krusha P.

Approval states that contents of this proof are correct and the responsibility of the client



Please review Art for accuracy in:
Dimension • Layout • Spelling • Color

Approval Signature: _____

Date: _____

8088 McCormick Blvd., Skokie, IL 60076

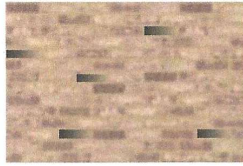
• Phone: 847-324-5500

• Fax: 847-324-5502

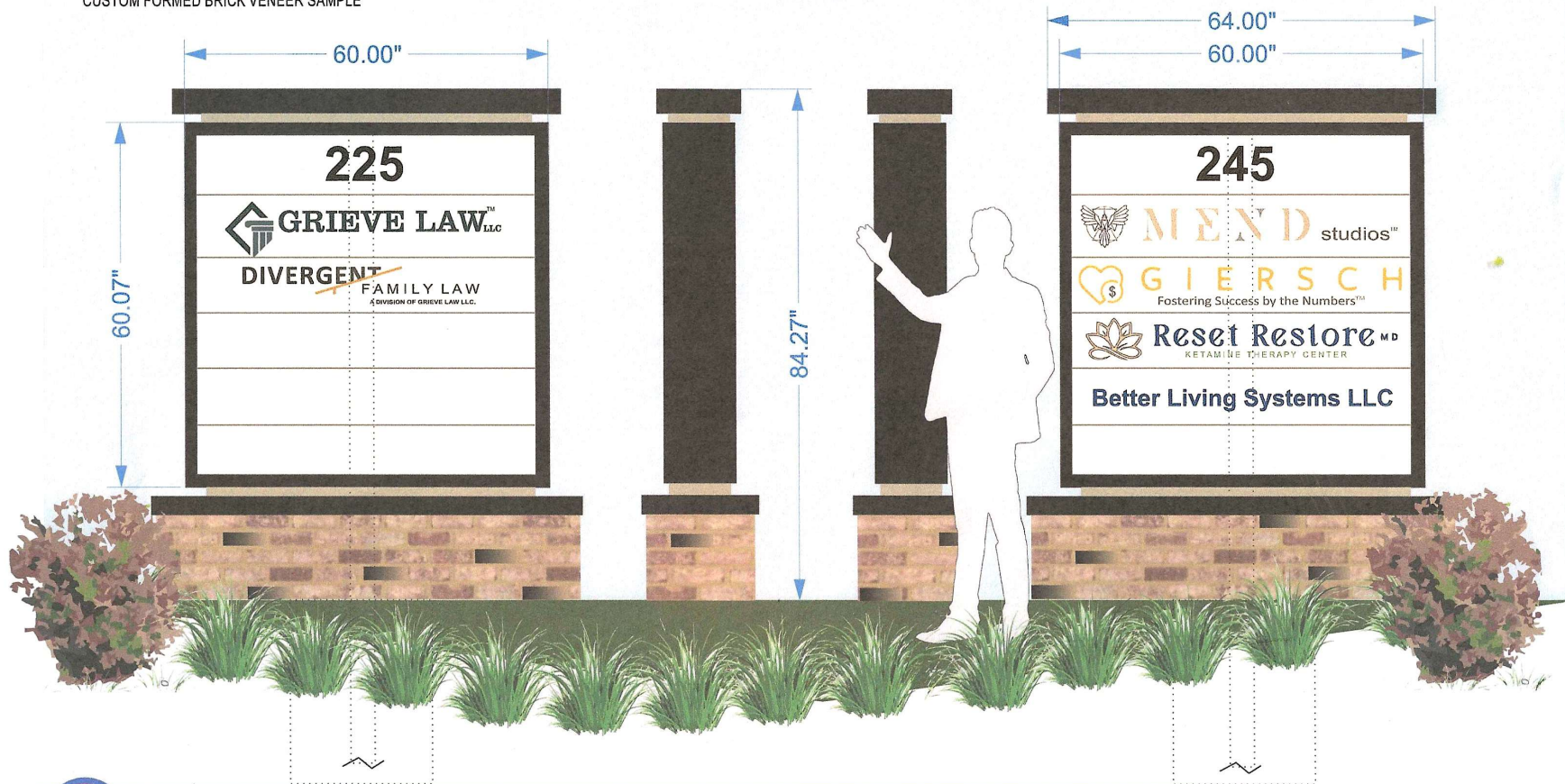
• www.signarama-skokie.com

Brookfield Location

(2) SINGLE SIDED ILLUMINATED SIGN CABINETS



CUSTOM FORMED BRICK VENEER SAMPLE



W134N5504 Campbell Dr.
Menomonee Falls, WI 53051
OptimumSignsWI.com | 262.289.9481
info@optimumsignswi.com

Project: Grieve Law Offices

Address: 225 Regency Ct, Brookfield, WI 53045
245 Regency Ct, Brookfield, WI 53045

Date: 5/10/2023 **Designer:** JH

Disclaimer: This is an original design created by Optimum Signs. The submitted design is protected under copyright laws of The United States. You agree not to copy, photograph, modify or share directly or indirectly any of the foregoing held by you with any other party, nor will you permit any third party to do any of the foregoing without the written consent of Optimum Signs.

All electrical work to be done by others.

©Optimum Signs 2023



Photo Survey of Existing
view only; not to scale

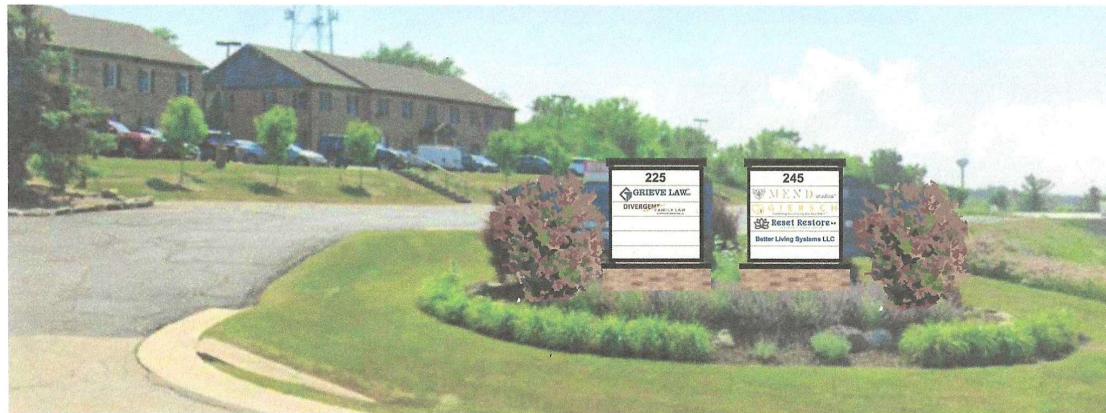


Photo Survey of Proposed
view only; not to scale

37.3 sq. ft. each



W134N5504 Campbell Dr.
Menomonee Falls, WI 53051
OptimumSignsWI.com | 262.289.9481
info@optimumsignswi.com

Project: Grieve Law Offices

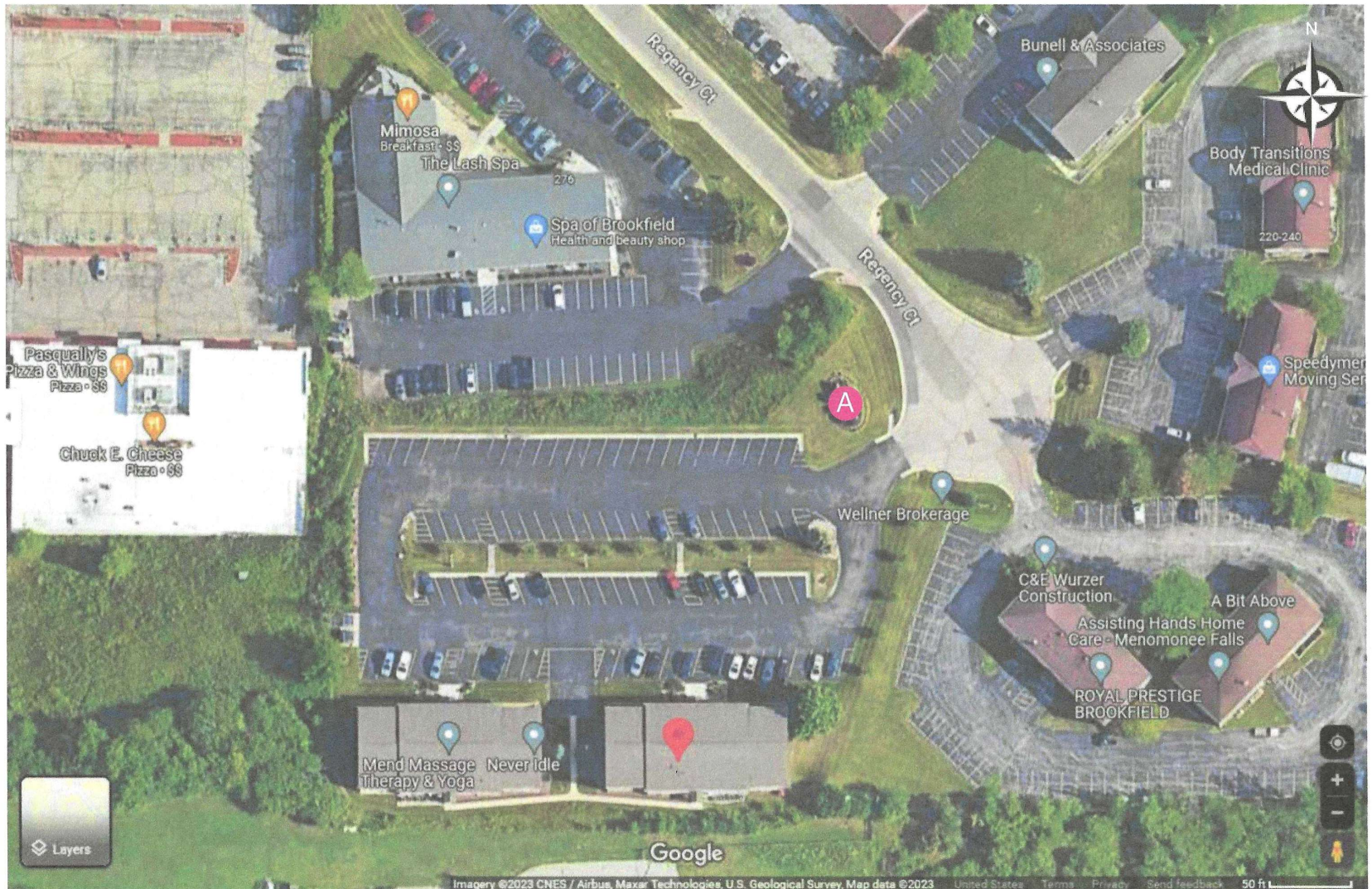
Address: 225 Regency Ct, Brookfield, WI 53045
245 Regency Ct, Brookfield, WI 53045

Date: 5/10/2023 **Designer:** JH

Disclaimer: This is an original design created by Optimum Signs. The submitted design is protected under copyright laws of The United States. You agree not to copy, photograph, modify or share directly or indirectly any of the foregoing held by you with any other party, nor will you permit any third party to do any of the foregoing without the written consent of Optimum Signs.

All electrical work to be done by others.

©Optimum Signs 2023



A Sign location at 225 and 245 Regency Ct, Brookfield, WI 53045



W134N5504 Campbell Dr.
Menomonee Falls, WI 53051
OptimumSignsWI.com | 262.289.9481
info@optimumsignswi.com

Project: Grieve Law Offices

Address: 225 Regency Ct, Brookfield, WI 53045
245 Regency Ct, Brookfield, WI 53045

Date: 5/10/2023 **Designer:** JH

Disclaimer: This is an original design created by Optimum Signs. The submitted design is protected under copyright laws of The United States. You agree not to copy, photograph, modify or share directly or indirectly any of the foregoing held by you with any other party, nor will you permit any third party to do any of the foregoing without the written consent of Optimum Signs.

All electrical work to be done by others.

©Optimum Signs 2023

CONSTRUCTION PLANS
FOR
AVERY & BIRCH
21055 CROSSROADS CIRCLE
TOWN OF BROOKFIELD, WISCONSIN

LEGEND

SECTION CORNER MONUMENT

FOUND 1" IRON PIPE OR AS NOTED

POST

UTILITY POLE

GUY POLE

GUY WIRE

CULVERT

UTILITY PEDESTAL

ELECTRIC PEDESTAL

SEPTIC FACILITY

SEPTIC CLEANOUT

TV MANHOLE

YARD LIGHT

INLET

SOIL TEST LOCATION W/ ELEV.

WELL

WIRE FENCE

SILT FENCE

(XXXXXX) RECORD DIMENSION

ST STORM SEWER

SAN SANITARY SEWER

WM WATER MAIN

OH OVERHEAD POWER/UTILITY

G UNDERGROUND GAS

E UNDERGROUND ELECTRIC

C UNDERGROUND CABLE

X 1007.0 EXISTING SPOT ELEVATION

- 1008 EXISTING CONTOUR

X 1008 PROPOSED SPOT ELEVATION

- 1008 PROPOSED CONTOUR

PROPOSED DRAINAGE DIRECTION

Soil TYPE

FG 1008.0 PROPOSED YARD GRADE

STRAW LOG DITCH CHECK

RIPRAP

NOTES:
1) A LEGEND SHOWING SPECIAL SYMBOLS, LINE TYPES, ETC. IS SHOWN HEREON.
2) UNDERGROUND UTILITIES MUST BE LOCATED BY "DIGGERS HOTLINE" PRIOR TO START OF CONSTRUCTION.

SUBJECT
PROPERTY

GENERAL NOTES:

1. BEARINGS ARE REFERENCED TO THE CERTIFIED SURVEY MAP NO. 6536, IN WHICH WEST LINE OF THE NE 1/4 OF SEC. 31-7-20 WAS TAKEN TO BEAR S02°06'31"W.
2. Vertical datum is based on North American Vertical Datum of 1988.
3. ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CURRENT TOWN OF BROOKFIELD CONSTRUCTION STANDARDS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

SCALE: 1" = 200'

DEVELOPER:
Ryan Janssen
Ryan's Buying LLC
13416 Watertown Plank Rd. #245
Elm Grove, WI 53122
Phone: 414-736-3066
Email: ryan@ryansbuying.com

ENGINEER:
Mark R. Ellena, PE
Ellena Engineering Consultants, LLC
700 Pilgrim Parkway, Suite 100
Elm Grove, WI 53122
Phone: 262-791-6183
Email: mellenae@eeceng.com

SURVEYOR:
TBD

APPROVAL AGENCY:
Town of Brookfield

DESCRIPTION	SHEET NO.
SITE PLAN	C100
GRADING, PAVING & DRAINAGE PLAN	C200
UTILITY PLAN	C300
EROSION CONTROL PLAN	C400
DETAILS	C500 - C501

DESCRIPTION

DATE

REVIEW No.1

REVIEW No.2

EEC

ELLENA ENGINEERING CONSULTANTS, LLC

SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT

700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellenae@eeceng.com

AVERY & BIRCH SALON SUITE FACILITY

TOWN OF BROOKFIELD, WI

COVER SHEET

WISCONSIN

MARK R. ELLENA

E-24090

WALES, WI

PROFESSIONAL ENGINEER

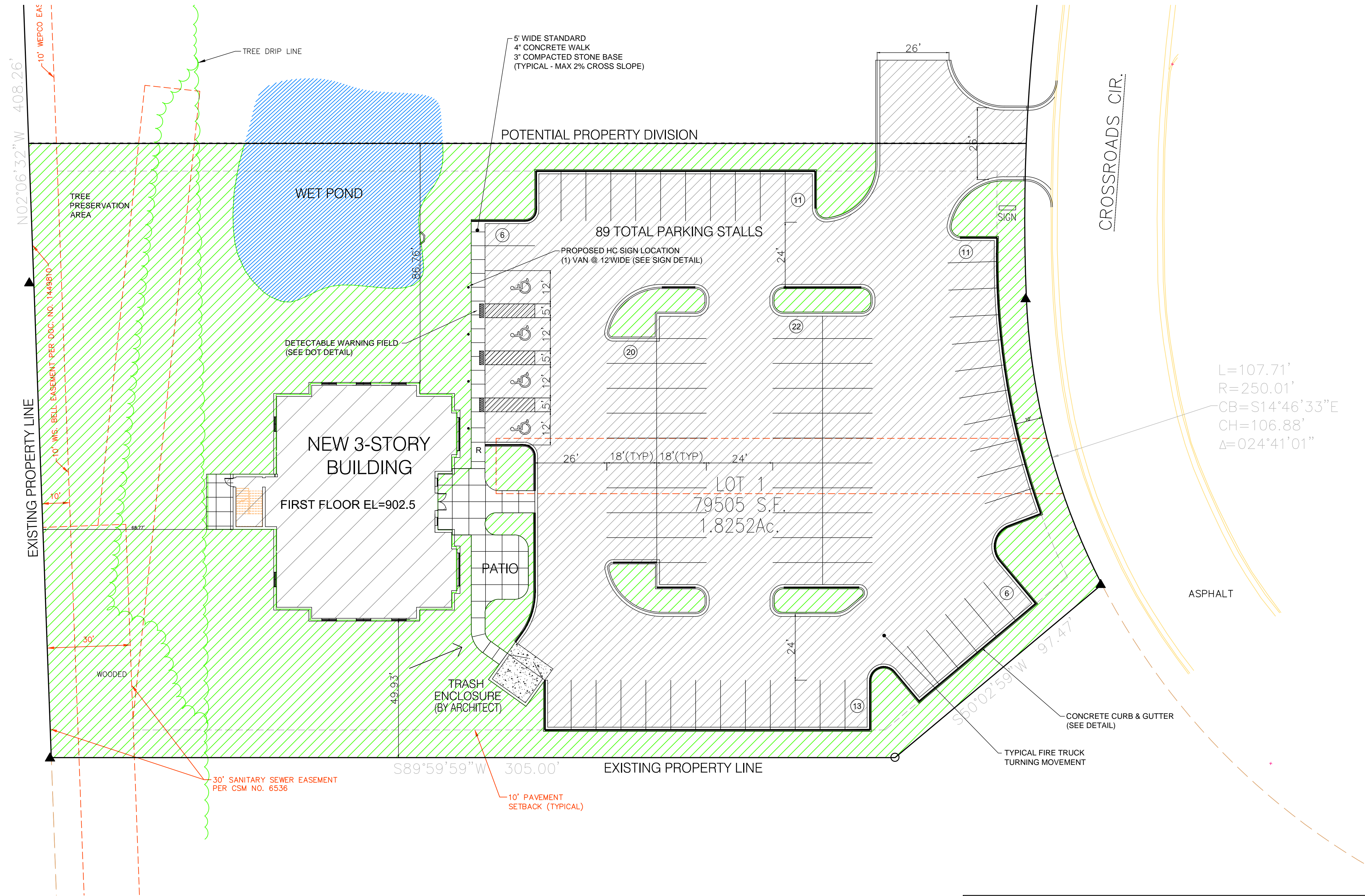
DATE: 01-17-24

BY: MARK R. ELLENA, PE

SHEET NUMBER

C000

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY EXCEL ENGINEERING.
WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS
CANNOT BE GUARANTEED NOR CERTIFIED TO.



SITE DATA TABLE		
		PROPOSED
PROPERTY AREA :		79,505 S.F.
TOTAL BUILDING FLOOR AREA :		5,500 S.F.
FLOOR AREA RATIO :		5,500 / 79,505 = 6.9%
TOTAL PAVED SURFACE AREA (including concrete areas) :		32,000 S.F.
TOTAL OPEN AREA (GREEN SPACE):		42,005 S.F.
LANDSCAPE SURFACE AREA RATIO		42,005 / 79,505 = 52.8%
LOT COVERAGE RATIO		47.2%
TOTAL PARKING :	REQUIRED: 88	PROVIDED: 89
HC PARKING :	REQUIRED: 4	PROVIDED: 4 (1 VAN)

AVERY & BIRCH SALON SUITE FACILITY
TOWN OF BROOKFIELD, WI

SITE PLAN



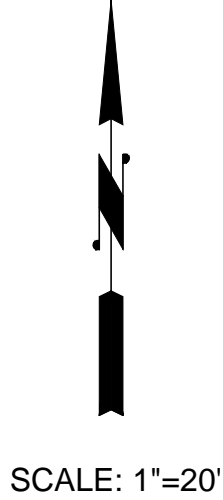
DATE: 01-17-24
BY: MARK R. ELLENA, PE
SCALE: 1"=20'

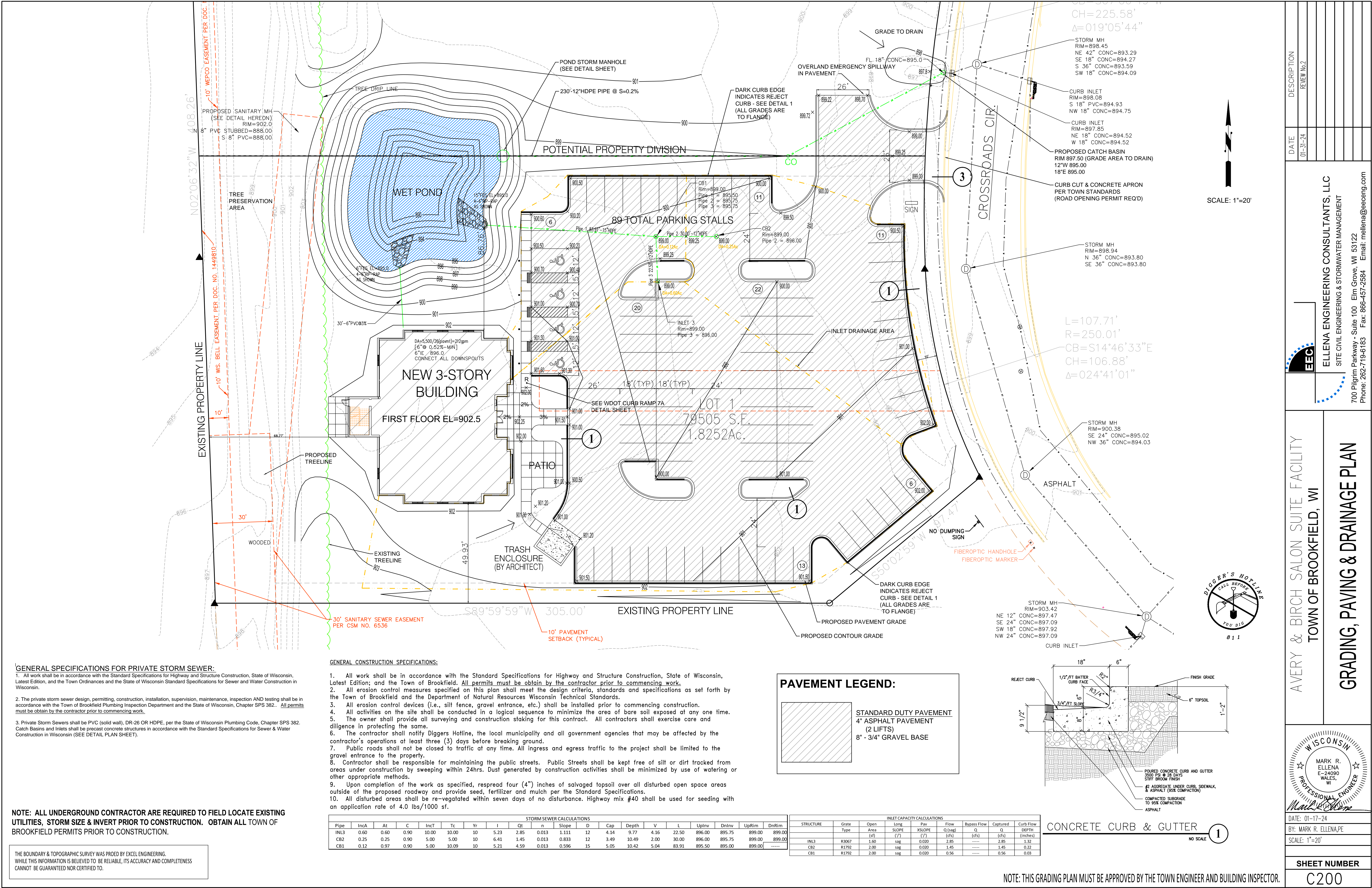
SHEET NUMBER
C100

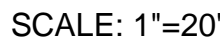


ELLENA ENGINEERING CONSULTANTS, LLC
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellenae@eeceng.com

DATE	DESCRIPTION
01-31-24	REVIEW No.2







The timing and sequence of construction is scheduled as follows:

1. Before grading begins the PROJECT SUPERVISOR will stake out the site fence & pond area. The general contractor is charged with installing and maintaining all site fences, signage and erosion control measures.
2. A list of all project contacts, phone numbers, e-mail addresses, and fax, are on the plan & will be provided to the contractor.
3. Construction is scheduled to begin on or about _____.
4. The pond and trench will be excavated and shown on the plan.
5. Strip Lagoon in the proposed construction areas and shrouded in a staging area on _____.
6. The contractor will be responsible for installing and maintaining all site fences, signage, basin outlet structure and piping. Near grade site, erosion control sowers & stone pavement will be installed and maintained.
7. The contractor will be responsible for installing and maintaining all erosion control matting upon completion [Complete by _____].
8. The contractor will be responsible for _____ [Complete by _____].
9. Erosion control inspections will be performed weekly and after each rain event of 0.5 inches or larger by the general contractor and inspection forms will be filled out and submitted.
10. Site work completion is anticipated by _____.
11. The contractor will be responsible for _____ for greater than 7 days shall be stabilized with temporary measure such as soil treatment, temporary seeding or mulching.
12. The contractor will be responsible for _____ for greater than 7 days shall be stabilized on the site and that rain is not disturbed these activities. Frozen soils do not exclude the site activities.
13. Restoration of all disturbed areas will be stabilized in accordance with the late season seeding and mulching.
14. After grass is well established all soil forms will be removed and permits will require.
15. Seeding rates and mixes shall conform to WADOT Roadway Standard Section 830.

Late Season Stabilization:
The objective is to stabilize the site with 70% vegetative coverage of all pervious disturbed areas before the end of the growing season. After November 15, no land disturbing activity is permitted outside of active building envelopes, and all other disturbed areas must be stabilized by November 15 per the following schedule.

- a. Permanent Vegetation (before September 15):
 - i. Seeding. Prepare seedbed and sow seeds per the rates and mixes of Wisconsin Department of Transportation (WisDOT) Roadway Standard Section 630.
 - i. Erosion Control: Immediately apply mulch, erosion control matting, or other permanent stabilization BMPs as specified in the approved erosion control plans per DNR technical standards.
 - ii. Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full vegetative cover is obtained, and repair any erosion problems, wash out etc.
- b. Temporary Vegetation (September 15 – October 15):

i. Seeding: The above noted seeding mix must include a minimum of 2 lbs. per 1,000 sq. ft. of a temporary cover (i.e. winter wheat or annual rye grass for plantings) per Section 630.

stabilization BMPs as specified below, following DNR technical standards. The approved plans may be more restrictive:

1. Undisturbed Area (Concrete Slabs, etc.): Apply WindSod Stabilizer/Gravel and/or other channel cross-section and all backfills using a minimum WindSod Erosion Control Product Acceptability (PAL) Class 3 Type A matting, unless otherwise called for in the approved plan.
2. Other disturbed areas: Apply Type B Soil Stabilizer, mulch and tackifier from the WindSod Product Acceptability List to all disturbed areas that remain exposed.
3. Inlets/Outfalls: Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion

iii. Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash out, etc.

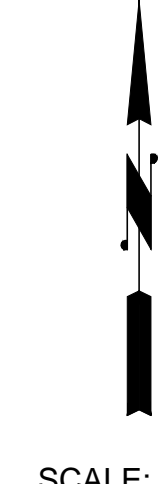
i. Seeding Rate: Same seed mix as subsection (b) (including temporary cover crop except the rates for perennial species must applied at 1.5 x WisDOT section 630 rates (apply rates of 3-5 lbs./1000 sq.ft.).

1. Channel Flow (roadside swales, etc.) and Backslopes: Apply Type A soil stabilizer and straw mulch to the channel and all backslopes. Then apply PAL Class 3 Type A erosion matting over the entire channel and all backslopes.

3. **Intake/Outfalls:** Install sod pads (2 rolls) at all culvert outfalls, and other high-erosion locations in accordance with County standards.

iii. Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash out etc.

If construction schedules should change significantly, this plan narrative will be updated and resubmitted.



SCALE: 1"=20'





1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtain by the contractor prior to commencing work.
2. All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
3. All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
4. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
5. The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
6. The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
7. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
8. Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
9. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
10. All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.

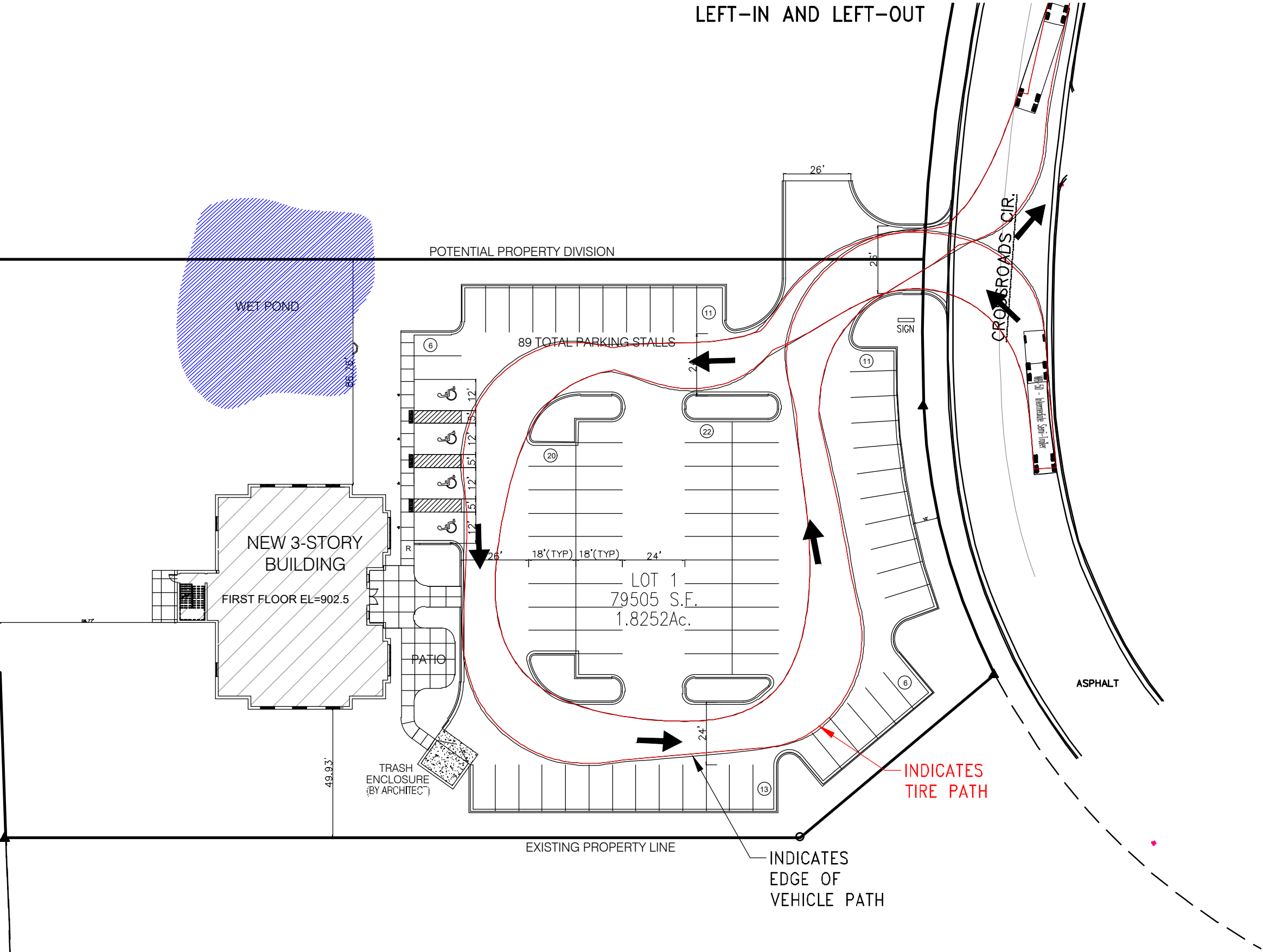
THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROD BY EXCEL ENGINEERING.
WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS
CANNOT BE GUARANTEED NOR CERTIFIED TO.

[illegible]



	DATE	DESCRIPTION
	01-31-24	REVIEW No.2
<p> ELLENA ENGINEERING CONSULTANTS, LLC SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122 Phone: 262-719-6183 Fax: 866-457-2584 Email: mellenana@eeceng.com </p>		
<p> AVERY & BIRCH SALON SUITE FACILITY TOWN OF BROOKFIELD, WI </p>		
<p> DETAILS </p>		
		
DATE: 01-17-24 BY: MARK R. ELLENA/PE SCALE: 1"=40'		
SHEET NUMBER C500		

AVERY & BIRCH BROOKFIELD
WB-50 TURNING MOVEMENT EXHIBIT
LEFT-IN AND LEFT-OUT



4100 N. CALHOUN RD.
SUITE 300
Brookfield, WI 53005
Phone: (262) 790-1480
Fax: (262) 790-1481

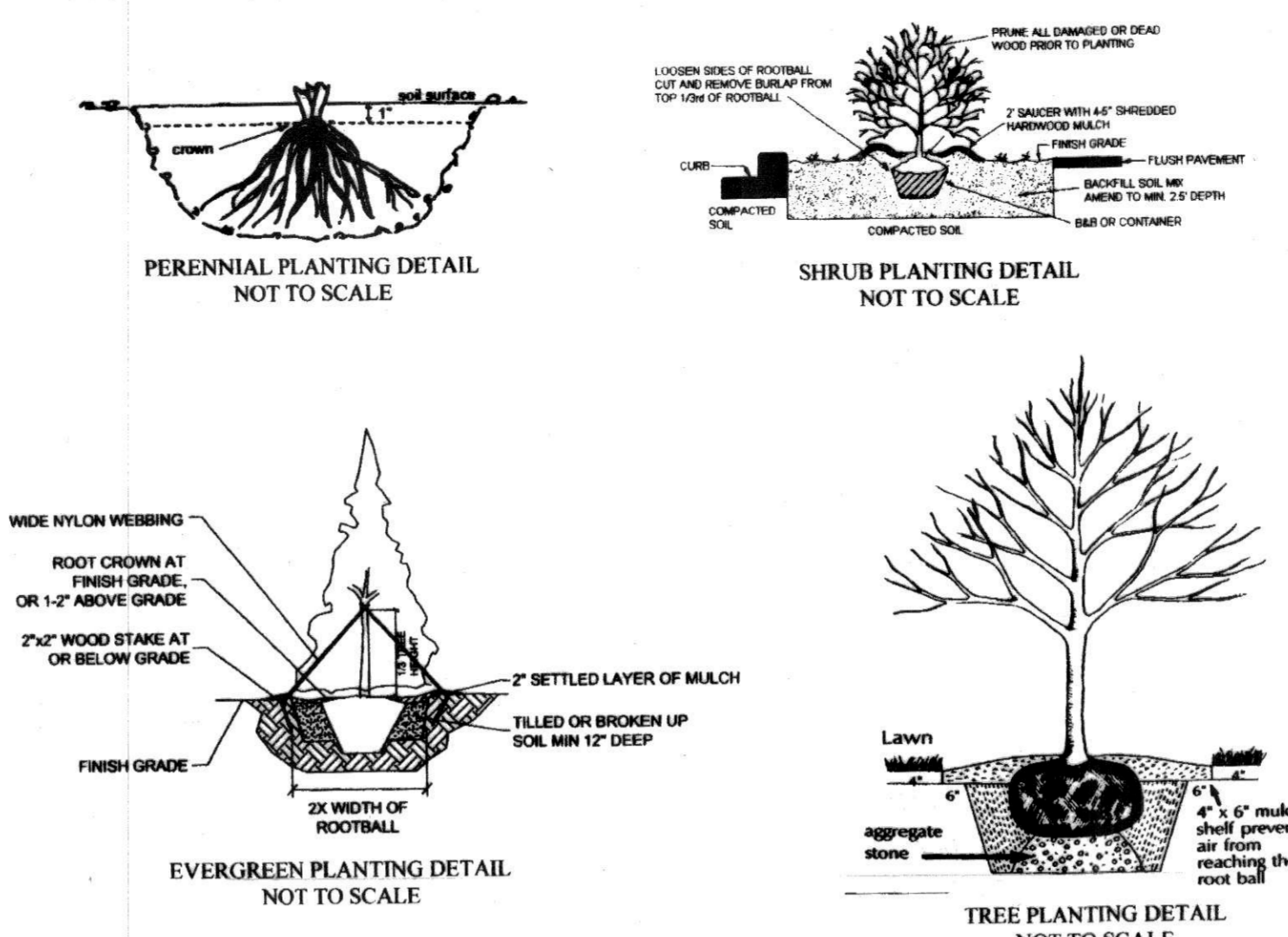
RIGHT-IN AND RIGHT-OUT



DATE: 1/30/24 PAGE 2 OF 2

PERENNIAL SCHEDULE				
#	BOTANICAL NAME	COMMON NAME	QTY	SIZE
1	HEMEROCALLIS SP. 'STELLA DE ORO'	DAYLILY	10	1 GAL
2	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	4	1 GAL
3	HEMEROCALLIS SP. 'STELLA DE ORO'	DAYLILY	15	1 GAL
4	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	4	1 GAL
5	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	6	1 GAL
6	HEMEROCALLIS SP. 'STELLA DE ORO'	DAYLILY	10	1 GAL
7	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	8	1 GAL
8	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
9	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
10	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
11	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
12	HEMEROCALLIS SP. 'ROSY RETURNS'	DAYLILY	12	1 GAL
13	ECHINACEA SP. 'PIXIE MEADOWBRITE'	CONEFLOWER	12	1 GAL
14	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
15	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
16	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
17	RUDBECKIA 'VIETTES LITTLE SUZY'	BLACKEYED SUSAN	15	1 GAL
18	LEUCANTHEMUM SP. 'DAISY MAY'	DAISY	15	1 GAL
19	PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCH GRASS	6	3 GAL
20	HEMEROCALLIS SP. 'ROSY RETURNS'	DAYLILY	18	1 GAL
21	PANICUM VIRGATUM 'SHENANDOAH'	RED SWITCH GRASS	6	3 GAL
22	GERANIUM SANG. 'MAX FREI'	PERENNIAL GERANIUM	15	1 GAL
23	SEDUM SPECTABILE 'NEON'	NEON SEDUM	6	1 GAL
24	GERANIUM SANG. 'MAX FREI'	PERENNIAL GERANIUM	15	1 GAL
25	SEDUM SPECTABILE 'NEON'	NEON SEDUM	6	1 GAL
26	HEMEROCALLIS SP. 'ROSY RETURNS'	DAYLILY	12	1 GAL
27	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	6	1 GAL
28	ECHINACEA SP. 'PIXIE MEADOWBRITE'	CONEFLOWER	15	1 GAL
29	GERANIUM SANG. 'MAX FREI'	PERENNIAL GERANIUM	8	1 GAL
30	HEUCHERA SP. 'PALACE PURPLE'	CORAL BELLS	8	1 GAL
31	HOSTA SP. 'SUM AND SUBSTANCE'	HOSTA	8	1 GAL
32	HOSTA SP. 'SUM AND SUBSTANCE'	HOSTA	8	1 GAL
33	ALLIUM 'SUMMER BEAUTY'	ALLIUM	25	1 GAL
34	COREOPSIS SP. 'JETHRO TULL'	COREOPSIS	12	1 GAL
35	COREOPSIS SP. 'JETHRO TULL'	COREOPSIS	12	1 GAL
36	ALLIUM 'SUMMER BEAUTY'	ALLIUM	25	1 GAL
37	HEUCHERA SP. 'PALACE PURPLE'	CORAL BELLS	20	1 GAL
38	HEMEROCALLIS SP. 'ROSY RETURNS'	DAYLILY	15	1 GAL

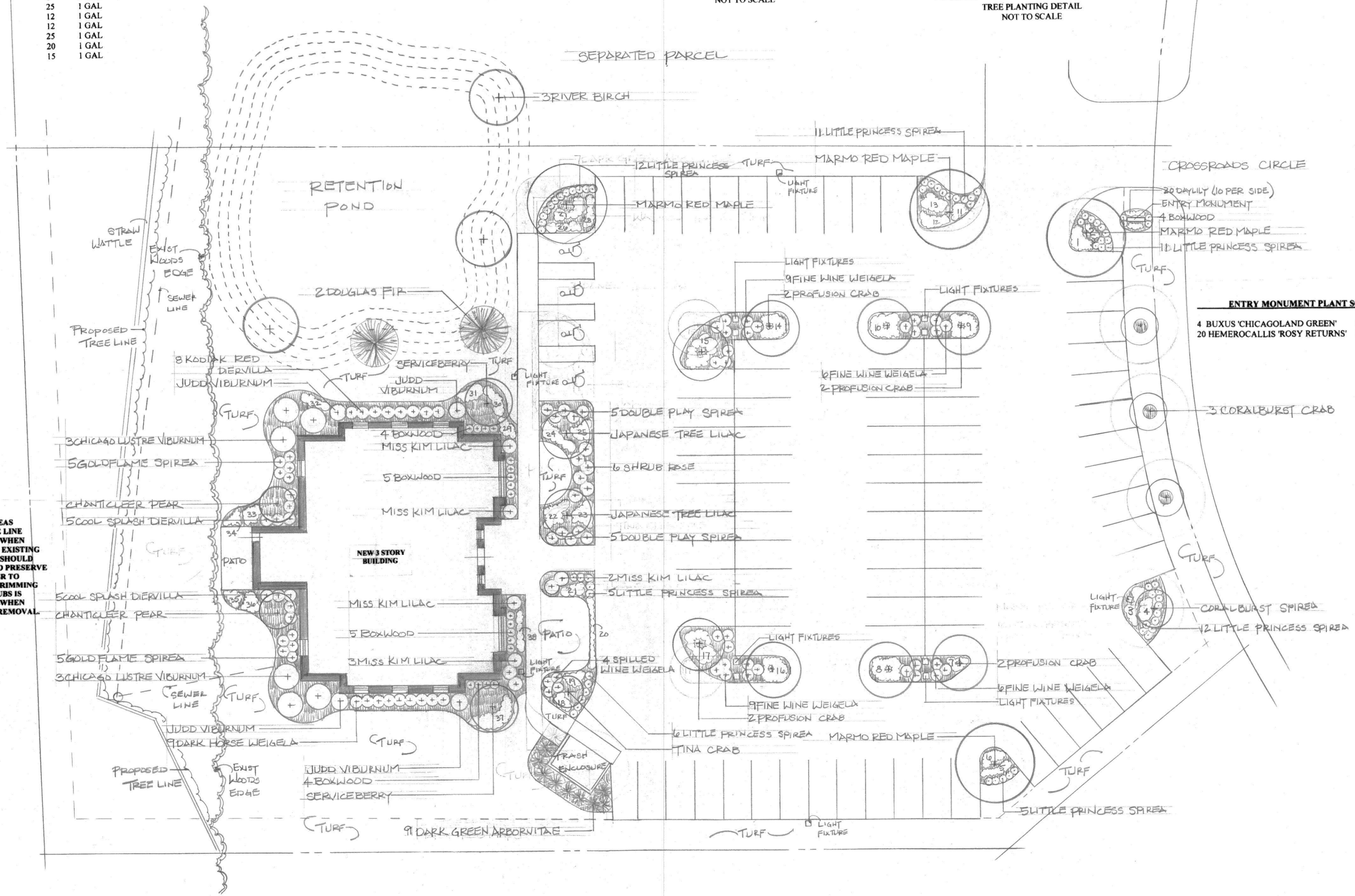
PLANT SCHEDULE			
QTY	BOTANICAL NAME	COMMON NAME	SIZE
4	ACER FREEMANII 'MARMO'	MARMO RED MAPLE	2 1/2"
2	AMELANCHIER CANADENSIS	SERVICEBERRY	8"
3	BETULA NIGRA	RIVER BIRCH	10"
18	BUXUS 'CHICAGOLAND GREEN'	BOXWOOD	24"
10	DIERVILLA 'COOL SPLASH'	COOL SPLASH DIERVILLA	24"
8	DIERVILLA 'KODIAK RED'	KODIAK RED DIERVILLA	24"
4	MALUS SP. 'CORAL BURST'	CORAL BURST CRABAPPLE	2"
8	MALUS SP. 'PROFUSION'	PROFUSION CRABAPPLE	2"
1	MALUS SP. 'TINA'	TINA CRABAPPLE	2"
2	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	7-8"
2	PRUNUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	2 1/2"
6	ROSA SP. 'KNOCK OUT PINK DOUBLE'	SHRUB ROSE	5 GAL
10	SPIREA X BUMALDA 'GOLDFLAME'	GOLDFLAME SPIREA	18-24"
10	SPIREA X JAP. 'DOUBLE PLAY PINK'	DOUBLE PLAY PINK SPIREA	18-24"
62	SPIREA X JAP. 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	18-24"
8	SYRINGA PATULA 'MISS KIM'	MISS KIM LILAC	42"
2	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	2"
9	TRIFOLIUM OCCIDENTALIS 'NIGRA'	DARK GREEN ARBORVITAE	5"
6	VIBURNUM DENT. 'CHICAGO LUSTRE'	CHICAGO LUSTRE VIBURNUM	6"
4	VIBURNUM X JUDDII	JUDD VIBURNUM	36"
9	WEIGELA FLORIDA 'DARK HORSE'	DARK HORSE WEIGELA	24"
30	WEIGELA FLORIDA 'FINE WINE'	FINE WINE WEIGELA	24"
4	WEIGELA FLORIDA 'SPILLED WINE'	SPILLED WINE WEIGELA	24"



NOTE:
GRADE AND SEED ALL OPEN AREAS NOT MULCHED OR HARDSCAPED. SEED MIX TO BE REEDERS LANDSCAPE 40 LAWN SEED MIX (OR EQUAL) INSTALLED AT 150-200 LB/ACRE (ROTARY OR DROP SEED APPLICATION)
28% Kentucky Bluegrass
6% Named Kentucky Bluegrass
6% Named Kentucky Bluegrass
25% Creeping Red Fescue
15% Wicked Perennial Ryegrass
20% Annual Ryegrass
MOWING HEIGHT 3-3"
FERTILIZE APPLICATION 3-3YR.

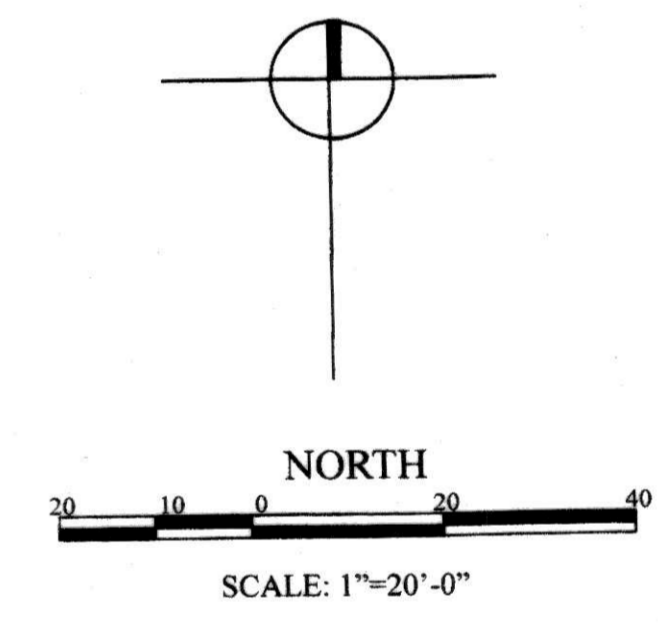
- NOTES AND SPECIFICATIONS**
- ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH CITY, VILLAGE OR OTHER LOCAL LANDSCAPING OR CONSTRUCTION SPECIFICATIONS
 - ALL INDIVIDUAL TREES TO RECEIVE 3" CLEAN SHREDDED HARDWOOD BARK MULCH IN A 5' DIAMETER MOW RING.
 - ALL PLANTING BEDS TO RECEIVE 3" MIN. SHREDDED BARK MULCH.
 - ALL PLANTING BEDS TO BE SPADE EDGED.
 - ALL PLANT MATERIAL TO BE OF SPECIMEN QUALITY AND MEET THE AMERICAN STANDARDS FOR NURSERY STOCK, WHICH IS PUBLISHED BY THE ANA (AMERICAN ASSOCIATION OF NURSERYMEN).
 - ALL PLANTS (UNLESS OTHERWISE SPECIFIED) ARE TO BE BALLED & BURLAPPED OR APPROVED CONTAINER STOCK
 - ALL TREE, SHRUB BACK FILL MIX TO BE:
4 PARTS CLEAN PULVERIZED TOPSOIL
1 PART MUSHROOM COMPOST
 - ALL PERENNIAL PLANTING MIX TO BE:
3 PARTS CLEAN PULVERIZED TOP SOIL
1 PART MUSHROOM COMPOST
1 PART SAND
40 # / 100 SF GYPSUM
(TILL 2" OF THIS MIX IN 4-8" DEEP)
 - CONTRACTOR TO SUBMIT IN WRITING TO PROPERTY OWNERS, A ONE YEAR-100% PLANT GUARANTEE TO COMMENCE ON THE DAY OF PROJECT COMPLETION.
 - CONTRACTOR RESPONSIBLE FOR CALLING DIGGERS HOTLINE 1-800-242-8511 TO LOCATE ALL UTILITIES PRIOR TO STARTING PROJECT
 - CONTRACTOR RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED FOR PROJECT INSTALLATION.
 - CONTRACTOR TO ADJUST PLANTINGS FOR UNDERGROUND UTILITY LINES, ESCAPE WINDOWS, CONDENSER UNITS AND UTILITY METERS AND OVERHEAD UTILITY LINES.

NOTE:
CARE TO BE TAKEN (IN AREAS BETWEEN PROPOSED TREE LINE AND EXISTING TREE LINE) WHEN CLEARING AND GRUBBING EXISTING VEGETATION. REMOVALS SHOULD BE KEPT TO A MINIMUM TO PRESERVE EXISTING NATURAL BUFFER TO ADJACENT PROPERTIES. TRIMMING EXISTING TREES AND SHRUBS IS THE PREFERRED METHOD WHEN FEASIBLE VERSUS TOTAL REMOVAL.



ENTRY MONUMENT PLANT SCHEDULE

4 BUXUS 'CHICAGOLAND GREEN'	BOXWOOD	24"
20 HEMEROCALLIS 'ROSY RETURNS'	DAYLILY	1 GAL



REVISION	DATE OF REVISION
1	9-5-14
2	1-14-24
3	5-5-1-20-24

SITE LANDSCAPING

AVERY AND BIRCH BEAUTY STUDIOS
21055 CROSSROADS CIRCLE
BROOKFIELD, WI 53186
DECEMBER 21, 2023
BY:SL

Scheel & Associates
LANDSCAPE DESIGN
RESIDENTIAL AND COMMERCIAL
LOW VOLTAGE OUTDOOR LANDSCAPE LIGHTING
Phone: (815) 482-8187
E-mail: scheelandassociates@gmail.com
© Scheel and Associates 2023

IN PARTNERSHIP WITH:

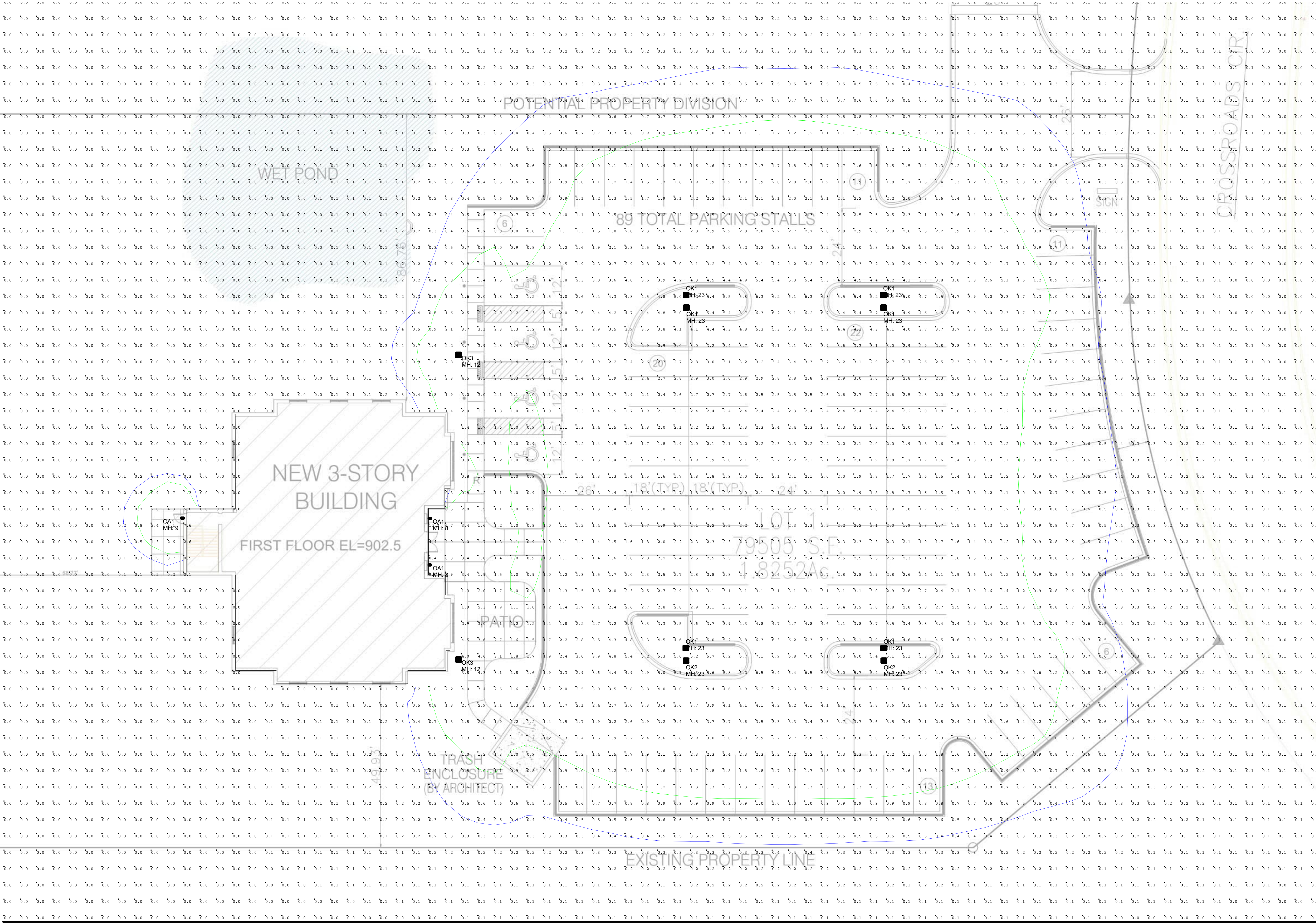
AVERY & BIRCH BROOKFIELD

RECORDS INFO
DRAWN BY: DP
Date:1/30/2024
SCALE: 1" = 1'
JOB #: 82516

SHEET DESCRIPTION
INTERIOR
LIGHTING
LAYOUT

SHEET NO.

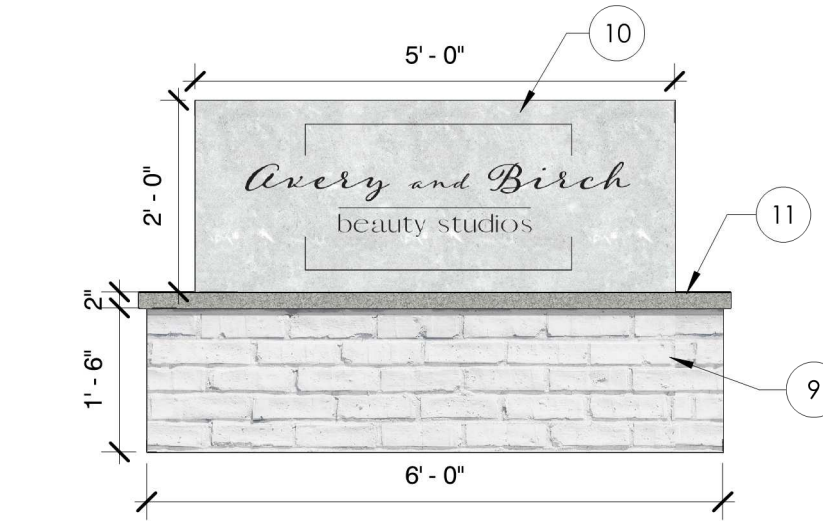
ES01



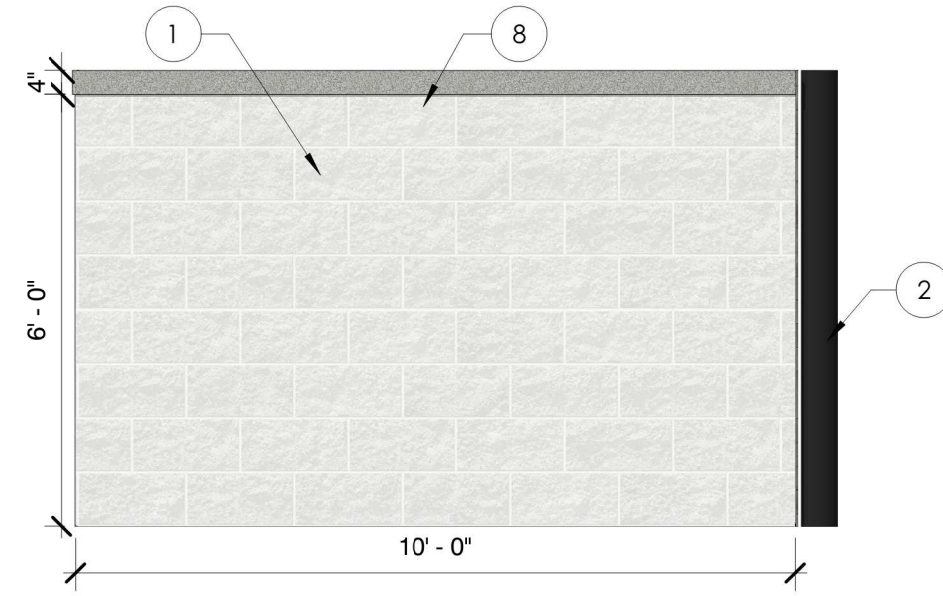


Y:\Shared\in.studio\ACTIVE PROJECTS\Avery & Birch - 21055 Crossroads\4-Construction Documents\23 1121 Avery and Birch Crossroads.rvt
2/1/2024 1:00:08 AM

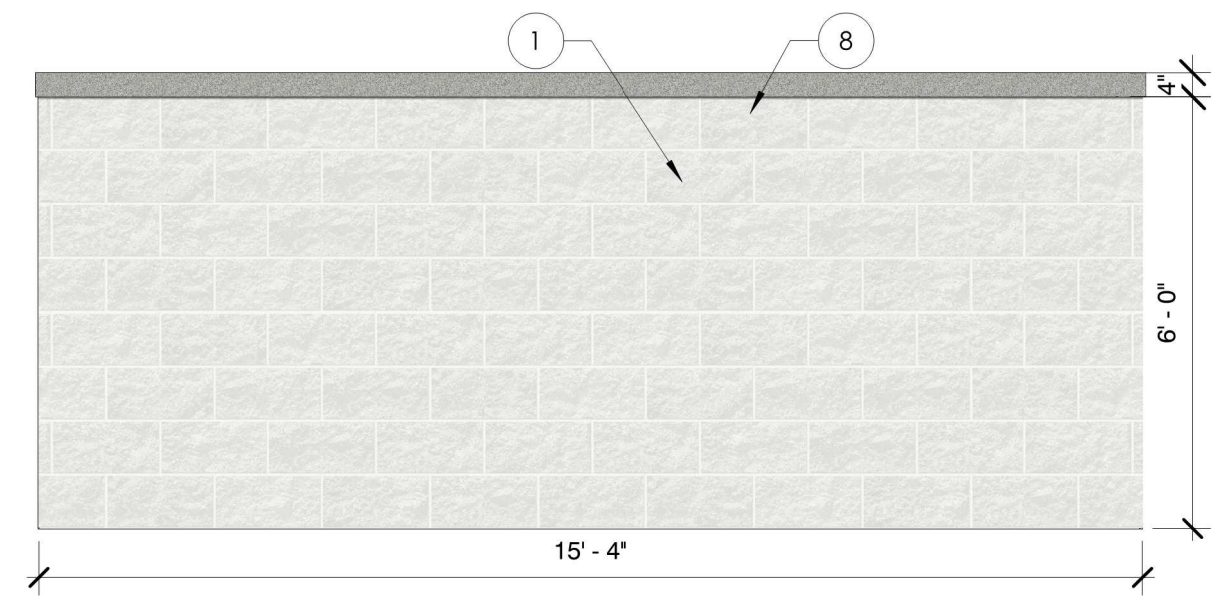
KEYED ELEVATION NOTES	
TAG #	DESCRIPTION
1	8"X16" SPLIT FACE BLOCK, COLOR TO MATCH BRICK
2	6" CONCRETE FILLED GALVANIZED STEEL PIPE POSTS FOR GATE SUPPORT. SET 1" INSIDE EDGE OF CMU WALL
3	ENCLOSURE GATE/DOOR COMPOSITE DECKING (COMP-1, TREX ENHANCE - FOGGY WHARF) ON PAINTED STEEL DOOR FRAME. PROVIDE DOOR HINGES, LATCHES, AND OTHER REQUIRED HARDWARE, TYP.
4	GENERAL SHALE SANDY SHORE TUMBLED GEORGIA BRICK
6	PRE-FINISHED METAL COPING/TRIM, TYP. (PFM-1, PAC CLAD - MIDNIGHT BRONZE)
7	DARK BRONZE ANODIZED ALUMINUM FRAME WINDOWS WITH DIVIDED LITES AND LOW-E INSULATED GLAZING, TYP
8	4" LIMESTONE CAP, SEE DETAILS
9	NICHIHA FIBER CEMENT PANEL, FINISH ROUGHSAWN, COLOR SMOKE.
10	LIMESTONE PANEL WITH ENGRAVED LOGO ON BOTH SIDES
11	2" LIMESTONE CAP, SEE DETAILS
12	PRE-FINISHED METAL SCUPPER BOXES AND DOWNSPOUTS (PFM-1, PAC-CLAD - MIDNIGHT BRONZE) - DOWNSPOUTS FOR OVERFLOW PURPOSES ONLY.



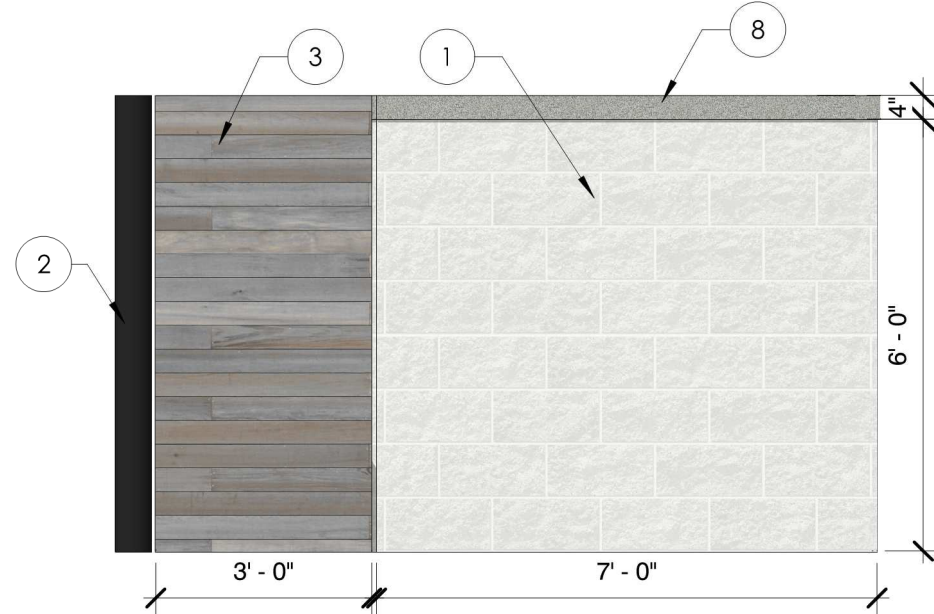
9 MONUMENT SIGN
1/2" = 1'-0"



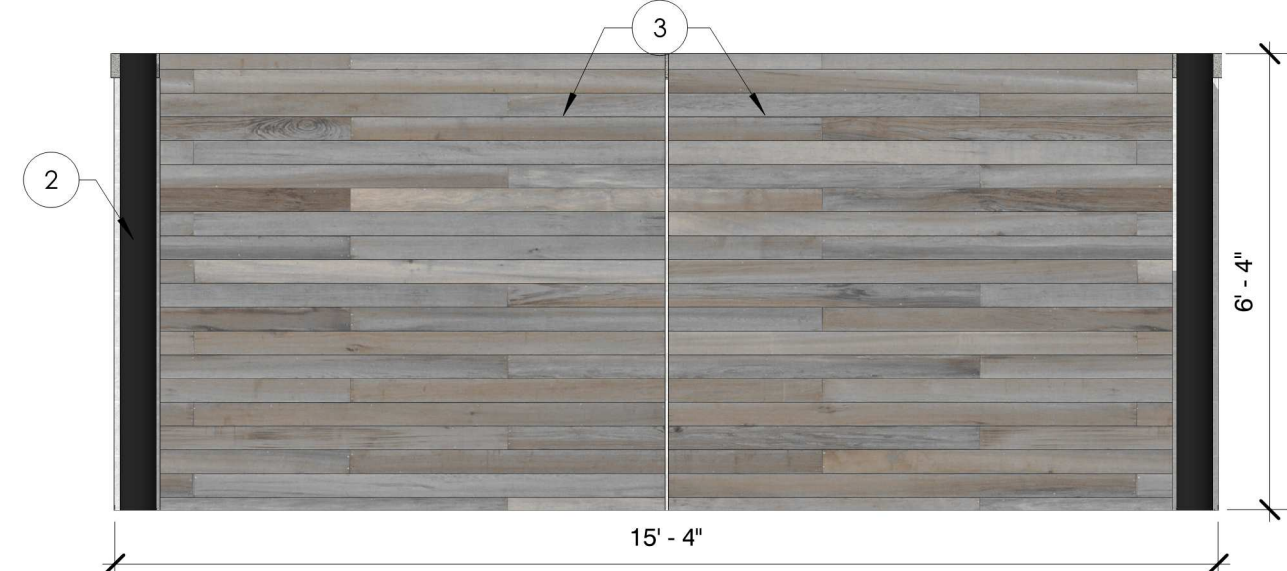
8 DUMPSTER ENCLOSURE SIDE 2
3/8" = 1'-0"



6 DUMPSTER ENCLOSURE REAR
3/8" = 1'-0"



7 DUMPSTER ENCLOSURE SIDE 1
3/8" = 1'-0"



5 DUMPSTER ENCLOSURE FRONT
3/8" = 1'-0"



4 WEST ELEVATION
A3.0 A2
1/8" = 1'-0"



3 SOUTH ELEVATION
A3.0 A2
1/8" = 1'-0"



2 EAST ELEVATION
A3.0 A2
1/8" = 1'-0"



1 NORTH ELEVATION
A3.0 A2
1/8" = 1'-0"

21055 CROSSROADS CIR
WAUKESHA, WI 53186

PROJECT INFO

Original Issue Date

1/31/2024

Project No.

23.148

Drawn By

CK

REVISIONS

NO.

REV

DATE

DESCRIPTION

SHEET TITLE

FLOOR PLANS

© in. studio architecture, llc

TOWN OF BROOKFIELD - PLAN COMMISSION/ARCHITECTURAL CONTROL SUBMITTAL

