



Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

MEETING AGENDA

Tuesday, May 7, 2024 7pm or at the conclusion of the CDA Meeting, whichever is later.	Town Board Utility District No. 1 Sanitary District No. 4	Eric Gnant Room TOB Municipal Building 645 N. Janacek Rd., Brookfield, WI
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<u>Item #</u>	<u>Topic</u>	<u>Attachments</u>
1.	Call to Order. Membership (5): Chairman Keith Henderson, Supervisors Steve Kohlmann, Ryan Stanelle, John Charlier, and John Schatzman.	
2.	Meeting Notices. Publicly noticed on May 3, 2024.	
3.	Adoption of the Agenda.	
4.	Meeting Minutes: <ul style="list-style-type: none"> April 16, 2024 Meeting of the TB, UD1, SD4. April 29, 2024 Special Meeting of the TB. 	X
5.	Citizen Comments. <i>Three minute limit.</i>	
Old Business: <i>None.</i>		
New Business:		
6.	Appointments: <ul style="list-style-type: none"> Recommendation of Appointments to Town Committees, Commissions, and Boards. Recommendation and Consideration of Annual Appointments. 	X
7.	Operator's License Review: Consideration of an appeal by Jamie Vretenak on March 12, 2024 license denial.	X
Departments, Boards, Committee / Commission Reports and Recommendations:		
8.	Treasury: Review of Vouchers and Checks.	X
9.	Parks: Adoption of the 2024 Comprehensive Outdoor Recreation Plan.	X
10.	Plan Commission: Recommendations from the April 23, 2024 Plan Commission Meeting. Eagle's Nest Condominiums: The Plan Commission has recommended preliminary and final approval of the request by Scott Bence (JBJ Develop, L.P.) for of the continuation of the Eagle's Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016) with the notation also recommending that a building schedule be proposed to the Town Board.	X
11.	Water & Sewer: Update and Change Order on Poplar Creek Interceptor Relining.	X
12.	Water & Sewer: Iron Filter 3 & 4 Rehabilitation Bids from Bid Opening on May 4, 2024.	X

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meetings to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request such services contact the clerk's office at the above.

13. **Closed Session Notice:**

The body may convene into closed session pursuant to Wis. Stat. § 19.85(1)(c) regarding the consideration of employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility regarding:

A. Contract for the position of Fire Chief.

The body may convene into closed session pursuant to Wis. Stat. § 19.85(1)(g) conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved regarding:

B. Possible zoning code enforcement regarding Bluemound Road signage.

C. Licensure or renewal of licensure of alcohol licenses.

14. Communications and Announcements.

15. Adjourn.

Posted May 3, 2024



Deanna Alexander, MPA. Town Clerk, Town of Brookfield



Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

MEETING MINUTES

Tuesday, April 16, 2024

7:30pm or at the Conclusion of the Annual Town Meeting, whichever is later.

Town Board
Utility District No. 1
Sanitary District No. 4

Eric Gnant Room
TOB Municipal Building
645 N. Janacek Rd., Brookfield, WI

Item # Topic

1. Call to Order: The meeting was called to order at 7:45pm.
 - Town Board Membership present: Chairman Keith Henderson, Supervisors Steve Kohlmann, Ryan Stanelle, John Charlier, and John Schatzman. Absent: None. A quorum was met (5-0).
 - Staffed by Administrator Tom Hagie, Clerk Deanna Alexander, and Attorney Michael Van Kleunen.
2. Meeting Notices. The Clerk confirmed the meeting was publicly noticed.
3. Adoption of the Agenda: Motion by Schatzman to approve the agenda; seconded by Stanelle. Motion prevailed by a voice vote, (5-0).
4. Meeting Minutes: **April 3, 2024 Meeting of the TD, UD1, SD4.**
 - Motion by Stanelle to approve the minutes; seconded by Charlier. Motion prevailed by a voice vote, (5-0).
5. Citizen Comments. *No members of the public requested to speak.*

New Business:

6. **Alcohol Licenses for the 2023-2024 licensing year. (Margaux)**
 - Motion by Kohlmann to approve the 2023-2024 alcohol license for Margaux; seconded by Charlier. Motion prevailed by a voice vote, (5-0).

Departments, Boards, Committee / Commission Reports and Recommendations:

7. Treasury: **Review of Vouchers and Checks.**
 - Motion by Kohlmann to approve vouchers and checks as presented; seconded by Charlier. Motion prevailed by a voice vote, (5-0).
8. Communications and Announcements.
 - Stanelle announced the WTA meeting on April 24th.
 - Alexander announced the rescinding of a humane officer appointment with the humane society.
9. Adjourn.
 - Motion by Schatzman to adjourn at 7:51pm; seconded by Stanelle. Motion prevailed by a voice vote (5-0).

Submitted May 3, 2024

Deanna Alexander, MPA. Town Clerk, Town of Brookfield



Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

MEETING MINUTES

Monday, April 29, 2024
6:00pm

Town Board – Special Meeting

Administrator's Office
TOB Municipal Building
645 N. Janacek Rd., Brookfield, WI

Item # Topic

1. Call to Order.
 - The meeting was called to order at 6:00pm.
 - Town Board Membership – Present: Chairman Keith Henderson, Supervisors Steve Kohlmann, John Charlier (remote), and John Schatzman. Absent: Ryan Stanelle. A quorum was met (4-1).
2. Meeting Notices. The Clerk confirmed the meeting was publicly noticed.
3. Adoption of the Agenda.
 - Motion by Schatzman to approve the agenda; seconded by Kohlmann. Motion prevailed by a voice vote, (4-0).
4. **Temporary Extension of Premises Application for Alcohol Beverage Establishments.**

A: Margaux, for May 4-5, 2024. 11am-8pm. Located at Market Square at the Corners of Brookfield. This vendor was removed from consideration by the vendor's request.

B: BelAir Cantina Brookfield, Inc. for May 4-5, 2024. Same times and location.

 - Members discussed the location of the perimeter of the area where alcohol is to be served and reviewed a map provided by the applicant.
 - Motion by Schatzman to grant a temporary extension of premises as requested by the applicant BelAir Cantina Brookfield, Inc. for May 4-5, 2024 with the stipulation that there shall be an obvious barrier confining the use of alcohol that is at least as restrictive to the degree presented on the boundary map provided to the board; seconded by Kohlmann. Motion prevailed by a voice vote (4-0).
8. Communications and Announcements.
 - The Chairman reviewed his intended timeline for making appointments to various committees and commissions including making proposals to other members on May 7th and planning to vote on appointments on May 21st.
 - The Clerk shared that she will be on vacation for the May 21st board meeting and will work with Tom to arrange an alternate clerk for the meeting.
 - Sup. Kohlmann shared that he will not be in attendance at the May 7th meeting.
9. Adjourn.
 - Motion by Schatzman to adjourn; seconded by Kohlmann. Motion prevailed by a voice vote (4-0).
 - The meeting adjourned at 6:08pm.

Draft respectfully submitted April 29, 2024.

Deanna Alexander

Deanna Alexander, MPA. Town Clerk, Town of Brookfield

Town of Brookfield 2024 Board & Committee Term Listing & Annual Appointments

TB - Town Board

2-Year Term, Elected

Name	Address	Term (Begins in April)
Keith Henderson - Chairman	960 Timber Pass, Brookfield, WI 53045	2023 – 2025
John Charlier	975 Timber Pass, Brookfield, WI 53045	2023 – 2025
Steve Kohlmann	960 Timber Pass, Brookfield, WI 53045	2024 – 2026
John Schatzman	22129 Ridge Rd., Waukesha, WI 53186	2024 – 2026
Ryan Stanelle	775 E Briar Ridge Dr., Brookfield, WI 53045	2023 – 2025

Municipal Judge

4-Year term, Elected

JoAnn Eiring

May 2023 – May 2027

CDA - Community Development & Redevelopment Authority **4-Years, Appointed**

Name	Address	Term (Begins in June)
Supervisor Ryan Stanelle, Chair	775 E Briar Ridge Dr., Brookfield, WI 53045	2023-2027
Richard Diercksmeier	21770 Davidson Rd., Waukesha, WI 53186	2023-2027
Supervisor Steve Kohlmann	960 Timber Pass, Brookfield, WI 53045	2022-2026
Thomas Koplín	21020 Bramblewood Trail, Brookfield, WI 53045	2021-2025
William Neville	21005 Brook Park Drive, Brookfield, WI 53045	2022-2026
Dan Zuperku	750 E Briar Ridge Dr., Brookfield, WI 53045	2023-2027
Don Mueller	20875 Hawthorne Ridge Ct	2023-2027

PC - Plan Commission

3-Years, Appointed

Name	Address	Term, Begins in June
Keith Henderson, Chair	520 S. Allen Rd., Waukesha, WI 53186	2023-2026
Gordon Gaeth	20725 Brook Park Drive, Brookfield, WI 53045	2021-2024
William Neville	21005 Brook Park Drive, Brookfield, WI 53045	2021-2024
Kevin Riordan	21035 Oak Ridge Court, Brookfield, WI 53045	2023-2026
Len Smeltzer	845 Janacek Road, Brookfield, WI 53186	2022-2025
Supervisor Ryan Stanelle	775 E Briar Ridge Dr., Brookfield, WI 53045	2023-2026
Jeremy Watson	365 Rip Van Winkle Drive, Waukesha, WI 53186	2023-2026

Approved: 5/16/2023

PFC - Police & Fire Commission

5-Years,

Appointed

Name	Address	Term (Begins in June)
Gary Miller, Chair	945 Golden Meadow Glen, Brookfield, WI 53045	2023-2028
Don Haffner	20705 Brook Park Drive, Brookfield, WI 53045	2023-2028
Joe Lewandowski, Secretary	20425 Rip Van Winkle Drive, Waukesha, WI 53186	2020-2025
Raul Terriquez	1135 Hawthorne Ridge Dr., Brookfield, WI 53045	2019-2024

BOZA - Board of Zoning Appeals

3-Years, Appointed

Name	Address	Term (Begins in June)
Dean Pearson, Chair	870 Golden Meadow Ct, Brookfield, WI 53045	2023-2026
Gordon Gaeth	20725 Brook Park Dr., Brookfield, WI 53045	2022-2025
Janet Gentile	400 Allen Road, Waukesha, WI 53186	2023-2026
John Marose	805 Summit Dr., Waukesha, WI 53186	2022-2025
Daryl Walther	21110 Heatherview Dr., Brookfield, WI 53045	2022-2025
ALTERNATE 1: VACANT		
ALTERNATE 2: VACANT		

Architectural Control Committee

2-Years, Appointed

Name	Address	Term (Begins in June)
Dean Pearson, Chair	870 Golden Meadow Ct, Brookfield, WI 53045	2023-2025
Supervisor John Charlier	975 Timber Pass, Brookfield, WI 53045	2022-2024
Dick Diercksmeier	21770 Davidson Road, Waukesha, WI 53186	2023-2025
Supervisor Steve Kohlmann	960 Timber Pass, Brookfield, WI 53045	2022-2024
William (Alan) Lee	785 Mary Rose Court, Brookfield, WI 53045	2023-2025
Matt Paris	905 Golden Meadow Glen, Brookfield WI 53045	2022-2024
ALTERNATE 1: VACANT		
ALTERNATE 2: VACANT		

BOR - Board of Review

Annual Appointment

Town Board

Robert Wiseman (Citizen Member)

940 Timber Pass, Brookfield, WI 53045

JRB - Joint Review Board – Town Member

Annual Appointment

Richard Diercksmeier

21770 Davidson Road, Waukesha, WI 53186

Brookfield Chamber of Commerce Representative

Annual Appointment

Stephanie Fong

21205 Mary Lynn Drive, Brookfield, WI 53045

Annual Appointments

Appointment	Appointee
Sanitary District #4 Commissioners:	Town Board
Emergency Government:	Tom Hagie, Fire Chief, Police Chief
Town Attorney:	Axley Brynelson, LLP
Auditor:	Baker, Tilly, Virchow, Krause & Co. LLP
Town Engineer:	Strand Associates
Financial Advisor:	Ehlers
Official Newspaper:	Waukesha Freeman
Financial Institutions:	State of WI Local Gov't. Investment Pool, BMO Harris Bank, Associated Bank, Hometown Bank, Town Bank

Recreation Committee (Defunct)

No Limit, Appointed

Beautification Committee (Defunct)

No limit, Appointed

Brookfield Convention & Visitor's Bureau Liaison (Defunct)

Annual Appointment

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045

Telephone: 262-796-3788
FAX: 262-796-0339



March 12, 2024

Jamie Le Vretenak
456 51 st Street
Caledonia, WI 53108

RE: Beverage Operator's (Bartender) License denial

Dear Jaime,

Your renewal application for a Beverage Operator's (Bartender) License for Bel Air Cantina of Brookfield was presented to the Municipal Clerk and Chief of Police for review.

Your license was denied because after performing a background check you were found to have violations/offenses that substantially relate to, and are inconsistent with the expectations and responsibilities involved in, the sale of alcoholic beverages. Your current provisional Beverage Operator's License is now probationary and subject to revocation depending on further review.

You may appeal the decision by appearing at a future Town Board meeting to discuss your license application. Please be prepared to present relative information including mitigating circumstances surrounding the commission of the offense; your age at the time the offense was committed; the length of time that has elapsed since the offense was committed; letters of reference by persons you work with or who know you; and all other relevant evidence of rehabilitation and present fitness.

Thank you for your prompt attention to this matter. To schedule your appearance at a Town Board meeting or if you have any questions please contact our office at the telephone number listed above.

Sincerely,

A handwritten signature in red ink that reads "Danna Alexander, Clerk". The signature is written in a cursive style.

Town of Brookfield

cc: *Establishment management*

Report Criteria:
 Report type: GL detail

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Civic Systems LLC							
04/24	04/16/2024	123699	CVC24709	1	semi-annual support	100-515100-214	10,311.00- V
Total 123699:							10,311.00-
Ewald Automotive							
04/24	04/15/2024	123748	4-2024	1	Police Department	412-521000-810	50,725.50
Total 123748:							50,725.50
New Berlin Professional							
04/24	04/19/2024	123753	4-19-24	1	FD union dues	100-215500	554.67
Total 123753:							554.67
TBFFA							
04/24	04/19/2024	123754	4-19-24	1	Fire fighters payroll deduction	100-215700	397.32
Total 123754:							397.32
Tri North Builders							
04/24	04/19/2024	123755	2024	1	Meter Deposit	610-635000-000	500.00
04/24	04/19/2024	123755	2024	2	Service Charge	610-474000	45.57
Total 123755:							545.57
Unemployment Insurance Division							
04/24	04/19/2024	123756	4702-LEVY DEBT	1	443335551-421-84	100-215800	325.59
Total 123756:							325.59
Wisconsin Professional							
04/24	04/19/2024	123757	4-19-24	1	Police Union Dues	100-215500	400.50
Total 123757:							400.50
Wisconsin SCTF							
04/24	04/19/2024	123758	4-19-24	1	Case #6479297 Smerz	100-215800	553.84
Total 123758:							553.84
Batzner Pest Management Inc.							
04/24	04/24/2024	123759	1577972	1	Fire Department	100-522700-240	214.50
Total 123759:							214.50
Delta Dental of Wisconsin							
04/24	04/24/2024	123760	2134188	1	Dental Insurance	100-215340	2,583.18
04/24	04/24/2024	123760	2134188	2	Vision Insurance	100-215330	420.39
Total 123760:							3,003.57

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
We Energies							
04/24	04/24/2024	123761	00025-424	1	#8099-072-016 / Town Hall gas	100-516000-224	192.61
04/24	04/24/2024	123761	00025-424	2	#8099-072-016 / Fire Station gas	100-522700-224	192.60
Total 123761:							385.21
We Energies							
04/24	04/24/2024	123762	00015-424	1	#0206-165-433 - DPW Garage gas	100-532700-224	304.08
04/24	04/24/2024	123762	00015-424	2	#0206-165-433 - SWU Garage gas	421-532700-224	304.07
Total 123762:							608.15
We Energies							
04/24	04/24/2024	123763	00012-424	1	#1805-414-369 - Police station gas	100-521700-224	47.89
Total 123763:							47.89
We Energies							
04/24	04/24/2024	123764	00028-424	1	#8065-065-883 / Fire Station electric bill	100-522700-221	592.75
04/24	04/24/2024	123764	00028-424	2	#8065-065-883 / Town Hall electric bill	100-516000-221	592.74
Total 123764:							1,185.49
We Energies							
04/24	04/24/2024	123765	00009-424	1	#2214-050-274 - DPW Garage electric	100-532700-221	439.10
04/24	04/24/2024	123765	00009-424	2	#2214-050-274 - SW Garage electric	421-532700-221	439.09
Total 123765:							878.19
We Energies							
04/24	04/24/2024	123766	00026-424	1	Services Mary Lynn Dr	610-622000-000	1,648.29
04/24	04/24/2024	123766	00007-424	1	Services Briar Ridge Swr	620-821000-000	24.37
04/24	04/24/2024	123766	00004-424	1	Services Gray Fox	620-821000-000	30.10
04/24	04/24/2024	123766	00022-424	1	Services Barker Road	620-821000-000	51.42
04/24	04/24/2024	123766	00010-424	1	Services Bluemound Rd	610-622000-000	22.76
04/24	04/24/2024	123766	00021-424	1	Services Clarion Lane	610-622000-000	781.82
Total 123766:							2,558.76
We Energies							
04/24	04/24/2024	123767	00014-424	1	#0884-694-606 - Police station electric	100-521700-221	2,734.59
Total 123767:							2,734.59
We Energies							
04/24	04/24/2024	123768	00030-424	1	Bluemound Road Electric	100-534200-221	237.98
Total 123768:							237.98
Sanitary District #4							
04/24	04/25/2024	123769	1ST QTR 2024	1	water/sewer	100-516000-222	291.28
04/24	04/25/2024	123769	1ST QTR 2024	2	water/sewer	100-522700-222	291.28
04/24	04/25/2024	123769	1ST QTR 2024	3	water/sewer	100-532700-222	141.79
04/24	04/25/2024	123769	1ST QTR 2024	4	water/sewer	421-532700-222	141.78
04/24	04/25/2024	123769	1ST QTR 2024	5	stormwater	100-552000-222	506.54
04/24	04/25/2024	123769	1ST QTR 2024	6	stormwater	100-521700-222	202.89

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
04/24	04/25/2024	123769	1ST QTR 2024	7	stormwater	100-516000-222	241.98
04/24	04/25/2024	123769	1ST QTR 2024	8	stormwater	100-521700-222	241.98
04/24	04/25/2024	123769	1ST QTR 2024	9	stormwater	100-522700-222	241.98
04/24	04/25/2024	123769	1ST QTR 2024	10	stormwater	100-532700-222	125.83
04/24	04/25/2024	123769	1ST QTR 2024	11	stormwater	421-532700-222	116.16
04/24	04/25/2024	123769	1ST QTR 2024	12	stormwater	100-552000-222	262.76
Total 123769:							2,806.25
We Energies							
04/24	04/25/2024	123770	00013-424	1	#1610-050-971 - Marx park electric	100-552000-221	146.75
Total 123770:							146.75
Marshall Auto Body							
05/24	05/02/2024	123775	RO#70352	1	Police Department	100-521200-380	645.00
Total 123775:							645.00
Registration Fee Trust							
05/24	05/02/2024	123776	2024	1	TH	100-516000-340	165.50
Total 123776:							165.50
We Energies							
05/24	05/02/2024	123777	00018-424	1	Services Barker Road	620-821000-000	142.97
05/24	05/02/2024	123777	00018-424	2	Services Barker Road	610-622000-000	1,286.68
Total 123777:							1,429.65
Charlier, John							
05/24	05/03/2024	123778	2023	1	Architectural Review	100-563010-140	60.00
05/24	05/03/2024	123778	2024-1	1	CDA	100-563010-140	60.00
05/24	05/03/2024	123778	2023-1	1	BOR	100-515200-140	200.00
Total 123778:							320.00
Diercksmeier, Richard							
05/24	05/03/2024	123779	2024	1	CDA	100-563000-140	60.00
05/24	05/03/2024	123779	2023	1	Architectural Control	100-563010-140	140.00
Total 123779:							200.00
Gaeth, Gordon E							
05/24	05/03/2024	123780	2023	1	Plan Commission	100-563000-140	160.00
05/24	05/03/2024	123780	2023-1	1	Board of Appeal	100-564000-140	20.00
Total 123780:							180.00
Haffner, Don							
05/24	05/03/2024	123781	2023	1	Police & Fire	100-529000-140	80.00
Total 123781:							80.00
Hagie, Tom							
05/24	05/03/2024	123782	2023	1	BOR	100-515200-140	150.00

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Total 123782:							150.00
Henderson, Keith							
05/24	05/03/2024	123783	2023	1	Board of Review	100-515200-140	200.00
Total 123783:							200.00
Kohlmann, Steve							
05/24	05/03/2024	123784	2023	1	Board of Review	100-515200-140	200.00
Total 123784:							200.00
Koplin, Thomas							
05/24	05/03/2024	123785	2023	1	CDA	100-563000-140	80.00
Total 123785:							80.00
Lee, William Alan							
05/24	05/03/2024	123786	2023	1	Architectual Review	100-563010-140	160.00
Total 123786:							160.00
Lewandowski, Joe							
05/24	05/03/2024	123787	2023	1	Police & Fire	100-529000-140	60.00
Total 123787:							60.00
Marose, John							
05/24	05/03/2024	123788	2023	1	Board of Appeals	100-564000-140	20.00
Total 123788:							20.00
Miller, Gary							
05/24	05/03/2024	123789	2023	1	Police & Fire	100-529000-140	60.00
Total 123789:							60.00
Neville, William							
05/24	05/03/2024	123790	2023-1	1	CDA	100-563000-140	80.00
05/24	05/03/2024	123790	2023	1	Plan Commission	100-563000-140	180.00
Total 123790:							260.00
Paris, Matt							
05/24	05/03/2024	123791	2023	1	Architectural Review	100-563010-140	180.00
Total 123791:							180.00
Pearson, Dean							
05/24	05/03/2024	123792	2023-1	1	Board of Appeal	100-564000-140	20.00
05/24	05/03/2024	123792	2023	1	Architectual Control	100-563010-140	200.00
Total 123792:							220.00

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Riordan, Kevin							
05/24	05/03/2024	123793	2023	1	Plan Commission	100-563000-140	120.00
Total 123793:							120.00
Schatzman, John							
05/24	05/03/2024	123794	2023	1	Board of Review	100-515200-140	150.00
Total 123794:							150.00
Smeltzer, Len							
05/24	05/03/2024	123795	2023	1	Plan Commission	100-563000-140	200.00
Total 123795:							200.00
Stanelle, Ryan							
05/24	05/03/2024	123796	2023	1	Board of Review	100-515200-140	200.00
Total 123796:							200.00
Szalewski, Marcia							
05/24	05/03/2024	123797	2023	1	BOR	100-515200-140	50.00
Total 123797:							50.00
Terriguez, Raul							
05/24	05/03/2024	123798	2023	1	Police & Fire	100-529000-140	60.00
Total 123798:							60.00
Walther, Daryl							
05/24	05/03/2024	123799	2023	1	Board of Appeals	100-564000-140	20.00
Total 123799:							20.00
Watson, Jeremy							
05/24	05/03/2024	123800	2023	1	Plan Commission	100-563000-140	100.00
Total 123800:							100.00
Wiseman, Robert							
05/24	05/03/2024	123801	2023	1	Board of Review	100-515200-140	150.00
Total 123801:							150.00
Zuperka, Dan							
05/24	05/03/2024	123802	2023	1	CDA	100-563000-140	20.00
Total 123802:							20.00
1st/AYD Corporation							
05/24	05/03/2024	123803	PSI691597	1	DPW	100-532400-340	67.19
Total 123803:							67.19

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Aaronin Steel Sales, Inc.							
05/24	05/03/2024	123804	12122	1	DPW	100-532400-340	17.50
Total 123804:							17.50
Active911							
05/24	05/03/2024	123805	561616	1	FD	100-522000-242	740.25
Total 123805:							740.25
Adelman							
05/24	05/03/2024	123806	324376	1	Clean carpet	100-522700-350	350.00
05/24	05/03/2024	123806	324376	2	Clean carpet	100-521700-350	475.00
05/24	05/03/2024	123806	324376	3	Clean carpet	100-516000-350	650.00
05/24	05/03/2024	123806	324376	4	Clean carpet	620-851000-000	195.00
Total 123806:							1,670.00
Advance Auto Parts							
05/24	05/03/2024	123807	5262410044419	1	FD	100-522100-380	4.71
Total 123807:							4.71
Allied Technologies Online Inc							
05/24	05/03/2024	123808	47227	1	PD work on telephone	100-521000-214	169.00
Total 123808:							169.00
Amazon Capital Services							
05/24	05/03/2024	123809	1N7R-QTWC-M1KR	1	Park & Rec Purchase	100-552000-340	182.99
05/24	05/03/2024	123809	1C7F-L3F3-QM41	1	PD	100-521700-340	105.56
05/24	05/03/2024	123809	1RM4-FP49-J6GJ	1	PD	100-521700-340	25.98
05/24	05/03/2024	123809	1DNT-MNPF-HPTY	1	Park & Rec Purchase	100-552000-340	174.22
05/24	05/03/2024	123809	1MTT-NM7T-LM46	1	PD	100-521000-310	135.79
Total 123809:							624.54
American Litho							
05/24	05/03/2024	123810	260204-01	1	Summer	100-553100-344	1,647.00
Total 123810:							1,647.00
AT&T Mobility							
05/24	05/03/2024	123811	04202024	1	FD- Wireless Service 287322397991	100-522700-225	1,458.98
Total 123811:							1,458.98
Audio Implements/GKC							
05/24	05/03/2024	123812	301389	1	Police Department	100-521200-139	30.00
Total 123812:							30.00
Aurora Medical Group, Inc							
05/24	05/03/2024	123813	223-CI0000954	1	Flu Shots	100-532400-133	200.00
05/24	05/03/2024	123813	223-CI0000954	2	Flu Shots	100-514200-133	40.00
05/24	05/03/2024	123813	223-CI0000954	3	Flu Shots	100-515100-133	40.00

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GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
05/24	05/03/2024	123813	223-CI0000954	4	Flu Shots	100-522000-133	80.00
05/24	05/03/2024	123813	223-CI0000954	5	Flu Shots	100-521200-133	40.00
Total 123813:							400.00
Automotive Parts & Equip. Corp							
05/24	05/03/2024	123814	632428	1	Police Dept	100-521200-380	164.27
05/24	05/03/2024	123814	632471	1	Police Dept	100-521200-380	18.00
05/24	05/03/2024	123814	633068	1	TH	100-516000-350	146.28
05/24	05/03/2024	123814	631281	1	Park & Rec	100-552000-380	143.35
05/24	05/03/2024	123814	628267	1	UD#1	421-532400-340	143.35
05/24	05/03/2024	123814	629401	1	DPW	100-532400-340	484.05
05/24	05/03/2024	123814	629428	1	DPW	100-532400-340	54.00
05/24	05/03/2024	123814	629890	1	UD#1	421-532400-340	55.93
Total 123814:							1,065.23
Badger Meter Inc.							
05/24	05/03/2024	123815	1653008	1	Meter parts	610-346000	5,906.26
05/24	05/03/2024	123815	80158361	1	Meter parts	610-903000-000	780.00
Total 123815:							6,686.26
Baker Tilly US, LLP							
05/24	05/03/2024	123816	BT2774836	1	audit financial statements	421-514100-210	340.00
05/24	05/03/2024	123816	BT2774836	2	audit financial statements	100-515100-210	1,660.00
05/24	05/03/2024	123816	BT2774836	3	audit financial statements	230-563000-340	500.00
05/24	05/03/2024	123816	BT2774836	4	audit financial statements	610-923000-000	1,000.00
05/24	05/03/2024	123816	BT2774836	5	audit financial statements	620-852000-000	1,000.00
05/24	05/03/2024	123816	BT2774836	6	audit financial statements	500-519900-000	1,775.98
Total 123816:							6,275.98
Batteries Plus LLC							
05/24	05/03/2024	123817	P71821880	1	FD	100-522100-340	89.30
05/24	05/03/2024	123817	P71854473	1	Town Hall	100-515100-340	28.56
05/24	05/03/2024	123817	P71841839	1	Police Dept	100-521000-310	32.64
Total 123817:							150.50
Beacon Athletics LLC							
05/24	05/03/2024	123818	0590141-IN	1	park & rec	100-554000-340	276.12
Total 123818:							276.12
Belco Vehicle Solutions LLC							
05/24	05/03/2024	123819	9274	1	PD	100-521200-380	206.15
Total 123819:							206.15
Bond Trust Services Corporation							
05/24	05/03/2024	123820	87261	1	General Obligation Promissory Note Age	230-563000-341	400.00
05/24	05/03/2024	123820	87262	1	General Obligation Promissory Note Age	230-563000-341	400.00
Total 123820:							800.00

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GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Boucher Chevrolet of Waukesha							
05/24	05/03/2024	123821	813991	1	Police Department	100-521200-380	416.50
Total 123821:							416.50
Bound Tree Medical LLC							
05/24	05/03/2024	123822	85316713	1	FD	100-523100-341	198.14
05/24	05/03/2024	123822	85307616	1	FD	100-523100-341	541.33
Total 123822:							739.47
Brookfield Corners LLC							
05/24	05/03/2024	123823	INSTALLMENT 1&2	1	TID 1 Schedule of Payments	230-563000-350	168,068.00
Total 123823:							168,068.00
Bullwinkles at the Galleria LLC							
05/24	05/03/2024	123824	12008352	1	Refund Liquor License	100-441100	10,600.00
Total 123824:							10,600.00
Catalis LLC							
05/24	05/03/2024	123825	#INV308317285	1	Assessment Services	100-515200-210	5,950.00
Total 123825:							5,950.00
CHARTER COMMUNICATIONS							
05/24	05/03/2024	123826	152316701042124	1	SD#4 Split Water	610-641000-000	195.96
05/24	05/03/2024	123826	152316701042124	2	SD#4 Split Sewer	620-827000-000	83.98
Total 123826:							279.94
City of Brookfield							
05/24	05/03/2024	123827	20240310	1	1st Qtr Process Charges	620-210000	2,051.99
Total 123827:							2,051.99
City Screen Print & Embroidery							
05/24	05/03/2024	123828	24-1303	1	Rec Program T-shirts	100-553100-340	233.00
Total 123828:							233.00
Colonial Life							
05/24	05/03/2024	123829	58610420405873	1	Employee Paid Plan	100-215360	765.00
Total 123829:							765.00
Conley Media LLC							
05/24	05/03/2024	123830	6097150424-2	1	Publication notice	100-514200-321	188.28
Total 123830:							188.28
Diversified Benefit Services							
05/24	05/03/2024	123831	409218	1	SEWER	620-854001-000	2.64
05/24	05/03/2024	123831	409218	2	WATER	610-926001-000	5.25
05/24	05/03/2024	123831	409218	3	UD SW	421-534400-133	5.32

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GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
05/24	05/03/2024	123831	409218	4	UD M&E	421-532400-133	1.95
05/24	05/03/2024	123831	409218	5	P&L	100-552010-133	.55
05/24	05/03/2024	123831	409218	6	S&I	100-533180-133	7.07
05/24	05/03/2024	123831	409218	7	R&B	100-533100-133	4.15
05/24	05/03/2024	123831	409218	8	M&E	100-532400-133	2.40
05/24	05/03/2024	123831	409218	9	SWU	421-531000-133	2.35
05/24	05/03/2024	123831	409218	10	DPW	100-531000-133	2.45
05/24	05/03/2024	123831	409218	11	PD	100-521200-133	45.32
05/24	05/03/2024	123831	409218	12	PD ADMIN	100-521000-133	9.50
05/24	05/03/2024	123831	409218	13	FD	100-522000-133	4.75
05/24	05/03/2024	123831	409218	14	MC	100-512000-133	4.75
05/24	05/03/2024	123831	409218	15	HR	100-515100-133	4.75
05/24	05/03/2024	123831	409218	16	REC	100-553100-133	2.35
05/24	05/03/2024	123831	409218	17	PARK	100-552000-133	2.45
05/24	05/03/2024	123831	409218	18	ADMIN	100-514100-133	4.75
05/24	05/03/2024	123831	409218	19	CLERK	100-514200-133	4.75
Total 123831:							117.50
Faust Company Inc.							
05/24	05/03/2024	123832	20240228	1	Yearly Backflow Preventor Testing	610-635000-000	525.00
Total 123832:							525.00
GALLS LLC							
05/24	05/03/2024	123833	027595892	1	Police Department	100-521200-139	82.00
05/24	05/03/2024	123833	027608156	1	Police Department	100-521200-139	47.99
05/24	05/03/2024	123833	027620657	1	Police Department	100-521200-139	519.20
05/24	05/03/2024	123833	027595893	1	Police Department	100-521200-139	124.20
Total 123833:							773.39
General Fire Equipment Co.,Inc							
05/24	05/03/2024	123834	151345	1	PD	100-521200-380	125.00
Total 123834:							125.00
Grainger Inc.							
05/24	05/03/2024	123835	9094712552	1	UD#1 supplies	421-532400-340	43.96
05/24	05/03/2024	123835	9091180837	1	PD purchase	100-521700-350	271.58
Total 123835:							315.54
Grainger Inc.							
05/24	05/03/2024	123836	9075688771	1	Misc Supplies	610-623000-000	194.56
05/24	05/03/2024	123836	9091308370	1	Misc Supplies	610-623000-000	80.79
05/24	05/03/2024	123836	9079032133	1	Misc Supplies	610-623000-000	194.56
05/24	05/03/2024	123836	9079032133	2	Misc Supplies	610-930000-000	40.09
05/24	05/03/2024	123836	9079032133	3	Misc Supplies	620-856000-000	40.08
Total 123836:							550.08
Great Lakes Roofing							
05/24	05/03/2024	123837	M71156	1	TH	100-516000-350	10,780.00

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GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Total 123837:							10,780.00
Guetzke & Associates Inc							
05/24	05/03/2024	123838	4297200-IN	1	TH	100-516000-350	1,275.42
Total 123838:							1,275.42
Home Depot Credit Services							
05/24	05/03/2024	123839	43127	1	Misc Paint, Cleaning Supplies	610-653000-000	33.65
05/24	05/03/2024	123839	9171972	1	Misc Supplies & Parts	610-653000-000	12.50-
Total 123839:							21.15
Hopson Oil Co Inc.							
05/24	05/03/2024	123840	787561	1	No Lead/Diesel Fuel	100-524000-385	2.08
05/24	05/03/2024	123840	787561	2	No Lead/Diesel Fuel	100-521200-385	168.54
05/24	05/03/2024	123840	787561	3	No Lead/ Diesel Fuel	100-522100-385	33.29
05/24	05/03/2024	123840	787561	4	No Lead/Diesel Fuel	100-523100-385	33.29
05/24	05/03/2024	123840	787561	5	No Lead/Diesel Fuel	100-532400-385	83.23
05/24	05/03/2024	123840	787561	6	No Lead/Diesel Fuel	421-532400-385	62.42
05/24	05/03/2024	123840	787561	7	No Lead/Diesel Fuel	100-552000-385	8.32
05/24	05/03/2024	123840	787561	8	No Lead/Diesel Fuel	610-933000-000	12.48
05/24	05/03/2024	123840	787561	9	No Lead/Diesel Fuel	620-828000-000	12.51
05/24	05/03/2024	123840	780546	1	No Lead/Diesel Fuel	100-524000-385	1.35
05/24	05/03/2024	123840	780546	2	No Lead/Diesel Fuel	100-521200-385	109.50
05/24	05/03/2024	123840	780546	3	No Lead/ Diesel Fuel	100-522100-385	21.63
05/24	05/03/2024	123840	780546	4	No Lead/Diesel Fuel	100-523100-385	21.63
05/24	05/03/2024	123840	780546	5	No Lead/Diesel Fuel	100-532400-385	54.07
05/24	05/03/2024	123840	780546	6	No Lead/Diesel Fuel	421-532400-385	40.56
05/24	05/03/2024	123840	780546	7	No Lead/Diesel Fuel	100-552000-385	5.41
05/24	05/03/2024	123840	780546	8	No Lead/Diesel Fuel	610-933000-000	8.11
05/24	05/03/2024	123840	780546	9	No Lead/Diesel Fuel	620-828000-000	8.11
05/24	05/03/2024	123840	773649	1	No Lead/Diesel Fuel	100-524000-385	2.68
05/24	05/03/2024	123840	773649	2	No Lead/Diesel Fuel	100-521200-385	217.33
05/24	05/03/2024	123840	773649	3	No Lead/ Diesel Fuel	100-522100-385	42.93
05/24	05/03/2024	123840	773649	4	No Lead/Diesel Fuel	100-523100-385	42.93
05/24	05/03/2024	123840	773649	5	No Lead/Diesel Fuel	100-532400-385	107.32
05/24	05/03/2024	123840	773649	6	No Lead/Diesel Fuel	421-532400-385	80.49
05/24	05/03/2024	123840	773649	7	No Lead/Diesel Fuel	100-552000-385	10.73
05/24	05/03/2024	123840	773649	8	No Lead/Diesel Fuel	610-933000-000	16.10
05/24	05/03/2024	123840	773649	9	No Lead/Diesel Fuel	620-828000-000	16.11
05/24	05/03/2024	123840	787552	1	No Lead/Diesel Fuel	100-524000-385	2.78
05/24	05/03/2024	123840	787552	2	No Lead/Diesel Fuel	100-521200-385	225.27
05/24	05/03/2024	123840	787552	3	No Lead/ Diesel Fuel	100-522100-385	44.50
05/24	05/03/2024	123840	787552	4	No Lead/Diesel Fuel	100-523100-385	44.50
05/24	05/03/2024	123840	787552	5	No Lead/Diesel Fuel	100-532400-385	111.24
05/24	05/03/2024	123840	787552	6	No Lead/Diesel Fuel	421-532400-385	83.43
05/24	05/03/2024	123840	787552	7	No Lead/Diesel Fuel	100-552000-385	11.12
05/24	05/03/2024	123840	787552	8	No Lead/Diesel Fuel	610-933000-000	16.69
05/24	05/03/2024	123840	787552	9	No Lead/Diesel Fuel	620-828000-000	16.69
05/24	05/03/2024	123840	780551	1	No Lead/Diesel Fuel	100-524000-385	4.54
05/24	05/03/2024	123840	780551	2	No Lead/Diesel Fuel	100-521200-385	368.12
05/24	05/03/2024	123840	780551	3	No Lead/ Diesel Fuel	100-522100-385	72.72
05/24	05/03/2024	123840	780551	4	No Lead/Diesel Fuel	100-523100-385	72.72
05/24	05/03/2024	123840	780551	5	No Lead/Diesel Fuel	100-532400-385	181.79

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GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
05/24	05/03/2024	123840	780551	6	No Lead/Diesel Fuel	421-532400-385	136.34
05/24	05/03/2024	123840	780551	7	No Lead/Diesel Fuel	100-552000-385	18.18
05/24	05/03/2024	123840	780551	8	No Lead/Diesel Fuel	610-933000-000	27.27
05/24	05/03/2024	123840	780551	9	No Lead/Diesel Fuel	620-828000-000	27.27
05/24	05/03/2024	123840	773655	1	No Lead/Diesel Fuel	100-524000-385	6.31
05/24	05/03/2024	123840	773655	2	No Lead/Diesel Fuel	100-521200-385	510.92
05/24	05/03/2024	123840	773655	3	No Lead/ Diesel Fuel	100-522100-385	100.92
05/24	05/03/2024	123840	773655	4	No Lead/Diesel Fuel	100-523100-385	100.92
05/24	05/03/2024	123840	773655	5	No Lead/Diesel Fuel	100-532400-385	252.30
05/24	05/03/2024	123840	773655	6	No Lead/Diesel Fuel	421-532400-385	189.23
05/24	05/03/2024	123840	773655	7	No Lead/Diesel Fuel	100-552000-385	25.23
05/24	05/03/2024	123840	773655	8	No Lead/Diesel Fuel	610-933000-000	37.85
05/24	05/03/2024	123840	773655	9	No Lead/Diesel Fuel	620-828000-000	37.84
Total 123840:							3,949.84
HydroCorp. Inc.							
05/24	05/03/2024	123841	CI-00104	1	Cross Connection Program	610-652001-000	766.00
Total 123841:							766.00
James Imaging Systems							
05/24	05/03/2024	123842	1435548	1	Maintenance Monthly Contract	610-921000-000	46.77
05/24	05/03/2024	123842	1435548	2	Maintenance Monthly Contract	620-851000-000	46.76
Total 123842:							93.53
James Imaging Systems Inc.							
05/24	05/03/2024	123843	1437892	1	TH copier contract #10292-01	100-514200-340	393.00
Total 123843:							393.00
James Imaging Systems Inc.							
05/24	05/03/2024	123844	36433065	1	FD copier contract #7098-02	100-522000-310	148.04
Total 123844:							148.04
Joers, Staci							
05/24	05/03/2024	123845	5-2024	1	Cooking class	100-553100-341	60.00
05/24	05/03/2024	123845	4-2024	1	Cooking class	100-553100-341	80.00
Total 123845:							140.00
JOHNS DISPOSAL SVC INC							
05/24	05/03/2024	123846	1330016	1	Garbage	421-573630-211	28,132.88
05/24	05/03/2024	123846	1330016	2	Recycling	421-573630-212	17,673.50
05/24	05/03/2024	123846	1330016	3	Yard Waste	421-573630-210	520.52
05/24	05/03/2024	123846	1330016	4	Empty & Return	421-573630-210	470.00
Total 123846:							46,796.90
Kneiszel, Patrick							
05/24	05/03/2024	123847	5-2024	1	Reimbursement	100-523100-341	24.26
05/24	05/03/2024	123847	5-2024	2	Reimbursement	100-523100-380	1,316.82

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GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Total 123847:							1,341.08
LexisNexis Risk Solutions							
05/24	05/03/2024	123848	1388164-20240430	1	Police Dept	100-521000-214	47.20
Total 123848:							47.20
Litho-Craft							
05/24	05/03/2024	123849	25107	1	PD Supplies	100-521000-310	298.00
Total 123849:							298.00
McGill, Theresa A							
05/24	05/03/2024	123850	4-2024	1	Restitution	100-451100	721.88
Total 123850:							721.88
MEI TOTAL ELEVATOR SOLUTIONS							
05/24	05/03/2024	123851	1070836	1	PD Elevator	100-521700-240	187.42
Total 123851:							187.42
Menards - Waukesha							
05/24	05/03/2024	123852	62479	1	FD supplies	100-522700-340	228.70
05/24	05/03/2024	123852	62754	1	PD supplies	100-521700-340	153.35
05/24	05/03/2024	123852	62023	1	Park & Rec	100-552000-341	37.19
05/24	05/03/2024	123852	62107	1	Park & Rec	100-552000-341	72.46
05/24	05/03/2024	123852	61925	1	Park & Rec	100-552000-341	10.39
05/24	05/03/2024	123852	62395	1	PD supplies	100-521700-340	62.42
Total 123852:							564.51
Mr. Robert L. Larsen, CFO							
05/24	05/03/2024	123853	INSTALLMENT 1&2	1	TID 1 Schedule of Payments	230-563000-350	42,253.00
Total 123853:							42,253.00
Office Depot Inc.							
05/24	05/03/2024	123854	362910230001	1	Office Supplies	610-921000-000	105.29
05/24	05/03/2024	123854	362910230001	2	Office Supplies	620-851000-000	105.29
Total 123854:							210.58
Parts Distributing, Inc							
05/24	05/03/2024	123855	S2-2596343	1	DPW	100-532400-340	42.41
Total 123855:							42.41
Pitney Bowes Bank Inc Purchase Power							
05/24	05/03/2024	123856	4-2024	1	Postage	100-514200-311	1,005.00
Total 123856:							1,005.00
Pitney Bowes Inc.							
05/24	05/03/2024	123857	3319033547	1	Lease- Postage Machine	100-514200-311	379.89

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Total 123857:							379.89
ProHealth Care							
05/24	05/03/2024	123858	322374	1	Police dept - legal blood level test	100-521000-212	43.00
05/24	05/03/2024	123858	10004752144	1	Police dept - legal blood level test	100-521000-212	43.00
05/24	05/03/2024	123858	321716	1	DPW	100-531000-342	62.00
Total 123858:							148.00
Reinders, Inc.							
05/24	05/03/2024	123859	7538120-00	1	Cust #7093- Park & Rec	100-554000-340	111.00
05/24	05/03/2024	123859	7537993-00	1	Cust #7093 - DPW	100-533180-340	486.00
Total 123859:							597.00
Robert Half							
05/24	05/03/2024	123860	63541492	1	Wages/Stein	100-514200-120	312.00
Total 123860:							312.00
RoIINRack LLC							
05/24	05/03/2024	123861	24104	1	FD	100-522100-340	110.00
Total 123861:							110.00
Service Sanitation							
05/24	05/03/2024	123862	8823204	1	Park & Rec	100-552000-340	247.17
Total 123862:							247.17
Share Corporation							
05/24	05/03/2024	123863	265872	1	DPW	421-532400-340	176.39
Total 123863:							176.39
Short Elliott Hendrickson, Inc.							
05/24	05/03/2024	123864	464534	1	Town Planner	100-524000-212	1,989.00
Total 123864:							1,989.00
Siren Services							
05/24	05/03/2024	123865	2854	1	Fire department	100-522100-380	480.43
Total 123865:							480.43
Soft Water Inc.							
05/24	05/03/2024	123866	00699TN	1	PD- Water Softener Salt	100-521700-240	45.50
05/24	05/03/2024	123866	00695TN	1	FD - water softener salt	100-522700-240	101.50
Total 123866:							147.00
Staples Advantage							
05/24	05/03/2024	123867	6001298744	1	Police Department	100-521200-312	145.30
05/24	05/03/2024	123867	6001298746	1	Town Clerk	100-514200-310	131.53
05/24	05/03/2024	123867	6001149242	1	Police Department	100-521000-310	107.98

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Total 123867:							384.81
State of Wisconsin							
05/24	05/03/2024	123868	4-2024	1	State share of Court revenue	100-451100	6,426.96
Total 123868:							6,426.96
Stokke, Kathy							
05/24	05/03/2024	123869	4-2024	1	meals	100-512000-330	21.47
Total 123869:							21.47
Strand Associates Inc.							
05/24	05/03/2024	123870	0209382	1	Well No. 3 Rehabilitation	610-300000	8,785.49
05/24	05/03/2024	123870	0209660	1	Poplar Creek Interconnect	620-300000	8,528.70
05/24	05/03/2024	123870	0209660	2	Poplar Creek Interconnect	620-210000	3,125.72
Total 123870:							20,439.91
Strand Associates, Inc.							
05/24	05/03/2024	123871	0204842	1	Stormwater	421-534400-213	2,867.51
05/24	05/03/2024	123871	0209171	1	Accounts Receivable	100-563000-211	919.33
05/24	05/03/2024	123871	0209171	2	Stormwater	421-534400-213	195.51
05/24	05/03/2024	123871	0209171	3	Roads	100-533100-212	391.01
05/24	05/03/2024	123871	0209171	4	Accounts Receivable	100-563000-211	264.15
05/24	05/03/2024	123871	0209171	5	Accounts Receivable	100-563000-211	195.51
05/24	05/03/2024	123871	0209171	6	Accounts Receivable	100-563000-211	195.51
05/24	05/03/2024	123871	0209171	7	General Town Eng	100-563000-211	782.05
05/24	05/03/2024	123871	0209102	1	Stormwater	421-534400-213	1,970.42
Total 123871:							7,781.00
Streicher's							
05/24	05/03/2024	123872	11692656	1	PD supplies	100-521300-340	102.30
05/24	05/03/2024	123872	11693743	1	PD supplies	100-521200-139	35.98
05/24	05/03/2024	123872	11693405	1	PD supplies	100-521200-139	825.00
05/24	05/03/2024	123872	11692630	1	PD supplies	100-521200-139	825.00
05/24	05/03/2024	123872	11694864	1	PD supplies	100-521200-139	14.99
05/24	05/03/2024	123872	11695904	1	PD supplies	100-521200-139	208.97
05/24	05/03/2024	123872	11695905	1	PD supplies	100-521200-139	361.98
05/24	05/03/2024	123872	11695335	1	PD supplies	100-521200-139	49.46
05/24	05/03/2024	123872	11693407	1	PD supplies	100-521300-340	1,773.00
Total 123872:							4,196.68
Superior Chemical Corporation							
05/24	05/03/2024	123873	389688	1	Misc Supplies	610-654000-000	137.23
05/24	05/03/2024	123873	389687	1	Misc Supplies	620-826000-000	846.86
Total 123873:							984.09
Taylor Computer Services, Inc.							
05/24	05/03/2024	123874	26147	1	Police Department	100-521000-214	493.00

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Total 123874:							493.00
Tkk Electronics							
05/24	05/03/2024	123875	MA1-NCESS-R	1	Fire Dept	100-522000-214	1,260.00
Total 123875:							1,260.00
Uline							
05/24	05/03/2024	123876	176774318	1	Police	100-521700-350	442.14
Total 123876:							442.14
United States Alliance Fire Protection							
05/24	05/03/2024	123877	1046-F127542	1	PD	100-521700-240	578.00
05/24	05/03/2024	123877	1046-F127548	1	FD	100-522700-340	459.00
Total 123877:							1,037.00
Verizon Wireless							
05/24	05/03/2024	123878	9961337869	1	Police Department	100-521700-225	526.52
05/24	05/03/2024	123878	9961337869	2	Parks	100-552000-340	20.35
05/24	05/03/2024	123878	9961337869	3	Rec	100-553100-340	20.35
05/24	05/03/2024	123878	9961337869	4	Fire Department	100-522700-225	516.15
05/24	05/03/2024	123878	9961337869	5	DPW	100-532700-225	85.45
05/24	05/03/2024	123878	9961337869	6	UD#1	421-532700-225	85.44
05/24	05/03/2024	123878	9961337869	7	TOWN HALL	100-516000-225	87.29
Total 123878:							1,341.55
Verizon Wireless							
05/24	05/03/2024	123879	9962470878	1	Wireless Services Monthly	610-921000-000	131.05
05/24	05/03/2024	123879	9962470878	2	Wireless Services Monthly	620-851000-000	131.04
Total 123879:							262.09
von Briesen & Roper, S.C.							
05/24	05/03/2024	123880	455950	1	Fire Department	100-513400-212	1,150.50
Total 123880:							1,150.50
Waukesha Co Emergency Management							
05/24	05/03/2024	123881	627	1	PD- ID Card	100-521200-139	3.00
Total 123881:							3.00
Waukesha County Tech College							
05/24	05/03/2024	123882	S0829192	1	PD training	100-521300-330	946.10
Total 123882:							946.10
Waukesha County Treasurer							
05/24	05/03/2024	123883	4-2024	1	County share of Court revenue	100-451100	1,952.85
Total 123883:							1,952.85

M = Manual Check, V = Void Check

GL Period	Check Issue Date	Check Number	Invoice Number	Inv Seq	Description	Invoice GL Account	Check Amount
Waukesha County Treasurer							
05/24	05/03/2024	123884	2024-50030002	1	Tax billing	100-515100-216	2,355.00
Total 123884:							2,355.00
Waukesha County Treasurer							
05/24	05/03/2024	123885	2024-10040006	1	Storm Water Education	421-524000-214	2,931.00
Total 123885:							2,931.00
WI Dept of Justice - TIME							
05/24	05/03/2024	123886	455TIME-00000162	1	PD - Time System	100-521000-241	333.00
Total 123886:							333.00
Wolf Paving Company Inc.							
05/24	05/03/2024	123887	46260	1	DPW	100-533100-340	267.00
Total 123887:							267.00
Zarnoth Brush Works, Inc.							
05/24	05/03/2024	123888	0197664-IN	1	UD#1	421-532400-340	160.00
Total 123888:							160.00
UnitedHealthcare							
04/24	04/15/2024	415241	498768320045	1	Health insurance premium	100-215310	77,368.87
Total 415241:							77,368.87
UnitedHealthcare							
04/24	04/15/2024	415242	498764872327	1	Health insurance premium	100-215310	74,589.10
Total 415242:							74,589.10
Grand Totals:							600,416.53

Keith Henderson

Steve Kohlmann

John Charlier

John R Schatzman

Ryan Stanelle



TOWN OF BROOKFIELD

Comprehensive Outdoor Recreation Plan

Adopted 2024

Copy of the Adopted Resolution

Acknowledgements

Town Board

Keith Henderson, Chairman

John Charlier, Supervisor

Ryan Stanelle, Supervisor

John Schatzman, Supervisor

Steve Kohlmann, Supervisor

Town Staff

Tom Hagie, Town Administrator

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262.646.6855

The individuals above, along with other Town staff, committee members, community leaders, and Town residents were instrumental in the creation of this Plan. Short Elliott Hendrickson Inc. (SEH) was retained by the Town of Brookfield to assist in developing this Comprehensive Outdoor Recreation Plan. SEH is a multi-disciplined, professional services firm comprised of 800 engineers, architects, planners and scientists in a full range of transportation, civil, environmental and structural engineering services; urban design, community planning and architectural design; and technology and GIS services.

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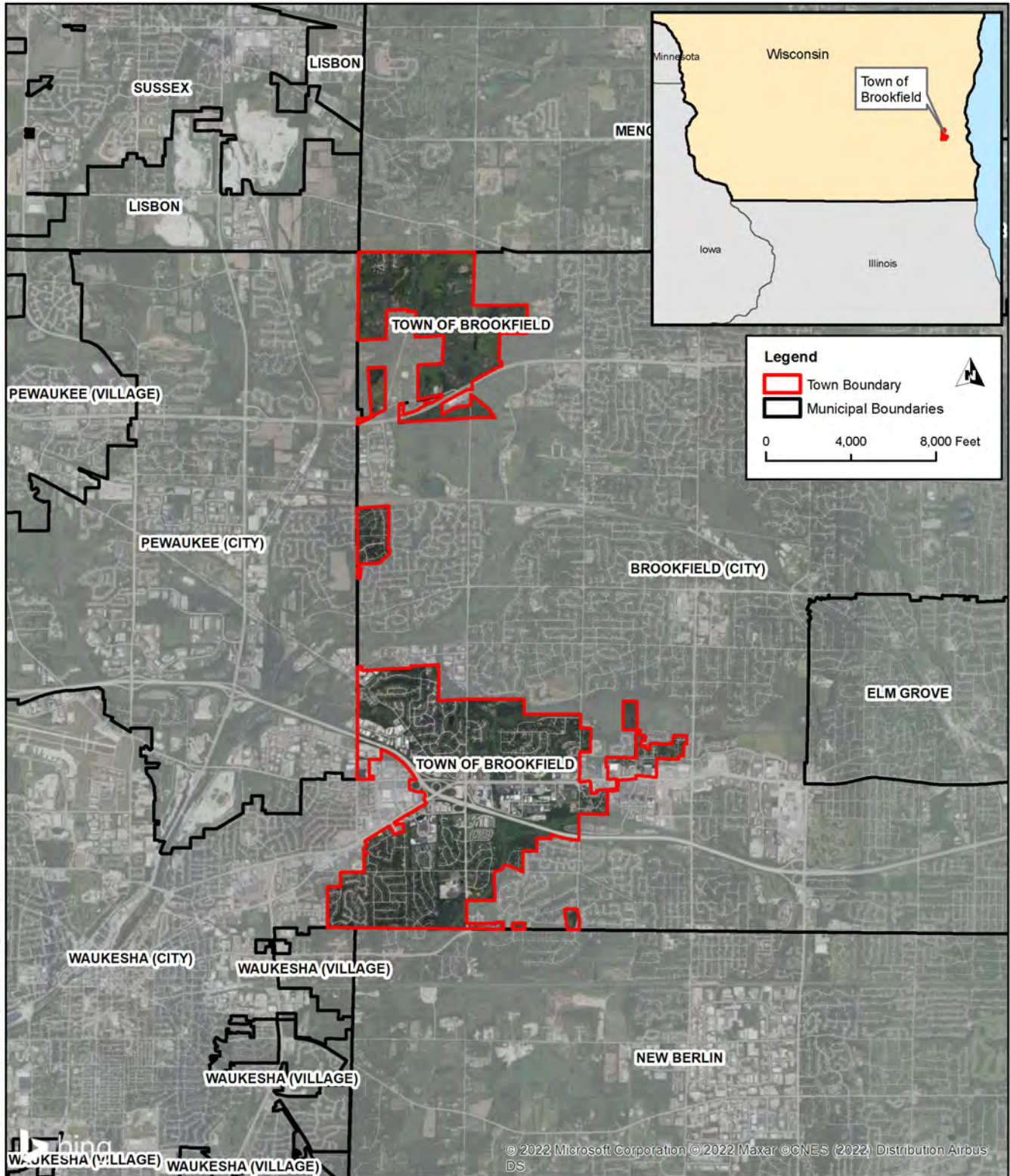
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Chapter 1. Statement of Need / Parameters the Plan will Establish


The primary purpose of the plan is to determine the lands and facilities necessary to provide adequate year-round outdoor recreational opportunities for a variety of leisure time activities for the present and future residents of the Town of Brookfield. The Comprehensive Outdoor Recreation Plan (CORP) encompasses the entire corporate limits of the Town of Brookfield. The Town's corporate limits are shown in Figure 1.1. The plan will also incorporate recommendations from neighboring communities and Waukesha County's Park and Open Space Plan to integrate the Town's plan with the previously completed regional planning efforts.

Figure 1.1. Town of Brookfield



Path: X:\AEB\BRKF163025B-planning\GIS\MAX\BRKF_Location_Map.mxd

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	501 Maple Ave Delafield, WI 53018-9351 PHONE: (262) 646-6855 FAX: (888) 909-8166 TF: (800) 325-2055 www.sehinc.com	Project: BRKFI 163025 Print Date: 11/14/2022 Map by: bhembrook Projection: NAD_1983_HARN_WISCRS Waukesha_County_Feet Source: Waukesha County	<h3>Town of Brookfield Location</h3> <p>Town of Brookfield, Waukesha County, Wisconsin</p>
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This map is neither a legally recorded map nor a survey map and is not intended to be used as one. This map is a compilation of records, information, and data gathered from various sources listed on this map and is to be used for reference purposes only. SEH does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and SEH does not represent that the GIS Data can be used for navigational, tracking, or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. The user of this map acknowledges that SEH shall not be liable for any damages which arise out of the user's access or use of data provided.

Chapter 2. Goals and Objectives

The following are the goals and objectives developed by the Town for outdoor recreation and open space.

Goal: Maintain an adequate amount of active and passive recreational land to meet future recreational needs.

Supporting Objectives:

- Consider acquiring additional lands for active and passive park development based on current demand, population projections, and natural resource base significance.

Goal: Provide adequate facilities at all parks as dictated by park use and classification.

Supporting Objective:

- Park site development should coincide with the level of service needed to provide adequate facilities for the Town's population.

Goal: Coordinate development efforts and the use of recreational facilities between the Town of Brookfield, local schools, churches, and regional facilities.

Supporting Objectives:

- Encourage increased public use of indoor and outdoor school recreation facilities.
- Encourage cooperative Town/church development projects to help improve and expand recreation opportunities throughout the community in a cost-effective manner.
- Encourage increased public use of indoor and outdoor regional facilities.
- Explore public/private partnership opportunities for new parks and recreational facilities.

Goal: Encourage the preservation of environmentally sensitive areas.

Supporting Objectives:

- Encourage the use of natural features such as floodplains, wetlands, river corridors, and woodlands as passive recreation areas.

Goal: Provide residents with safe and reliable recreation equipment throughout the Town's park system.

Supporting Objectives:

- Maintain existing park equipment to ensure equipment longevity and safety.
- Replace or retrofit equipment not in compliance with Consumer Product Safety Commission guidelines.

Goal: Recognize the potential for new and creative recreational opportunities.

Supporting Objectives:

- Evaluate the demand for new Town recreation programs.
- Discuss the role for new or improved recreational facilities for the Town's park system and recreational programs.
- Proactively plan for future projects and ensure adequate funding is available.

Goal: Use resources to further enhance the quality of the Town’s park system.

Supporting Objectives:

- Pursue State and Federal funding programs which can aid in the purchase or development of park system improvements and open space requirements.
- Recognize the potential which exists with other public and private organizations for donations to aid in park system improvements.
- Update the Town’s CORP every five years to provide the Town with a period of funding eligibility.
- Review the potential of alternative funding mechanisms.

Goal: Promote the use of winter sport activities using available topography and natural resources within the community.

Supporting Objective:

- Use existing greenways for the development of cross-country ski trails.

Goal: Use the existing municipal park budget to implement the plan.

Supporting Objectives:

- Identify specific projects in the yearly budget using the CORP as a guide.
- Conduct an operational analysis which would evaluate the strengths and weaknesses of the policy-making process, programming and scheduling, revenue, expenses, and staffing.

Goal: Provide residents with an exceptional walking/biking trail system.

Supporting Objectives:

- Develop a trail system which has multiple uses, is handicapped accessible, and connects with other local and County trail systems.

Goal: Involve senior citizens in park development and beautification projects and provide recreational facilities for their use.

Supporting Objectives:

- Provide benches, shelters, and non-intensive sports facilities throughout the community and neighborhood parks within the Town.
- Sponsor senior citizen activities at parks.

Goal: Design recreational facilities to accommodate the needs of handicapped and special needs users.

Supporting Objectives:

- Incorporate ADA specifications into the design of recreational facilities.
- Retrofit existing facilities to meet ADA requirements.

Chapter 3. Definitions

A. Terms

Specific terms and classification standards are used throughout the plan. To clearly understand these terms and classifications, a concise definition must be presented. The following definitions for terms used in this plan include definitions reprinted from the 1999 plan.

Active Recreation Site

A park designed primarily for active recreation of one or more age groups. This type of design may have as its primary feature playfields, playground apparatus, ballfields, ball courts or a combination thereof.

Passive Recreation Site

A park primarily designed for picnicking, walking, and other non-organized recreation interests. This type of facility often emphasizes natural settings and de-emphasizes active recreation areas.

Play Structure

A play system which incorporates a variety of functions such as slides, climbing bars, suspended platforms and railings interconnected in one unit. Structures are usually sized for preschool and elementary users with structure height and apparatus complexity being the determining criteria.

Water-Based Recreation

Those activities requiring the availability of a recreational water supply. Swimming, fishing, boating, and ice skating are examples of water-based recreation.

Service Areas

The zone of influence of a park. Service areas are usually determined by the average distance users are willing to travel to reach a facility. Although usually expressed in terms of service radius, it must be remembered that features such as major traffic arteries and rivers influence the distance users travel. Also, a facility or features of a facility may be unique in the Town, extending the zone of influence of that facility to the entire region.

Chapter 4. Planning Process

A. Description of Process

This Plan is based upon current Wisconsin Department of Natural Resources (WDNR) Standards for the completion of Comprehensive Outdoor Recreation Plans. Additionally, National Recreation and Park Association (NRPA) data and metrics were used to establish the level of service standards for the Town. Regional data was obtained from the Southeastern Wisconsin Regional Planning Commission and population characteristics data was compiled from the U.S. Census Bureau and the Town of Brookfield.

A survey was distributed to the population of the Town through the Town’s website and social media channels. The survey and results are presented in **Appendix A**. The survey will be used to establish the level of service standards for the Town and identify potential future needs by the community.

The draft plan was presented to the Town Parks Director on _____ and approved by the Town Board on _____.

B. Amending the Plan

Plan amendments will be presented to the Town Board for discussion and consideration.

Chapter 5. Summary of Past Comprehensive Outdoor Recreation Plans

These planning reports were used to ensure that the updated CORP for the Town of Brookfield is integrated with adjacent community, County, and State recreational needs. The intent of the Town's plan is to compliment the park and open space planning of adjacent communities and Waukesha County.

1. Town of Brookfield Bikeway Master Plan, 1997
2. An Outdoor Recreation Plan for the Town of Brookfield, 1999
3. Waukesha County Park and Open Space Plan, 2018
4. Wisconsin Statewide Comprehensive Outdoor Recreation Plan, 2019
5. Town of Brookfield Comprehensive Plan, 2022
6. A Park and Open Space Plan for the City of Brookfield, 2018
7. Joint Parks and Recreation Comprehensive Plan, City and Village of Pewaukee, 2020

Town of Brookfield Bikeway Master Plan, 1997

The Bikeway Master Plan was created to guide the orderly development of a bikeway system in the Town of Brookfield that will safely connect residents to high use destinations in the Town of Brookfield; connect neighborhood to neighborhood; and connect to existing and proposed surrounding bikeways. This Plan established the general location and types of facilities needed to complete the bikeway system. Some of the proposed trails in this document were recommended in the Bikeway Master Plan but never completed.

An Outdoor Recreation Plan for the Town of Brookfield, 1999

The Outdoor Recreation Plan for the Town of Brookfield was assembled in 1999. An update was needed to align with the Town's goals and objectives while also complimenting the area plans. This plan builds upon the Outdoor Recreation Plan (1999) with similar goals and objectives.

Waukesha County Park and Open Space Plan, 2018

The purpose of this plan is to act as a guide for the acquisition, preservation, development, and management of park, recreation and open space lands in the County. This plan predominantly focuses on providing land use decisions pertaining to County-owned parks and open space lands, but several recommendations relate to opportunities identified within or near town limits.

The plan identifies the following trails that the Town may consider connecting to in the future:

- Existing Fox River Trail north of the intersection of Springdale Road and Watertown Road,
- Proposed trail along Capitol Drive.
- Proposed trail through the north of Town on existing unused lands, from the intersection of Capitol Drive/Springdale Road to the intersection of Weyer/Town Line Rd, then along Weyer to connect to Lisbon Rd, then along Lisbon to the City, back through unused lands and connecting again near Capitol & Brookfield Rd
- The plan recommends continuing to connect the County trail system to other local and state systems for interconnectivity.

The plan also discussed County Parks and the following items relate to the Town of Brookfield:

- The Town of Brookfield is considered “served” by a County facility based on their per capita and radius standards, those established in the SEWRPC Outdoor Recreation and Open Space Planning Objectives, Principals, and Standards.
- No additional parks are planned and no specific upgrades are mentioned for the parks near the Town, but they are looking to acquire more land adjacent to Fox Brook Park.
- Recommended parkland acquisition does not affect those near the Town.

Wisconsin Statewide Comprehensive Outdoor Recreation Plan, 2019-2023

This plan provides recommendations to guide public outdoor recreation policy and planning decisions, the use of Land and Water Conservation Fund money, and other Department of Natural Resources administered grant programs. This plan is designed to both provide a broad overview of issues affecting nature-based recreation as well as include information that the public and decision-makers can use in evaluating local and regional needs and opportunities.

The SCORP identified through public involvement the following:

- Activities in which residents most frequently engage in tend to be those that require little preparation or travel time and can provide a high-quality experience in a limited amount of time. Examples include hiking and walking on trails, fishing, bicycling, dog walking, and bird/wildlife watching.
- Participation rates in popular outdoor activities statewide and reasons people choose to to/not to participate
- A list of regional recreation needs identified for the Town’s area include:
 - » Bicycling
 - » Bird or wildlife watching
 - » Camping
 - » Canoeing

- » Cross County skiing
- » Fishing
- » Gather mushrooms, berries, etc.
- » Hiking, walking, trail running
- » Snowshoeing
- » Picknicking

- The SCORP, Appendix 2, provides population characteristics for the county that show increased growth in the coming decades.
 - » Population projections 2010-2040
 - » Waukesha County is in second quantile for growth – 17% increase
 - » Overall health
 - » Waukesha county ranks the highest in health
- The SCORP, Appendix 8 – Opportunity Analysis Report
 - » Residents in the area wanted more non-motorized trails, primitive camping, and more access to water.

Reasons to get outside	% of respondents
Get exercise	64%
Be with family and friends	55%
Keep physically fit	50%
Observe scenic beauty	49%
Be close to nature	47%
Enjoy the sounds and smells of nature	47%
Get away from the usual demands	40%
Be with people who enjoy the same things I do	31%
Experience excitement and adventure	32%
Experience solitude	20%

Reasons to <i>not</i> get outside	% of respondents
Too busy with family responsibilities	21%
Outdoor recreation equipment is too expensive	18%
Do not have anyone to participate with	17%
Do not have the skills or abilities	16%
Have a physical disability	14%
My health is poor	11%
Places for outdoor recreation cost too much	10%
Too busy with other recreation activities	10%
Places for outdoor recreation are too far away	10%
Do not have enough information	7%

Town of Brookfield Comprehensive Plan, 2022

This plan was created to identify a shared vision among the community's residents, elected officials, and municipal staff. A Comprehensive Plan identifies a community's priorities and provides a comprehensive and integrated set of recommendation to guide the development and redevelopment of the Town. Recommendations were developed from ideas and feedback provided by community residents and leaders through a public survey and workshop.

The Town's Comprehensive Plan asked: What types of developments should the Town encourage in the next 20 years? 75% of respondents thought parks and trails were extremely or very important to promote. A common theme that reoccurred in the open-ended survey questions was that the Town should provide better parks, develop more community spaces and youth recreation, and should consider constructing a community pool.

The Comprehensive Plan identified the following items related to parks and recreation and bicycle and pedestrian accommodations.

- The Town needs to improve and enhance the pedestrian and bicycling network as a safe and convenient method of community connectivity and recreation.
 - Future needs include an update to the Comprehensive Outdoor Recreation Plan to determine if future parkland should be acquired or if existing parkland can be enhanced.
 - Goals include to "continue to provide the necessary community facilities to support the Town of Brookfield community" and objectives include the objective to "promote opportunities for active recreation."
 - A few parks and recreation recommendations include:
 - » Consider installing pickleball courts in Marx Park and/or Wray Park (installed in 2023).
 - » Create community focal points within parks and community facilities to help enhance the sense of place.
- » Consider adding language to the zoning code requiring public parks and/or plazas, or fee in lieu, to be added in mixed-use developments that are larger than five acres.
 - » Consider additional funding sources for the Town's parks and trails including state grant funding and developer fees.
- The economic development section lists a goal of an "opportunity to connect the comprehensive plan's economic development component with the parks and open space plan through reinforcing the idea of regular community events."
 - Intergovernmental cooperation encourages the opportunity to emphasize working with organizations and other municipalities to connect paths for greater mobility and outdoor use, as well as connecting each other's parks for cross-promotion and use of each other's amenities.
 - The land use section stresses the importance of leveraging parks and open spaces during redevelopment/revitalization.
 - » The goals and objectives include providing sidewalks and trails for pedestrian and bicycle use.
 - The community survey results showed that over the next 20 years, residents are in favor of promoting parks and trail networks, bike and pedestrian connectivity, public health and an active community, and youth activities.
 - Parks and Trails analysis found that only 16.2% of respondents feel that existing bicycle facilities are adequate.
 - The Comprehensive Plan Public Workshop listed pedestrian accommodations (difficult to walk/bike between neighborhoods) as the top weakness.

A Park & Open Space Plan for the City of Brookfield: 2035

This plan for the City of Brookfield is intended to assist in promoting environmental stewardship and to assess current and future park, recreation, and open space needs within the City of Brookfield. The plan is further intended to guide the preservation, acquisition, and development of land for park, outdoor recreation, and open space purposes through the implementation over time of the recommendations presented in the plan. There were several recommendations listed that involve areas near or within town limits, including the following:

- Planned extension of the Deer Creek Trail along the north side of I-94 to the Town limits at Brookfield Road.
 - » A gap in the joint trail system exists between Bluemound Road and I-94 along Brookfield Road – no path extension planned by the City here
- Recommended trail connection from Springdale Road to Foxbrook Park.
 - » Connects to a Pewaukee Planned trail and helps connect the north part of the Town to an existing park
- Recommendations include continuing to develop a city-wide trail system.
- No new parks are recommended near the Town.
- Recommending adding more group picnic areas and parking to Mitchell Park – adjacent to Fox Brook park, near the north area of the Town.

Joint Parks and Recreation Comprehensive Plan, City and Village of Pewaukee, 2020

This plan is developed to serve as a guide for both municipalities and provides a shared vision for future park and recreational opportunities. Some of the recommendations included areas that are near or in town limits, including the following:

- Proposed off-road trail along Springdale Road from Capitol Drive to the County Fox River Trail.
- Proposed off-road trail along Duplainville Road to Weyer Road, then along Weyer Road to the Town of Brookfield limits.
- Proposed off-road trail along Capitol Drive, meeting the Town at Capitol/Springdale intersection.

Chapter 6. Description of the Planning Region

A. Social characteristics of the Town of Brookfield and Waukesha County

Population and Size

The Town's population is 6,477, according to the 2020 census. This is an increase of 5.9 percent from the 2010 census. The Wisconsin Department of Administration (DOA) estimated that the 2021 population estimate of the Town of Brookfield is 6,789. The Town land area is approximately 5.06 square miles, thus the population density is 1,280 per square mile, according to the 2020 Census.

Population Trends and Projections

The Wisconsin DOA (Department of Administration) population projections predicts that the Town's population will be 6,555 by 2040, which is an increase of 78 residents from the 2020 census, approximately a 1.1% increase. The Town's population is expected to grow until 2030 and then, slowly decline over time. The DOA projections are, by State Statutes, the official population projections for Wisconsin. The Town is expected to grow at a significantly slower pace than Waukesha County, which is predicted to grow by 12% over the same period. The Town of Brookfield and nearby communities are all experiencing gradual increases in population since the 2010 census. However, the Town has not experienced the overall sustained population growth which Waukesha (city), Pewaukee, New Berlin, and Menomonee Falls have experienced since the 1990's.

Race/Ethnic Background

The Town of Brookfield is predominantly white (83.6%), which is comparable to Waukesha County (85%) and has a relatively high Asian population (7.2%).

Employment/Unemployment

The Town of Brookfield unemployment rate is 1.5%, which is lower than Waukesha County (2.7%). Approximately 3,241 town residents are in the labor force and 55.5% occupations related to management, business, science, and arts occupations.

Age and Sex

The median age in the Town of Brookfield (51.6) is significantly older than Waukesha County (43.2) and Wisconsin (39.5). The Town has less residents under the age of 18 (14.5%) than Waukesha County (21.7%), but significantly more residents over the age of 65 (30.8%) than Waukesha County (18.1%). Approximately 54.6 percent of Town residents are female while 45.4 percent are male.

Economy

Employment is primarily provided by two industries within the town. The educational, health and social services industry provides 19% of all jobs in the town and the manufacturing industry provides 18.3%.

According to the 2021 American Community Survey, the median household income is \$70,556, compared to \$94,310 for Waukesha County, and \$67,080 in Wisconsin. The mean household income in the Town of Brookfield is \$99,167, compared to \$122,526 for Waukesha County, and \$87,733 in Wisconsin.

Table 6.1. Characteristics and Needs of Select Age Groups

Age Group	Description	Characteristics	Types of Park & Recreation Needs
Under 5	Infants, toddlers, pre-school, and kindergarten	Entirely dependent upon others	Playgrounds; splash pads; summer park programs; neighborhood parks; gymnastics and tumbling
5 to 19	School-aged children and young adults	Dependent upon others for lodging, food, education, and most other needs	Athletic facilities; multi-purpose sports fields; BMX/skate parks; disc golf; RC/drone areas; adventure facility (climbing walls, ropes course, etc); ice rinks; summer park programs; youth baseball/soccer; neighborhood parks; teen center; youth fitness/wellness programs; after school programs
20 to 24	Post high school; job and career training (college, trades, military, etc)	Somewhat dependent upon others for certain needs	Ice rinks; music in the park; disc golf; RC/drone areas; adventure facility; martial arts; sports fields/courts
25 to 44	Established adults	Increasing earning and spending potential; traditional child-raising years	Outdoor fitness stations; public art; water features (fountains, reflecting pools); camping; community gardens; yoga/tai chi in the park; softball/volleyball leagues; meeting space for rental
45 to 64	Mature adults	Prime earning years, often 'empty nesters'	Community gardens; outdoor fitness stations; yoga/tai chi in the park; meeting space for rental
65 to 84	Retirement-age	Decreased earning, sustained activity level, increasing healthcare costs	Hiking/biking trails; equipment rentals (kayaks, XC skis, etc); community gardens; senior exercise stations; yoga/tai chi in the park/ dancing; meeting space for rental
85 and older	Post retirement	Decreased earning, spending, and activity level	Community gardens; senior fitness stations; yoga/tai chi in the park; dancing
All ages	-	-	Multi-use trails; pedestrian & bicycle facilities; passive parks; fishing areas; swimming pools/beaches; canoe/kayak launches; music/movies in the park; public art; water features (fountains, reflecting pools); nature center/nature trails; equestrian trails; picnic areas; dog parks/ exercise areas; performing arts facility; multi-generational community; programs for people with disabilities; center; community festivals & special events; arts & crafts.

Note: The information presented in this table are examples of the types of park and recreation needs that may be desired by the given population group. They should not be considered an exhaustive list.

B. Physical characteristics of the Town of Brookfield and Waukesha County

Topography

The topography of the Town of Brookfield consists of rolling ground moraine with hills and ridges interspersed with broad undulating plains and lowlands. As the Town developed, these land features have been manipulated to accept urban land uses. The topographic elevation ranges in the Town from approximately 820 to 930 feet above mean sea level datum. The slope of the lands largely determine the land use capabilities of the land. The lands best suited for active recreation playfields and playgrounds are those that are nearly level or have a gentle slope. Lands with steep slopes are poorly suited for recreation development and therefore should be maintained in natural cover for passive open space and woodland preservation. The lowlands are also poorly suited for recreation development and should be preserved as flood plains, wetlands, and environmental corridors.

Water Resources

In the Town of Brookfield, there are three perennial streams, the Fox River, Deer Creek, and Poplar Creek. Associated with these resources are wetlands, flood plains, and environmental corridors. Wetlands are some of the most valuable natural resources associated with the water resources of the Town. Their values include wildlife habitat, fish spawning and rearing, recreation, attenuation of storm runoff and flood flows and removal of urban pollutants. As part of the storm water management plan completed for the Town of Brookfield, the existing wetlands were inventoried and classified as to their sensitivity to storm water runoff.

Climate

The climate in the Town of Brookfield is characterized by extremes in all the climatic elements common to this latitude of the interior of the North American continent. Air temperatures are subject to large seasonal variations with mean temperatures of 72° in July to 20.9° in January. Precipitation usually takes the form of rain, sleet, hail, and snow. The annual average of rainfall is approximately 30.6 inches. The average annual snow depths range from 24 inches to 66 inches.

Recreational opportunities in the Town must be developed to provide seasonal activities that respond to the typical climatic changes. This would include winter activities that include ice-skating, cross-country skiing, and sledding, spring and fall activities that include hiking, soccer, and football and summer activities that include baseball, softball, biking, swimming, and picnics.

Flora and fauna

The flora and fauna in the Town of Brookfield is generally associated with the existing wetlands and environmental corridors. Pre-settlement vegetation within the Town included a mix of upland and lowland mesic forests and oak openings and dry and mesic prairies. With the urbanization of the Town, only remnants of these presettlement conditions exist.

Wildlife that is typically found within the Township include raccoons, white-tail deer, cotton tail rabbit, gray squirrel, skunk, muskrat, red fox, and opossum. Birds that are typically found in the Township include geese, ducks, pheasant, hawks, herons, owls, swallows, robin, mourning doves, cardinals, blackbirds, starlings, and chickadees, to name a few.

Most of the natural flora and fauna is found within the identified environmental corridors in the Town. SEWRPC has identified these corridors and their generalized natural resource composition in the "Park and Open Space Plan for the City of Brookfield."

Soils

The common soils that exist in the low land areas of the Town of Brookfield are characterized by the Houghton-Palms-Adrian associations and in the upland areas Hocheim Loams and Theresa silt loams. The Houghton-Palms-Adrian association consists of very poorly drained organic soils that are composed of thick deposits of decomposed residue from water tolerant plants. This soil typically occurs in old glacial lake beds. This association has a recreation group classification of 9 which means that the soils are mucky and have a high groundwater table most of the year. The soils cannot withstand heavy foot traffic and the soil limitations are very severe for playgrounds, athletic fields, picnic areas, nature and hiking trails, buildings, and camp sites. Paths, trails, and roads are difficult to maintain, and surfacing may not help firm up these soils.

The Theresa and Hocheim silt loams are characterized by loamy and silty loamy soils with subsoils of silty clay loam over clay loam and underlain by calcareous loam glacial fill. These soils have a recreation group classification of 2 which means that the soils are limited by excess water in only a few places, and they are well suited to many grasses, shrubs, trees, and other plants. Limitations for playgrounds, playfields, and other intensive play areas are slight on slopes of 0 to 2 percent, moderate on slopes of 2 to 6 percent, and severe on slopes of 6 percent or more. Limitations for nature and hiking trails are slight on slopes 0 to 12 percent, moderate on slopes from 12 to 20 percent and severe on slopes that exceed 20 percent. Limitations for picnic areas, parks and other extensive play areas are slight on slopes of 0 to 6 percent, moderate on slopes of 6 to 12 percent and severe on slopes that exceed 12 percent.

Chapter 7. Outdoor Recreation Supply Inventory

A. Natural resources available for outdoor recreation

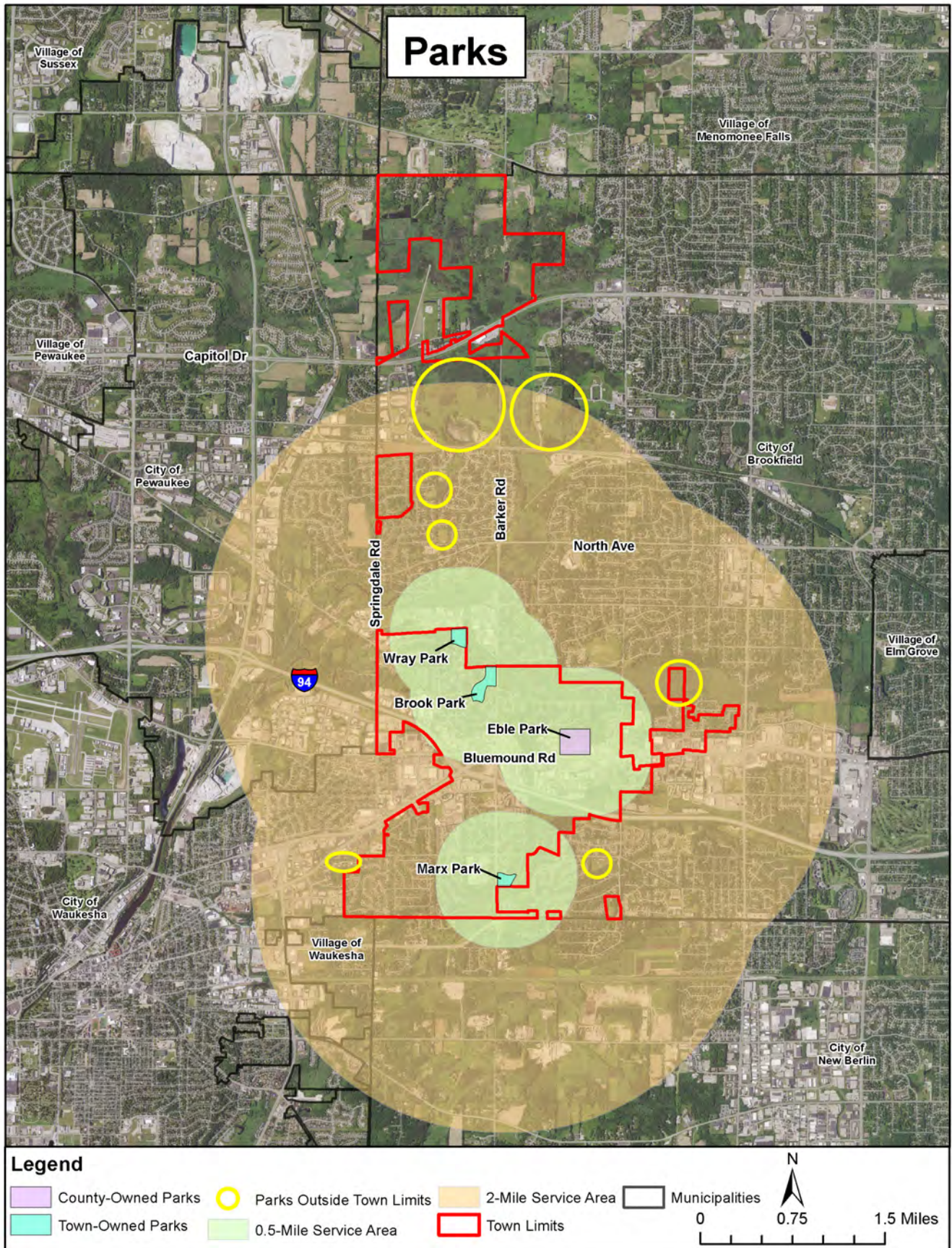
The greatest natural resources available to the residents of the Town of Brookfield are the environmental corridors associated with the Fox River, Poplar Creek, Deer Creek, and Dousman Ditch. Most of these lands are under private ownership, which makes their accessibility to the public difficult. “The Park and Open Space Plan for the City of Brookfield” recommends that environmental corridors and isolated natural areas be preserved in essentially natural, open uses. To provide public accessibility to these corridors, acquisition, donation or dedication of the lands would be necessary. The City’s plan recommends that the Deer Creek corridor, the Dousman Ditch corridor, the Poplar Creek corridor, and a portion of the Fox River corridor be attained by the aforementioned processes. If this is accomplished, the recreational opportunities for the Town’s residents will be greatly enhanced.

B. Outdoor recreation facility inventory

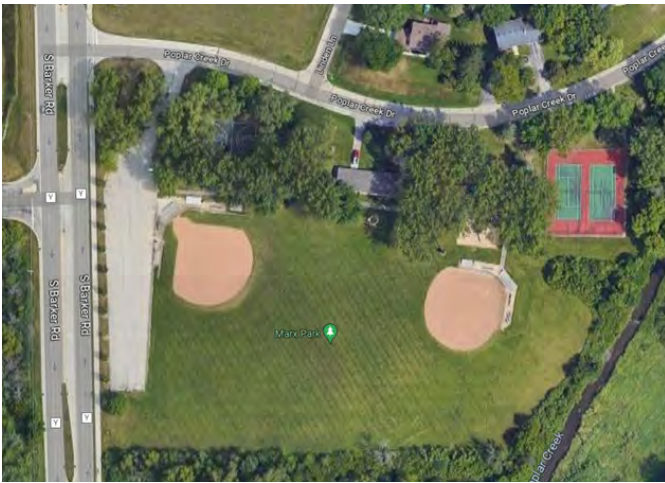
Sites

The Town of Brookfield currently contains seven identified park sites that total approximately 123 acres. Approximately 25 acres are developed as active recreation use areas, 32 acres as passive recreation areas, 9 acres associated with a school, and 35 acres owned and operated by Waukesha County. The Town of Brookfield owns and maintains Marx Park, Brook Park, and Wray Park. In addition to the parks mentioned below, there are several parks in neighboring communities that serve Town of Brookfield residents. The following parks are located within proximity to town limits: Rolling Meadows Park, Weston Hills Park, Camelot Park, Canterbury Hills Park, Fox Brook Park, Mitchell Park, and Hill Crest Park.

Figure 7.1. Parks Located in Town of Brookfield and Nearby Parks



Marx Park



Marx Park is an 18-acre neighborhood park. This park is developed as an active recreation area that provides the following amenities:

- Baseball field
- Softball field
- Basketball court
- Tennis courts
- Two playground structures
- Covered shelter with, restrooms, water, and electricity
- ADA accessibility
- Horseshoe pits
- Cornhole
- Grills
- Picnic tables
- Parking

This is the Town’s most popular park and is used heavily for wedding receptions, graduations, family reunions, and other family functions. The outfields of the ball diamonds are used for soccer fields. Park hours are 6:00am – 10:00pm.

Brook Park



This is an 18-acre neighborhood park within the Brook Park Estates Subdivision. The park is undeveloped and primarily functions as a picnic area. The area is subject to seasonal flooding by Poplar Creek and features a large water feature which is considered a storm water detention pond. Park hours are 6:00am – 10:00pm. Amenities include:

- Two fishing ponds and Poplar Creek (WI fishing license required)
- Picnic tables
- Greenspace
- On-leash dogs allowed

Wray Park



Wray Park is an 11-acre neighborhood park. This park is developed as an active park site with the following amenities:

- Two playground Structures
- Port-o-potty
- Baseball field
- Nature walkway
- Basketball court
- Detention ponds and Poplar Creek
- Pickleball courts (4)
- ADA playground
- Tennis court
- Parking

The outfield of the ball diamond is used for soccer. Park hours are 6:00am – 10:00pm.

The Richardson School



Richardson School is a 9-acre school facility provides the following active recreational facilities:

- Two Playground structures
- Basketball court
- Play equipment
- Two sandlot baseball diamonds

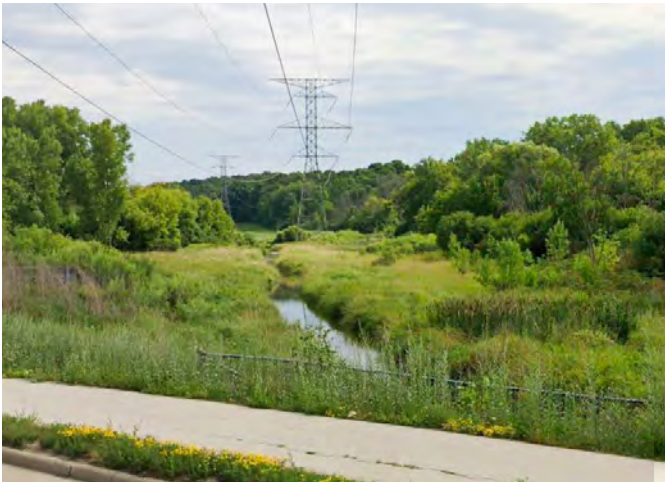
For the purposes of this study, the school facility will be considered a neighborhood park due to its proximity to developed subdivisions and the assumption that the recreation facilities are used by the neighborhood residents during non-school hours.

Eble Park (County Owned)



This 35-acre regional park facility is owned and operated by Waukesha County. The specific use of this park is an indoor ice-skating rink and wetland preserve.

Poplar Creek Conservancy Area



Poplar Creek Conservancy Area is a 21-acre linear environmental corridor that extends along Poplar Creek from Davidson Road to Bluemound. This is unimproved and is within the primary environmental corridor and flood plain along the creek.

Black Forest Drive Conservancy Area



Black Forest Drive Conservancy Area is an 11-acre linear parcel adjacent to Black Forest Drive. The parcel is undeveloped and zoned as conservancy.

C. Types of Park and Recreation Areas

Table 7.1. Park Categories and Service Area

Park Category	Description	Service Area	Population Served
Community	Community parks serve several neighborhoods and are designed to accommodate all age groups with a variety of active and passive recreation opportunities. These parks are generally larger than neighborhood or subdivision parks, with utilities for water, electricity, sanitary sewer/septic, and stormwater management.	3 miles	2,500 – 10,000
Neighborhood	Neighborhood parks provide active and passive recreation activities and may include open space, walking or multi-use trails, play areas, limited off-street parking, picnic areas, active recreation courts, and open play space. Neighborhood parks generally attract users that reside relatively close to the park location.	1/2 – 2 miles	500 – 2,500
Subdivision	Subdivision parks provide open space for passive and some active recreation opportunities. These parks may contain amenities present in Community or Neighborhood parks, but they are generally smaller in size and primarily serve a subdivision or localized area. Homeowner’s associations or another group of homeowners usually own and maintain subdivision parks through a recorded agreement.	1/8 – 1/2 mile	100 – 500
Special Purpose	Special purpose parks emphasize one or more key features that are unique. Examples of this include community trail systems, a children’s zoo, marinas, fairgrounds, historical features, etc. Access to public waters may be a feature of special purpose parks.	Entire Community	Varies
Undeveloped	Undeveloped parks are open spaces that are accessible to the public and do not have any buildings or other infrastructure. These parks provide recreational areas and help enhance the beauty and environmental quality of a community.	Entire Community	Varies
County	County parks and facilities are generally large and are usually located adjacent to bodies of water or natural resource corridors. They are designed to provide a wide range of active and passive recreation opportunities to several communities and municipalities. These parks accommodate all user ages and generally include distinctive natural features and incorporate nature-based recreation such as fishing, swimming, picnicking, camping, hiking, and boating.	Entire County or Region	> 10,000
State	State parks are designated and designed to provide recreational facilities in a unique natural setting for a wide range of users. State parks usually are located around a significant natural feature and provide extensive facilities, including visitor centers, gift shops, equipment rentals, nature centers, and developed campgrounds. State parks usually have on-site staff and can draw users from a local, state, and multi-state area.	Multi-State Area	> 10,000

D. Facilities and amenities available at each site

See Inventory under each park description above.

E. Current condition of park/recreation areas and facilities on sites

Marx Park

Existing Facilities	Condition
Park Sign	Average
Playground Equipment	Poor to Average
Benches	Poor to Average
Basketball Court	Average
Tennis Court	Average
Gazebo	Average
Picnic Tables	Average to Good
Pavilion	Average
Poplar Creek Access	Poor

Brook Park

Existing Facilities	Condition
Park Sign	Average
Poplar Creek Access	Poor
Picnic Tables	Average
Pond	Good

Wray Park

Existing Facilities	Condition
Park Sign	Average
Playground Equipment	Average to Good
Benches	Poor to Average
Basketball Court	Average
Tennis Court/Pickleball Court	Good
Baseball Field	Average
Bleachers	Average
Dugout Bleachers	Average
Poplar Creek Access	Poor
Pond	Good

F. Current accessibility for persons with disabilities

Wray Park

- Playground facility.

Marx Park

- A shelter and restroom building has been constructed and appears to meet ADA accessibility requirements.
- The ramp to the new play lot appears to exceed the maximum 1:12 gradient.
- The sand surfacing at the playlots is not considered accessible.
- An accessible transfer pad does not exist at the sand playlot.

Brook Park

- There are no accessible pathways developed in this park.
- There are no accessible parking areas developed for this park.

Poplar Creek and Black Forest Drive Conservancy Areas

- There are no developed facilities or accessible pathways at these sites.

Eble Park and Richardson School

- » These facilities were not evaluated for accessibility since improvements to these sites are not under the jurisdiction of the Town of Brookfield.

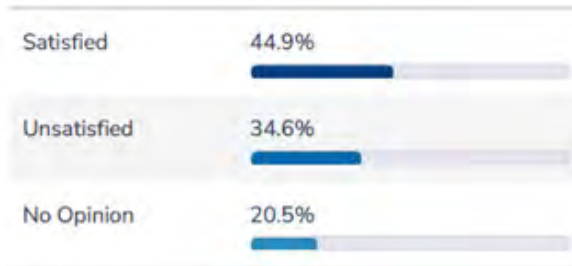
Chapter 8. Outdoor Recreation Needs Assessment



A. Community Survey

A survey was conducted to gather input and feedback. A total of 81 respondents (100% complete surveys, 0 incomplete) participated in the online survey. The following are survey results:

Question 1: How satisfied are you with the current availability of parks and recreation facilities in the Town of Brookfield?



Question 2: Which recreational facilities do you think the Town of Brookfield should prioritize and invest in? (Please indicate a priority level for each activity)

- High Priority
 - » 76% Bike and Pedestrian Trails
 - » 52% Playground Equipment
 - » 35% Food and Beverage Options
- Medium Priority
 - » 58% Picnic Areas
 - » 51% Sports Fields
 - » 38% Pickleball Courts
- Low Priority
 - » 48% Disc Golf Course
 - » 41% Volleyball Courts
 - » 37% Basketball Courts
- Not a Priority
 - » 24% Disc Golf Course
 - » 21% Pickleball Courts
 - » 20% Tennis Courts

Question 3: Which recreational facilities do you think the Town of Brookfield should prioritize and invest in? (Please indicate a priority level for each activity)

Based on the comments provided, here are some prioritized themes for recreational facilities in the Town of Brookfield, along with suggested priority levels for each activity:

Table 8.1. Public input on which recreational facilities should be prioritized.

Theme	Priority Level	Activities
Outdoor Fitness and Sports	High	<ul style="list-style-type: none"> • Batting Cage • Punt, Pass, Kick • Flag Football for Kids/Adults • Adult Softball Leagues • Horseshoe Leagues • Bag Leagues • Disc Golf Course
Park Maintenance and Upgrades	High	<ul style="list-style-type: none"> • Trim Weeds for Fishing Access at Brook Park • Update and Improve Amenities at Brook Park • Repurpose Basketball Court at Marx Park • Upgrade Playground Equipment at Marx Park
Family-Friendly Activities	High	<ul style="list-style-type: none"> • Larger Playground Area • Summer Day Camps • Town Holiday Runs • Gaga Pit
Inclusive and Accessible Facilities	High	<ul style="list-style-type: none"> • Upgrade Current Playgrounds for Accessibility • Remove Old and Unsafe Equipment • Provide Accessible Equipment for All Abilities
Community Gathering Spaces	Medium	<ul style="list-style-type: none"> • Community Events and Gatherings at Marx Park
Dog-Friendly Facilities	Medium	<ul style="list-style-type: none"> • Dog Parks or More Dog-Friendly Parks
Recreational Paths and Sidewalks	Medium	<ul style="list-style-type: none"> • Bike Paths to Hillcrest Elementary School and Wisconsin Hills Middle School • Sidewalks for Pedestrian Accessibility
Winter Activities	Medium	<ul style="list-style-type: none"> • Ice Skating Rink (Outdoor)

Question 4: Respondents were 93% supportive of developing an interconnected walking and bicycling paths providing access to and from neighborhoods, parks, and key destinations.

Question 5: What trails and connections are needed in the Town to ensure connectivity for bikes and pedestrians?

South Side of Bluemound:

- Connect to neighboring community pedestrian facilities.
- More/safer routes to and from The Corners.
- Sidewalks on Barker Road from The Corners to Foxbrook Park and North Avenue in the City of Brookfield.
- Connect to area schools.
- Clearly marked crosswalks with signage tailored to pedestrians and bikers as needed.

North Side of Bluemound:

- Those of us north of Bluemound would love a safe path to the Corners! Compared to surrounding cities and towns, we feel a lack of anywhere in town to just have a nice walk or hike, unless we're in the road.
- Way to safely get from Davidson/Kossow to the Corners of Brookfield using bike or walking. No safe pedestrian or bike paths to access Barker Road from Swenson.
- Critical need for path along Barker Road (north of Bluemound Road).
- It isn't currently safe to walk or bike north of Bluemound Road.
- Connections for the Brook Park and Hawthorn Ridge neighborhoods.

Please note that these suggestions are based on the comments provided and may need further assessment and planning for implementation.

Question 6: What recommendations or suggestions do you have for improving the three parks: Wray, Marx, and Brook?

Wray Park:

- Allow a dog-friendly area.
- More picnic tables.
- Lower kids' swings – it's hard to load them in up so high.
- Better kayak access.

Marx Park:

- Adding a splash pad and larger playground.
- Schedule more seasonal leagues and competitions.
- Get pickleball courts.
- Update playground and add beer garden/concessions.
- Trim some branches around the basketball court.
- The playground equipment is worn out and needs to be replaced and updated.
- Walking trails around parks that could be used for cross country skiing in winter.
- Needs some upgrades and maintenance.

Brook Park:

- Lakes cleaned out.
- Additional benches, tables, and garbage cans would be great.
- Accessible upgrade playground equipment. Better underlayment – wood chips are so 80's and not good at preventing fall risks. Update parking. Actual bathroom facilities. Outdoor faucets and spigots for dogs.
- The natural environment is cheap to maintain, the built environment is expensive.
- Updated playground equipment.

B. Recreation Facility Standards

In order to determine facility deficiencies, acceptable recreation standards must be compared to the existing recreational facilities and to the population base. Table 8.2 presents the facility standards, as published in the “Park and Open Space Plan for the City of Brookfield,” SEWRPC, 2011, that will be used to evaluate the facility needs for the Town of Brookfield. Use of these standards would be appropriate in order to maintain consistency with the study area.

Table 8.2. Recreation Facility Standards

Activity	Facility	Facility per 1,000 Residents	Comment
Baseball	Diamond	0.10	
Basketball	Goal	1.13	
Ice Skating	Rink	0.15	
Playfield Activity	Playfield	0.50	Football/Soccer
Playground Activity	Playground	0.42	
Softball	Diamond	0.60	
Swimming	Pool	0.015	
Tennis	Court	0.60	
Picnicking	Tables	8.74	

The suggested facility standards are further defined by the National Recreation and Park Association (NRPA) by activity, size, space requirements, orientation and service area (Table 8.3).

Table 8.3. NRPA Suggested Outdoor Facility Development Standards

Activity Format	Recommended Size and Dimensions	Recommended Space Requirements	Recommended Orientation	Service Radius and Location Notes
Basketball Youth	46'-50'x84'	2400-3036 sq. ft.	Long axis north south	1/4-1/2 mile. Same as badminton. Outdoor courts in neighborhood/ community parks, plus active recreation areas in other park settings.
High School	50'x84'	5040-7280 sq. ft.		
Collegiate	50'x94' with 5' unobstructed space all sides	5600-7980 sq. ft.		
Ice Hockey	Rink 85'x200' (Min. 85'x185') Additional 5000-22,000 sq ft including support area	22,000 sq. ft. including support area.	Long axis is north-south if outdoors.	1/2-1 hour travel time. Climate important consideration affecting no. of units. Best as part of multi-purpose facility
Tennis	36'x78' with 12 ft clearance on both ends.	Minimum of 7200 sq. ft. single court area (2 acres per complex).	Long axis north-south	1/2-1 mile.
Baseball	Baselines-90' Pitching distance-60.5' Foul lines-min. 320' Center field-400'+	3.0-3.85 A minimum. 1.2 A minimum	Locate home plate so pitcher is not throwing across sun, and batter not facing it. Line from home plate through pitchers mound to run east-northeast.	1/4-1/2 mile. Part of neighborhood complex. Lighted fields part of community complex.
Little League	Baselines-60' Pitching distance-46' Foul lines-200' Center field-200'-250'			
Football	160' x 360' with a minimum of 6' clearance on all sides.	Minimum 1 .5A	Same as field hockey.	15-30 minute travel time. Same as field hockey.
Soccer	195'-225' x 330' – 360' with 10' minimum clearance on all sides.	1.7 – 2.1 A	Same as field hockey.	1-2 miles. Number of units depends on popularity. Youth popularity. Youth soccer on smaller fields adjacent to fields or neighborhood parks.
Multiple Use Court (Basketball, Tennis, etc.)	120' x 80'	9840 sq. ft.	Long axis of court with primary use north and south.	1-2 miles, in neighborhood or community parks.
Swimming Pools	Teaching-minimum 25 yards x 45' even depth of 3-4 feet.	Varies on size of pool and amenities. Usually 1-2 A sites.	None, but care must be taken in siting life stations in relation to afternoon sun.	15-30 minute travel time. Pools for general community use should plan for teaching competitive and recreational purposes with enough to accommodate 1m and 3m diving boards. Located in community park or school site.

C. Outdoor Recreation Facility Inventory

To provide Town of Brookfield residents with sufficient outdoor recreational facilities and opportunities, quantifying the existing facility base and projecting future facilities needs based upon the facility standards must be completed. The existing recreation facilities in the Town are summarized below.

Table 8.4. Existing Facilities Summary

	Wray	Marx	Richardson School	Eble	Brook Park	Total	Comment
Acres	11	14	9	35	18	87	
Baseball Diamonds	1	1				2	
Basketball Courts	1	1	1			3	
Football Fields			1			1	
Permanent Grills	1	1				2	
Picnic Tables	4	27			1	32	
Soccer Fields	1	2	1			4	Moveable goals
Softball Diamonds		1				1	
Bleachers	3	6				9	
Tennis Courts	1	2				4	
Volleyball Courts							
Pickleball Courts	4						
Horseshoe Pits		1					
Cornhole Boards		1					
Permanent Benches	6	2			1	9	
Ice Skating Rink				X			
Off Street Parking	X	X		X			
Permanent Restrooms		X	X	X			
Outdoor Shelter		X					
Outdoor Pool							None in town
Play Equipment	X	X	X				
Water Fountain (Outdoor)		X					
Portable Restrooms	X						
Trail System							

Note: Poplar Creek Conservancy Area and Black Forest Drive Conservancy Area are undeveloped lands that total 32 acres.

Table 8.5 presents the comparison of the existing facilities with the facility needs standards, based upon 2010 through 2025 population estimates. The table identifies which facility needs have been met and which have not through the year 2025.

Table 8.5. Facility Requirements 2010-2025

Activity	Town Population	2010	2015	2020	2021	2022	2025*	Comment
	Total Existing Facilities	6,218	6,126	6,344	6,477	6,480	6,505	
Baseball	1	0.5	0.55	0.58	0.6	0.65	0.65	Facility needs are met
Basketball	3	5.7	6.21	6.58	6.83	7.32	7.35	Facility needs are not met
Ice Skating	1	0.76	0.82	0.87	0.91	0.97	0.98	Facility needs are met
Playfield	4	2.5	2.75	2.91	3.02	3.24	3.25	Facility needs are met
Playground	4	2.12	2.31	2.44	2.54	2.72	2.73	Facility needs are met
Softball	2	3.03	3.3	3.49	3.63	3.89	3.90	Facility needs are not met
Swimming	0	0.08	0.08	0.09	0.09	0.10	0.10	Facility needs are not met
Tennis	4	3.03	3.3	3.49	3.63	3.89	3.90	Facility needs are met
Picnicking	39	44.1	48.04	50.88	52.81	56.64	56.85	Facility needs are not met

The Facility Requirements 2010-2025 table illustrates that some of the facility needs for the Town have been met through the year 2022. For the purposes of this plan, facility needs through the year 2025 were specifically reviewed. For the Town to meet the facility needs for its projected year 2025 population base, an additional basketball court and an additional softball field would need to be constructed. Additionally, seventeen picnic tables would need to be added to the park areas.

The existing facilities at the park sites are in declining condition, though well maintained, and appear to follow the Consumer Product Safety Commission guidelines. However, specific reviews based upon those guidelines of the facilities was not completed as part of this plan. A reprint of the guidelines has been incorporated into this plan as Appendix C and may be used by the Park and Recreation Department to conduct their own safety evaluation.

Chapter 9. Recommendations for Outdoor Recreation Provision

Base local government recommendations for the implementation of outdoor recreation on the results of the supply inventory, needs assessment, and SCORP findings. These recommendations should address two elements: 1) an action plan for future park acquisition and development and 2) a program for future operation and maintenance of the community's park system.

A. Action program—capital improvement schedule (CIS)

Provide an action plan that solves or reduces deficiencies in a community's recreation system. A good plan will identify the actions needed to be taken, where, by whom, and in what time frame. These actions can be identified by formulating a capital improvement schedule (CIS).

A CIS details anticipated acquisition and development for at least a five-year period based upon the needs assessment. For each item listed in the CIS, indicate which year(s) in which the improvement will take place and its location within the park system. Clearly describe the improvement, estimate its cost, and provide a cost breakdown per anticipated funding source.

B. Operation and maintenance

Examine the operation and maintenance responsibilities of the existing park system and review the implications of the capital improvement schedule (CIS) on your community's future operation and maintenance capabilities. Many communities jump head-first into ambitious recreation developments with little, if any, attention to operation and maintenance expenses. Communities often construct excellent facilities, only to have serious problems keeping them open for public use.

A municipality's park system operation and maintenance costs should be organized in a schedule or calendar form. List all work required on a property for each year, by season. Break the list down to individual work items and, below each work item, list the tasks required to complete the work item. The next step is to estimate how much time is required between each task. A final step is to indicate cost estimates for each task, including staffing costs to operate and maintain the park system.

Most successful communities will prioritize major maintenance projects for their facilities and incorporate the projects into a five-year CIS. It would be wise to look beyond a five-year project planning calendar and anticipate major facility needs, which usually occur beyond the five-year period.

C. Funding programs

Table 9.1. Park and Recreation Grant Funding Programs

Funding Program Agency	Description	Maximum Award / Match	Application Due Date
Urban Forestry Grants			
Urban Forestry Grant - Regular WDNR	Program that provides funds for projects related to community tree management, maintenance, or education. Construction projects not directly related to planting, land clearing, or stump removal not directly related to tree planting or removal; and land or boundary surveys or title search, appraisal, sale, or exchange of real property are Ineligible.	Up to \$25,000. Requires a 50-50 Match. Reimbursement program.	Accepted annually between the end of June and early October.
Urban Forestry Grant - Startup WDNR	Program that offers competitive cost-share grants to start or restart an urban forestry program focused on community tree care and management.	Up to \$5,000. Require a 50-50 Match. Reimbursement program.	Accepted annually between the end of June and early October.
Urban Forestry Grant - Catastrophic Storm WDNR	Program that assists with funding for tree repair, removal, or replacement within urban areas following a catastrophic storm event for which the governor has declared a state of emergency under s. 323.10, Wis. Stats. Eligible expense includes cost of services, supplies, equipment, or facilities used for tree repair, removal, or replacement.	\$4,000 to \$50,000. No local match required. 50% advanced payment of estimated costs may be requested by applicant.	Only accepted within 60 days of the date the governor has made an emergency declaration.
Federal Recreation Grant Programs			
Land and Water Conservation Fund (LWCF) WDNR	Federal program administered in all states that encourages the creation and interpretation of high-quality outdoor recreation opportunities. Funds received for this program are split between WDNR projects and grants to local governments for outdoor recreation activities. Land acquisition, development, and renovation projects for public outdoor recreation purposes are eligible. Project must be supported by a local comprehensive outdoor recreational plan.	Up to 50% of eligible costs.	May 1st
Recreational Trails Program (RTP) WDNR	Federal program administered in most states to assist with the development, rehabilitation, and maintenance of recreational trails and trail-related facilities for both motorized and non-motorized recreational trail uses.	Up to 80% of eligible costs, max \$100,000 or \$250,000 every third year. May be used with funds from other state programs.	May 1st

Table 9.1. Park and Recreation Grant Funding Programs (continued)

Funding Program Agency	Description	Maximum Award / Match	Application Due Date
Knowles-Nelson Stewardship Local Assistance Grant Programs			
Aids for the Acquisition and Development of Local Parks (ADLP) WDNR	Program that assists with land acquisition projects and development projects that provide nature-based outdoor recreation. Projects involving the development or renovation of local park and recreation area facilities are eligible.	Up to 50% of eligible costs.	May 1st
Urban Green Space Grant (UGS) WDNR	Program that assists with providing open natural space within or in proximity to urban areas, protect scenic or ecological urban areas from development, and provide land for urban agriculture.	Up to 50% of eligible costs.	May 1st
Surface Water Grants			
Surface Education and Planning Grants WDNR	<p>Program that assists with providing public education about surface waters, assessment of surface water quality, planning for improvement of water and ecological condition, and comprehensive planning projects for a waterbody or watershed to determine condition and quality, identify threats, problems, and causes, while providing strategic direction and timeline for implementation of management objectives.</p> <ul style="list-style-type: none"> • Surface Water Education (up to \$5,000) • Surface Water Planning (up to \$10,000) • Surface Water Comprehensive Planning (up to \$25,000) 	Various funding caps, as included in descriptions 65% WDNR cost share.	<p>Pre-Application due September 15th</p> <p>Final Application due November 15th</p>
Aquatic Invasive Species (AIS) Prevention and Management Grants WDNR	<p>Program with various subprogram grant opportunities that assists with prevention, detection and response, management, and research of aquatic invasive species in surface waters:</p> <ul style="list-style-type: none"> • Aquatic Invasive Species Prevention (up to \$24,000) • Clean Boats, Clean Waters (CBCW) (up to \$24,000) • AIS Population Management (up to \$50,000 small-scale, \$150,000 large-scale) • Early Detection and Response (up to \$25,000) • AIS Research and Demonstration (up to \$500,000 annually) 	Various funding caps, as included in descriptions 75% WDNR cost share.	November 15th

Table 9.1. Park and Recreation Grant Funding Programs (continued)

Funding Program Agency	Description	Maximum Award / Match	Application Due Date
Surface Water Grants			
Lake Monitoring and Protection Network WDNR	Non-competitive grant program that provides annual support to network cooperators for lake monitoring and AIS prevention activities. Eligible network cooperators include counties, federal agencies, tribal governing bodies, and cooperative agents designated by a county.	Per-county funding (2022 - \$18,432.30 Waukesha County) Up to 100% of eligible costs.	November 15th
Surface Water Restoration and Management Grants WDNR	<p>Program with various subprogram grant opportunities that assists with restoration and management of surface waters:</p> <ul style="list-style-type: none"> • Healthy Lakes and Rivers (up to \$25,000) • Surface Water Restoration (up to \$25,000 rivers, \$50,000 lakes) • Management Plan Implementation (up to \$50,000 rivers, \$200,000 lake and watershed) • Ordinance Development (up to \$50,000) • Fee Simple Land Easement and Acquisition (up to \$50,000 river, \$200,000 lake) • Wetland Restoration Incentives (up to \$10,000) 	Various funding caps, as included in descriptions 75% WDNR cost share.	November 15th
General Grants and Aids			
ATV UTV Trail Aids WDNR	Program that provides funding to acquire, insure, develop, and maintain ATV/UTV trails, areas, and routes.	Up to 50 - 100% of eligible costs, depending on project type.	April 15th
Recreational Boating Facilities Grants WDNR	Funding that assists with funding for boating facility projects, including ramps and service docks, purchase of aquatic weed harvesting equipment, navigational aids, and dredging waterway channels associated with launch facilities.	Up to 50% of eligible costs.	Quarterly Deadlines of June 1st, September 1st, November 1st, and February 1st.
Shooting Range Grants WDNR	Program that assists with construction of outdoor shooting ranges, including backstops and berms, target holders, shooting benches, baffles, protective fencing, signs, trenches, gun racks, platforms, restrooms, and other items considered essential for the project by the WDNR. Indoor ranges may be eligible as well, including classroom, storage, and restrooms.	Up to \$75,000 for existing public or private ranges but may be increased depending on total amount of grant requests received. Reimbursement program.	July 15th

Table 9.1. Park and Recreation Grant Funding Programs (continued)

Funding Program Agency	Description	Maximum Award / Match	Application Due Date
Surface Water Grants			
Sport Fish Restoration - Boat Access (SFR-BA) WDNR	Program that assists with construction of motorboat access projects, including boat ramp construction and renovation, parking lots, accessible paths, lighting, and restroom facilities.	Funding varies annually Up to 50% of eligible costs. Reimbursement program.	February 1st
Sport Fish Restoration - Fishing Piers (SFR-FP) WDNR	Program that assists with construction and renovation of fishing facilities and support facilities where the primary purpose is to provide fishing access to the public.	Funding varies of eligible costs. Reimbursement program.	October 1st

D. Existing Park Recommendations

Table 9.2 provides recommendations for improving and maintaining the existing parks located in the Town of Brookfield.

Table 9.2. Park and Recreation Grant Funding Programs

Park Name	Project Description	Cost (\$-\$\$\$)	Timeframe
Marx Park	Upgrade playground equipment	\$\$	Short-Term (0-5 Years)
	Resurface and restripe the parking lot	\$	
	Resurface the basketball court and consider replacing backboards	\$	
	Install internet access and security camera	\$	
	Remove playlot sand and wood chip surfacing and install ADA compliant playlot surface	\$\$\$	Long-Term (>5 Years)
	Rotate basketball court and install sand volleyball court	\$\$	
	Retrofit/expansion of tennis court to include pickleball courts	\$\$\$	
	Create walking trails, gathering space, and creek lookout point as shown on the concept plan (Figure 9.1)	\$\$	
Wray Park	Add picnic tables (5)	\$	Short-Term (0-5 Years)
	Install new baseball benches (4)	\$	
	Install security lighting and cameras	\$	
	Consider expanding Wray Park to include Town-owned land to the west and along Mary Lynn Drive (Figure 9.2)	\$	
	Consider adding walking paths and small picnic area in new portion of the park	\$	
	Install accessible path around ponds	\$\$	
	Construct open air picnic shelter	\$	
	Extend sewer and water utilities to serve park and install accessible drinking fountain	\$\$\$	
Brook Park	Install accessible trail network around the ponds	\$\$	Short-Term (0-5 Years)
	Add park benches facing the ponds	\$	
	Create concept plan for park improvements	\$	
	Install playground/totlot	\$\$	Long-Term (>5 Years)
	Add picnic tables (2)	\$	
Eble Park (County Park)	Discuss potential park opportunities for Eble Park with the County	\$	Short-Term (0-5 Years)
	Consider outdoor ice rink, disc golf, or possible playground	\$	

Figure 9.1. Marx Park Improvements Concept Plan



E. New Park or Private Park Recommendations

The Town should consider exploring opportunities for purchasing land or partnering with property owners to provide recreational opportunities to town residents and visitors. There are also some properties in the town that are mainly comprised of wetlands or sensitive environmental areas that may be better suited to be owned, maintained, and protected by the Town of Brookfield. Please see Appendix E for these property locations.

Table 9.3. New Park or Private Park Recommendations

Site Name	Recommendation	Timeframe
Master Disposal Site (Superfund Site)	Work with current property owner to install walking trails on the site and preserve the natural wetlands and wildlife in this area	Short-Term (0-5 Years)
	Consider sharing maintenance responsibilities	
	Work with City of Brookfield or Village of Menomonee Falls to provide a trail connection to this site	Long-Term (>5 Years)
Poplar Creek Trailway and Recreational Area (Near Corners)	Collaborate with The Corners and Poplar Creek Town Center/Wimmer Communities to offer opportunities for kayaking/canoeing on Poplar Creek	Short-Term (0-5 Years)
Foxhaven Site (Between Watertown and Springdale Rd)	Consider working with or acquiring property from owner and create walking trails and picnic areas	Long-Term (>5 Years)

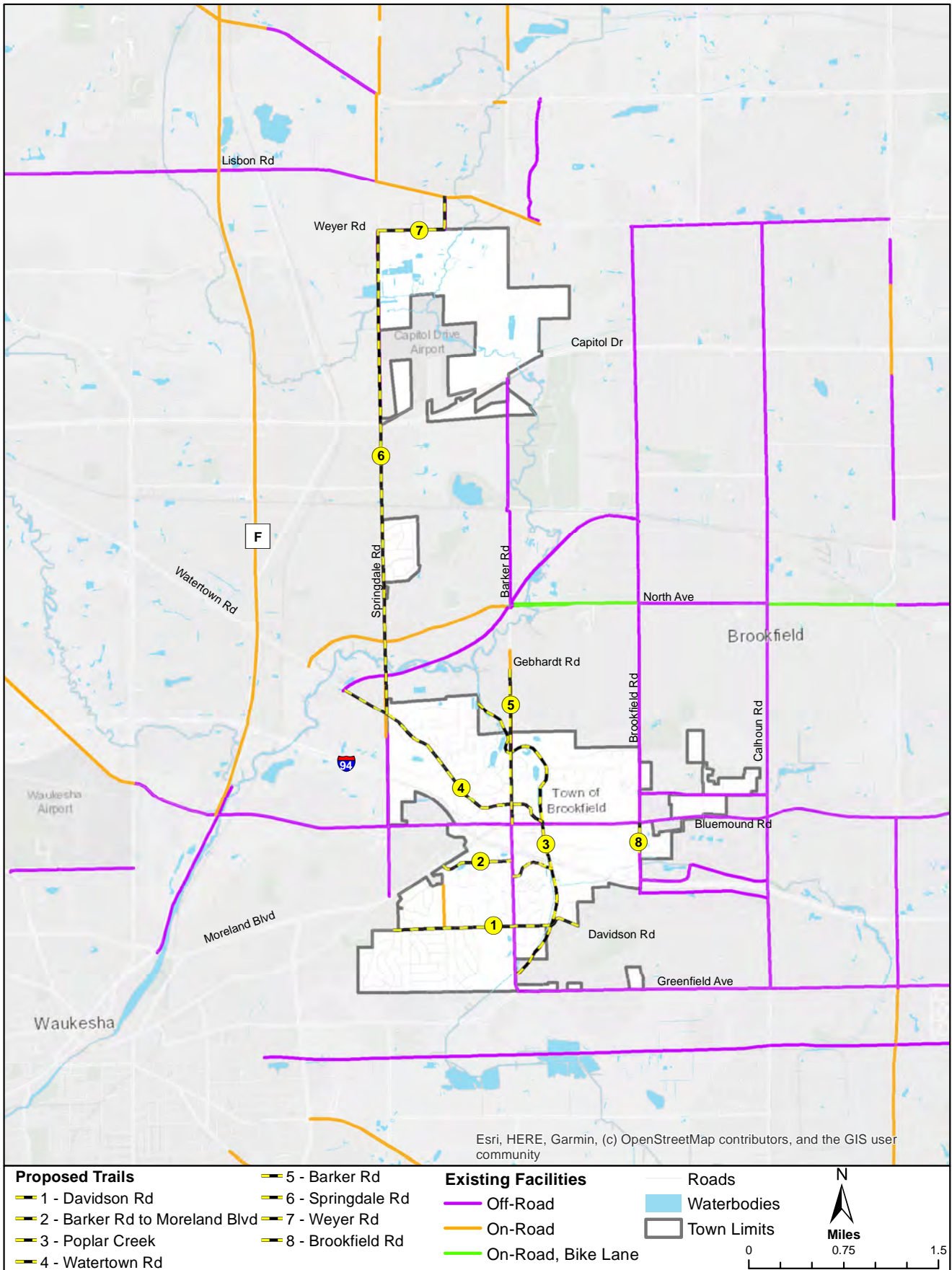
F. Trail Recommendations

Trails provide recreational and transportation opportunities for pedestrians, cyclists, inline skaters or skateboarders, and individuals in wheelchairs or strollers. Trails can provide a safe and accessible route to popular destinations within the Town of Brookfield and encourage people to be more physically active while enjoying the outdoors. Recreational trails can also help conserve and restore natural resources such as water, soil, wildlife, and plants. The Town may also consider adding bike lanes for these proposed routes instead of an off-road trail. Please see figure 9.3 for the proposed locations of these trails.

Table 9.4. New Park or Private Park Recommendations

Trail/Route Name	Project Description	Timeframe
Poplar Creek Trail	This trail may include paved or natural paths and may include kayak drop-in, drop-off points.	Short-Term (0-5 Years)
Davidson Road	Off-road trail is already proposed, but not funded, to extend on Davidson Road from western town limit to eastern town limit.	Short-Term (0-5 Years)
Springdale Road Trail	Coordinate with the City of Pewaukee, Village of Menomonee Falls, and Waukesha County to install an off-road trail along Springdale Road in between Weyer Road and Watertown Road.	Short-Term (>5 Years)
Barker Road from Bluemound Road to Gebhardt Rd	Coordinate with the City of Brookfield and Waukesha Count to install an off-road trail on Barker Road. Connection with future Poplar Creek Trail should also be considered in order to access town parks.	Long-Term (>5 Years)
Watertown Road from Springdale to future Poplar Creek Trail	Install an off-road trail along Watertown Road that will connect the future Springdale Road trail and the future Poplar Creek Trail. This trail is also expected to extend west of Springdale Road to the existing Fox River Trail.	Long-Term (>5 Years)
Weyer Road	Extend the Springdale Road Trail along Weyer Road to connect with Lisbon Road.	Long-Term (>5 Years)
Brookfield Road	Connect Deer Creek Trail to Bluemound Road to complete off-road trail network	Long-Term (>5 Years)
Water Tower Boulevard	Connect Barker Road trail to future Poplar Creek trail. Adding route signage or dedicated bike lane may be sufficient.	Long-Term (>5 Years)
Swenson Drive	Install a trail along Swenson Drive connecting Moreland Boulevard to the Barker Road trail.	Long-Term (>5 Years)

Figure 9.3. Proposed Trail Map



Policy and Other Recommendations

In addition, there are several additional recommendations that should be considered by the Town:

- Consider requiring parkland dedication fees in lieu of dedicated parkland when reviewing any new subdivisions or any residential development project involving three or more dwelling units.
- Consider adding language to the zoning code requiring public parks and/or plazas, or fee in lieu, to be added in mixed-use developments that are larger than five acres.
- Remove buckthorn and other invasive species from public parks and open space areas to inhibit the spread on public and private property. Consider working with neighboring residential subdivisions to assist with removal.
- Actively remove and replace ash trees located on public property in response to the emerald ash borer infestation. Remove other dead, dying, or diseased trees located in parks and in the public right-of-way, especially trees that are a safety hazard to the public.
- As new parkland and recreational facilities are added, evaluate labor and equipment requirements in order to properly operate and maintain these facilities.
- Consider hiring part-time or full-time employees to assist with maintenance or managing recreational programs.
- Provide ongoing educational opportunities for the Department of Public Works and Parks and Recreation staff to stay up to date on legal liability issues, ADA requirements, athletic field maintenance, safety issues, and other relevant topics.
- Develop a marketing plan to increase visibility of the Parks and Recreation Department.
- Continue to monitor and apply for new grant opportunities to receive funding from State and Federal sources. Consider hiring a grant writing consultant with experience for larger grant opportunities.
- Apply for a grant through the Land and Water Conservation Fund (LWCF) through the Wisconsin DNR, which can be used for a range of projects including establishing baseball fields, pickleball courts, community greenspaces, and preserving natural landscapes.
- Encourage the development of new private/public partnerships which enhance the community's ability to accommodate the demand for public recreational facilities and programming.
- As trail systems are installed, consider installing enhanced crosswalks to increase crosswalk visibility. Work with adjacent municipalities, County, and the State when trails cross highways.
- Consider additional opportunities to generate funds for park and recreation programs and/or development, including rentals, license agreement payments, parkland dedication fees, etc.
- Consider seeking sponsorships and potential naming rights for major parks and facilities within the park/trail system.
- Utilize the Capital Improvement Plan to identify high priority projects and budget accordingly. Improving existing facilities should be considered a higher priority than constructing new facilities. For existing facilities, the following priorities should be given for projects:
 - » Correct health and safety hazards
 - » Meet ADA guidelines and standards
 - » Upgrade deteriorating or deficient facilities
 - » Modernize outdated facilities

- Encourage requiring sidewalks or trails for any new residential subdivision or development project.
- Continue to acquire and preserve high quality environmental corridors, wetlands, and open space through subdivision dedication and outright purchase.
- Update the Urban Forestry Management Plan Update by 2027.
- Continue to prioritize street tree planting/replacement.
- Update this Comprehensive Outdoor Recreation Plan every five years to provide the Town with a period of funding eligibility.
- Consider installing “Ninja playground” instead of traditional replacement equipment.
- Review the Wisconsin Bicycle Facility Design Handbook when planning and designing future bike lanes and off-road trails.
- Consider adopting a complete streets policy and all new road projects or reconstruction projects should consider pedestrian and bicycle facilities.

Appendix

Appendix A: Survey Results

Appendix B: Waukesha County Park and Open Space Acquisition Plan

Appendix C: Zoning Map

Appendix D: Future Land Use Map

Appendix E: Potential Park or Private Park Location Maps

Appendix F: Marx Park Concept Plan

Appendix A:
Survey Results

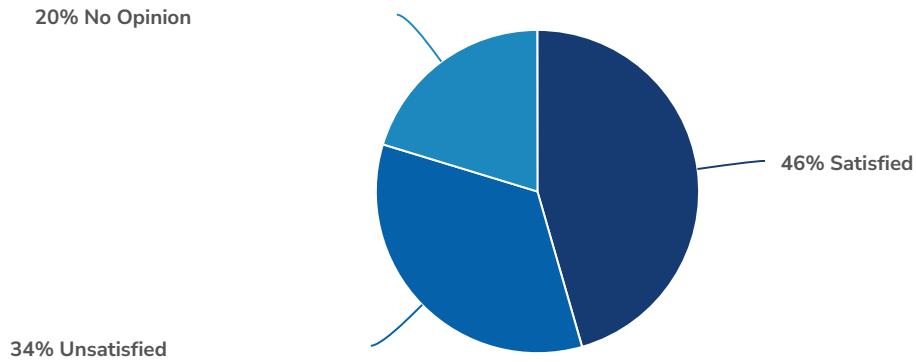
Report for Outdoor Recreation Plan

Response Counts



Totals: 82

1. How satisfied are you with the current availability of parks and recreation facilities in the Town of Brookfield?



Value	Percent	Responses
Satisfied	45.6%	36
Unsatisfied	34.2%	27
No Opinion	20.3%	16
		Totals: 79

2. Which of the following recreational facilities do you think the Town of Brookfield should prioritize and invest in? (Please indicate a priority level for each activity)

	Low	Medium	High	Not a Priority	Responses
Pickleball Courts					
Count	20	31	13	17	81
Row %	24.7%	38.3%	16.0%	21.0%	
Tennis Courts					
Count	25	30	9	16	80
Row %	31.3%	37.5%	11.3%	20.0%	
Cross Country Ski Trails					
Count	25	25	18	12	80
Row %	31.3%	31.3%	22.5%	15.0%	
Picnic Areas					
Count	13	47	14	6	80
Row %	16.3%	58.8%	17.5%	7.5%	
Food & Beverage Options					
Count	22	22	28	8	80
Row %	27.5%	27.5%	35.0%	10.0%	
Volleyball Courts					
Count	33	24	7	16	80
Row %	41.3%	30.0%	8.8%	20.0%	
Bike & Pedestrian Trails					
Count	5	13	61	1	80
Row %	6.3%	16.3%	76.3%	1.3%	
Disc Golf Course					
Count	38	17	7	19	81
Row %	46.9%	21.0%	8.6%	23.5%	
Playground Equipment					
Count	8	29	41	2	80
Row %	10.0%	36.3%	51.3%	2.5%	
Basketball Courts					
Count	29	31	9	10	79
Row %	36.7%	39.2%	11.4%	12.7%	
Sports Fields					
Count	17	41	16	6	80
Row %	21.3%	51.3%	20.0%	7.5%	
Totals					
Total Responses					81

3. What additional recreational activities NOT listed above should the Town consider investing in? (Please describe below)

ResponseID	Response
2	N/A
4	Batting cage Canoe the small rivers Trim the weeds so we can fish easier. Better scheduling options the year round Outdoor fitness Punt pass kick Flag football for kids / adults Adult softball leagues Horse shoe leagues Bag leagues Summer day camps at Marx Town holiday runs
5	Swimming pool. Splash pad.
6	Splash pad be top pick Pool Hiking and bike trails around a park Larger playground area
14	Just need a disc golf course
16	Dog parks or more dog friendly parks
18	Not just adding playgrounds but also upgrading the current facilities - get rid of the old cracking equipment, remove the barely there woodchips, add accessible equipment for all abilities. Marx park playground is a joke. We drive miles to not go there with three kiddos (5,3,1) bc it's not accessible and we live off Davidson!
21	Skate park is a great way to attract families to the area.
22	A Gaga pit would be fun. And a temporary outdoor ice rink would be amazing.
28	Do something with all the space at Camelot park!!
29	None
31	Bike paths to schools would be great- we love to bike to school but they aren't all easily accessible
32	Ice rinks :)
33	Camelot Park is in significant need of an update. The sunken ice rink is useless and can be repurposed. The playground equipment is not the safest and most up-to-date.
34	Please consider looking at Camelot Park's amenities and sprucing it up. There are so many families with kids in the surrounding neighborhoods that use the park but would love to have more recreational activities available.
35	Splash pad
37	Camelot park is rusty and desperately needs updating. The surround neighborhoods are filled with kids and it's always busy there

ResponseID Response

38 The ice skating rink at Camelot park

39 N/a

42 We need sidewalks!! There is a lot of development along Barker Road but no sidewalks/shoulders/bike lanes north of Bluemound or in Watertown Road. Those areas need to be made safer for pedestrians. Make the TOB walkable for residents

43 Put in some sidewalks!!!

45 None

46 farmers market, outdoor pavilion area

47 Dog Parks

48 More restaurant choices. Not chains either.

49 Sidewalks along all of Barker to access the excellent trails.

50 Access to walking paths and side walks

51 None

53 Sidewalks and bike paths are a necessity to make it safe for people to enjoy all of the recent developments. The Corners is not accessible from the neighborhoods on Barker Rd (north of bluemound) unless you drive. Please invest in sidewalks!!

54 Playground equipment by ponds in brook park

55 Sidewalks please! To get to bluemound road shops/restaurants

58 I just want to emphasize the importance of walking paths/sidewalks to allow residents to enjoy any of the outdoor recreation investments you decide to make. It is a significant safety issue with major roads and intersections!

60 Sidewalks and walking trails

62 Sidewalks up and down Barker Road north of Bluemound Rd to facilitate other recreational areas such as parks, other bike and hiking trails and The Corners.

65 I am most interested in fixing/ expanding lanes around Bluemound and Barker. Also putting in sidewalks on barker and Bluemound headed north to at least the first subdivision. The approval of both housing projects has created a mess in that area that must be addressed.

66 Wray Park - more protection from sun Paths/sidewalks so we can safely walk to new developments.

ResponseID Response

67 Sun shade at Wray park

68 Sidewalks in the Brook Park neighborhood for walkers.

69 Sidewalks and walkways to connect to City/Village of Brookfield. Sidewalks on Barker - connected to The Corners shopping center. Improve Marx park.

70 I live a half mile from the Corners and 1.2 miles from the new bike trail. I would love to be able to safely walk or ride my bike to both.

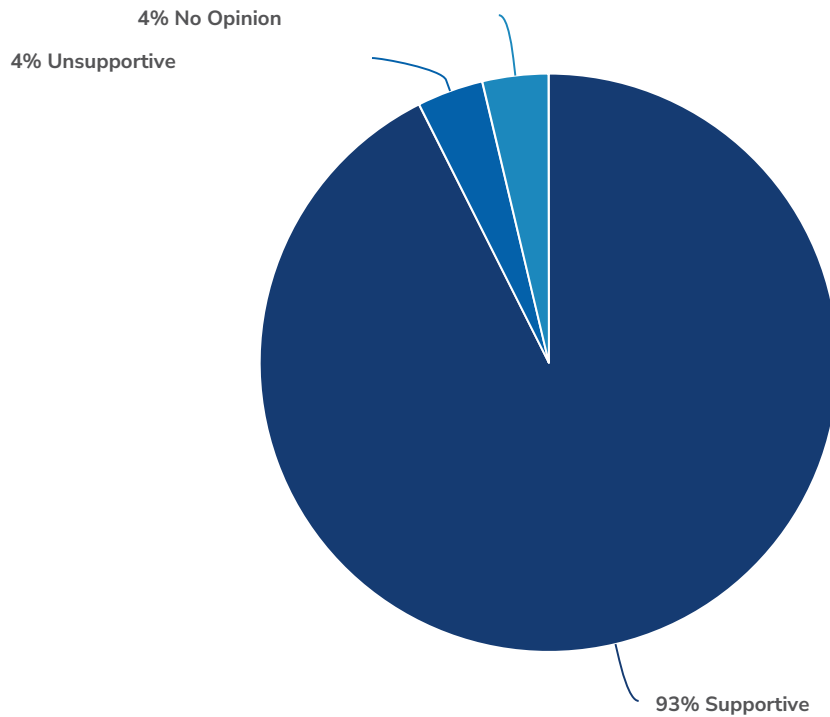
71 Love the activities but we could definitely use more sidewalks!! There are plenty of things within walking distance but don't quite feel safe walking along Watertown rd without any sidewalks

77 Create kayak / canoe launch locations into Poplar Creek

79 N/A

81 Handicap accessible equipment at playgrounds- to also include adults with special needs.

4. How supportive are you of developing a system of interconnected walking and bicycling paths providing access to and from neighborhoods, parks, and key destinations?



Value	Percent	Responses
Supportive	92.6%	75
Unsupportive	3.7%	3
No Opinion	3.7%	3

Totals: 81

5. What trails and connections are needed in the Town to ensure connectivity for bikes and pedestrians?

ResponseID	Response
4	Two loops, one on the South side of blumond, the second on the north side.
10	I think linking as many neighborhoods together as possible is ideal. Walkability is essential to growth!
12	Really many of the roads are not safe for biking & walking. Barker NO! Davidson NO! Greenfield Avenue, NO! This is something we really need to work on. It would increase property values and safety and quality of life.
14	Unsure
17	Connection to greenfield path and to Waukesha would be great
18	Unsure as long as they are safe, paved and well lit and don't disturb neighborhoods
20	Needed. None. Remember despite people's hopes most people don't bike or walk 6-8 months a year. Reasonable, low cost. Don't get suckered by State and Federal bureaucrats dangling money, we're broke and they'll be gone when it's time for maintenance and repair.
22	More/safer routes to and from The Corners.
23	Those of us north of Bluemound would love a safe path to the Corners! Compared to surrounding cities and towns, we feel a lack of anywhere in town to just have a nice walk or hike, unless we're in the road.
24	Way to safely get from south Town Brookfield near Davidson/Kossow to the Corners of Brookfield using bike or walking. No safe pedestrian or bike paths to access barker road from Swenson
25	Critical need for path along Barker Road, north of Bluemound
26	Not sure at this point
29	-
30	Sidewalks on Barker road from Foxbrook Park to the Corners and north Ave
31	Connect to Foxbrook, area schools
32	Connecting Brookfield to elm grove; there is a disconnect around Calhon
33	Clearly marked crosswalks with signage tailed to pedestrians and bikers as needed.

ResponseID Response

34 A walkway along river road would be helpful as that can be a dangerous road to bike and walk along. Also, offering pedestrians the walkway alerts to stop traffic on busy streets (like barker road).

42 See previous answers. It isn't currently safe to walk or bike north of Bluemound Road

43 Connections for the Brook Park and Hawthorn Ridge neighborhoods.

45 Unknown

48 Not sure but it should be s high priority.

49 Barker Rd and Watertown Plank

52 Bike paths and walking paths around this new fiasco they're building on Barker Rd. You're lacking any accessible paths on Barker rd. This road is heavily used and inaccessible for anyone other than cars. Anyone traveling on a bike or walking is at major risk for getting hit. Ditto for a Watertown Rd.

53 Barker Rd (north of Bluemound) needs sidewalks to connect to The Corners, Shake Shack, and the new Wimmer development. It is extremely dangerous to try and walk along the side of the road.

54 Connection to other neighborhoods and bike trails without having to use the driving lanes on barker road, Watertown road, or Springdale road

55 Barker road! From Bluemound Road north up to fox Brook and Mitchell parks. Then we could also bike/walk safely to neighboring neighborhoods and schools east of barker.

56 Safe paths to school from neighborhoods (Davidson rd).

57 We should have paths that connect the whole town of Brookfield. With all the development it will create an opportunity for people to enjoy the town safely by walking from place to place. It will create more town unity.

58 Watertown Rd, Barker Rd, Springdale Rd all have no bike or walking paths or connections. We live easily within walking distance to the Corners of Brookfield, but there is no safe way to get there by foot or bike.

59 Bluemound and Barker - Barker Path the whole way down

60 Along Barker by brook park

61 Sidewalk on barker rd

62 Sidewalks/bike paths up and down Barker Road.

ResponseID Response

63	Put a pedestrian bridge over Bluemound Rd at the Corners. Sidewalks along Barker Rd. Connecting North Ave to Bluemound.
65	Side walks headed north, starting at the corner of Bluemound and Barker.
66	Watertown and Barker Road need sage pedestrian paths
67	Barker Springdale Watertown to Brookfield trails, movie theatre, the corners and pedestrian bridge over Bluemound.
68	Brook Park neighborhood to the Corners.
69	Connect to Village/City of Brookfield trails/sidewalks Walkway on Barker Walkways to connect Barker to The Corners
70	A safe walking trail and bike trail along Barker Road from Greenfield Ave. to Capital Drive. Safe trails over the freeway bridges on Bluemound Rd. and Hy. 18 to Moreland Blvd.
71	Watertown Rd and Barker Rd for sure!
72	Trails /walk ways need to be set up a Watertown Road. There is nowhere to walk on there. Same goes for Barker Road. Bikers and walkers are not safe on these roads. Also, something needs to be addressed about the lights on Barker and Watertown Road. You need to start fining the construction company until they fix this. They broke it and it is causing such havoc for those of us that live on Barker Road. Those lights back up traffic at least 3 to 4 times daily. This makes it unsafe for everyone on the road. This morning alone, I was stopped twice by the light when nobody was even on Watertown Road. The light switched over so quickly that only seven people are allowed to drive through on Barker Road. This is utterly ridiculous. This light backs up traffic so bad that people from Brook Park neighborhood can't get out of there subdivision. I've seen people walking on the road around here . This makes it extremely dangerous. Make the construction company fix this!
73	A biking/walking trail alongside Barker Road on the north side of Bluemound Road; or maybe a trail that connects Larkspur Drive to Poplar Creek Parkway
74	With all the new building it would be great to have a trail to all the new construction. It would be nice to have trails like the ones in the city to walk our dog and get exercise throughout the town
76	Not sure but this area doesn't seem bike and walking path friendly- would love to see much more of it! We've lived in town for 9 years and just moved to another house in town of Brookfield- love everything else just wish more playground and walking/biking paths
77	More connection to get to The Corners from areas off of Barker.
78	Bike paths on Barker Rd from Bluemound Rd to Gebhardt Rd.

ResponseID Response

79 Not sure

82 Continue the trail from Endecot park on Calhoun east to Moorland Rd keeping the path south of the freeway. Continue the trail just created at the Brookfield Road train station/coffeehouse east These are the only ones I know or can think of. Would like to see proposed plans for other trails.

6. What recommendations or suggestions do you have for improving the three parks: Wray, Marx, and Brook?

ResponseID	Response
4	Brook park get ride of geese Trim grass around the pond so it's easier to fish Is the a portable toilet there. Marx, trim some branches around the BB court Schedule more seasonal leagues competitions there Get pickleball there as well I don't go to Wray park
6	Adding a splash pad and larger playground
8	Pickball court at Marx, walking path
10	We frequent Marx park a great deal and it's a great park! I would add a couple of sand volleyball courts and refurbish the tennis courts. You could convert the current sand play area to a volleyball court. Then you could refurbish the other play area (modernized equipment and padded playing surface). The park is great as is though!
12	The playground equipment at Marx park is worn out and needs to be replaced and updated.
13	Brook needs the lakes cleaned out!!!! Additional benches, tables and garbage cans would be great.
16	Allow a dog friendly area at Wray park
18	Accessible upgrade playground equipment. Better ulunderlayment - woodchips are so 80s and not good at preventing fall risks. Update parking. Actual bathroom faculties. Outdoor faucets and spigots for dogs.
20	The natural environment is cheap to maintain, the built enviornment is expensive.
21	Update playground and add beer garden/concessions at Marx.
22	More picnic tables at Wray. Lower kids' swings at Marx - it's hard to load them in up so high. Haven't been to Brook yet.
23	Wray's newer shade options really make a difference—we think this park is great! The playground equipment at Marx park is getting a little older, and could use a refresh. We love to jog laps while the kids are on the playground equipment at other parks, but the town parks don't really offer space/terrain that allows us to do that.
24	Walking trails around parks that could be used to cross country ski in winter. No where locally lets use skijor with your dog. Ability to cross country ski on trail with your dog. Better Kayak access at Marx
25	Addition of a dog park.
27	Marx needs some upgrades and maintenance.

ResponseID Response

28 None

32 Na

33 I am not familiar with them.

34 None. I would prefer some updates to Camelot. Thank you!

35 Updated playground equipment

38 Fox brook looks awful like no one cares for it

42 New tennis courts at Marx. Building/bathrooms at Wray

43 Repair tennis courts in Marx Park. Get geese out of Brook Park.

45 Bathroom facilities

48 None at this time.

49 More benches at Brook

50 New playground equipment and to fix the geese problem

52 Wray Park is a joke. It's an afterthought. It's in a marsh with a grown over baseball field that's usually muddy and a playground that's anything but fun.

54 Brook- playground equipment Wray- water fountain

56 Playground equipment needs to be replaced Splash pad would be incredible at Marx park and would be a great addition to the 4th of July celebration Accessible playground that has ramps and soft ground. Something universally designed. Plant more trees! Install butterfly/pollinator gardens Install dog poop bag stations Shaded bleachers or sitting areas for watching sporting events at fields Filtered water bottle filling stations

58 More shade at Wray Park playground & field. Love the equipment enhancements there over the last couple years!

60 None

61 New basketball hoops at Wray

62 Sidewalks

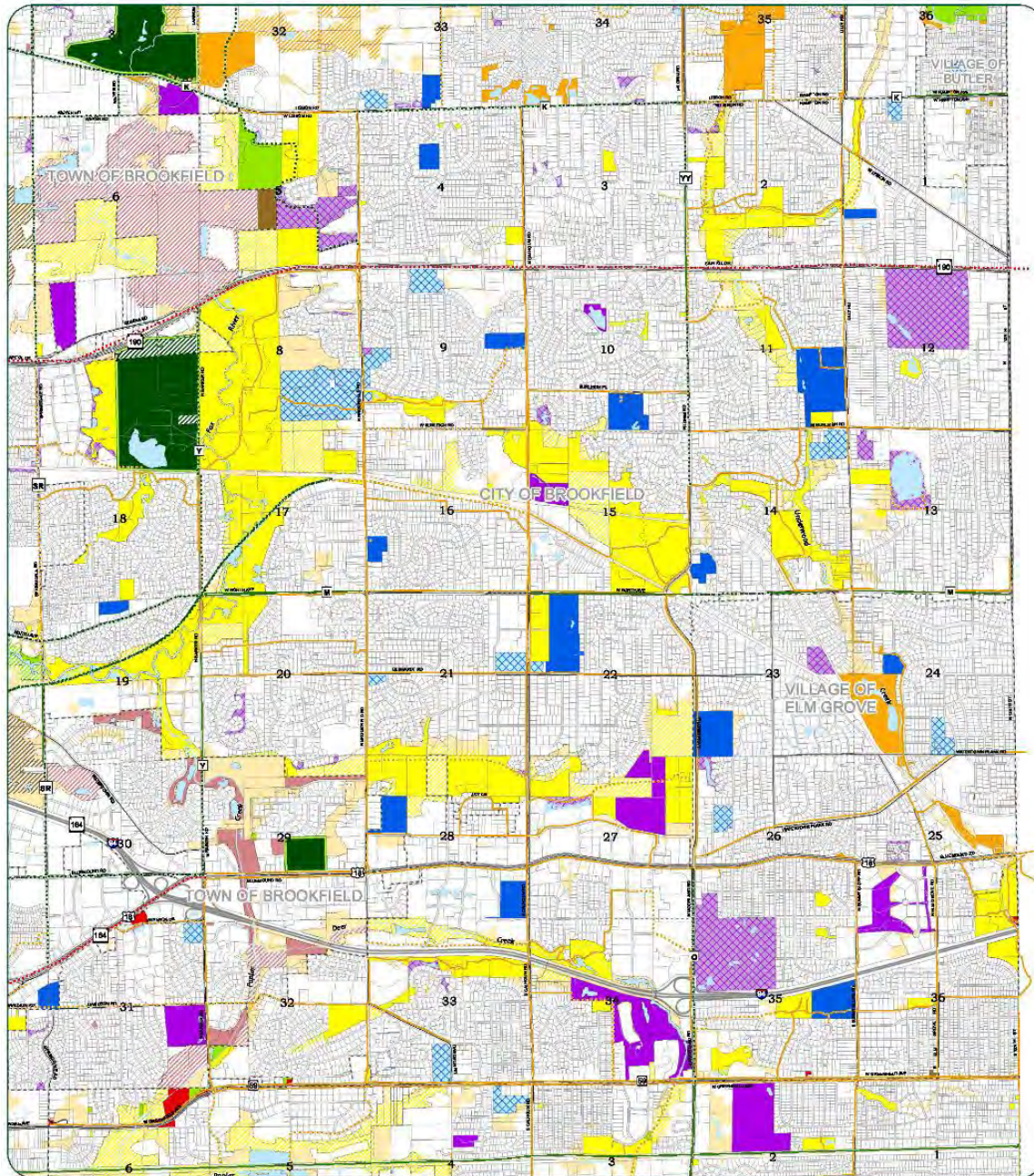
63 None

ResponseID Response

66	Wray Park - courts and playground equipment unusable on hot sunny day. Slide and swings get too hot for kids to use
67	Shade for playground at Wray Park. Equipment gets too hot to use.
69	Marx park needs new surfacing or at least a lot of new mulch. Marx park honestly needs redone. Wray could use new/more mulch too.
71	The parks are lovely, just need a safer way to get to anything outside of the neighborhood!
72	Make bike path safe to get to these parks.
74	Offer outdoor yoga, meditation or tai chi
76	We visit Marx park frequently!! More updated playground would be nice
77	I don't know how anyone knows about Wray park, it's very hidden and there is only one d as mall sign on Watertown
81	Swings to accommodate special needs children and adults

Appendix B:

**Waukesha County
Park and Open Space
Acquisition Plan**



Park and Open Space Acquisition Plan for Waukesha County

Current Land Ownership

- County Parks
- County Greenway
- State
- City
- Village
- Town
- Non-Profits/Lake Dist or Assoc
- Public School
- Private School
- Private - Open to the Public
- Private - Not Open to the Public

Proposed Land Ownership

- County Parks
- County Greenway
- State
- City
- Village
- Town
- Non-Profits/Lake Dist or Assoc

Other Lands

- Municipal Boundary
- Ultimate County Park Boundary
- Primary Environmental Corridor (SEWRPC '10)
- Open Space Lands to be Protected by Public Land Regulation
(Public Land Regulation refers to Primary and Secondary Environmental Corridors, Isolated Natural Resource Areas, Wetland and Floodplain zoning/land use regulations.)

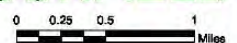
County, Local, and State Trails

- County Existing
- County Proposed
- Ice Age Trail, Proposed
- Ice Age Trail, Existing
- Local Existing
- State Existing
- Local Proposed
- State Proposed

Note: If designated entity declines ownership, designation should be transferred to another entity identified on this plan or default to "Open Space Lands to be Protected by Public Land Regulation"



BROOKFIELD



Updated By Waukesha Co. Parks and Land Use 2018

Appendix C:
Zoning Map

TOWN OF BROOKFIELD ZONING MAP

TOWN 7 NORTH RANGE 20 EAST
WAUKESHA COUNTY, WISCONSIN

DRAFT LEGEND

Zoning Categories

	A-1 Agricultural District		M-1 Limited Manufacturing District
	Rs-1 Single Family Residential District		M-2 General Manufacturing District
	Rs-2 Single Family Residential District		M-3 Quarrying District
	Rs-3 Single Family Residential District		I-1 Institutional District
	Rs-4 Single Family Residential District		C-1 Conservancy District
	Rd-1 Two-Family Residential District		P-1 Park District
	Rm-1 Multi-Family Residential District		T-1 Transitional District
	Rm-2 Multi-Family Residential District		Planned Unit Development Overlay District
	B-1 Neighborhood Business District		Waukesha County Shoreland Zoning Jurisdictional Limits
	B-2 Limited General Business District		Incorporated Areas
	B-3 Office and Professional Business District		Surface Water
	MU Mixed Use District		

District	Building Location		Height Regulations		Area Regulations				
	Minimum Setback (Ft.)	Minimum Offset (Ft.)	Principal Bldg. Max (Ft.)	Access Bldg. Max (Ft.)	First Floor Minimum (Sq. Ft.)	Total Minimum One Family (Sq. Ft.)	Floor Area Ratio Maximum	Minimum Area (Sq. Ft.)	Minimum Width (Ft.)
Conservancy "C-1"									
Agricultural "A-1"	50	30	35	15	1000	1200	5%	5 Ac.	300
Single Family Residential "Rs-1"	50	20	35	15	1000	1300	20%	40,000	150
Single Family Residential "Rs-2"	50	20	35	15	1000	1200	18%	30,000	120
Single Family Residential "Rs-3"	50	20	35	15	1000	1100	18%	20,000	110
Single Family Residential "Rs-4"	35	15	35	15	1000	1100	15%	15,000	90
Two Family Residential "Rd-1"	35	15	35	15	1000	1000	20%	20,000	120
Multi-Family Residential "Rm-1"	35	20	40	15	{1}	{1}	30%	20,000	120
Multi-Family Residential "Rm-2"	35	20	40	15	{2}	{2}	25%	20,000	120
Neighborhood Business "B-1"	50	15	35	15	-	-	30%	2 Ac.	200
Limited General Business "B-2"	50	15	45	15	-	-	50%	20,000	120
Office and Professional Business "B-3"	50	15	60	15	-	-	70%	20,000	120
Limited Manufacturing "M-1"	50	10	45	15	-	-	50%	20,000	120
General Manufacturing "M-2"	50	10	45	15	-	-	70%	20,000	120
Quarrying "M-3"	100	{3}	45	15	-	{4}	-	-	-
Institutional "I-1"	50	20	35	15	{4}	-	-	20,000	120
Park "P-1"	45	20	45	15	-	-	-	-	-

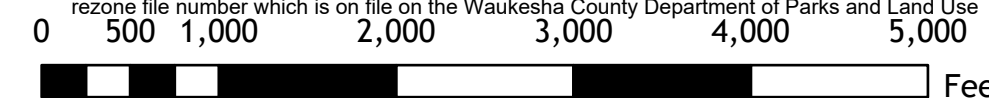
- {1} The minimum floor area of a principal building shall be: 750 sq. ft./1-bedroom unit; 950 sq. ft./2-bedroom unit; 1100 sq. ft./3-bedroom unit.
- {2} The minimum floor area of a principal building shall be: 750 sq. ft./1-bedroom unit; 950 sq. ft./2-bedroom unit.
- {3} Buildings accessory to the quarrying operation shall be 50 ft. minimum from the ROW and 25 ft. from all other lot lines.
- {4} Residential uses permitted in I-1 shall comply with building area requirements of the Rs-3 district.

RECENT ZONING AMENDMENTS

File Number	Section	Zoning Change	Adopted	File Number	Section	Zoning Change	Adopted
ZT-1099	29	B-3 to Rm-2, C-1	3/8/1994	ZT-1591	7	T-1 to M-1	1/27/2006
ZT-1102	28	B-2 to Rm-2	3/8/1994	SZT-1562A	29	Changed Conditions	9/26/2006*
SZT-1126	32	Rs-2 to Rm-2	11/9/1994	ZT-1653	28	Rm-2 to Rm-2 w/PUD	7/24/2007
ZT-942A	30	B-3 to M-1	6/10/1997	SZT-1572A	29	RM-2/PUD to B-2	10/9/2007
ZT-1341	30	B-3 to I-1	4/27/1999	ZT-1730	28	Rm-2 to Rm-2 w/PUD	5/22/2012
ZT-1390	5, 7, & 8	Multiple Changes	10/24/2000	ZT-1737	29/32	B-2, M-2 to MU	7/24/2012
SZT-1137A	19 & 30	C-1 to Rs-3	11/14/2000 *	ZT-1762	30	M-1 to B-2	10/22/13*
SZT-1377	32	Rs-2 to Rd-1	1/23/2001 *	ZT-1777	28	Rm-2 to Rm-2 w/PUD	4/8/2014
ZT-1443	29	B-3 to Rm-2	10/14/2003	ZT-1781	29	MU-1 TO MU-1 w/PUD	5/27/2014
ZT-1517	31	RS-3 to RS-4	4/13/2004	ZT-1789	30	B-3 to B-2	8/26/2014
ZT-1443A	29	Rm-2 to Rm-2 w/PUD	5/18/2004	ZT-1796	31	B-3 to B-2	10/28/2014
ZT-1532	29	Rs-2 to Rm-2 w/PUD	7/12/2004	ZT-1819	29	B-2 to MU-1	10/27/2015*
SZT-1526	29	Rs-3 to Rm-2 w/PUD	12/14/2004*	ZT-1835	29	B-3 to MU-1	7/26/2016
SZT-1562	29	C-1, B-3, B-2 to Rm-2	9/27/05*	ZT-1860	30	B-3 to B-2	11/28/2017
SZT-1572	29	B-2 to Rm-2 w/PUD	9/27/05*	RZ97	29	C-1, B-2, Rm-2 to MU-1	5/24/22*
RZ103	29	B-2 to MU-1	7/26/2022				

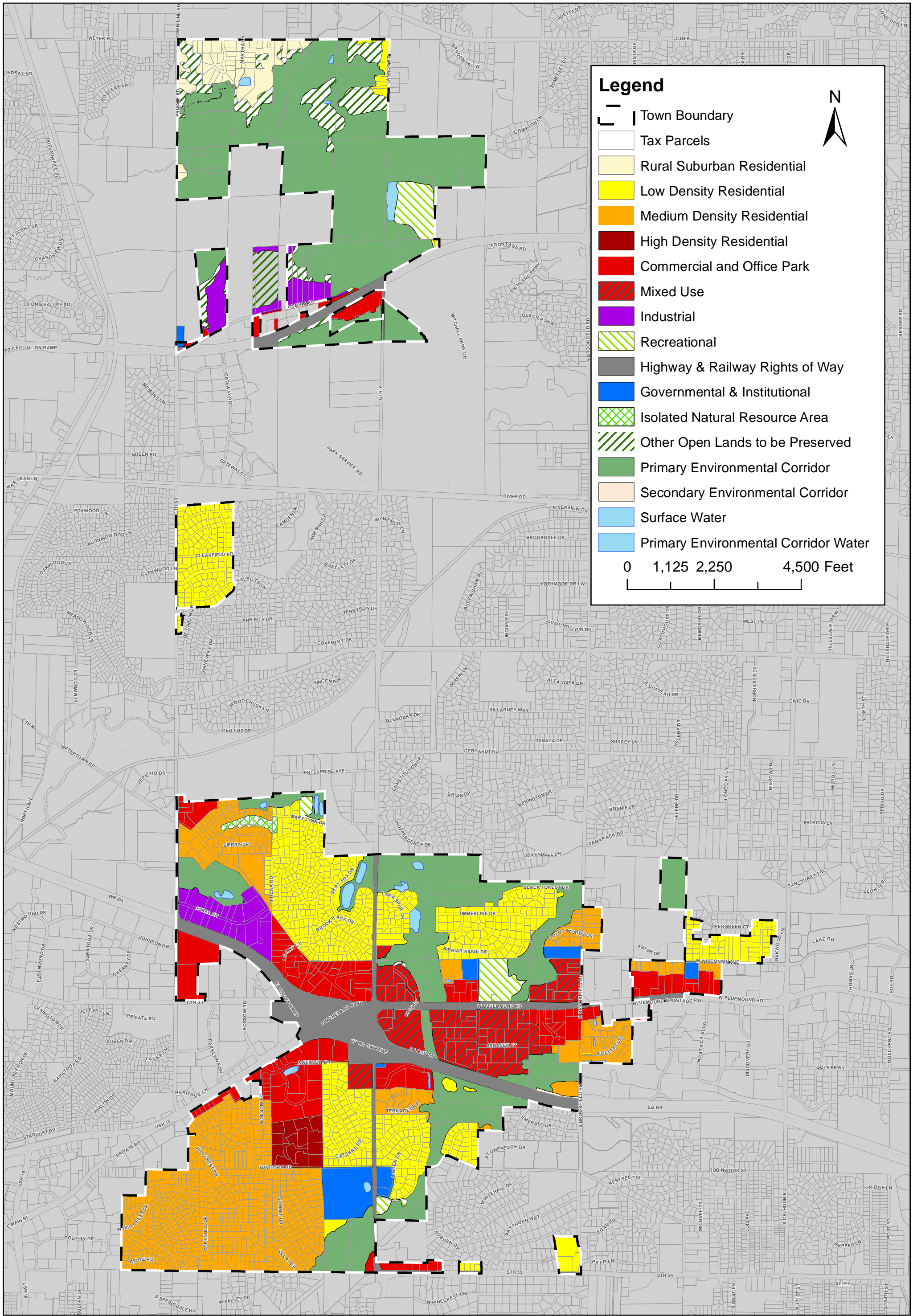
* Adopted Conditionally

* Conditional zoning amendments are denoted on the map with an asterisk and a note referring to the rezone file number which is on file on the Waukesha County Department of Parks and Land Use



Adopted by the Brookfield Town Board: December 20, 1988
 Adopted by the Waukesha County Board of Supervisors: March 21, 1989
 Prepared by the Waukesha Co. Dept. of Parks and Land Use: November 2007
 Updated by the Waukesha Co. Dept. of Parks and Land Use: January 2024

Appendix D:
Future Land Use Map



501 Maple Ave
 Delafield, WI 53018-9351
 PHONE: (262) 646.6855
 FAX: (888) 908-8166
 TF: (800) 325-2055
 www.sehinc.com

Project: BRKFI 163025
 Print Date: 12/15/2022
 Map by: bhembrook
 Projection:
 NAD_1983_HARN_WISCRS
 _Waukesha_County_Feet
 Source: Waukesha County

2042 Future Land Use Map

Town of Brookfield, Waukesha County, Wisconsin

This map is neither a legally recorded map nor a survey map and is not intended to be used as one. This map is a compilation of records, information, and data gathered from various sources listed on this map and is to be used for reference purposes only. SEH does not warrant that the Geographic Information System (GIS) Data used to prepare this map are error free, and SEH does not represent that the GIS Data can be used for navigational, tracking, or any other purpose requiring exacting measurement of distance or direction or precision in the depiction of geographic features. The user of this map acknowledges that SEH shall not be liable for any damages which arise out of the user's access or use of data provided.

Appendix E:

Potential Park or Private Park Location Maps



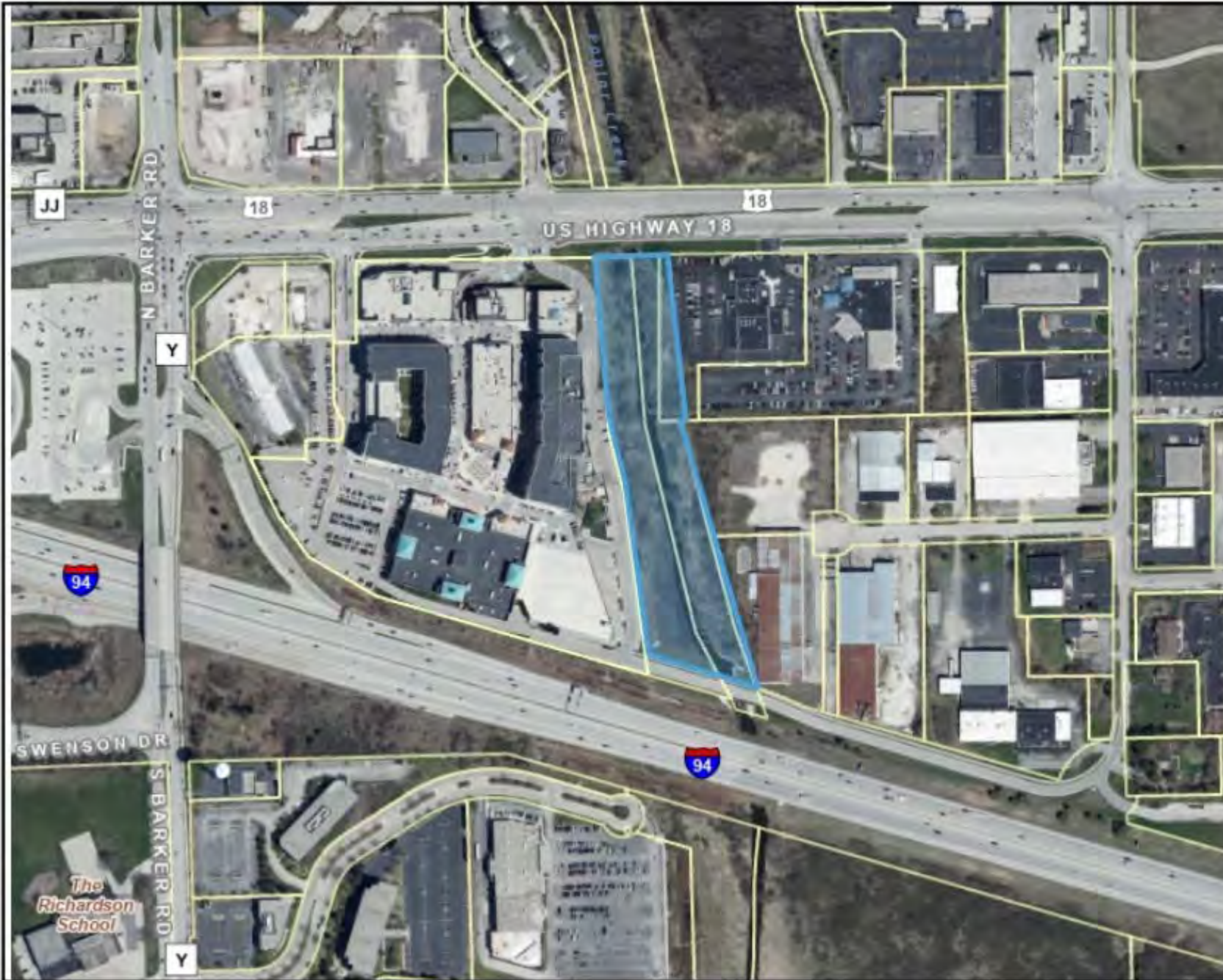
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- Municipal Boundary_2K
 - Parcel_Dimension_2K
 - Note_Text_2K
 - Lots_2K**
 - Lot
 - Unit
 - General Common Element
 - Outlot
 - SimultaneousConveyance**
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
 - Cartoline_2K**
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie_line
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
 - <all other values>
 - Railroad_2K**

0 870.26 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 1/17/2024



Legend

- Municipal Boundary_2K
- Parcel_Dimension_2K
- Note_Text_2K
- Lots_2K
 - Lot
 - Unit
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 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
 - <all other values>
- Railroad_2K

0 435.13 Feet

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Notes:

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Legend

- Municipal Boundary_2K
- Parcel_Dimension_2K
- Note_Text_2K
- Lots_2K
 - Lot
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 - PL-Tie_Line
 - <all other values>
- Railroad_2K

0 287.11 Feet

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Notes:

Printed: 1/17/2024



Appendix F:
Marx Park Concept Plan



Marx Park Improvements: Concept Plan

Town of Brookfield WI. January 2024



**TOWN OF BROOKFIELD
PLANNING COMMISSION RECOMMENDATIONS
APRIL 23, 2024**

Town Chairman Keith Henderson called the meeting to order at 7:00pm on Tuesday, April 23, 2024, at the Town of Brookfield Town Hall, 645 North Janacek Road, Brookfield, Wisconsin. Also present at the meeting was; Commissioners Len Smeltzer, William Neville, and Gordon Gaeth; and Town Planner Bryce Hembrook. Supervisor Ryan Stanelle, Commissioners Jeremy Watson and Kevin Riordan were absent and excused.

SCOTT BENCE (JBJ DEVELOP, L.P.) IS REQUESTING A RECOMMENDATION FOR CONCEPTUAL, PRELIMINARY, AND FINAL APPROVAL OF THE CONTINUATION OF THE EAGLES NEST CONDOMINIUM PROJECT WITH UPDATED BUILDING PLANS, LOCATED AT EAGLE DRIVE AND AERIE CIRCLE, OFF OF BROOKFIELD ROAD (BKFT1124974016)

Commissioner Neville moved to **recommend preliminary and final approval** of the continuation of the Eagles Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016). Plan Commission also suggested that a building schedule should be proposed to Town Board.

The motion was seconded by Commissioner Smeltzer. The motion carried.



Building a Better World
for All of Us®

TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP
Town Planner

REPORT DATE: April 18, 2024
PC MEETING DATE: April 23, 2024

RE: **Eagles Nest – Preliminary & Final Approval**
Eagle Drive BKFT1124974016

SEH No. 171421, TASK 54

Applicant: Scott Bence (JBJ Develop, L.P.)
Application Type: Preliminary and Final Approval

Request

Applicant is requesting preliminary and final approval of the continuation the Eagles Nest Condominium Project with updated building plans.

Summary of Request

- The Eagles Nest Condominium Project was originally approved in 2004 with a revised building design in May of 2008. 42 units were approved during the original proposal.
 - Currently all the infrastructure has been built including the overall site grading, paving, stormwater management, sanitary, storm and watermain, and site lighting.
 - There are 7 pad ready condo lots available for construction.
 - Due to the housing market crash in 2008, a portion of the project was delayed and the approval for the project expired.
 - The zoning code requires that all new multifamily projects receive conceptual, preliminary, and final approval as outlined in § 17.02(7) of the zoning code.
 - The applicant is requesting conceptual, preliminary, and final approval from the Plan Commission because the proposal is remaining the same, except for a few architectural difference.
- According to the applicant, “Our desire is to start building with building pad 9, this pad allows for 6 condominium units. The attached plan is consistent with what was approved in 2008, because of the updated building codes, we are proposing 3 duplex (2 family buildings) zero lot line buildings vs. a traditional six-unit multifamily building. It is important to note that the 3 buildings are individual buildings with an air gap/sheathing on both exterior walls (Detail 20/A4.0) The only difference is the exterior facade (Siding/stone/shingles) are carried across the separation gap to give it a uniform look to match the look of the traditional six-unit multifamily building. The end look will be the same, but the 3

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351
SEH is 100% employee-owned | sehinc.com | 262.646.6855 | 888.908.8166 fax

buildings are governed by a different set of rules. We will be applying for three two family building permits for building pad #9. Note the color and materials are consistent with the existing building and what was previously approved.

- Zoning District = RM-2 Multifamily Residential District
- Lot size = 6.6 acres.
- The property currently has 2 buildings with 5 units towards the south side of the property, as originally approved.
- Proposed buildings are located within the same footprint as the original approved plans and utilities are generally provided near proposed buildings.
 - The proposed buildings are all townhouse style units; whereas the original approved plans consisted of a mix of flats and townhouses.
- 32 units are proposed.
 -
- Proposed setbacks:
 - All building setbacks will meet code requirements and are not changing from original approval.
- Sum total of floor area
 - Proposed = 17.84% of lot area.
 - Required = Sum total of the floor area of the principal buildings and all accessory buildings shall not exceed 25% of the lot area.
 - Requirement is met.
- Parking
 - Parking is proposed to remain the same as originally approved and there appears to be sufficient parking.
- Lighting
 - Street lighting is existing and the buildings have coach lights on the garage elevations which are shown on sheet E1.0 in the packet. These are the same as the existing buildings (100 watt light fixtures).
- Landscaping
 - Proposed to remain the same from the original approval and is included in the packet.

The development review team is currently reviewing the plans and may provide feedback by the time of the meeting.

Preliminary Approval

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site.

Final Approval

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

Architectural Review Committee

The Committee reviewed the proposal and recommended preliminary and final approval.

PROJECT NAME:

Eagles Nest Condominiums 3 Duplexes (6 Units)

165 Aerie Circle - Bldg #9
Brookfield, WI 53045
Job # 2302J

GENERAL CONTRACTOR



JB Development
(A Division of JBJ Companies Inc.)
W178 N9912 Rivercrest Dr., Ste 101
Germantown, WI 53022-4645
(262) 255-1800 Fax (262) 255-2234
www.JBJCompanies.com

**THE
CUSTOM
HOUSE LLC**

ARCHITECTURE UNLIMITED

RESIDENTIAL
COMMERCIAL

1506 S. 58th STREET
WEST ALLIS, WI 53214
PHONE (414) 617-0352

**Eagles Nest
Condominiums
165 Aerie Circle - Bldg #9
Brookfield, WI 53045
Job # 2302J**

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Sheet Contents

TITLE SHEET
CODE INFORMATION
LOCATION PLAN
DEVELOPMENT PLAN

Issued For: Prelim 1
Date: 10 Dec, 2020

75% Set 19 Feb, 2021
85% Set 19 Feb, 2021
For Construction 19 March, 2021
Rev 1 23 April, 2021
Rev 2 29 May, 2021
Rev 3 27 Nov, 2023
Bld Set 06 Dec, 2023

Drawn By: DG
Checked By: DG

Date: 04 Dec, 2020

Job Number: 20,044

Sheet Number

T 1.0

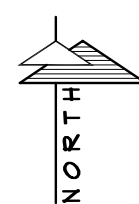


DRAWING INDEX :

ARCHITECTURAL:	INTERIOR DECORATING
T 1.0 TITLE SHEET	ID 100 COVER SHEET
A 1.0 BASEMENT PLANS	ID 101 MATERIAL LEGEND - SCHEME A
A 1.1 FLOOR PLANS	ID 102 MATERIAL LEGEND - SCHEME B
A 1.2 ROOF PLAN	
A 2.0 ELEVATIONS	ID 200 FINISH PLAN - BASEMENT
	ID 201 FINISH PLAN - FIRST FLOOR
	ID 202 FINISH PLAN - SECOND FLOOR
A 3.0 WALL SECTIONS	ID 300 DECORATIVE ELEVATIONS
A 3.1 UNIT A SECTIONS	
A 3.2 UNIT B & C SECTIONS	
A 4.0 UNIT A PLANS	
A 4.1 UNIT A PLANS (OPP.)	
A 4.2 UNIT B PLANS	
A 4.3 UNIT C PLANS	
A 5.0 CASWORK	
E 1.0 BASEMENT & EXTERIOR ELECTRICAL	
E 1.1 UNIT A ELECTRICAL PLANS	
E 1.2 UNIT B ELECTRICAL PLANS	
E 1.3 UNIT C ELECTRICAL PLANS	
S 1.0 FOUNDATION PLAN	
S 1.1 FOUNDATION PLAN	
S 1.2 FLOOR FRAMING	
S 1.3 ROOF FRAMING	
S 1.4 BRACING PLANS	

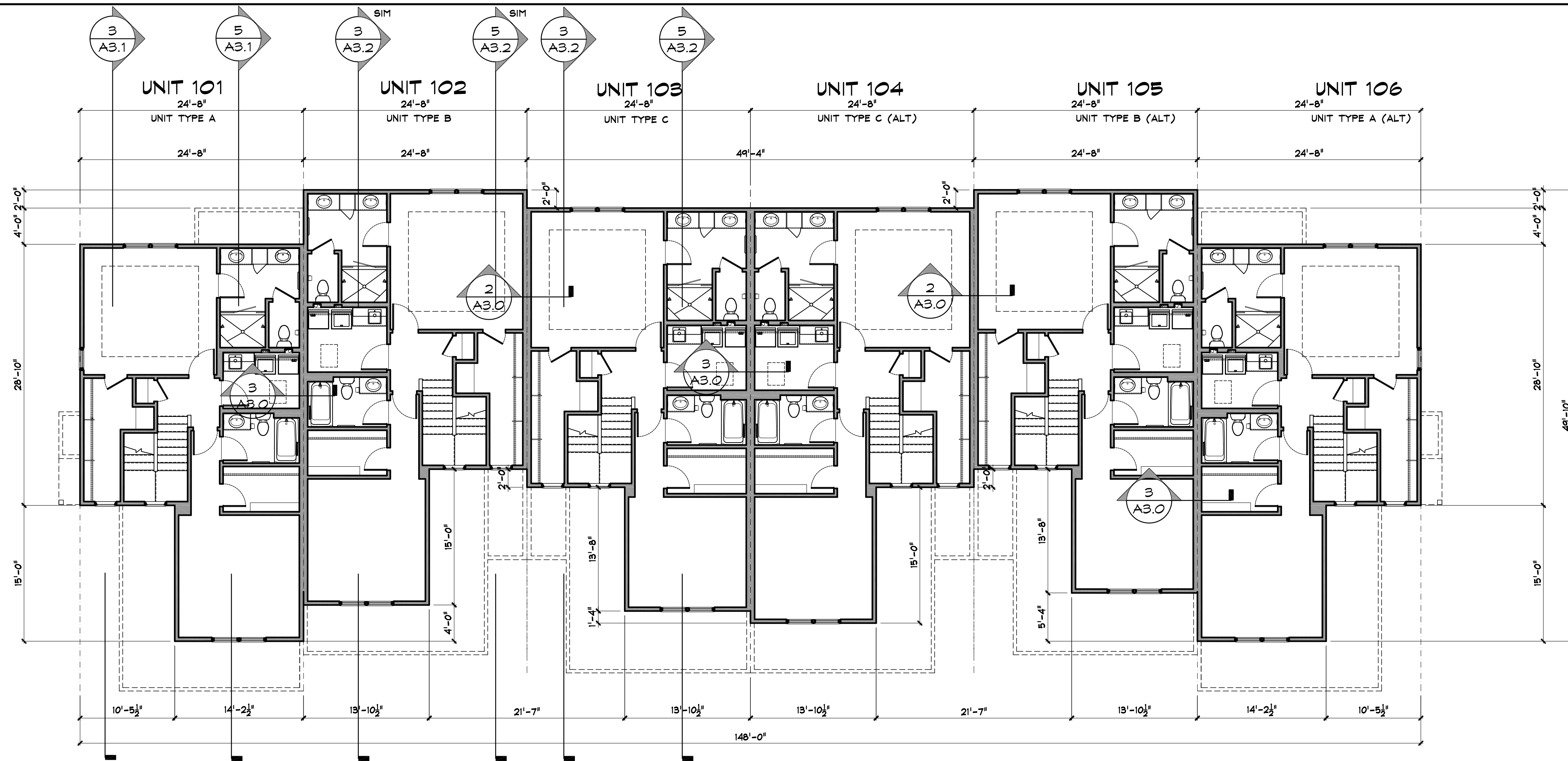
CODE INFORMATION :

CODE AND PROJECT SCOPE:
PER SPS 320.04 (6) THESE BUILDINGS ARE CONSIDERED
(6) DUPLEXES UNDER THE UDC - SPS320-325



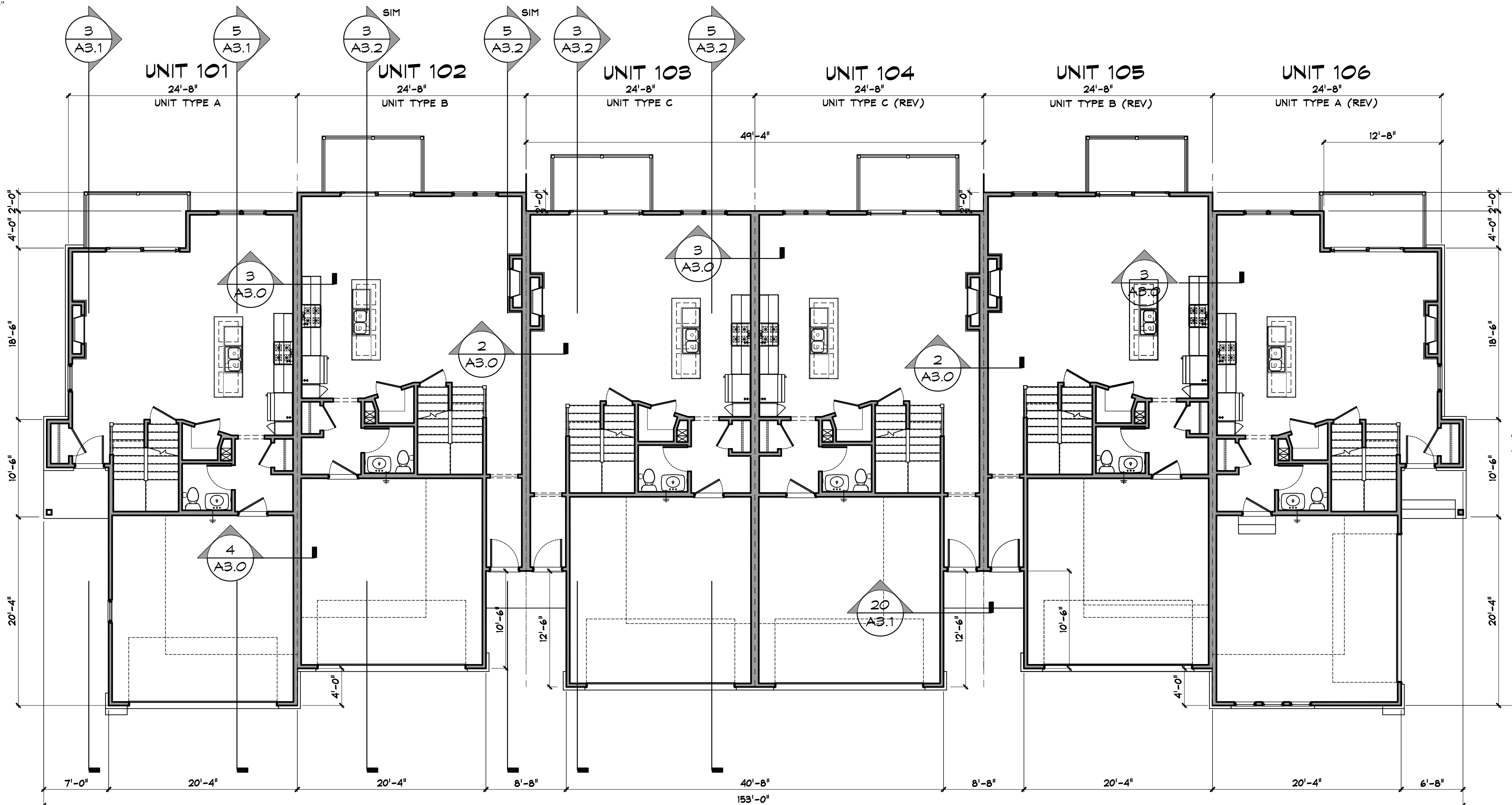
5 SITE DEVELOPMENT PLAN

1" = 60'-0"



14 SECOND FLOOR PLAN

1/8" = 1'-0"



4 FIRST FLOOR PLAN

1/8" = 1'-0"

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Sheet Contents
FLOOR PLANS

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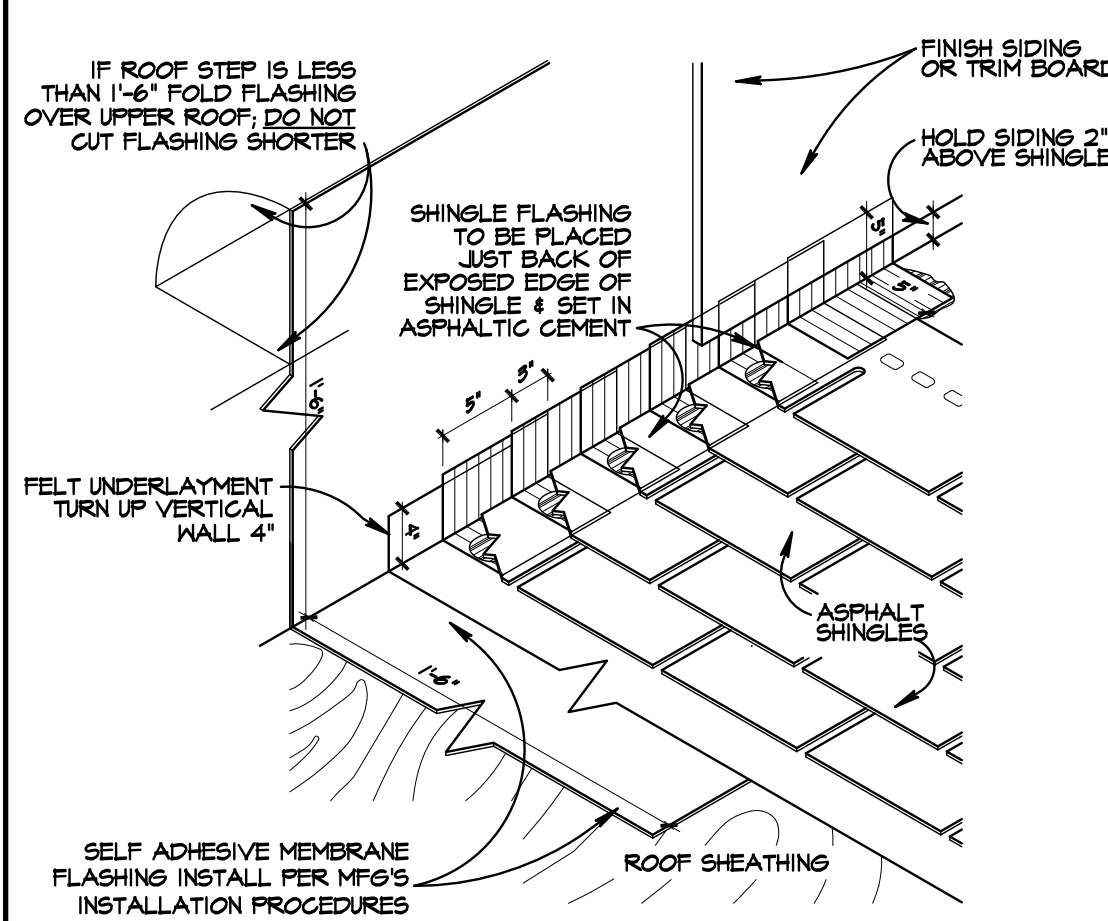
Drawn By: DG
Checked By: DG

Date: 04 Dec, 2020

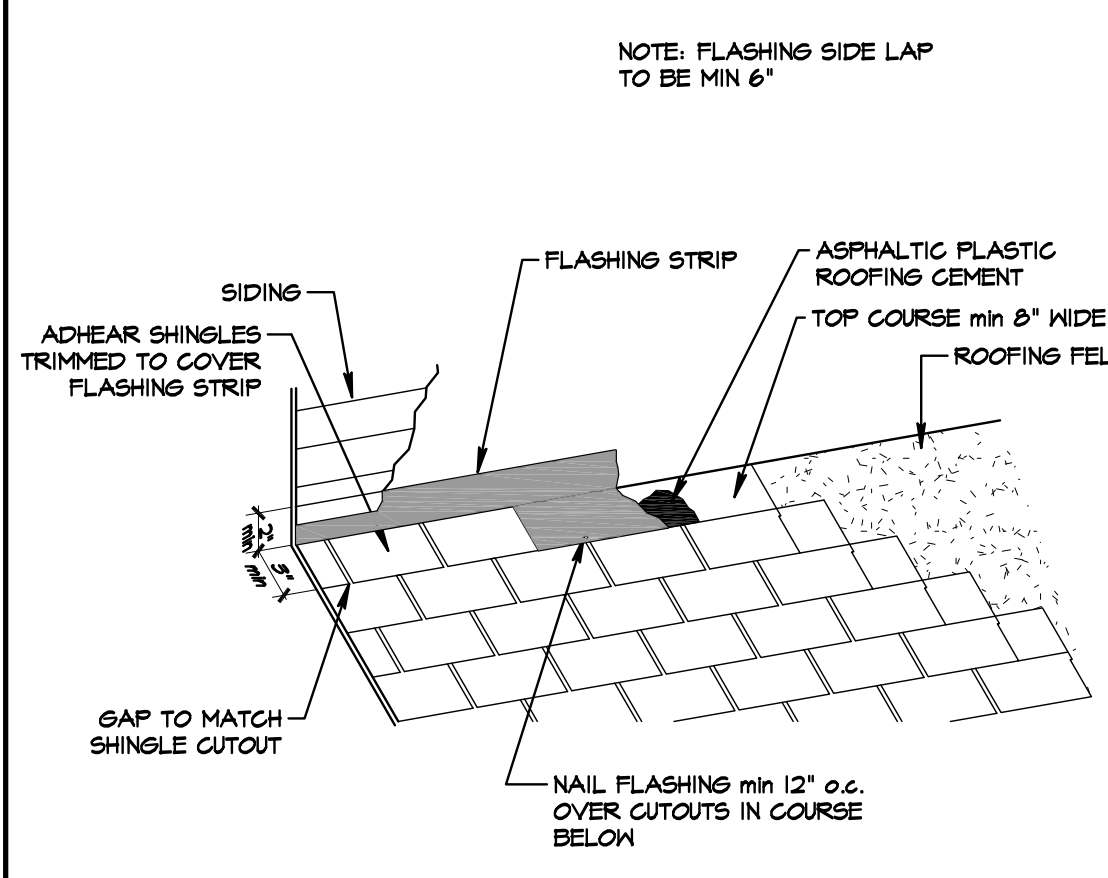
Job Number: 20.044

Sheet Number

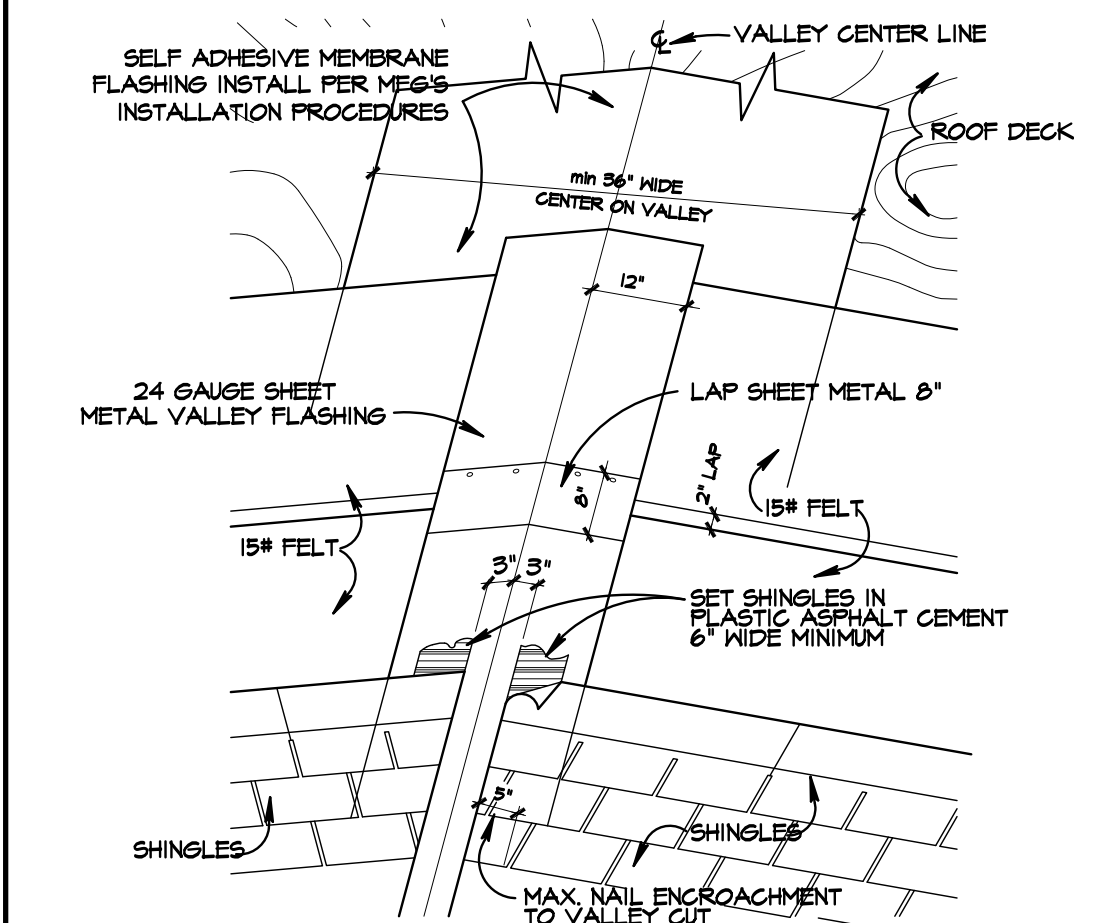
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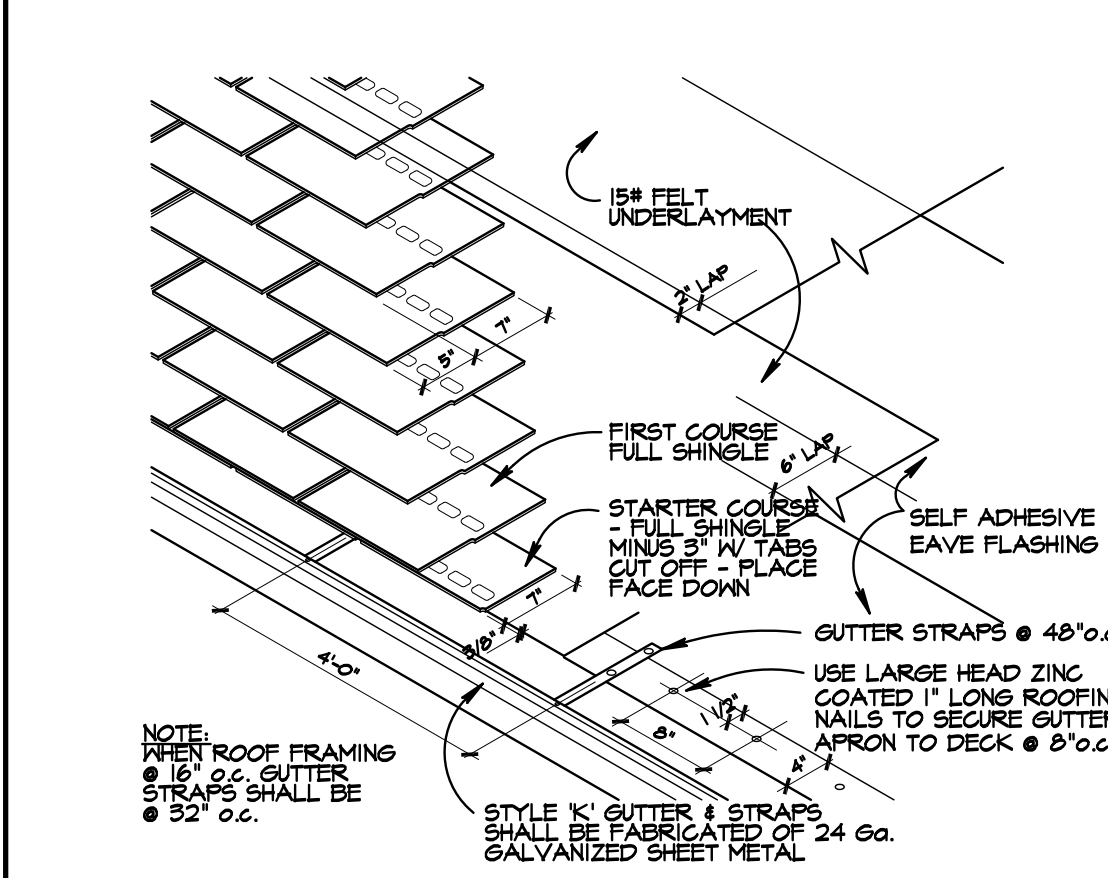
20 ROOF AT WALL INTERSECTION
NO SCALE



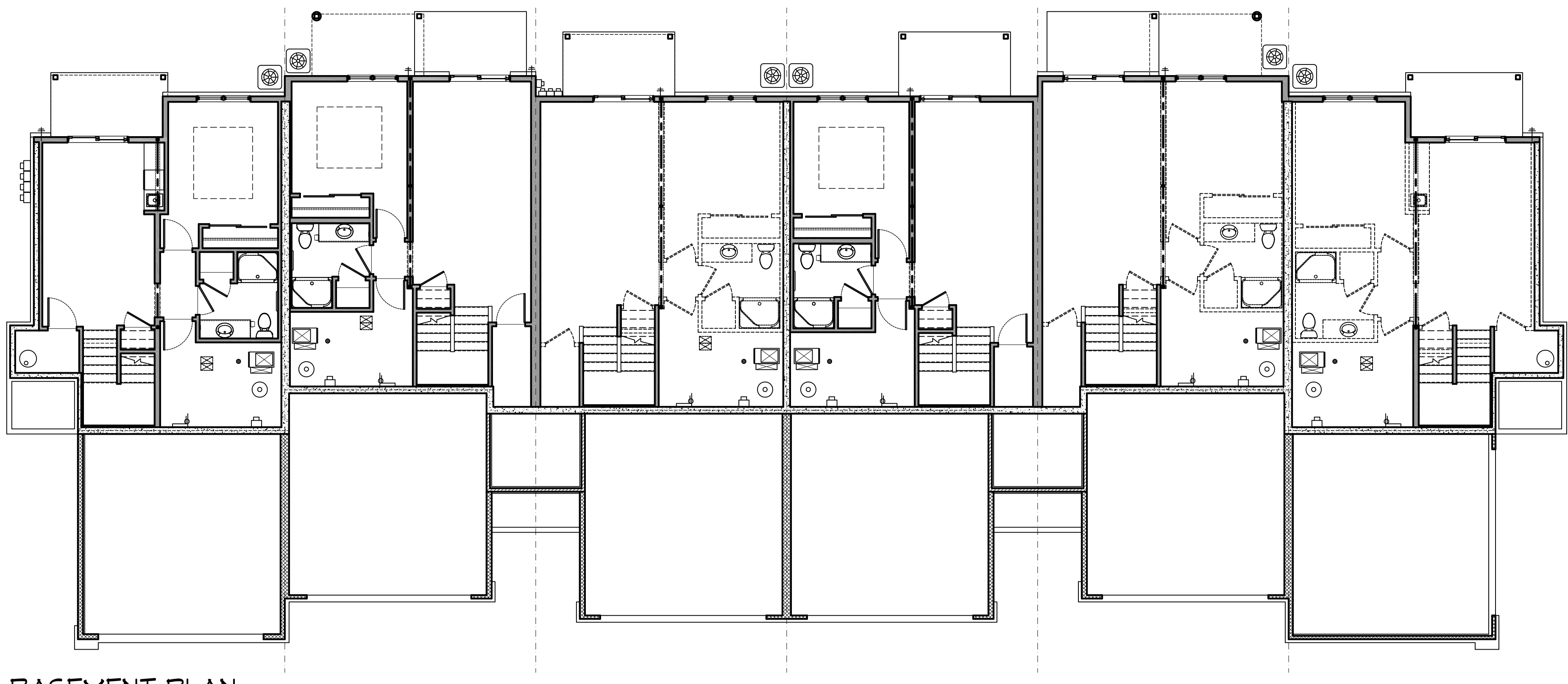
15 FLASHING AT VERTICAL WALL
NO SCALE



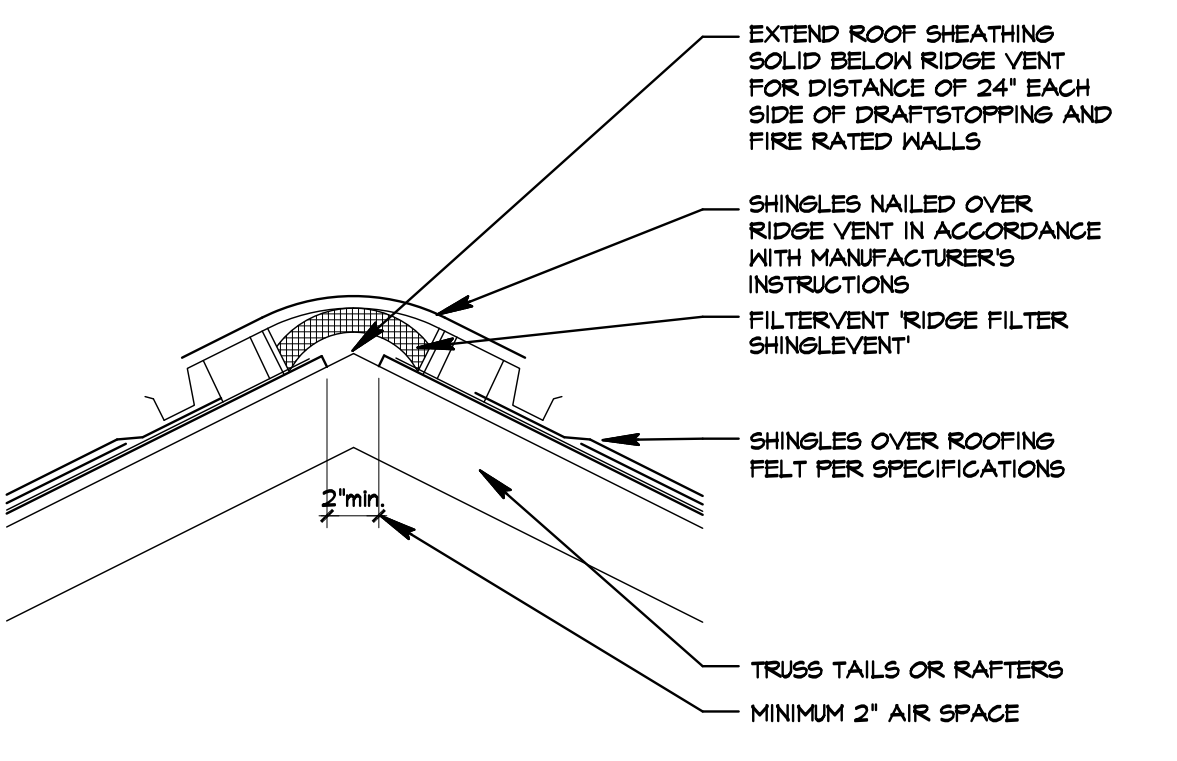
10 VALLEY FLASHING DETAIL
NO SCALE



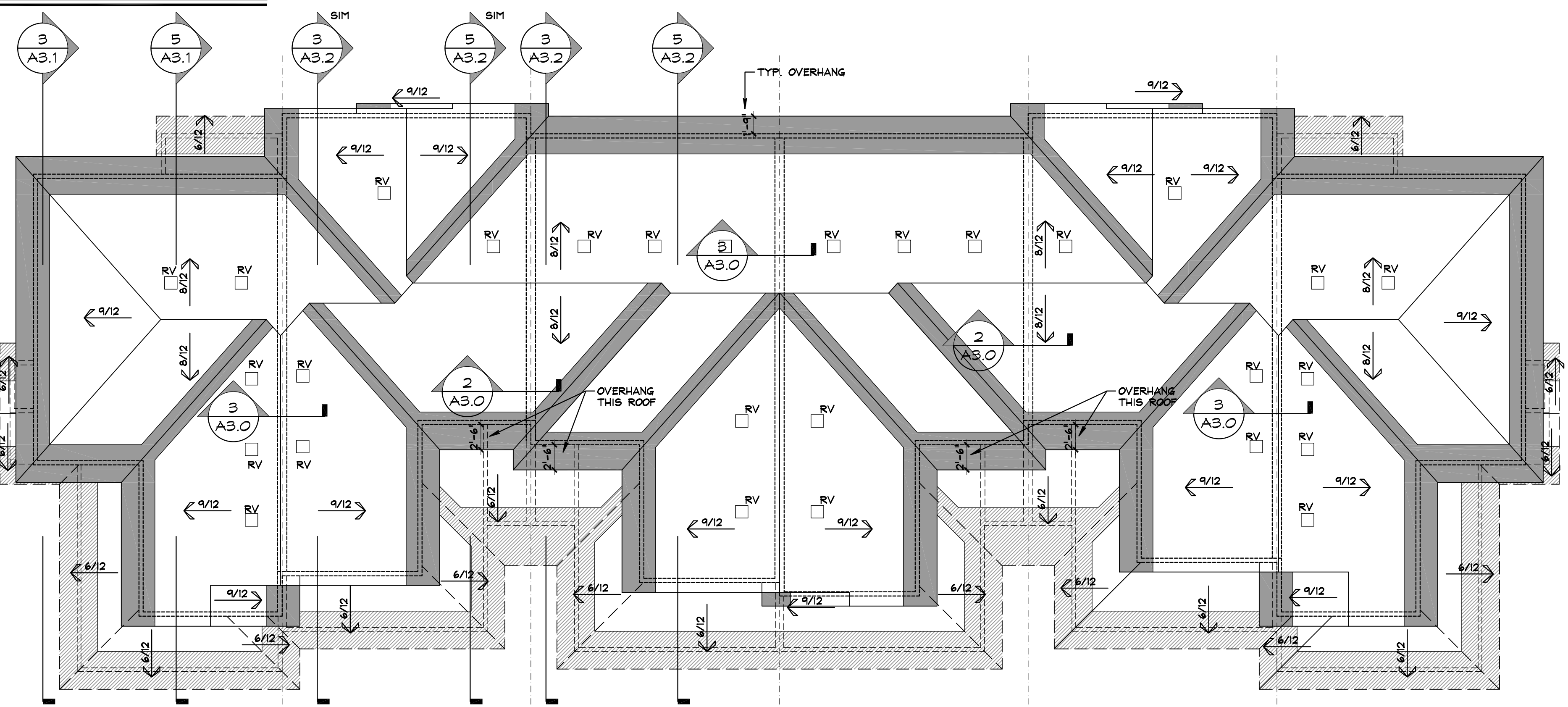
2 EAVE FLASHING DETAIL
NO SCALE



14 OVERALL BASEMENT PLAN
1/8" = 1'-0"



9 RIDGE VENT
1 1/2" = 1'-0"



4 ROOF PLAN
1/8" = 1'-0"

PLAN KEY

[Symbol]	ROOF VENT (min 50 sq.in. FREE VENT AREA)
[Symbol]	SELF-ADHESIVE RUBBERIZED ASPHALT MEMBRANE (ICE & WATER SHIELD OR EQ.) UPPER ROOF EAVES & VALLEYS
[Symbol]	SELF-ADHESIVE RUBBERIZED ASPHALT MEMBRANE (ICE & WATER SHIELD OR EQ.) LOWER ROOF EAVES & VALLEYS

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ROOF PLAN
...
...
...

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Checked By:	DG
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Job Number:	20,044
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ELEVATIONS

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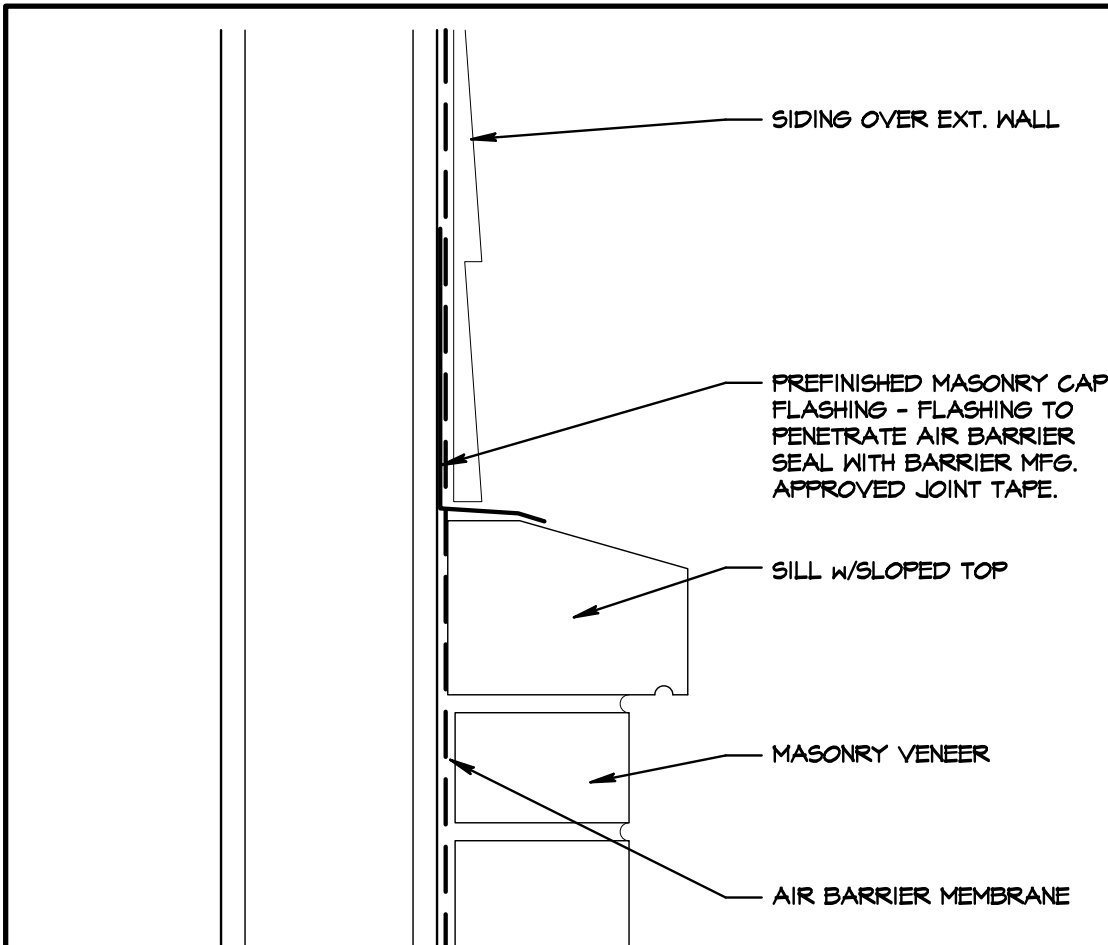
Checked By: **DG**

Date: 04 Dec. 2020

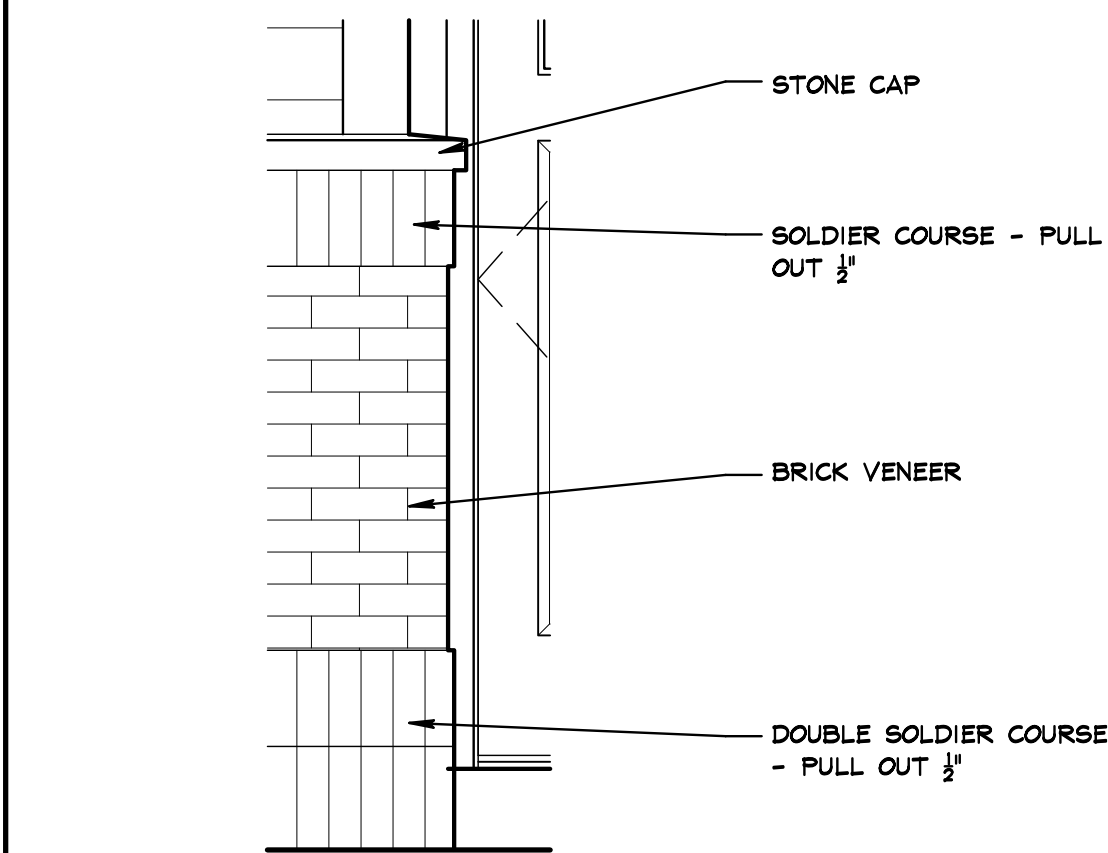
Job Number: 20,044

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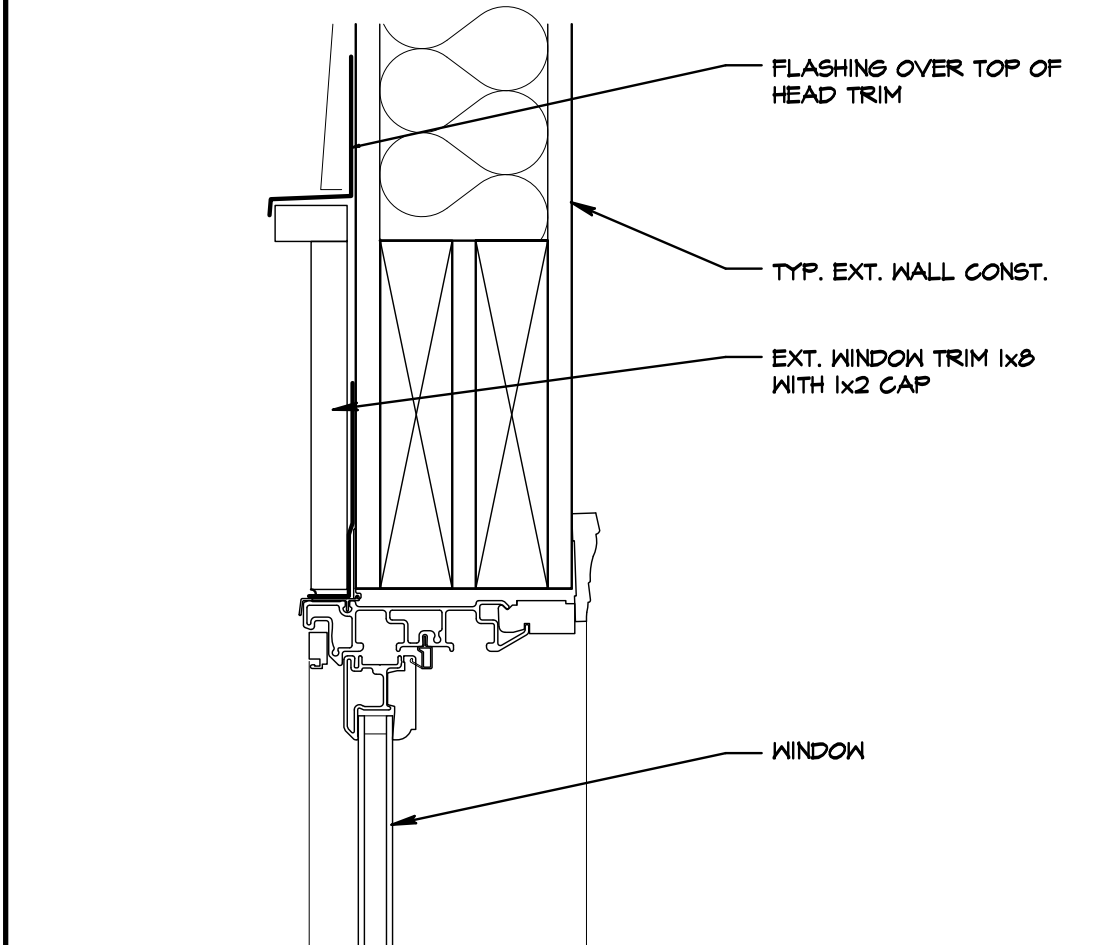
A 2.0



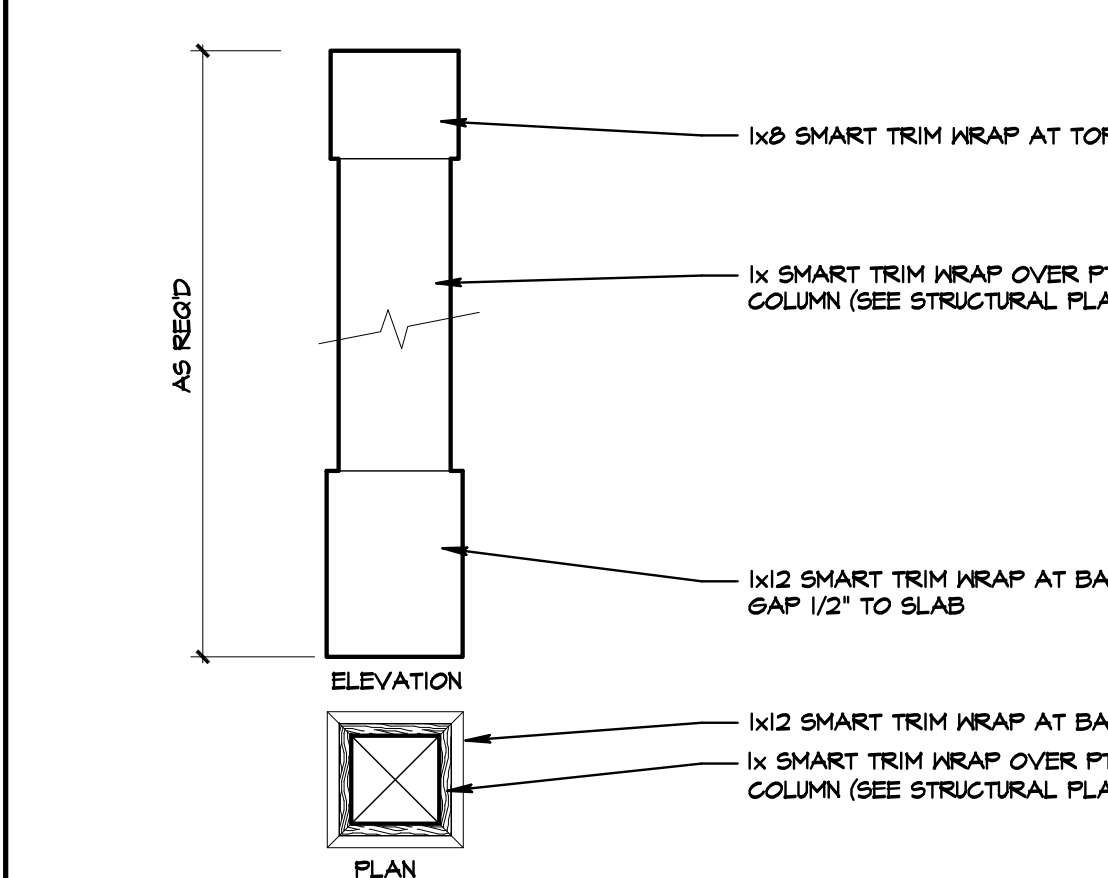
20 MASONRY CAP FLASHING
3/8" = 1'-0"



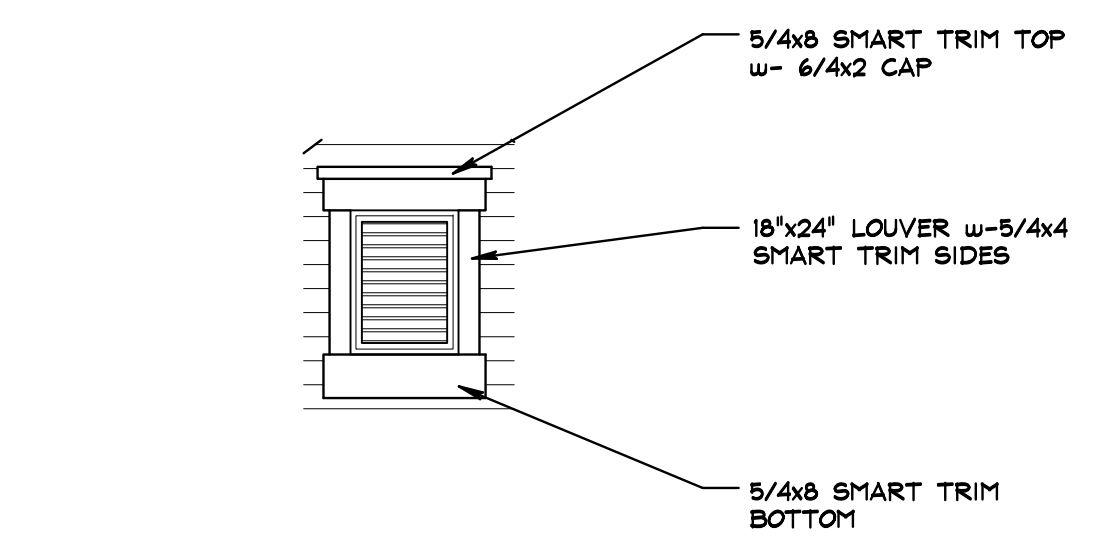
15 MASONRY DETAIL
3/4" = 1'-0"



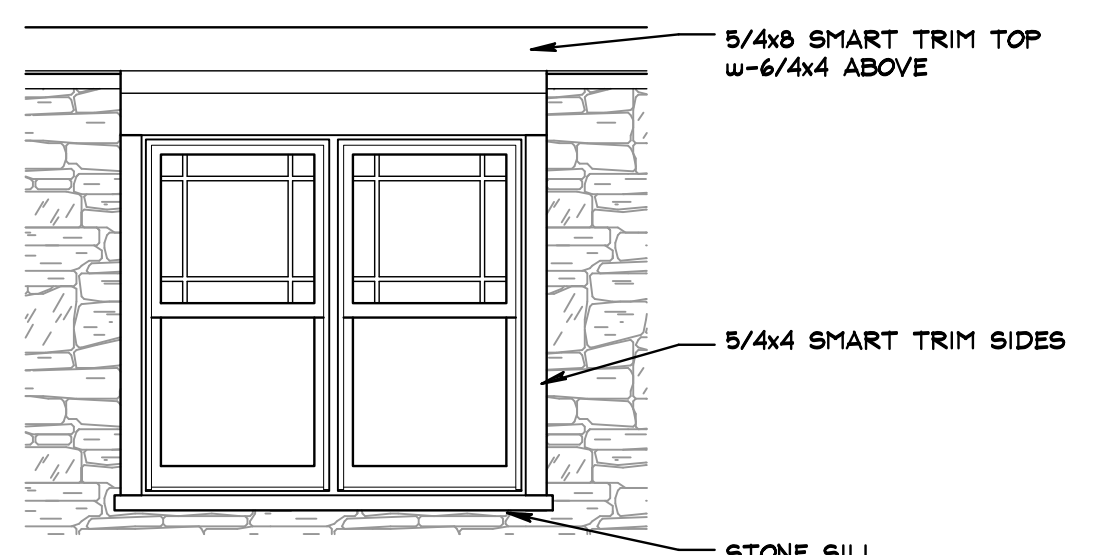
10 TYPICAL WINDOW HEAD TRIM
3/8" = 1'-0"



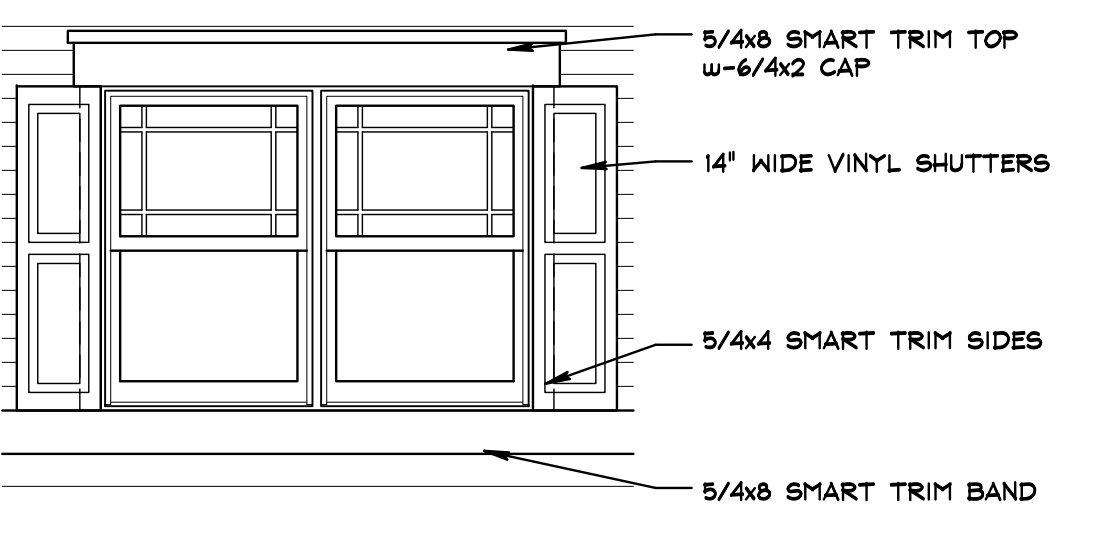
5 DECORATIVE COLUMN DETAIL
1" = 1'-0"



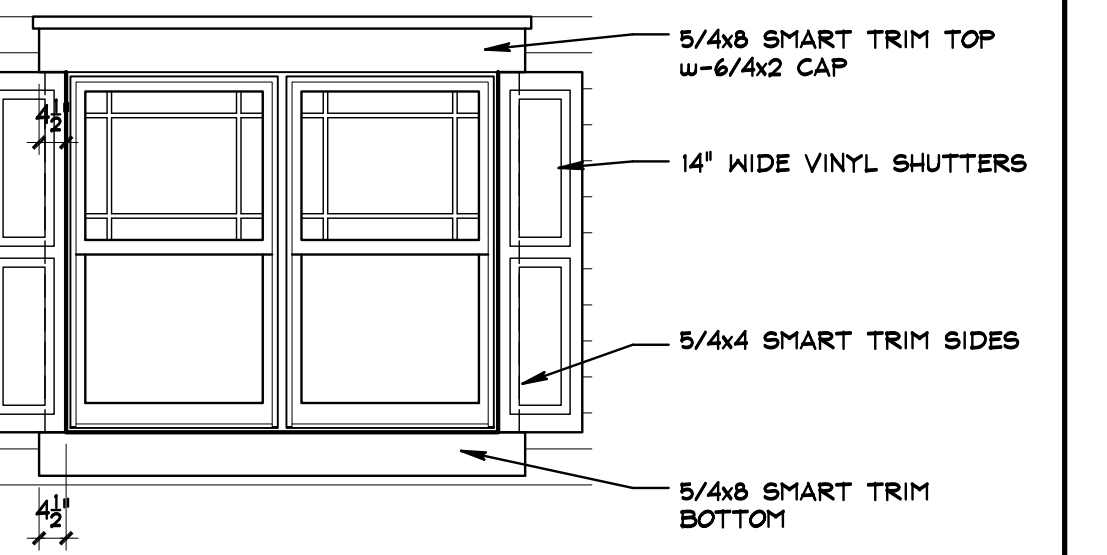
19 LOUVER TRIM DETAIL
3/8" = 1'-0"



18 LOWER LEVEL WINDOW TRIM
3/8" = 1'-0"



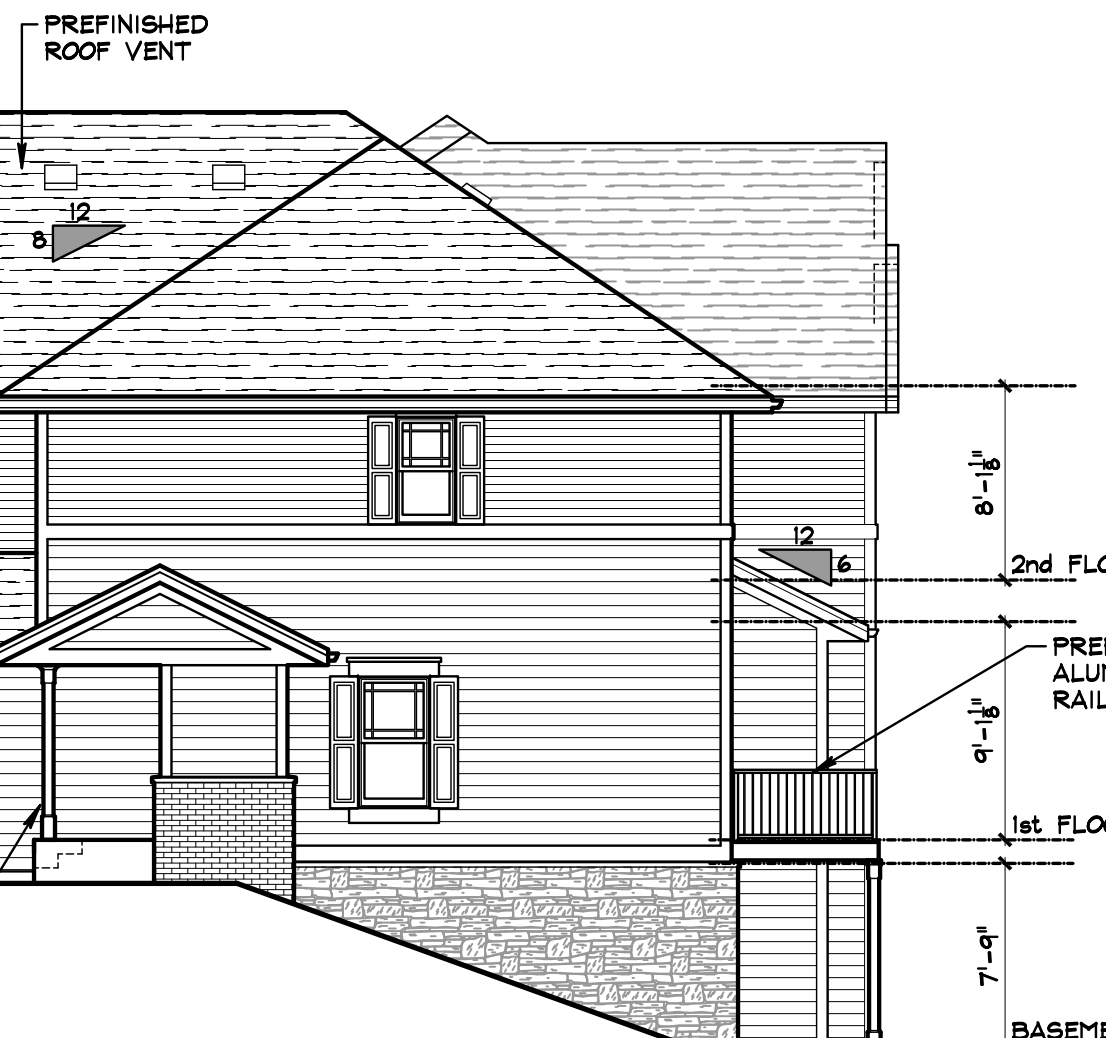
17 2nd FLOOR WINDOW TRIM
3/8" = 1'-0"



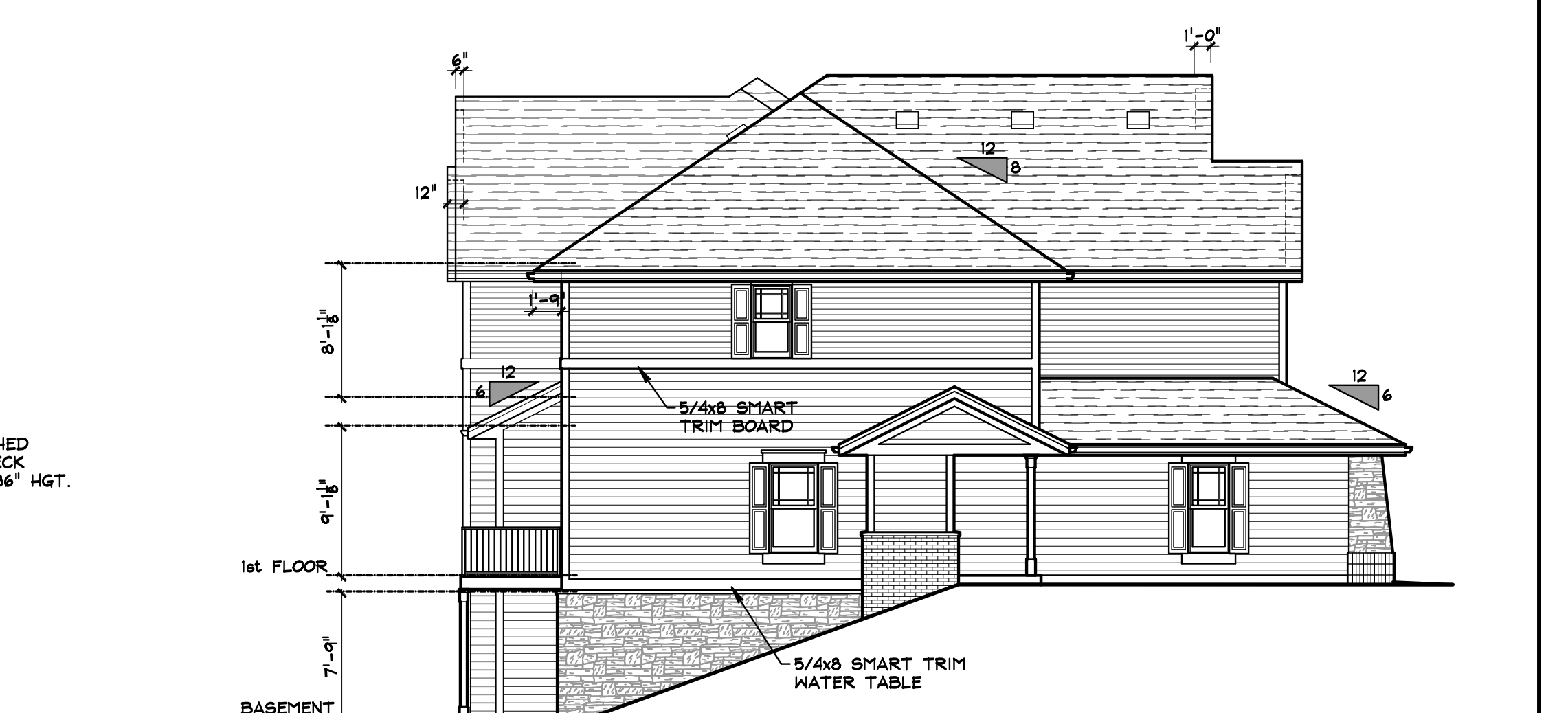
16 TYPICAL WINDOW TRIM
3/8" = 1'-0"



14 FRONT ELEVATION
1/8" = 1'-0"



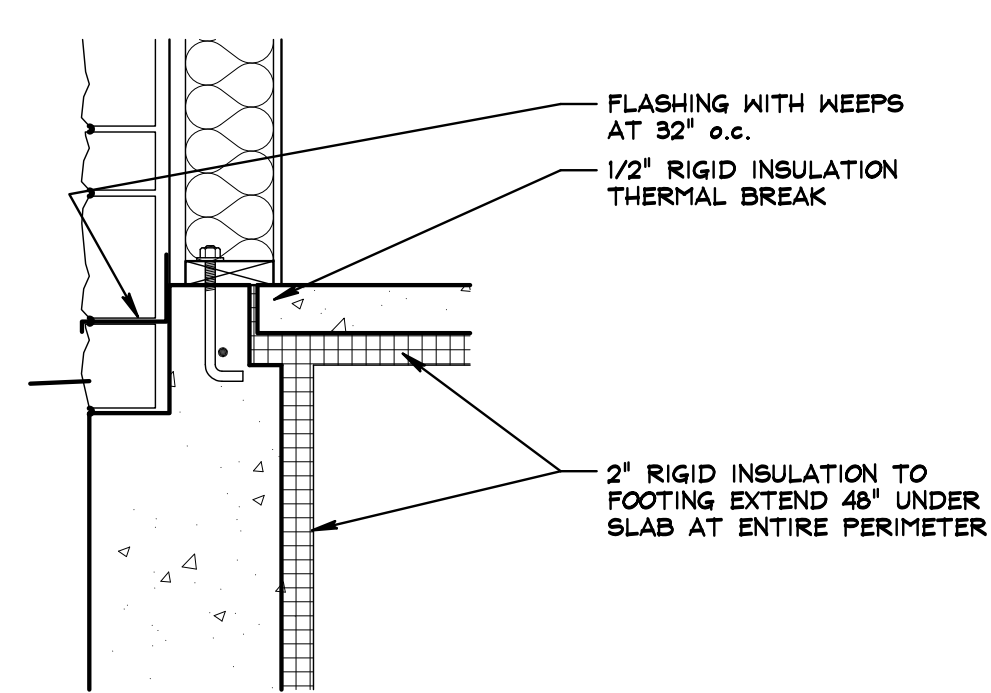
8 SIDE ELEVATION
1/8" = 1'-0"



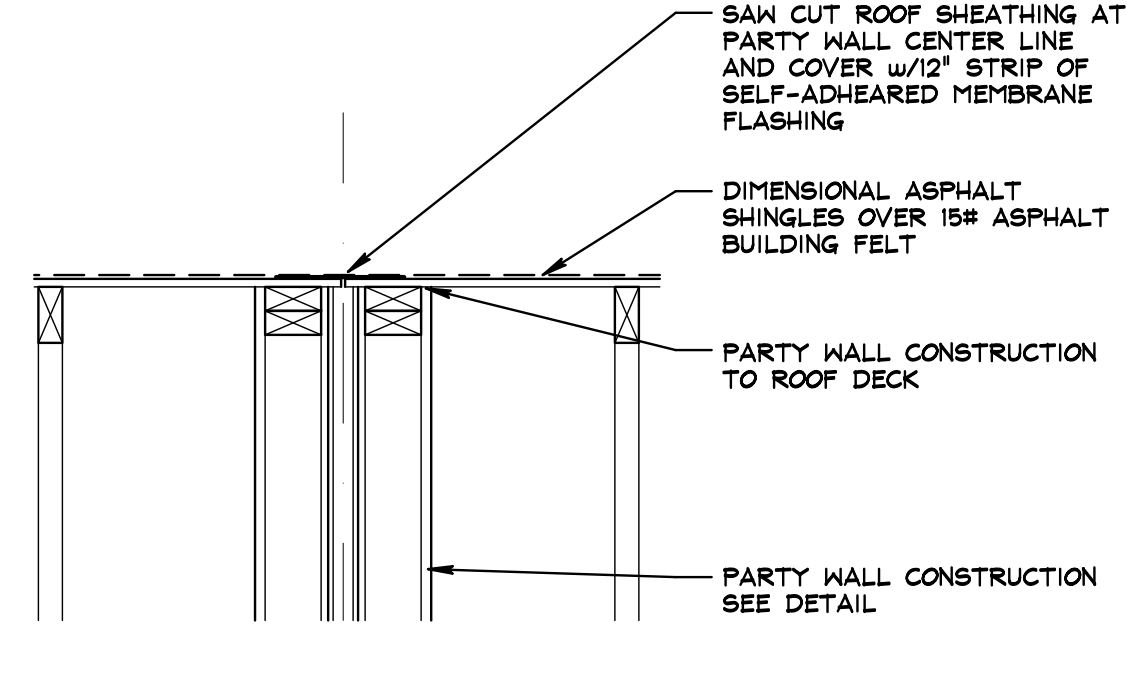
7 SIDE ELEVATION
1/8" = 1'-0"



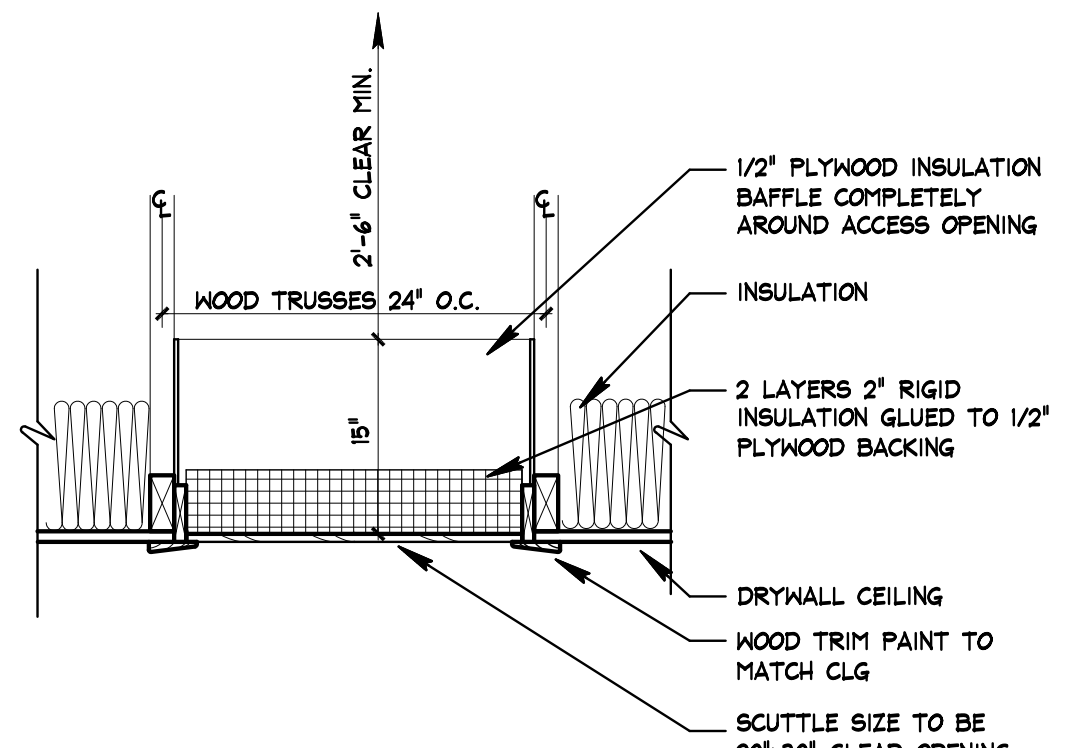
4 FRONT ELEVATION
1/8" = 1'-0"



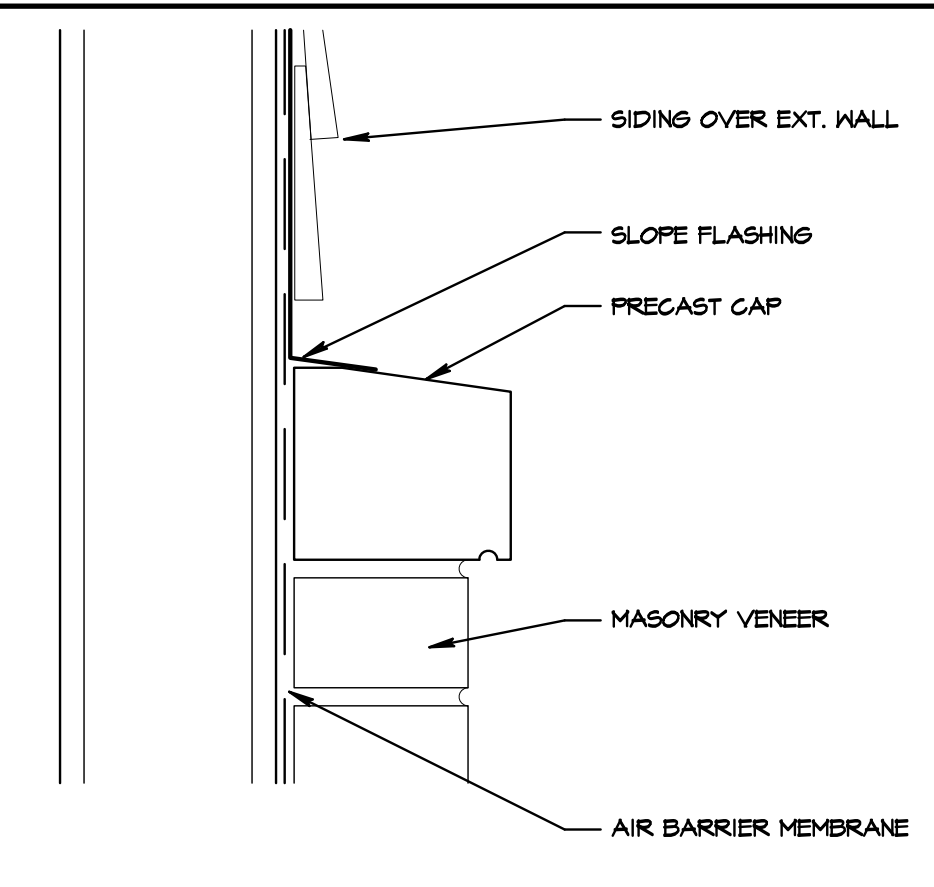
19 SILL DETAIL EXPOSURE
1" = 1'-0"



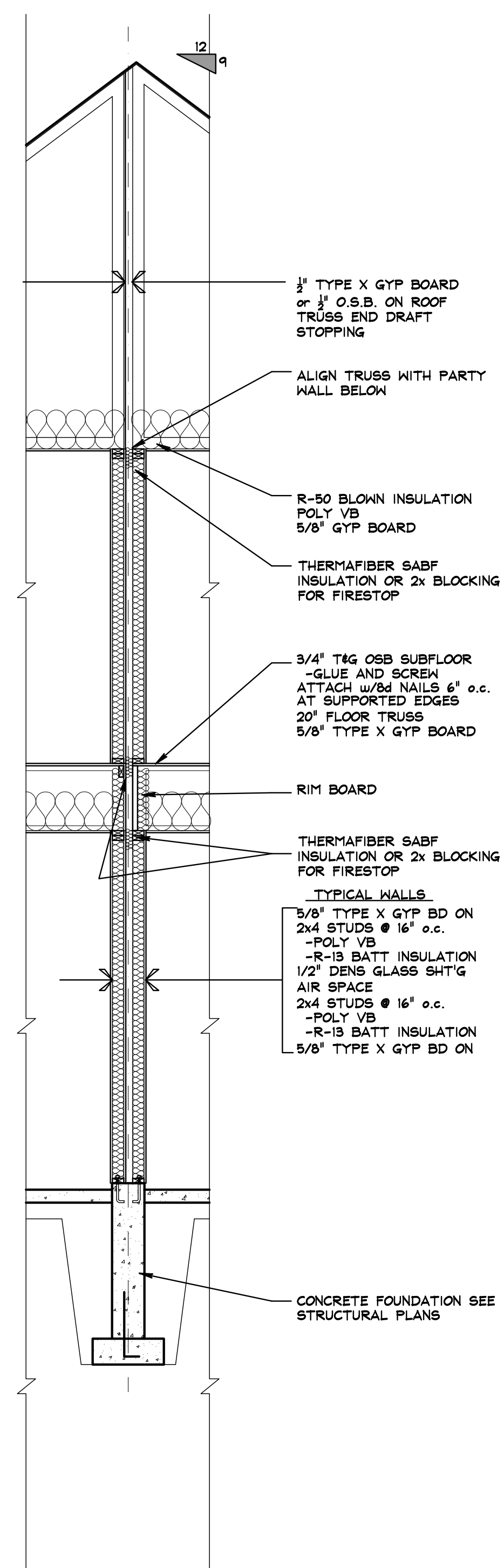
18 ROOF DETAIL
1" = 1'-0"



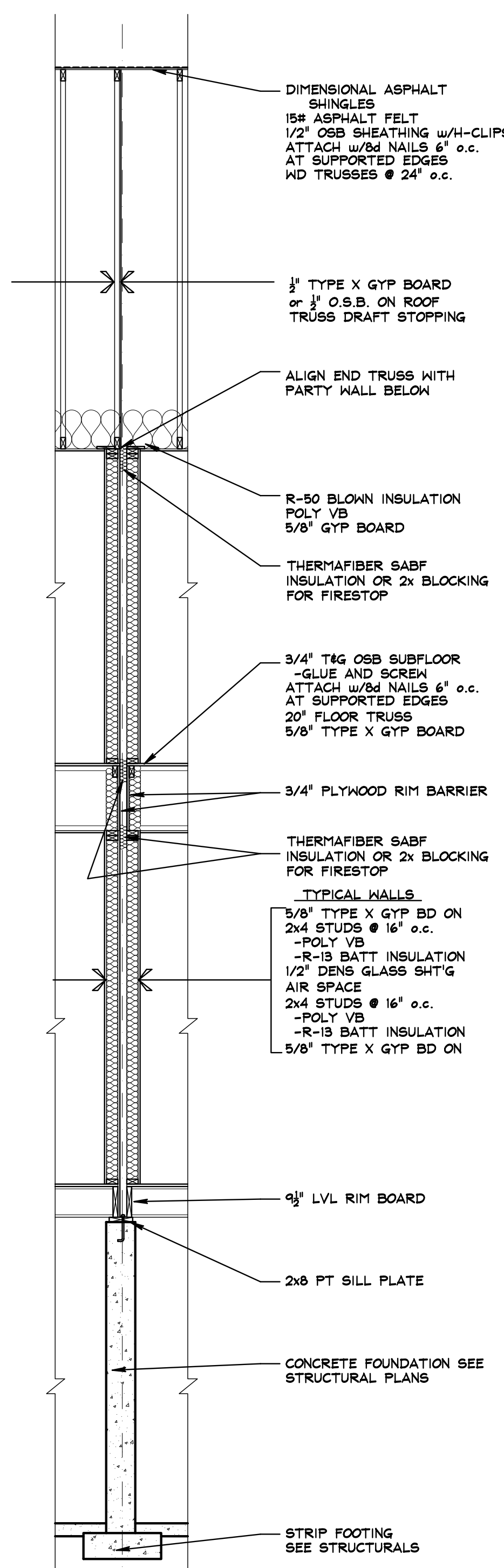
17 ATTIC SCUTTLE
1" = 1'-0"



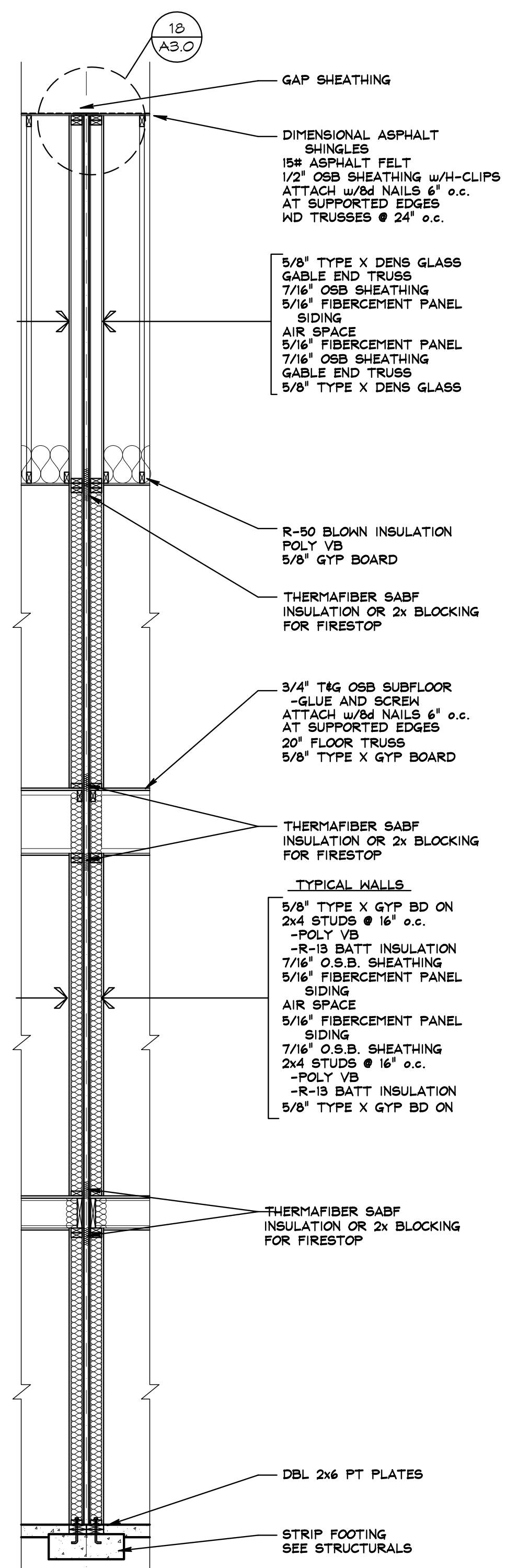
16 MASONRY CAP FLASHING
3/8" = 1'-0"



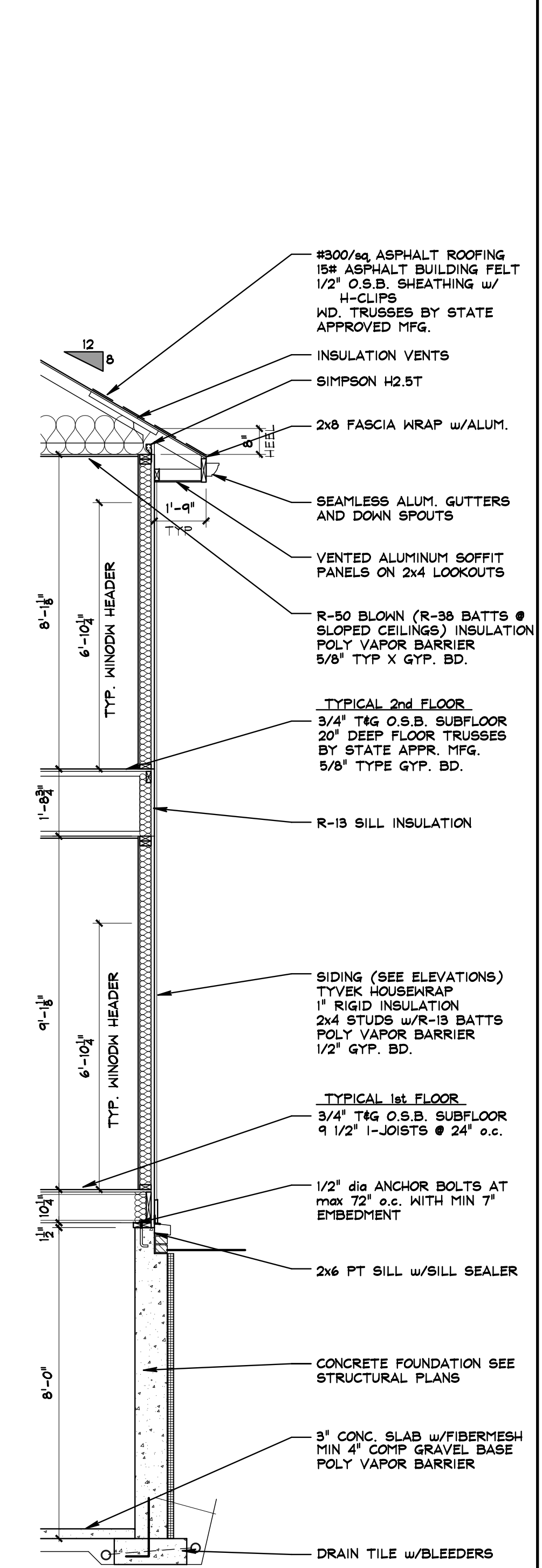
4 GARAGE PARTY WALL
3/8" = 1'-0"



3 DUPLEX PARTY WALL
3/8" = 1'-0"



2 DUPLEX SEPARATION WALL
3/8" = 1'-0"



1 TYPICAL WALL SECTION
3/8" = 1'-0"

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Drawn By: **DG**
Checked By: **DG**

Date: **04 Dec, 2020**

Job Number: **20,044**

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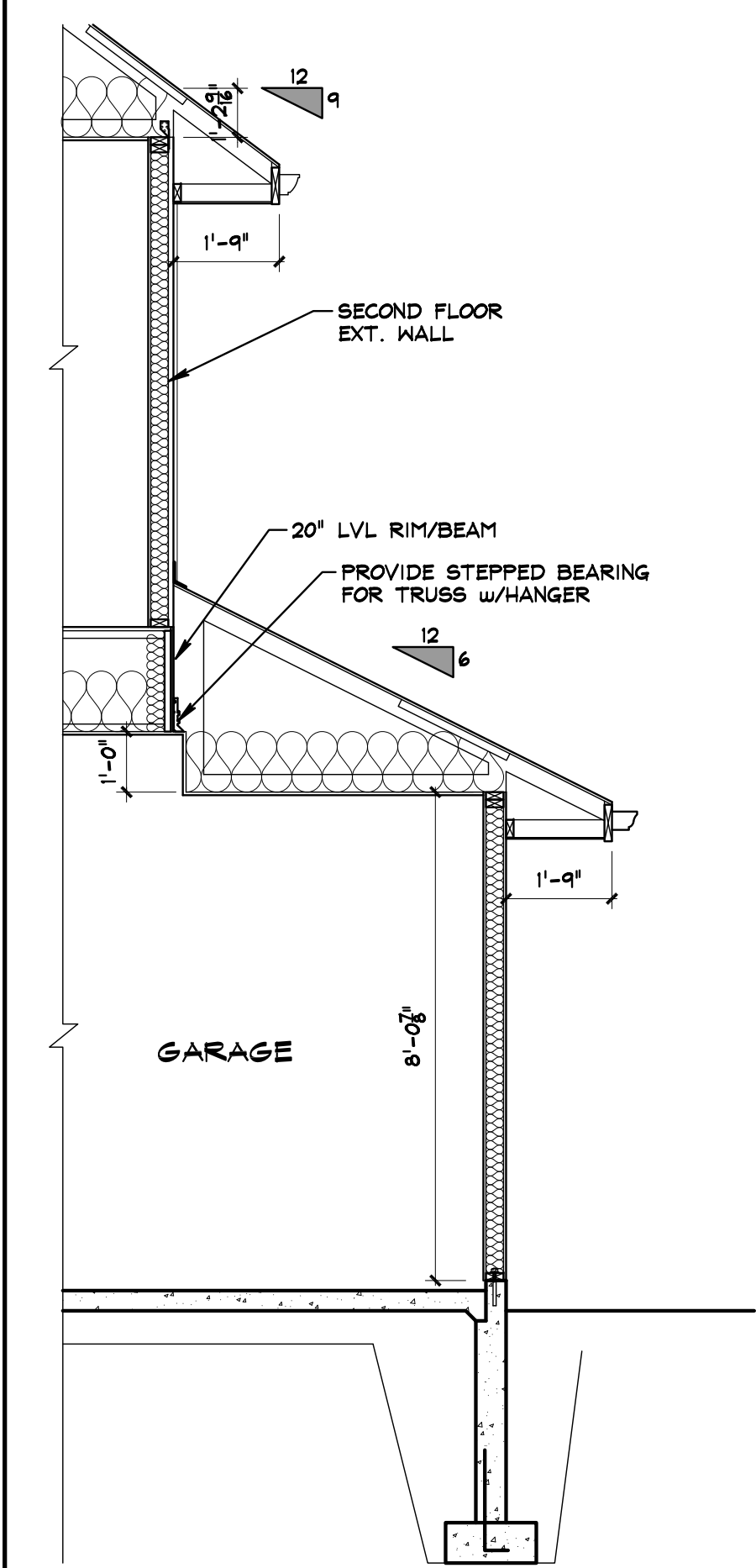
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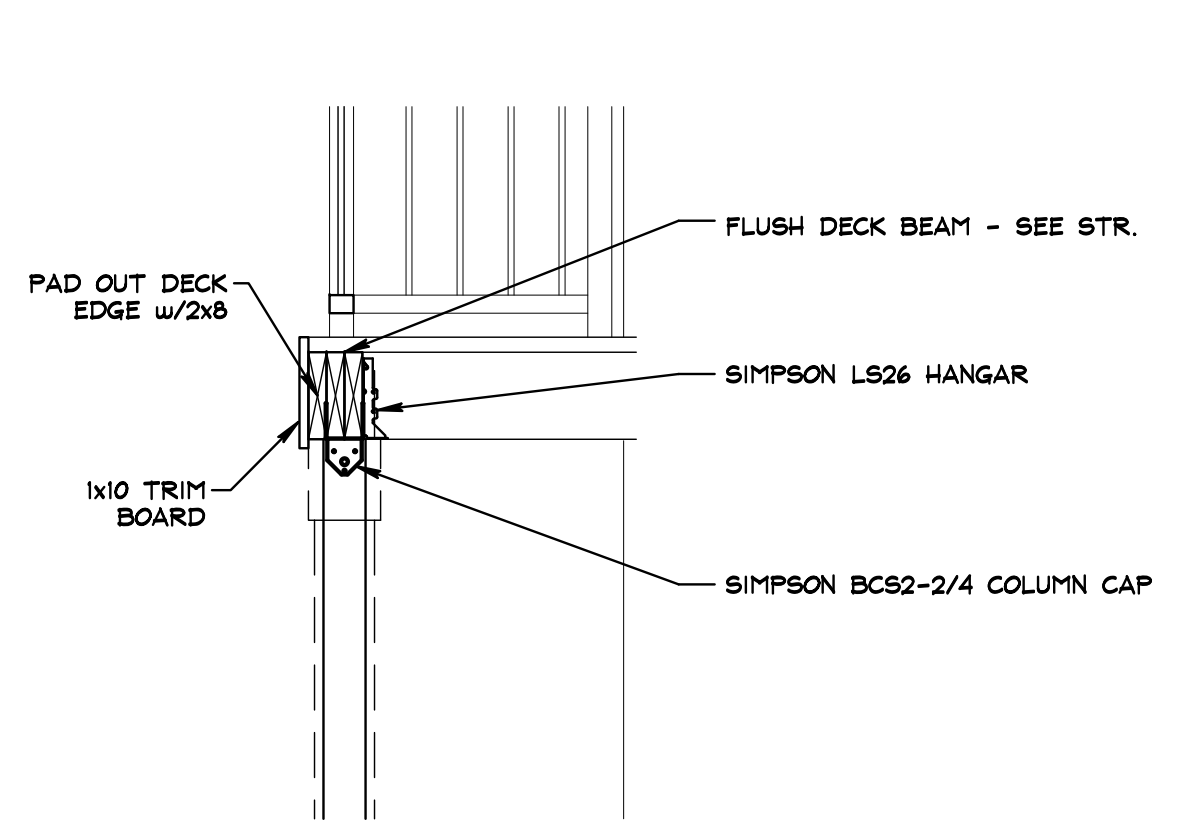
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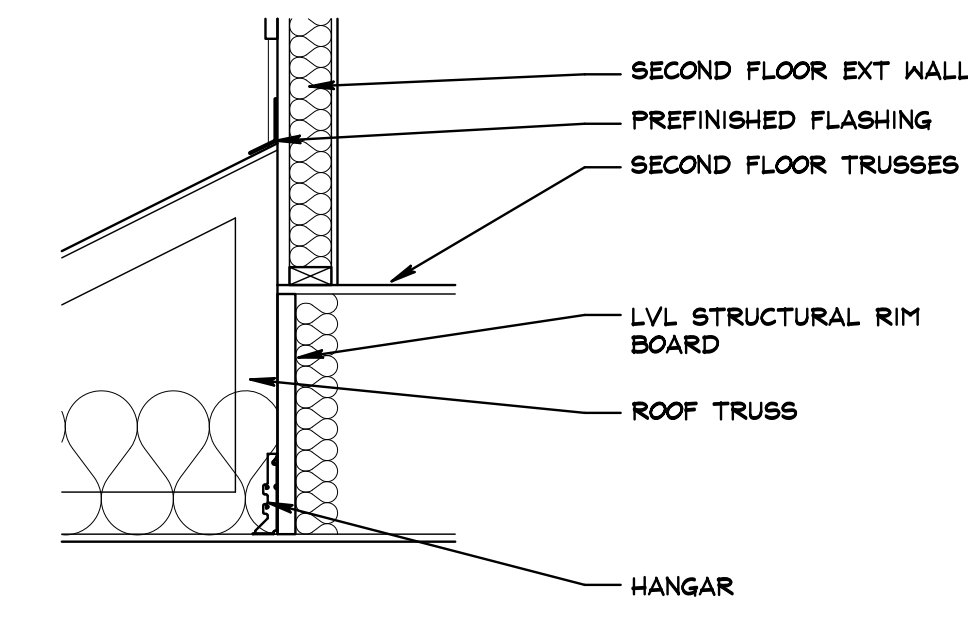
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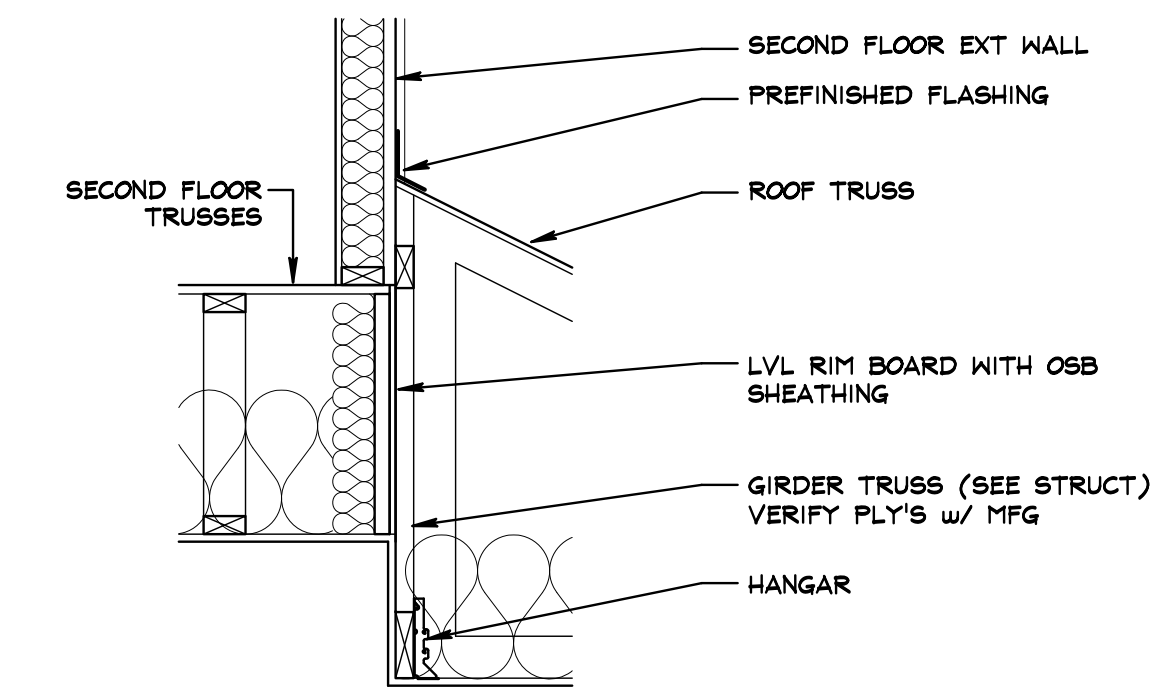
20 SIDEWALL SECTION
3/8" = 1'-0"



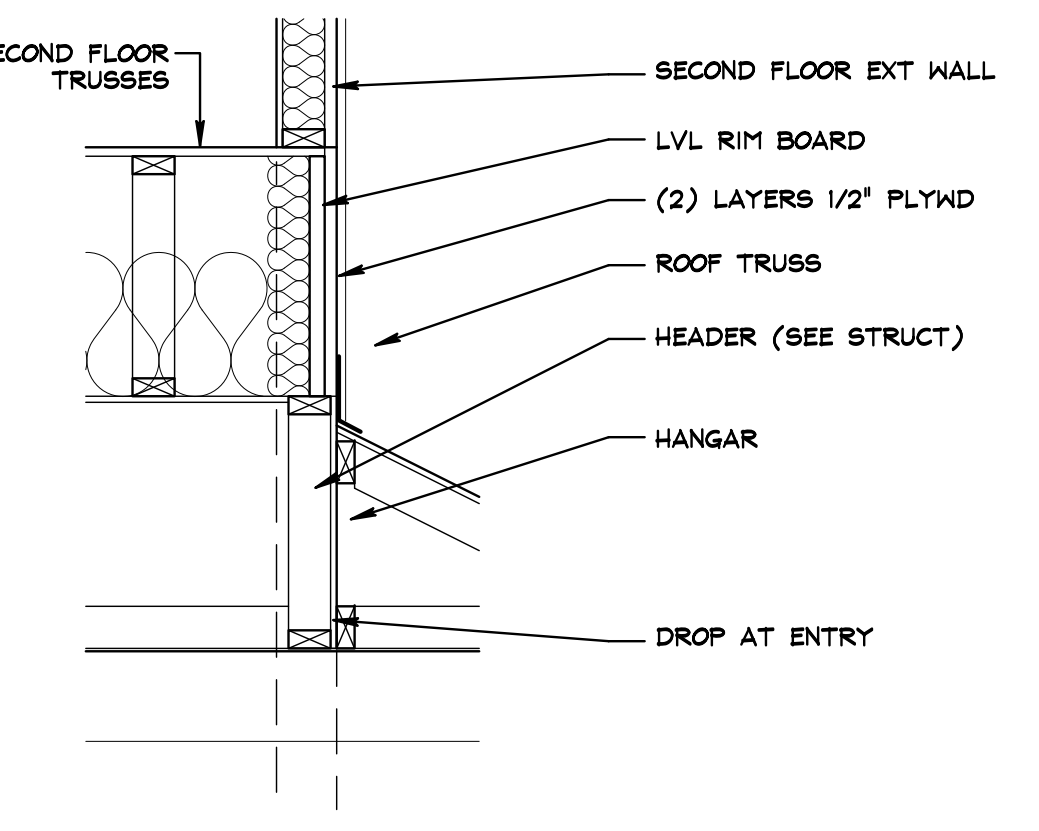
19 DECK DETAIL
3/4" = 1'-0"



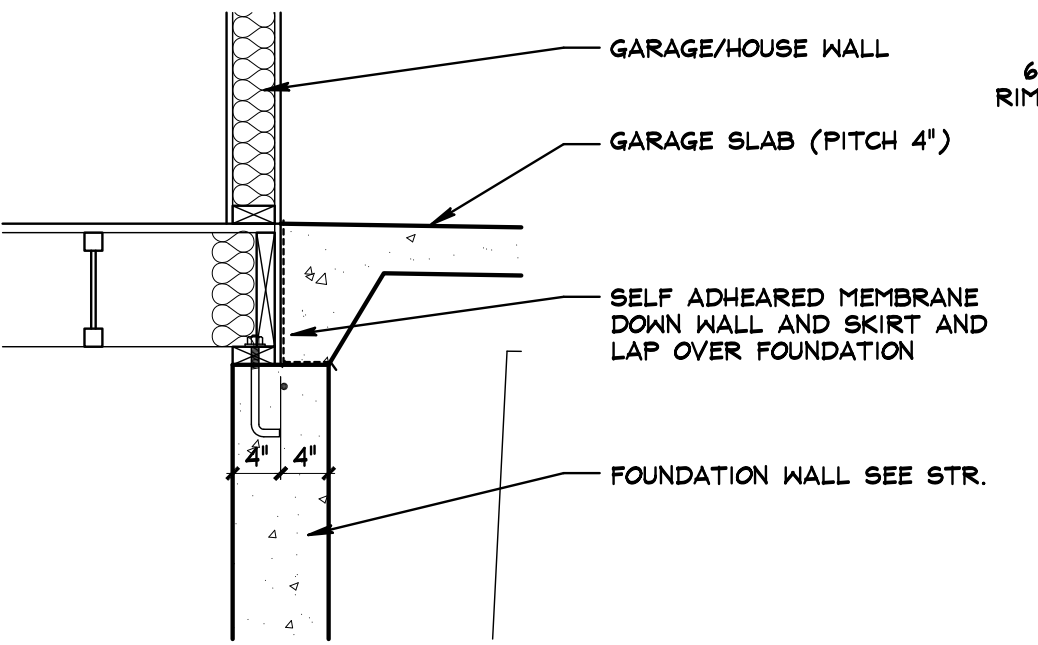
18 RIM/TRUSS BEARING DETAIL
3/4" = 1'-0"



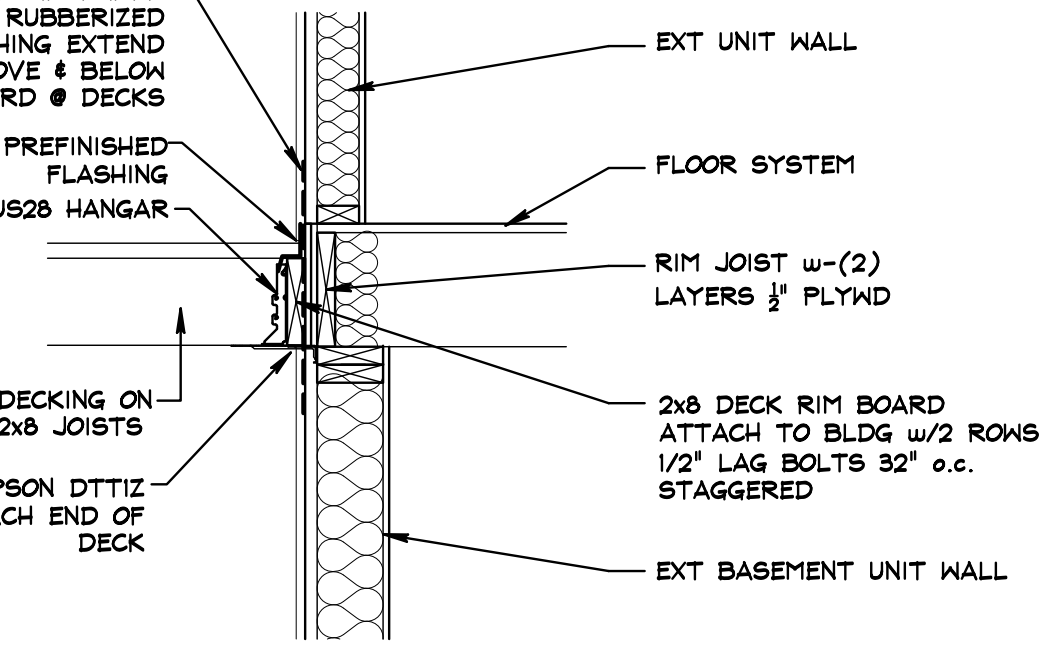
17 TRUSS GIRDER DETAIL
3/4" = 1'-0"



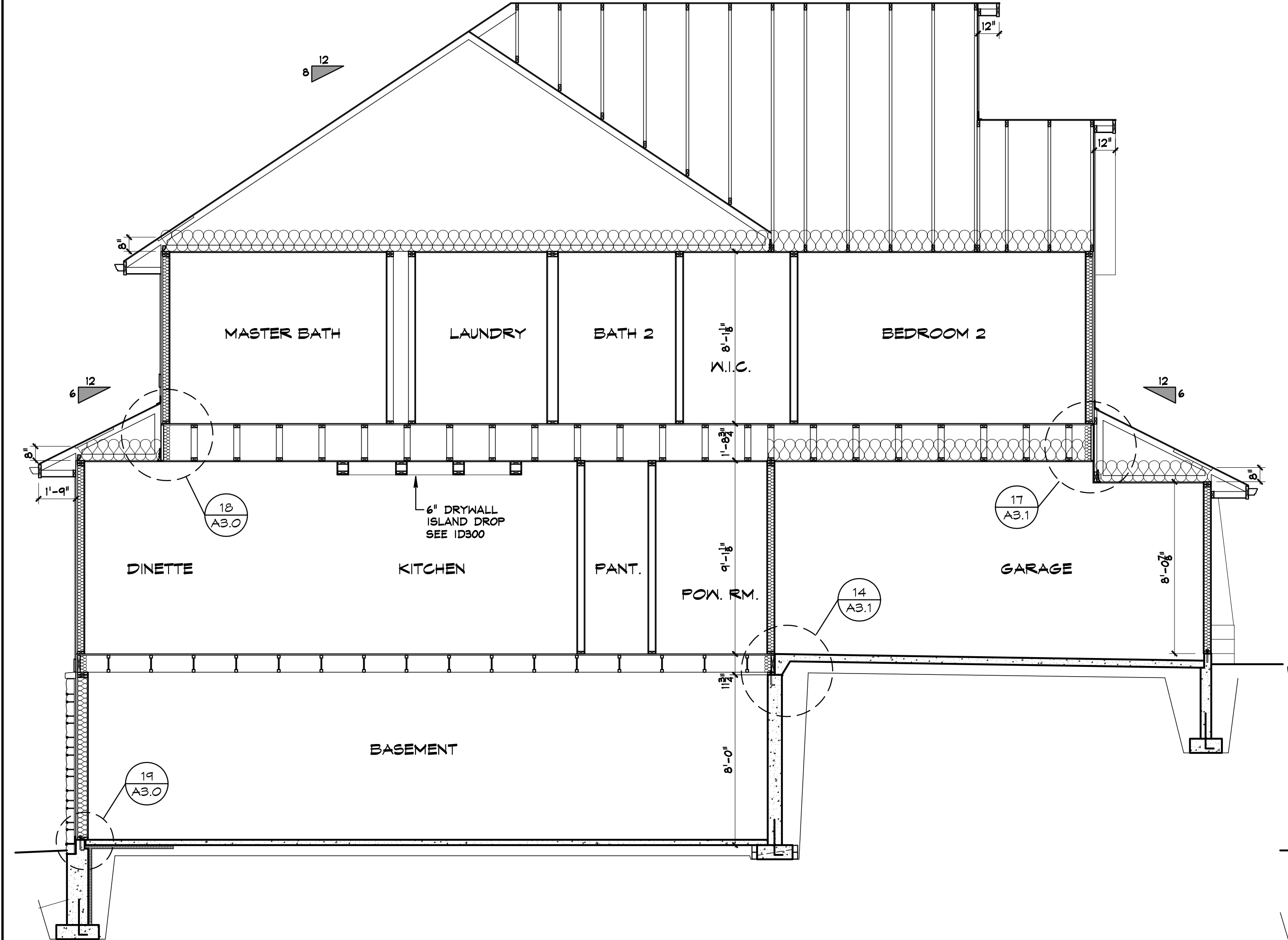
16 RIM/TRUSS BEARING DETAIL
3/4" = 1'-0"



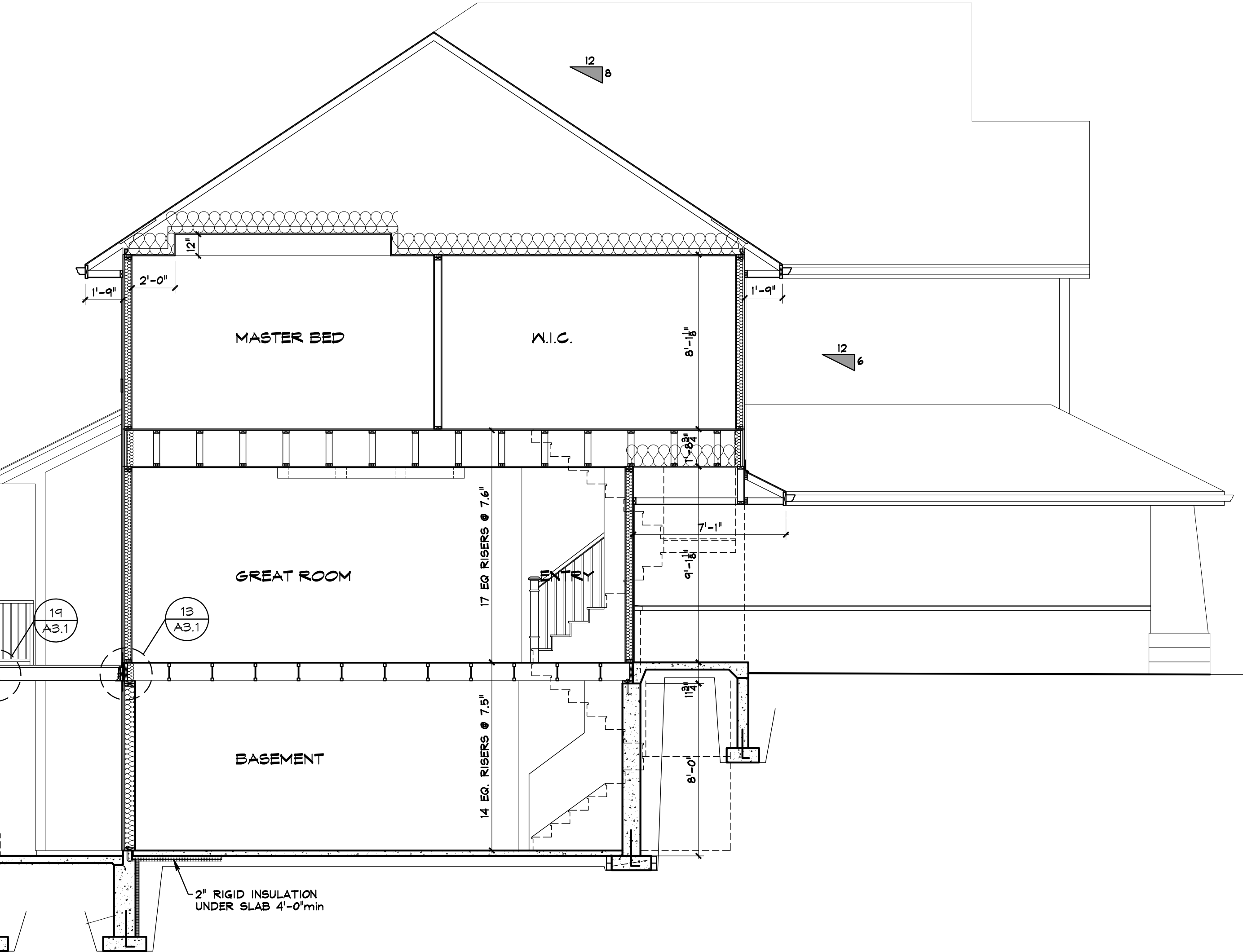
14 GARAGE SLAB AT HOUSE
3/4" = 1'-0"



13 DECK ATTACHMENT DETAIL
3/4" = 1'-0"



5 SECTION AT GARAGE (UNIT 101 & 106 REV)
1/4" = 1'-0"



3 SECTION AT ENTRY (UNIT 101 & 106 REV)
1/4" = 1'-0"

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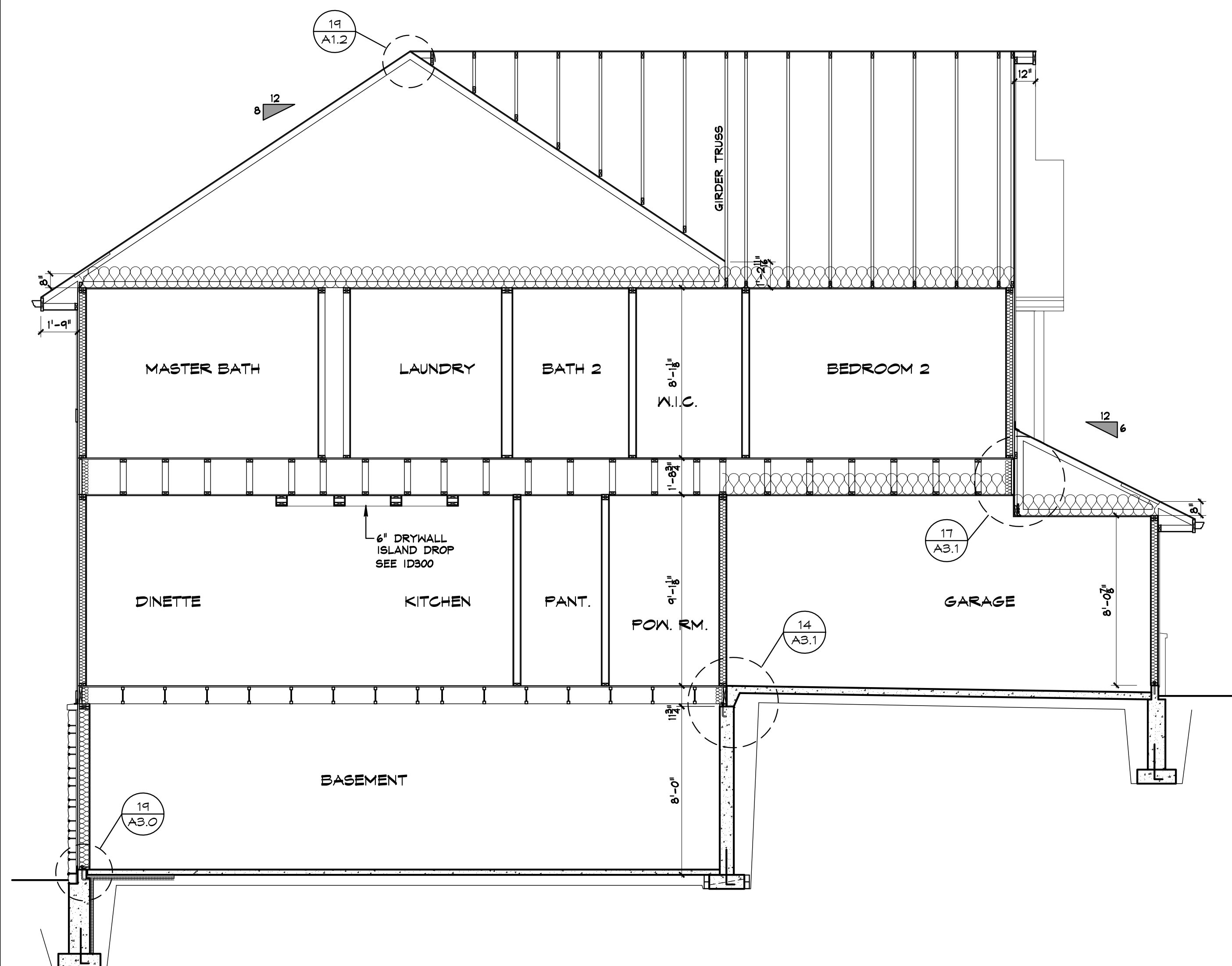
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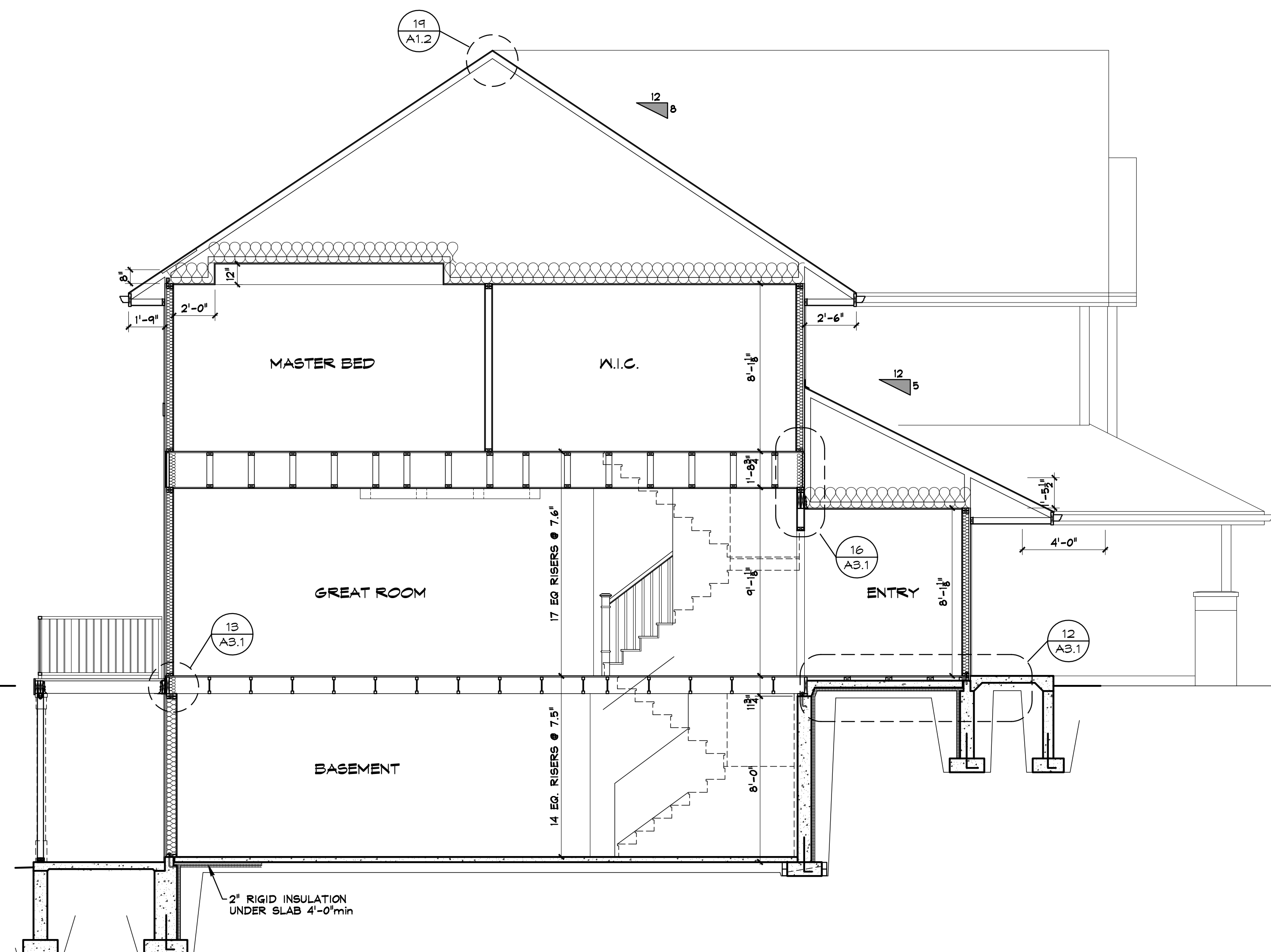
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SECTION AT GARAGE (UNIT 103 & 104 REV)

1/4" = 1'-0"



SECTION AT ENTRY (UNIT 103 & 104 REV)

1/4" = 1'-0"

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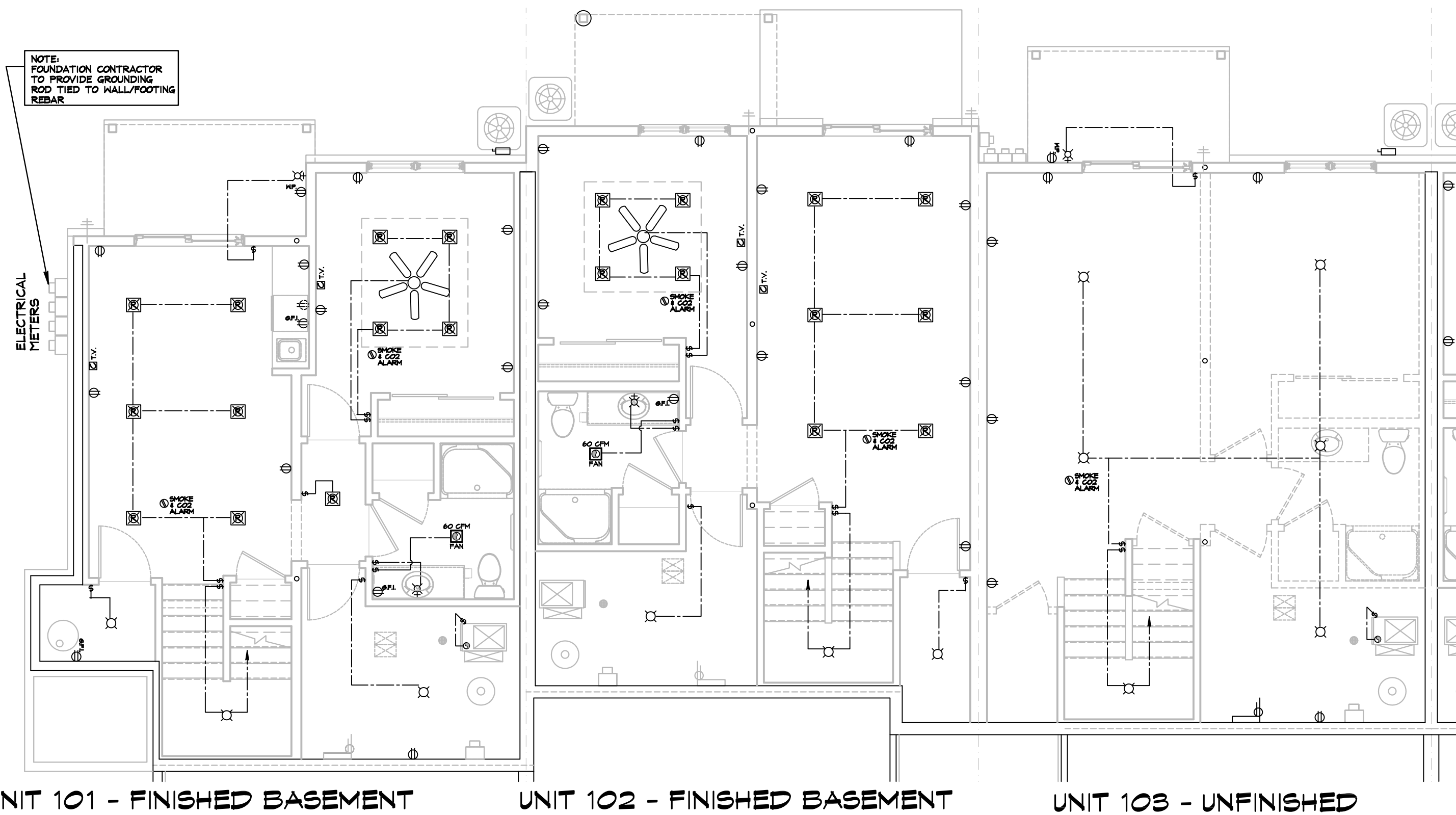
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Checked By: **DG**

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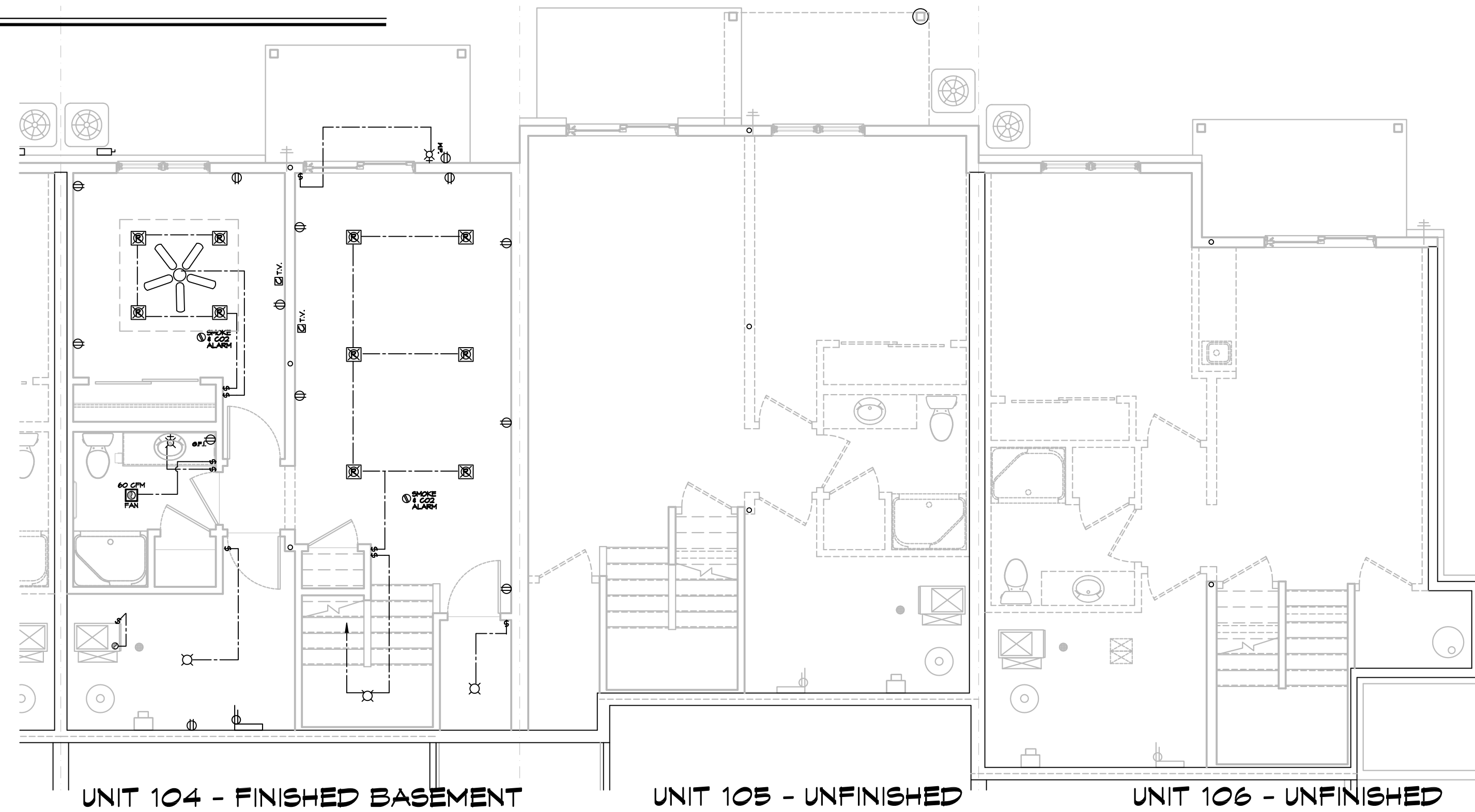
E 1.0



15 PARTIAL BASEMENT LEVEL ELECTRIC PLAN

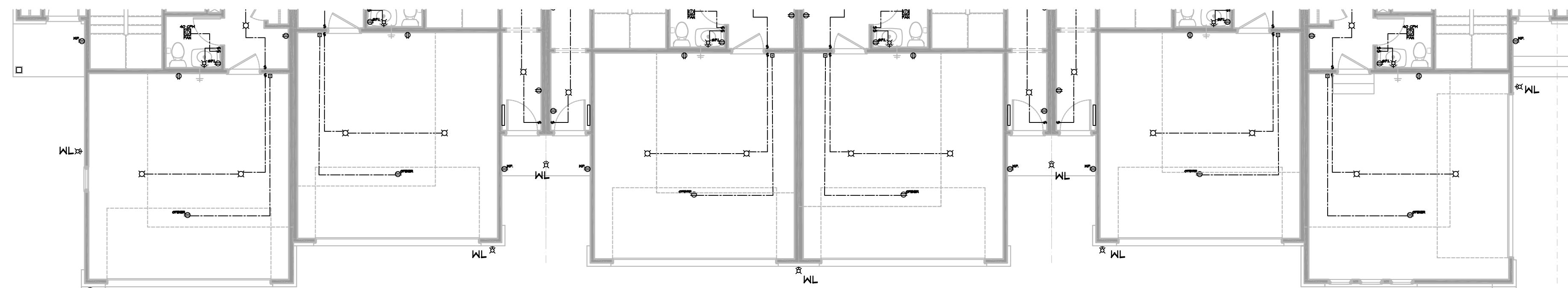
3/16" = 1'-0"

ELECTRICAL KEY	
	60 CFM CEILING MOUNT BATH FAN
	60 CFM CEILING MOUNT BATH FAN/LIGHT
	CEILING FAN BOX LOCATION
	24" FLUORESCENT FIXTURE
	CEILING LIGHT
	PULL CHAIN
	DUPLEX RECEPTACLE
	SWITCHED DUPLEX RECEPTACLE
	220 VOLT RECEPTACLE
	WEATHERPROOF RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT RECEPTACLE
	DUPLEX FLOOR RECEPTACLE
	DISCONNECT
	RECESSED LIGHT (SHALLOW STYLE - NO BONNETT)
	INTERCONNECTED SMOKE BRK #120LBL CO2 ALARM BRK SC#120LBL
	SWITCH
	DIMMER SWITCH
	JAMB SWITCH
	WALL LIGHT
	PHONE/CABLE
	PHONE
	CABLE T.V. JACK
	SPEAKER JACK
	DOORBELL CHIME
	THERMOSTAT
	WALL SCONCE
	SERVICE PANEL WALL MT.
	SERVICE PANEL RECESSED
	MOTOR



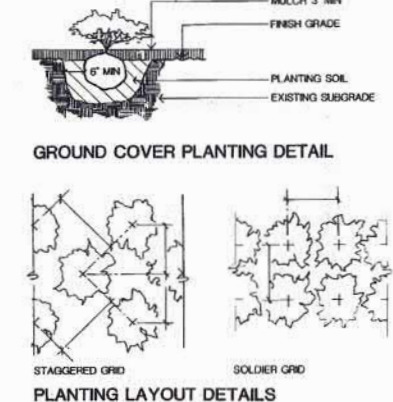
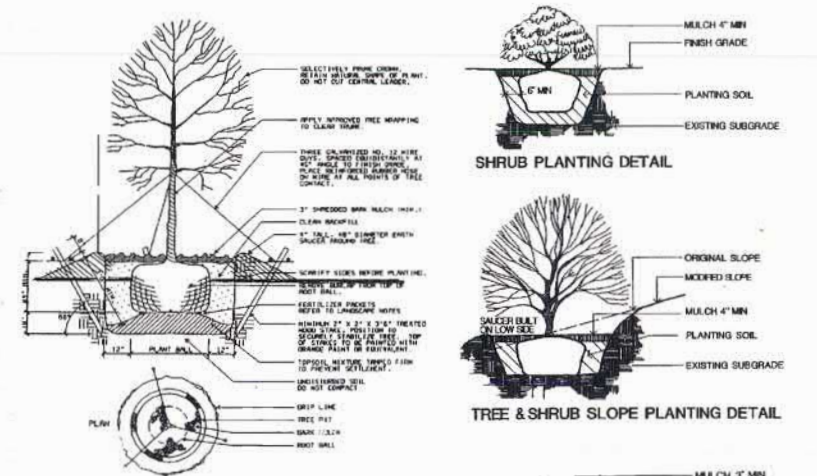
16 PARTIAL BASEMENT LEVEL ELECTRIC PLAN

3/16" = 1'-0"



4 EXTERIOR PUBLIC ELECTRIC PLAN

1/8" = 1'-0"



- JOB SPECIFICATIONS**
- All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
 - All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
 - All plant beds will receive three to four inches of shredded hardwood mulch, treated with Trellon Pre-Emergent both below and on top of the mulch.
 - All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
 - All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kanblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
 - Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curlex Blankets to help prevent wind and water erosion.
 - Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
 - All large trees and evergreens are to be guyed and staked.

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
SHADE TREES					
ABM	18	Autumn Blaze Maple	Acer freemanii	2 1/2-3'	B. B.
SL	13	Skyline Locust	Gleditsia triacanthos	2 1/2-3'	B. B.
LLL	7	Little Leaf Linden	Tilia cordata	2 1/2-3'	B. B.
WA	12	White Ash	Fraxinus americana	2 1/2-3'	B. B.
ORNAMENTAL TREES					
PFC	18	Prairie Fire Flowering Crab	Malus 'prairie fire'	2-2 1/2'	B. B.
DWC	11	Donald Wyman Flowering Crab	Malus 'donald wyman'	2-2 1/2'	B. B.
PSFC	4	Pinkspire Flowering Crab	Malus 'pinkspire'	2-2 1/2'	B. B.
GSP	26	Cleveland Select Pear	Pyrus calleryana	2 1/2-3'	B. B.
JTL	8	Japanese Tree Lilac	Syringa pekinensis	2-2 1/2'	B. B.
EVERGREEN TREES					
BS	23	Blue Spruce	Picea pungens glauca	7-8'	B. B.
GS	5	Green Spruce	Picea pungens	7-8'	B. B.
BHS	10	Blackhill Spruce	Picea glauca densata	7-8'	B. B.
TA	34	Techney Arborvitae	Thuja occidentalis 'Techney'	7-8'	B. B.
AP	23	Austrian Pine	Pinus nigra	7-8'	B. B.
SHRUBS AND PERENNIALS					
KJ	9	Kalley Juniper	Juniperus chinensis	24"	B. B.
CSR	10	Champlain Shrub Rose	Rosa meidland	18"	B. B.

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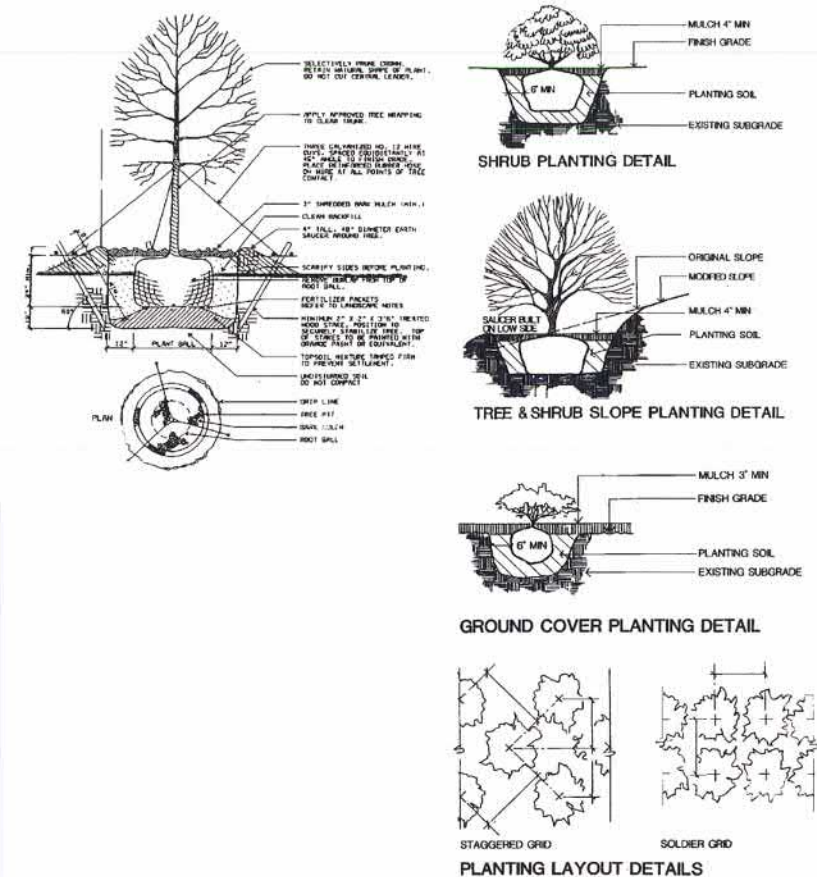
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**EAGLES NEST
CONDOMINIUMS**
Job #2302
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI

SITE LANDSCAPE PLAN
REVISIONS: 7-17-04, 12-23-04
DRAWN BY: D.K.N.

Project: _____ Sheet: _____
Date: 6-23-04
Scale: 1"=40' 0" **L1**



- JOB SPECIFICATIONS**
- All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
 - All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
 - All plant beds will receive three to four inches of shredded hardwood mulch, treated with Trellon Pre-Emergent both below and on top of the mulch.
 - All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
 - All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kenblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
 - Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curlex Blankets to help prevent wind and water erosion.
 - Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
 - All large trees and evergreens are to be guyed and staked.

LANDSCAPE PLANT DATA

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
SHADE TREES					
ABM	18	Autumn Blaze Maple	Acer freemanii	2 1/2-3"	B. B.
SL	13	Skyline Locust	Gleditsia triacanthos	2 1/2-3"	B. B.
LLL	7	Little Leaf Linden	Tilia corolata	2 1/2-3"	B. B.
WA	12	White Ash	Fraxinus americana	2 1/2-3"	B. B.
ORNAMENTAL TREES					
PFC	18	Prairie Fire Flowering Crab	Malus 'prairie fire'	2-2 1/2"	B. B.
DWC	11	Donald Wyman Flowering Crab	Malus 'donald wyman'	2-2 1/2"	B. B.
PSFC	4	Pinkspire Flowering Crab	Malus 'pinkspire'	2-2 1/2"	B. B.
CSP	26	Cleveland Select Pear	Pyrus calleryana	2 1/2-3"	B. B.
JTL	8	Japanese Tree Lilac	Syringa pekinensis	2-2 1/2"	B. B.
EVERGREEN TREES					
BS	23	Blue Spruce	Picea pungens glauca	7-8"	B. B.
GS	5	Green Spruce	Picea pungens	7-8"	B. B.
BHS	10	Blackhill Spruce	Picea glauca densata	7-8"	B. B.
TA	34	Techney Arborvitae	Thuja occidentalis 'Techney'	7-8"	B. B.
AP	23	Austrian Pine	Pinus nigra	7-8"	B. B.
SHRUBS AND PERENNIALS					
KJ	9	Kailey Juniper	Juniperus chinensis	24"	B. B.
CSR	10	Champlain Shrub Rose	Rosa meidland	18"	B. B.

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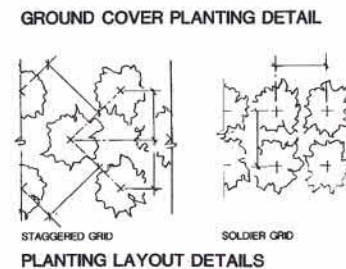
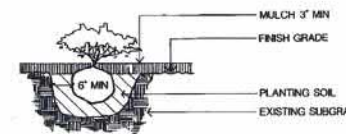
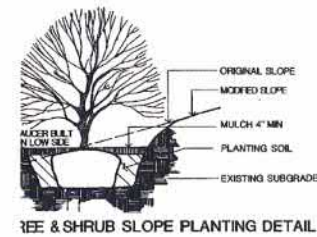
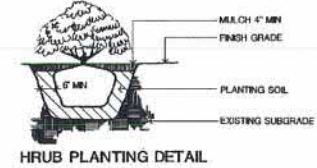
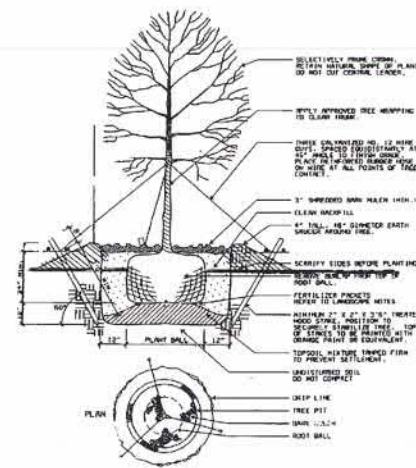
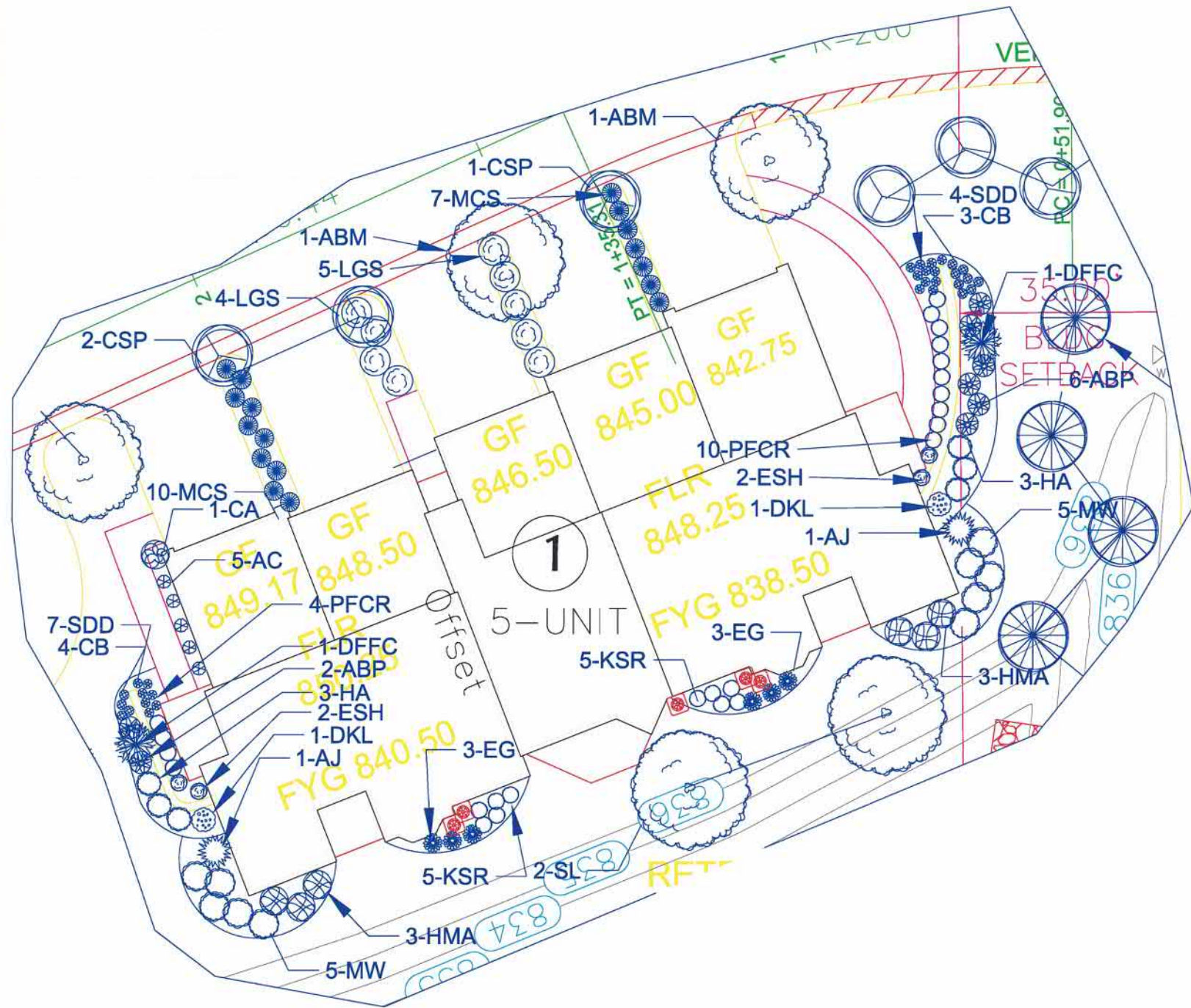
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EAGLES NEST CONDOMINIUMS
 Job #2302
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI

SITE LANDSCAPE PLAN
 REVISIONS: 7-17-04, 12-23-04
 DRAWN BY: D.K.N.

Project: _____ Sheet: _____
 Date: 6-23-04
 Scale: 1"=40' 0" **L2**



- JOB SPECIFICATIONS**
- All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
 - All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
 - All plant beds will receive three to four inches of shredded hardwood mulch, treated with Treflon Pre-Emergent both below and on top of the mulch.
 - All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
 - All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kenblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
 - Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curfex Blankets to help prevent wind and water erosion.
 - Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
 - All large trees and evergreens are to be guyed and staked.

LANDSCAPE PLANT DATA

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
HA	6	Holmstrup Arborvitae	Thuja occidentalis holmstrup	4'-5'	B. B.
AJ	2	Arcadia Juniper	Juniperus chinensis	24-30"	B. B.
HMA	6	Hetz Midjet Arborvitae	Thuja occidentalis hetz	18"	B. B.
GVB	0	Green Velvet Boxwood	Buxus green velvet	24"	B. B.
EG	6	Euonymus Gaely	Euonymus fortunei	18"	B. B.
DFFC	2	Dwarf Firebird Flowering Crab	Malus	1 3/4'-2"	B. B.
CA	1	Compact Atlas	Euonymus alata	30-36"	B. B.
DKL	2	Dwarf Korean Lilac	Syringa meyeri	36-42"	B. B.
ABP	8	Abbotswood Potentilla	Potentilla fruticosa	18-24"	B. B.
GS	0	Goldmound Spirea	Spiraea bumalda	18-24"	B. B.
LGS	9	Low Grow Sumac	Rhus aromatica	18-24"	B. B.
MCS	17	Magic Carpet Spirea	Spiraea japonica	15-18"	B. B.
AC	5	Alpine Currant	Ribes alpinum	18-24"	B. B.
MW	10	Minuet Weigela	Weigela florida brigela'	18"	B. B.
KSR	10	Knockout Shrub Rose	Rosa knockout	2-3'	B. B.
ESH	4	Endless Summer Hydrangea	Hydrangea macrophylla	18"	B. B.
PFCR	14	Pink Flower Carpet Rose	Rosa flower carpet	18"	B. B.
SDD	14	Stella D'Ora Daylily	Hemerocallis	1 gal.	pots
CB	12	Coral Bell	Heuchera micrantha	1 gal.	pots



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**EAGLES NEST
CONDOMINIUMS**
Job #2302
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI

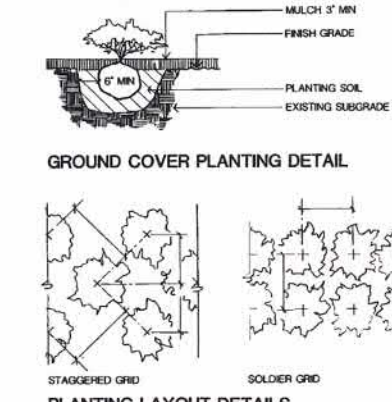
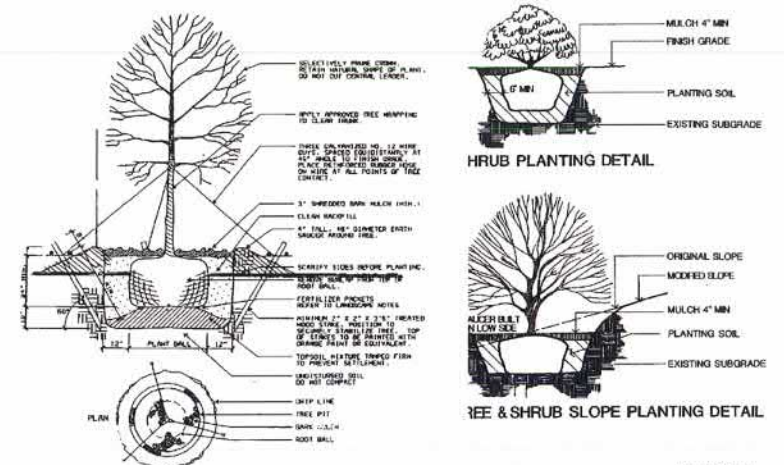
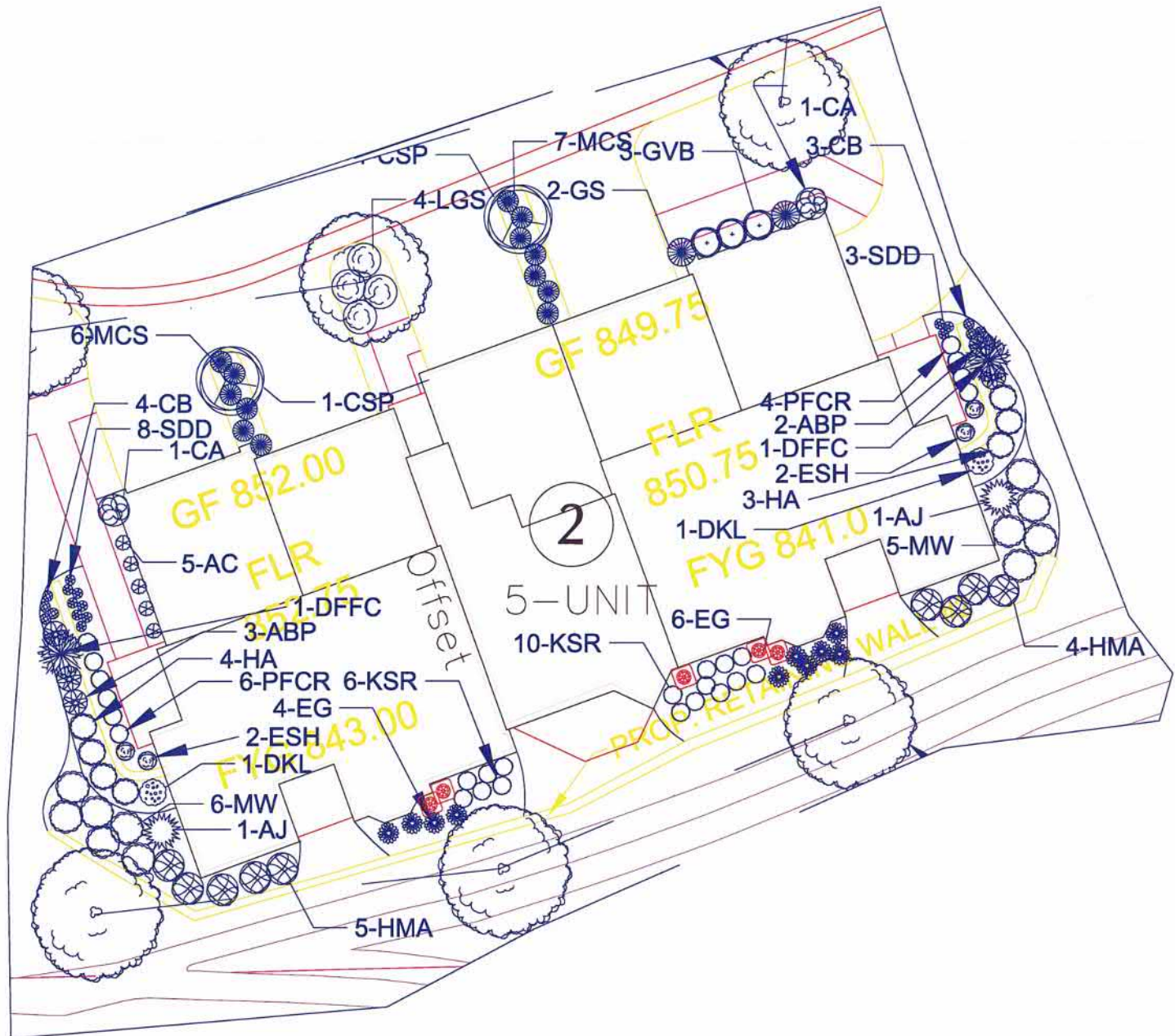
**BUILDING 1 FOUNDATION
PLANTINGS**

REVISIONS: 7-17-04, 12-23-04

DRAWN BY: D.K.N.

Project
Date 6-23-04
Sheet
Scale 1"=10' 0"

L3



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LANDSCAPE PLANT DATA

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
HA	7	Holmstrup Arborvitae	Thuja occidentalis holmstrup	4-5'	B. B.
AJ	2	Arcadia Juniper	Juniperus chinensis	24-30"	B. B.
HMA	9	Hetz Midget Arborvitae	Thuja occidentalis hetz	18"	B. B.
GVB	3	Green Velvet Boxwood	Buxus green velvet	24"	B. B.
EG	10	Euonymus Gaelyi	Euonymus fortunei	18"	B. B.
DFFC	2	Dwarf Firebird Flowering Crab	Malus	1 3/4-2"	B. B.
CA	2	Compact Alatus	Euonymus alata	30-36"	B. B.
DKL	2	Dwarf Korean Lilac	Syringa meyeri	36-42"	B. B.
ABP	5	Abbotswood Potentilla	Potentilla fruticosa	18-24"	B. B.
GS	2	Goldmound Spirea	Spiraea bumalda	18-24"	B. B.
LGS	4	Low Grow Sumac	Rhus aromatica	18-24"	B. B.
MCS	13	Magic Carpet Spirea	Spiraea japonica	15-18"	B. B.
AC	5	Alpine Currant	Ribes alpinum	18-24"	B. B.
MW	11	Minuet Weigela	Weigela florida brigeia'	18"	B. B.
KSR	16	Knockout Shrub Rose	Rosa knockout	2-3'	B. B.
ESH	4	Endless Summer Hydrangea	Hydrangea macrophylla	18"	B. B.
PFCR	10	Pink Flower Carpet Rose	Rosa flower carpet	18"	B. B.
SDD	11	Stella D' Ora Daylily	Hemerocallis	1 gal.	pots
CB	7	Coral Bell	Heuchera micrantha	1 gal.	pots

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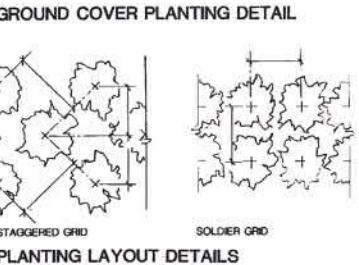
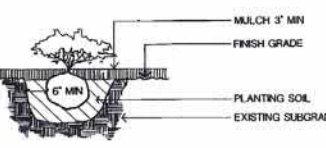
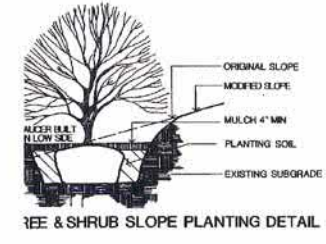
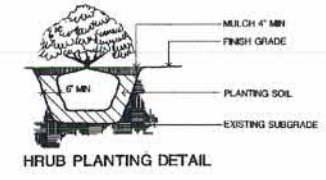
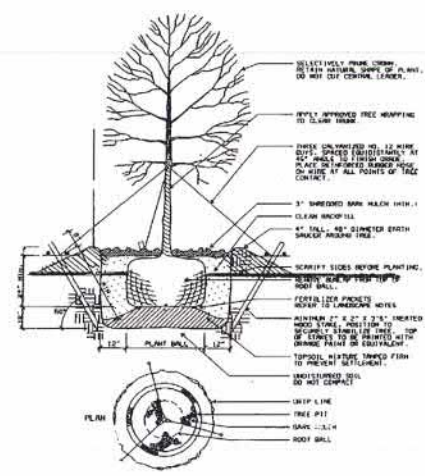
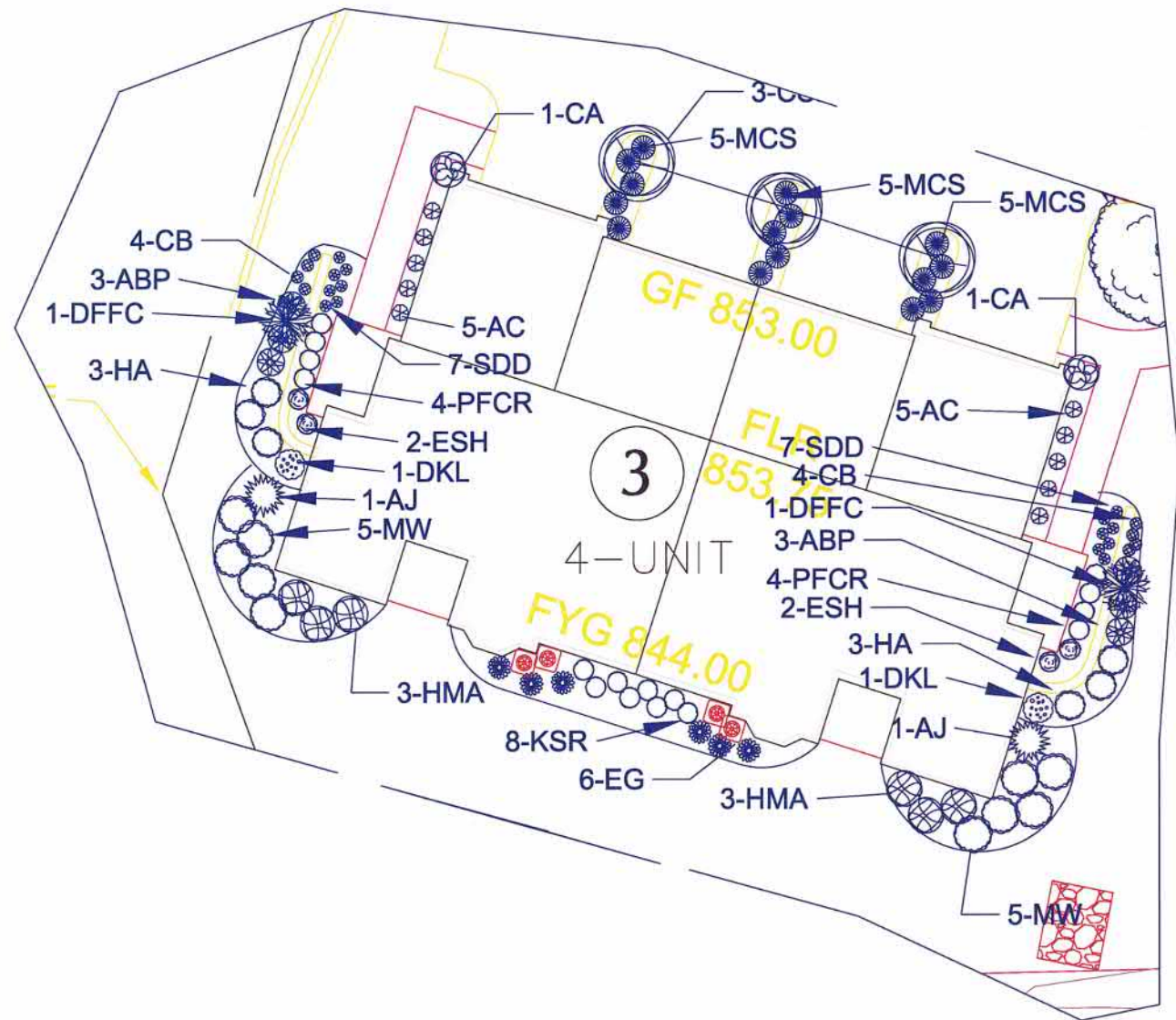
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**EAGLES NEST
CONDOMINIUMS**
Job #2302
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI

**BUILDING 2 FOUNDATION
PLANTINGS**
REVISIONS: 7-17-04, 12-23-04
DRAWN BY: D.K.N.

Project: _____ Sheet: _____
Date: 6-23-04
Scale: 1"=10' 0" **L4**



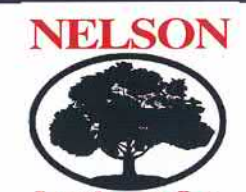
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EAGLES NEST
CONDOMINIUMS
 Job #2302
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI

BUILDING 3 FOUNDATION
PLANTINGS
 REVISIONS: 7-17-04, 12-23-04
 DRAWN BY: D.K.N.

Project: _____ Sheet: _____
 Date: 6-23-04
 Scale: 1"=10' 0" **L5**



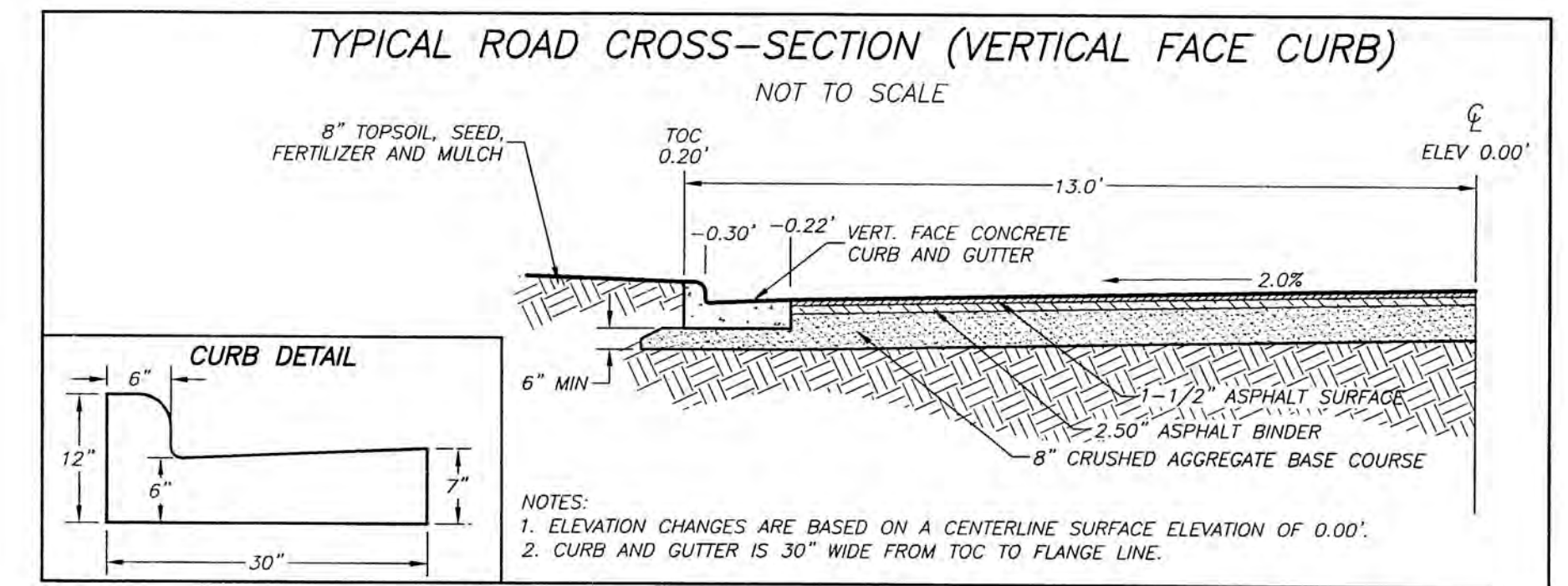
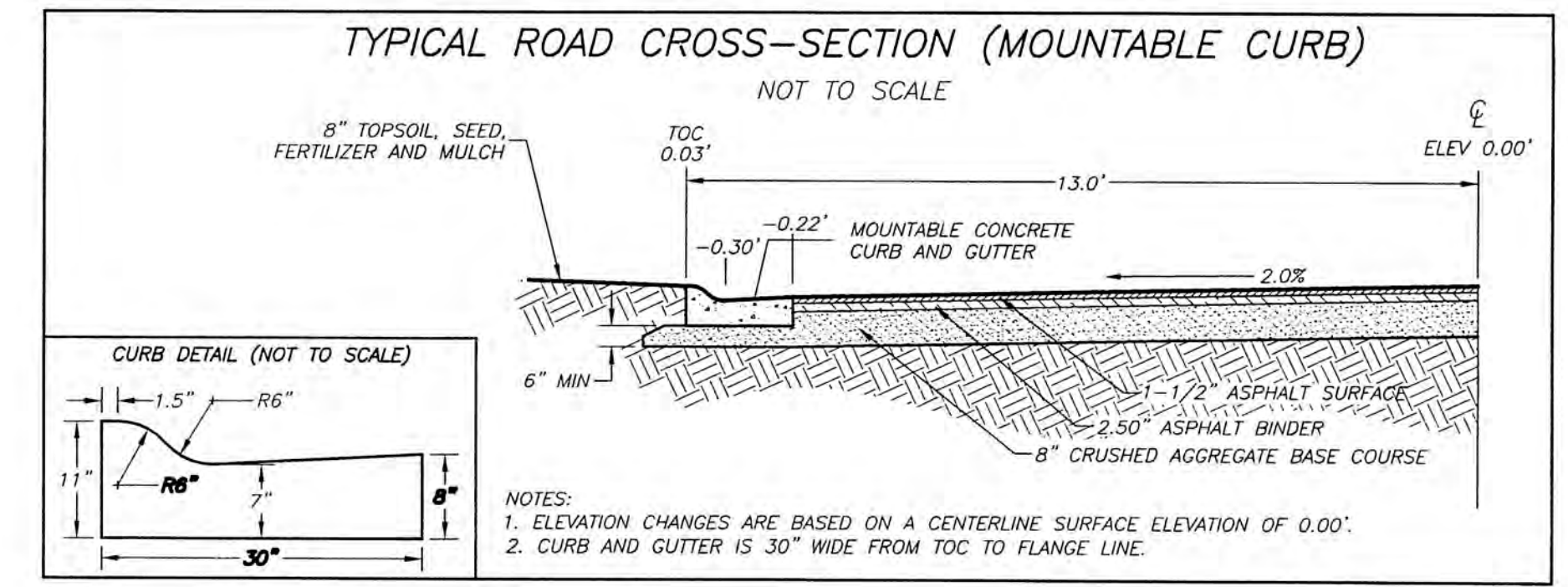


EAGLES NEST CONDOMINIUMS

Being a part of the Southeast 1/4 of the Southeast 1/4 of Section 29, Township 7 North, Range 20 East,
in the Town of Brookfield, Waukesha County, Wisconsin.

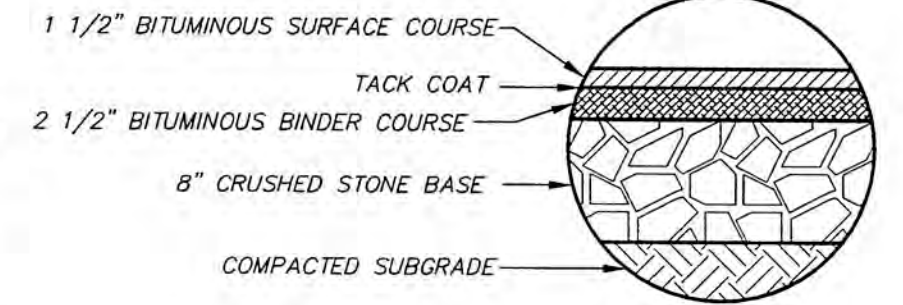
SHEET INDEX

- C1 SITE PLAN / TITLE SHEET
- C2 GRADING PLAN
- C3 EROSION CONTROL PLAN
- C4 ROAD PROFILE
- C5 OVERALL UTILITY PLAN
- C6 SANITARY SEWER PLAN
- C7 SANITARY SEWER & WATERMAIN PROFILE
- C8 WATERMAIN PLAN
- C9 WATERMAIN PROFILE (NORTH)
- C10 STORM SEWER PLAN
- C11 STORM SEWER PROFILE
- C12 SURVEY, DEMOLITION & TREE REMOVAL PLAN
- C13 SITE LIGHTING PLAN
- C14 ENTRANCE SIGN PLAN



NOTES:

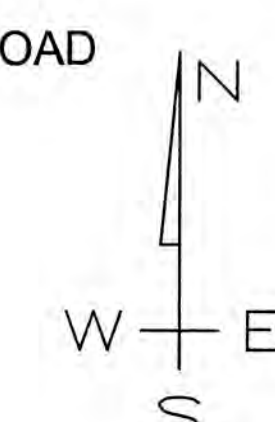
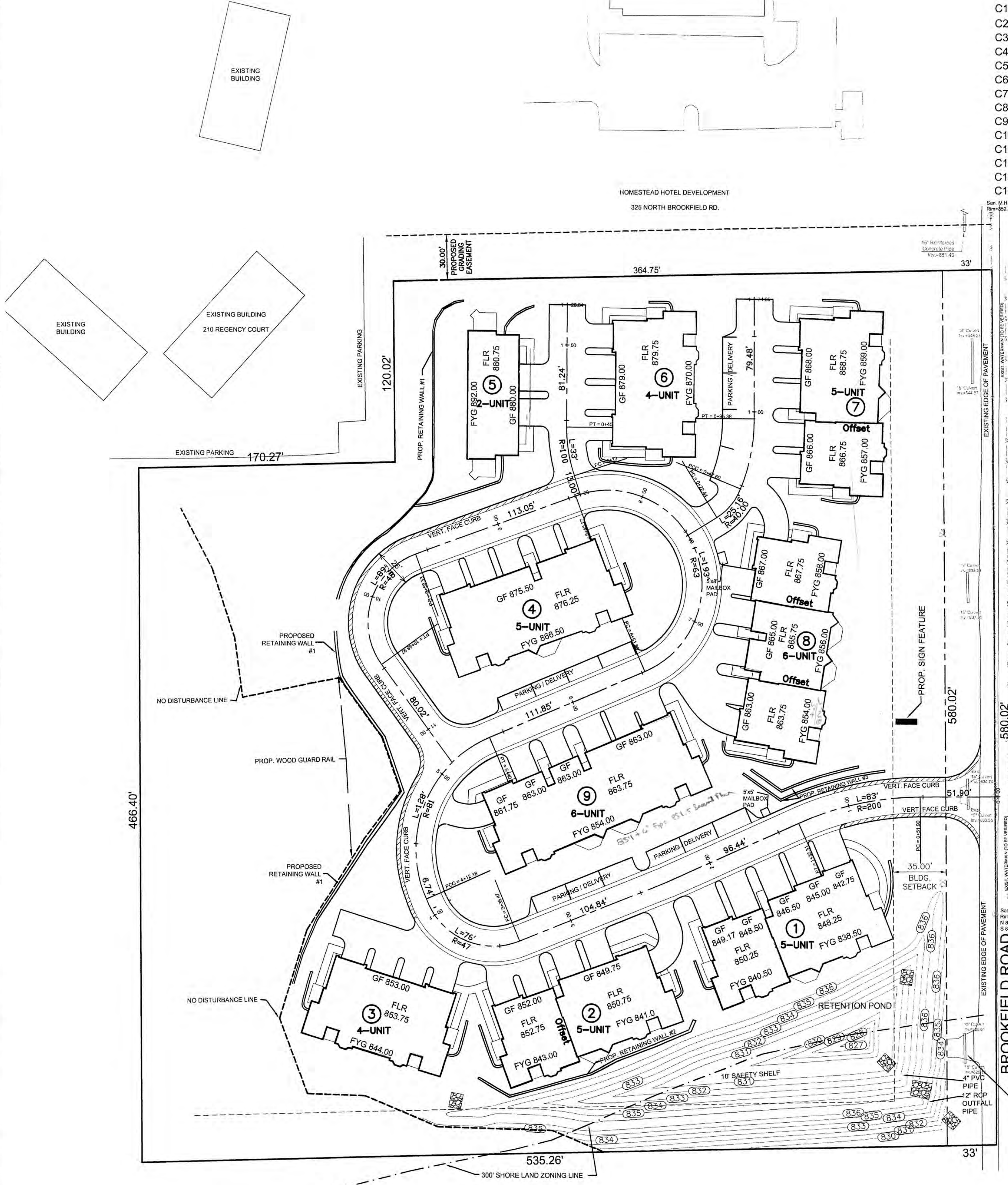
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



BITUMINOUS PAVEMENT SECTION
AT ALL DRIVEWAY LOCATIONS

SEQUENCE OF CONSTRUCTION

1. PLACE SILT FENCE AND TRACKING MAT AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN.
2. CONSTRUCT RETENTION POND AND BERMS.
3. STRIP TOPSOIL IN ROADS AND FILL AREAS. STOCKPILE TOPSOIL FOR REUSE IN ROAD DITCHES, CURB BACKFILL, AND TO COVER DISTURBED SLOPES. SURROUND THE DOWNHILL SIDE OF THIS PILE WITH SILT FENCE.
4. ROUGH GRADE THE REMAINDER OF ROAD AND DITCHES TO WITHIN ±0.5' OF SUBGRADE.
5. CONSTRUCT DRAINAGE STRUCTURES.
6. FINE GRADE ALL DITCHES AND ROAD SUBBASE TO WITHIN ±0.10' BEING SURE TO LEAVE DITCHES AND DISTURBED AREAS LOW ENOUGH TO ACCEPT 4" (MIN.) OF TOPSOIL.
7. INSTALL UNDERGROUND CABLE UTILITIES.
8. RESPREAD TOPSOIL TO A DEPTH OF 8" (MIN.) ON ALL DISTURBED AREAS, SOD OR SEED, FERTILIZE AND MAT AS SPECIFIED. RESTORE UTILITY TRENCHES AFTER UTILITY INSTALLATION.
- 8a. IF SOD CANNOT BE PLACED AS REQUIRED DUE TO WEATHER OR TIME OF YEAR, THEN SOD AREAS MUST BE SEEDED AND MATTED THEN SODDED IN THE SPRING.
9. PLACE STONE SUBBASE IN ROAD AREAS AND UNDER CURB AREA.
10. PAVE CURB AND BEGIN PAVING ASPHALT.
11. SEVEN DAYS AFTER CURB PAVING, BACKFILL CURBS WITH TOPSOIL AND IMMEDIATELY TOPSOIL, SEED, FERTILIZE AND COVER WITH TACKIFIED MULCH.
12. UPON STABILIZATION OF 90% OF DISTURBED AREAS A CLOSURE REPORT WILL BE FILED WITH THE WI DNR AND WHEN APPROVED, ACCUMULATED SEDIMENT MUST BE REMOVED FROM SILTATION BASINS AND REMOVE EROSION CONTROLS. SILTATION BASINS WILL REMAIN TO FUNCTION AS PERMANENT WATER QUALITY PONDS.



Floor System = 1.20



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2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227
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INFO@LANDCRAFTSE.COM

DESIGNED BY: CVH/ 6/24/04
CHECKED BY: MPD 11/8/04
APPROVED BY: _____ DATE _____
TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 12/15/04
SCALE: 1"=40'

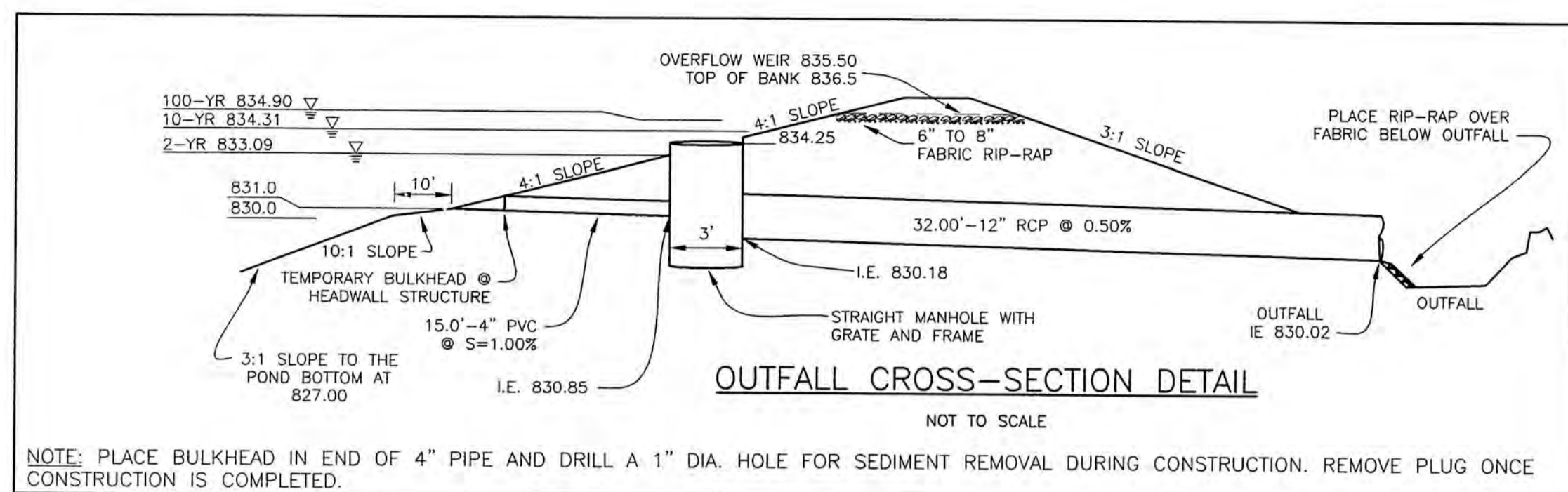
J.B.J. Construction
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W178 N9912 Rivercrest Drive, Suite 101
Germanstown, WI 53022-4645
www.jbjcompanies.com
Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
SITE PLAN / TITLE SHEET
C1

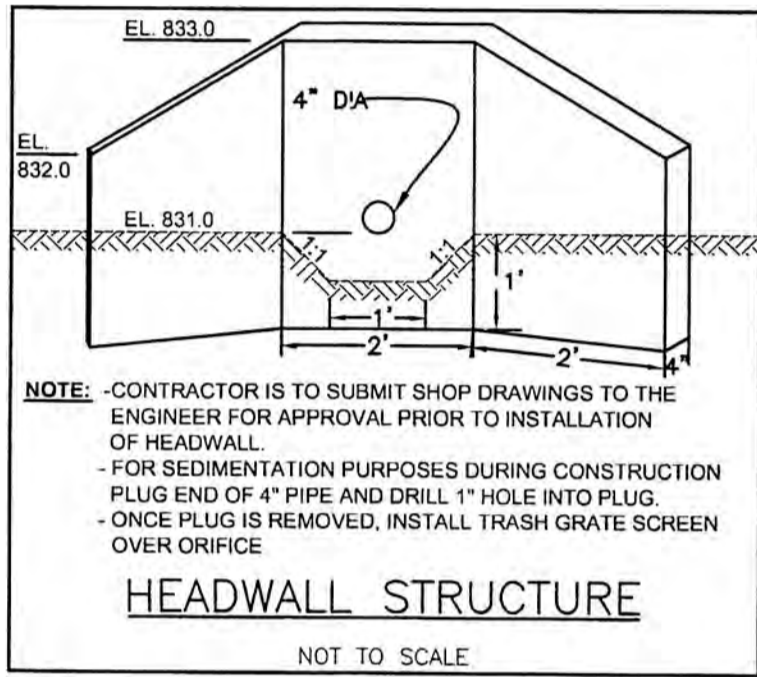
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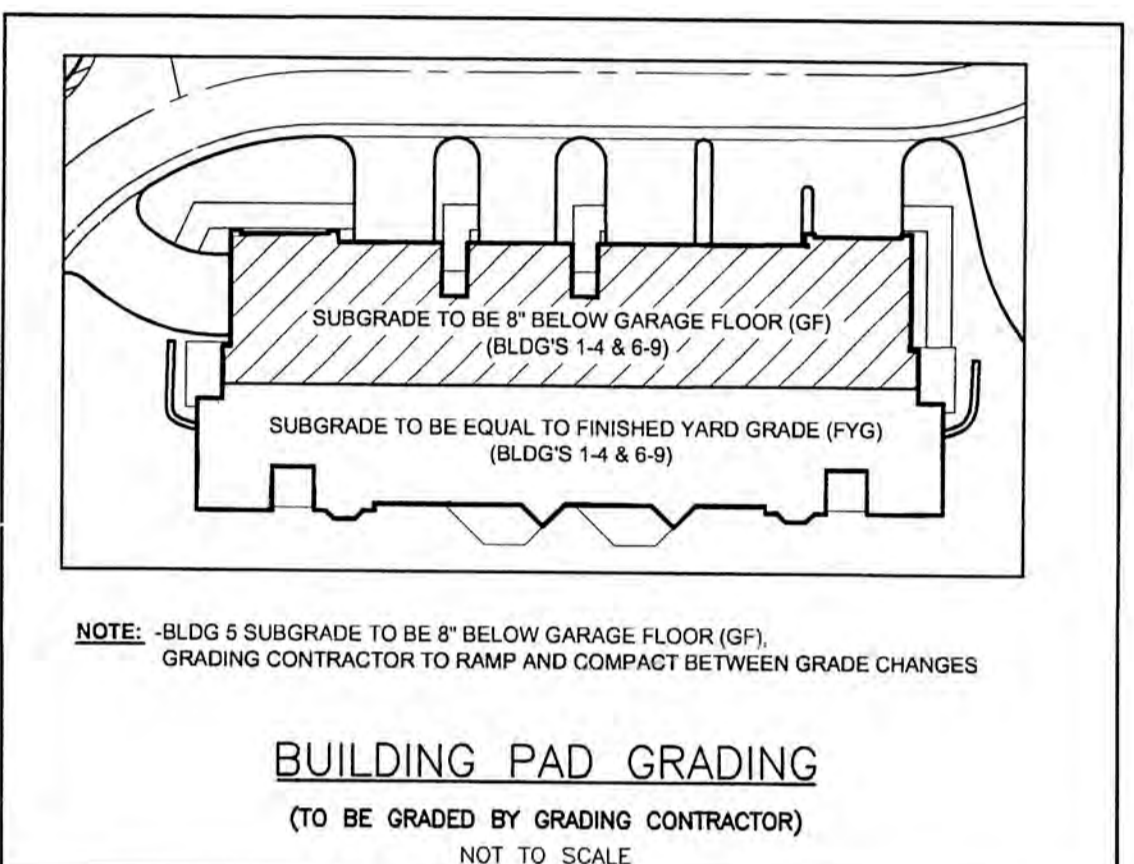
GRADING CONTRACTOR TO RESTORE EASEMENT AREA AS REQUIRED IMMEDIATELY AFTER GRADING OF AREA IS COMPLETE -SEED & EROSION MAT AS REQUIRED



NOTE: PLACE BULKHEAD IN END OF 4\"/>



NOTE: CONTRACTOR IS TO SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION OF HEADWALL. FOR SEDIMENTATION PURPOSES DURING CONSTRUCTION PLUG END OF 4\"/>

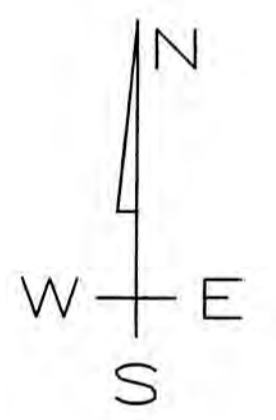


NOTE: -BLDG 5 SUBGRADE TO BE 6\"/>

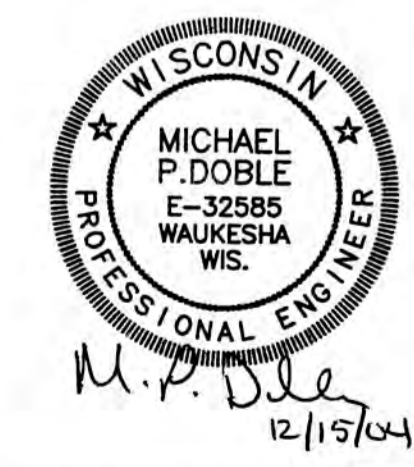
EXISTING 15\"/>

FOLLETT ROAD

BROOKFIELD ROAD



NOTES:
 1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
 2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



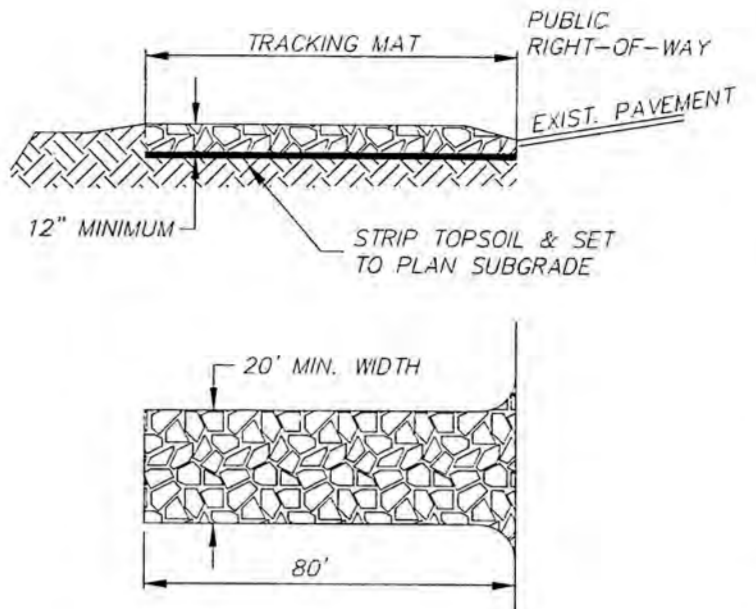
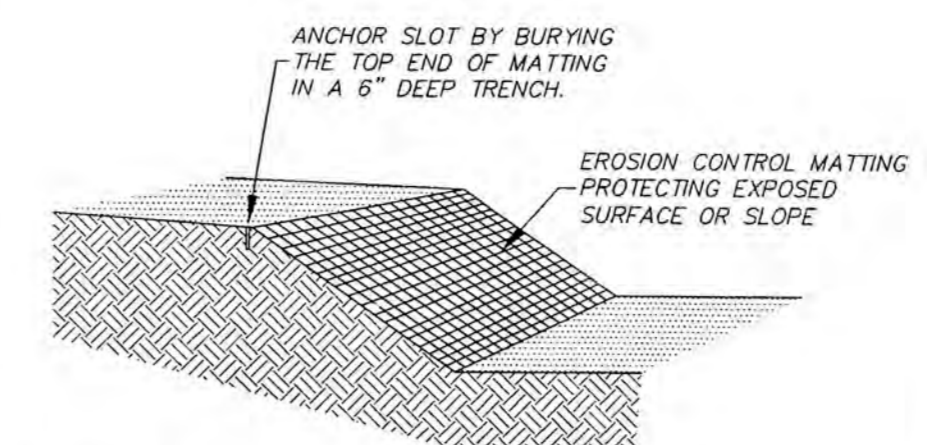
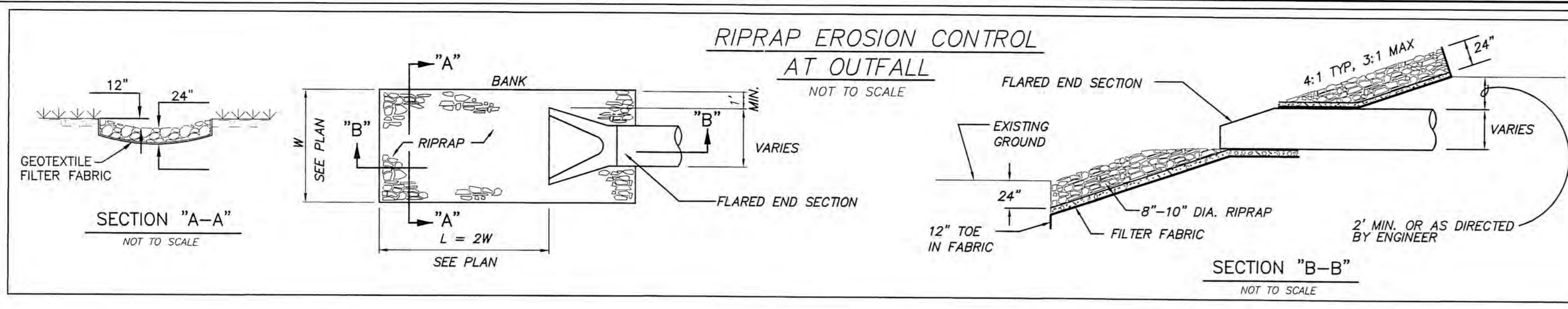
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DESIGNED BY: CWH 6/24/04
 CHECKED BY: MPD 11/8/04
 APPROVED BY: _____ DATE _____
 TOWN/CITY ENGINEER
 PROJECT NO.-REVISION: 030642 - 12/15/04
 SCALE: 1"=40'

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EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
 GRADING PLAN
 C2

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- NOTES:**
- USE #2 STONE, MINIMUM 18" LENGTH OR AS SHOWN ON PLAN, MINIMUM 20" WIDTH, MINIMUM 12" THICK.
 - FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. THE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - GRAB STRENGTH: 220 LBS. (ASTM D-1682)
 - MULLEN BURST: 430 PSI MIN. (ASTM D-3786)
 - EQUIVALENT OPENING SIZE: 40-80 (US STD. SIEVE)
 - ELONGATION AT FAILURE: 60% (ASTM D-1682)
 - PUNCTURE STRENGTH: 125 LBS. (ASTM D-751)
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - ACCESS PERMIT TO PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.

- PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLODS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
- THE MATTING SHALL BE ANCHORED ALONG ITS ENTIRE PERIMETER WITH A 6"x6" ANCHOR TRENCH. AFTER MATTING IS LAID IN TRENCH, BACKFILL AND COMPACT WITH SOIL OR GRAVEL.
- THE MATTING SHALL BE ANCHORED TO THE GROUND USING 10 GAUGE WIRE STAPLES, 6" IN LENGTH BY 1" WIDE WITH A COVERAGE NOT LESS THAN 1 STAPLE PER EVERY 4 SQUARE FEET OF MATTING.
- INSTALLATIONS SHALL ALSO BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED GUIDELINES.
- EROSION CONTROL MATTING SHALL BE ONE OF THE FOLLOWING:
 - JUTE MAT COMPOSED OF A JUTE YARN WEAVED IN A BASIC MANNER AND FREE OF ANY DYE AND HAVING A MINIMUM UNIT WEIGHT OF 2.7 LBS. PER SQ. YARD.
 - WOOD FIBER MAT COMPOSED OF WOOD FIBERS ENCASED IN A NETTING MADE OF NYLON, COTTON OR SIMILAR MATERIAL AND HAVING A MINIMUM UNIT WEIGHT OF 1.0 LBS. PER SQ. YARD.
 - SYNTHETIC WEBSING MAT MADE OF POLYNYL, CHLORIDE POLYPROPYLENE MONOFILAMENTS HAVING A MINIMUM UNIT WEIGHT OF 11 OUNCES PER SQ. YARD AND A MINIMUM TENSILE STRENGTH OF 25 LBS. IN ALL DIRECTIONS (ASTM D-1682.64)
- MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL. BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
- STAPLES SHALL BE REMOVED FROM THE GROUND ONCE THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

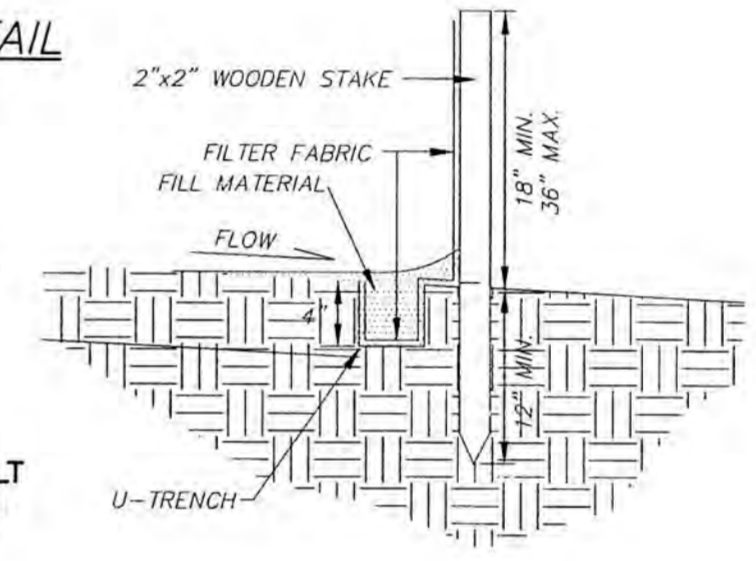
STONE TRACKING MAT DETAIL
NO SCALE

- NOTES:**
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY AND/OR WITHIN 24 HOURS OF CONSTRUCTING DITCHES, DIVERSIONS, OR OTHER CHANNELS.
 - SILT FENCE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - GRAB STRENGTH: 100 LBS. (ASTM D-1682)
 - MULLEN BURST: 200 PSI MIN. (ASTM D-3786)
 - EQUIVALENT OPENING SIZE:
 - BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - WATER FLOW RATE OF 10 GAL/MIN/SQ. FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
 - ULTRA VIOLET RADIATION STABILITY OF 90%
 - IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
 - INSTALLATION PROCEDURE AS FOLLOWS:
 - EXCAVATE A U-TRENCH UPSLOPE FROM THE LINE OF STAKES.
 - INSTALL SILT FENCE IN TRENCH. CARE SHOULD BE TAKEN TO AVOID TEARING FABRIC. TORN FABRIC SHALL BE REMOVED AND A NEW SEGMENT OF SILT FENCE SHALL BE PLACED. STAKES SHALL BE DRIVEN A MINIMUM OF 12" DEEP. SILT FENCE SHALL BE A MINIMUM OF 18" AND A MAXIMUM OF 36" IN HEIGHT.
 - FIT LOWER 8" OF FILTER FABRIC INTO U-TRENCH. BACKFILL AND COMPACT U-TRENCH.
 - SILT FENCE SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH ONE HALF THE HEIGHT OF THE BARRIER.
 - SILT FENCE SHALL BE REMOVED ONLY WHEN THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

EROSION CONTROL MATTING DETAIL

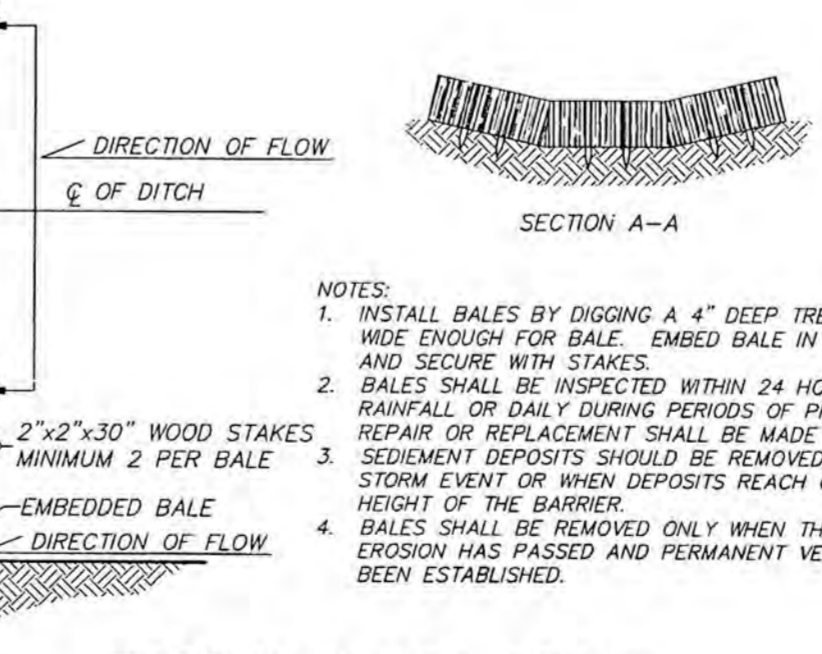
EROSION CONTROL CONTRACTOR SHALL DO WHATEVER IS NECESSARY TO PREVENT EROSION OR SILTING. ADDITIONAL EROSION CONTROL METHODS SUCH AS SILT FENCE, HAY BALE CHECKS, EROSION MAT, ETC. (ABOVE AND BEYOND THE QUANTITIES LISTED ON THE BID PROPOSAL) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT TO PREVENT WASHOUTS OR SILT TRANSFER PROBLEMS WITHIN THE CONSTRUCTION SITE OR DOWNSTREAM.

NOTE:
CONTRACTOR TO INSTALL SILT FENCE AT ALL TOPSOIL AND SOIL STOCKPILES.



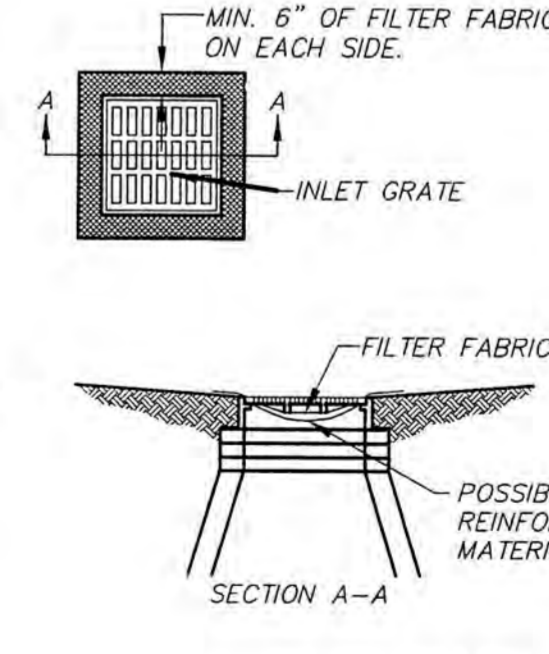
SILT FENCE DETAIL
NO SCALE

NOTE:
CONTRACTOR TO INSTALL SILT FENCE AT ALL TOPSOIL AND SOIL STOCKPILES.



- NOTES:**
- INSTALL BALES BY DIGGING A 4" DEEP TRENCH WIDE ENOUGH FOR BALE. EMBED BALE IN TRENCH AND SECURE WITH STAKES.
 - BALES SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH ONE HALF THE HEIGHT OF THE BARRIER.
 - BALES SHALL BE REMOVED ONLY WHEN THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

EROSION BALES DETAIL



INLET GRATE SCREEN DETAIL



- NOTES:**
- THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
 - ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

DIGGERS HOTLINE
WISCONSIN STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE CALL DIGGERS HOTLINE 1-800-242-8511

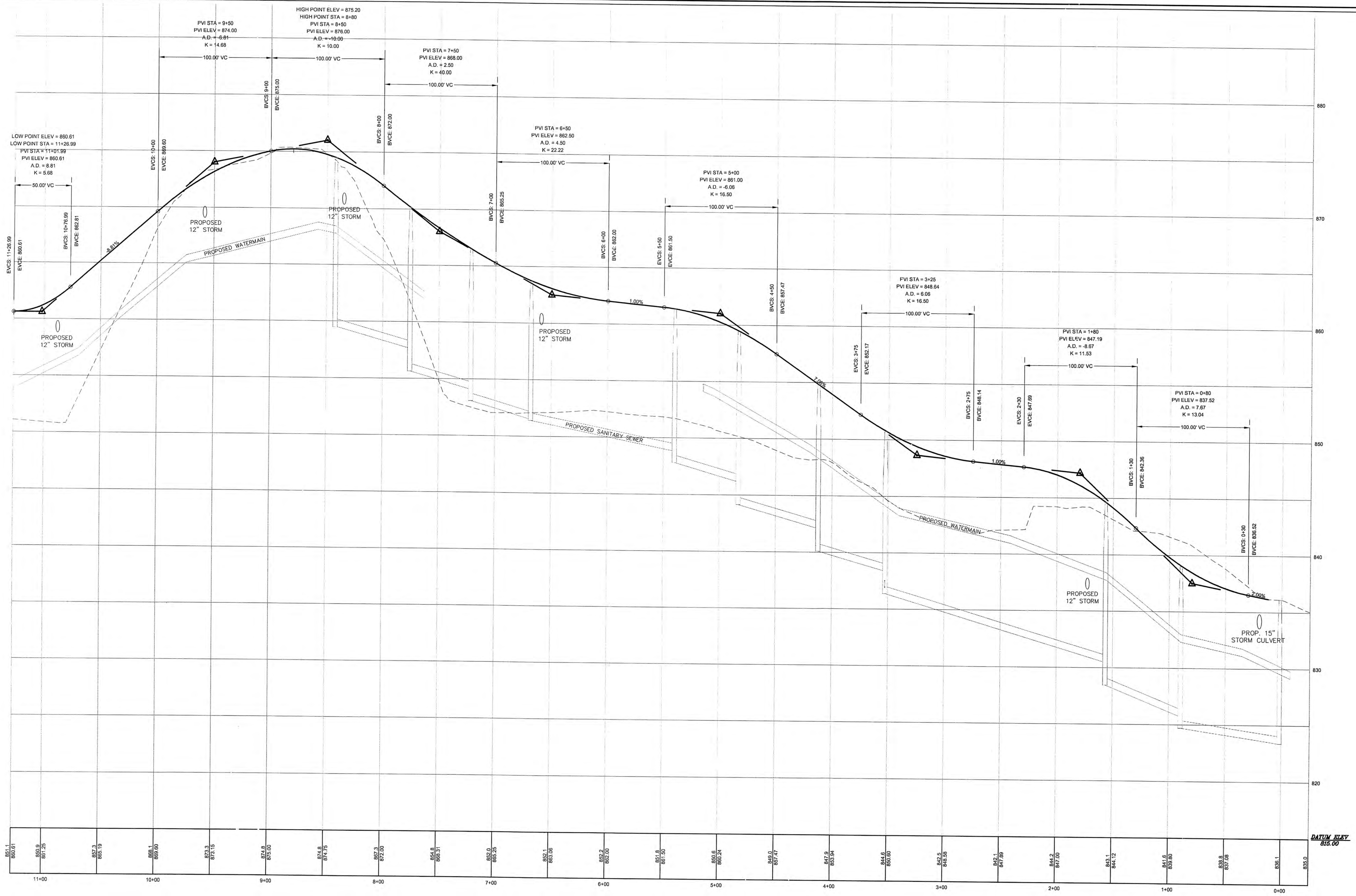
WISCONSIN PROFESSIONAL ENGINEER
MICHAEL P. DOBLE
E-30285
WAUKESHA, WIS.
M.P. Doble
12/15/04

LANDCRAFT SURVEY AND ENGINEERING, INC.
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
2077 SOUTH 16TH STREET, WEST ALLIS, WI 53227
PH. (414) 604-0674 FAX (414) 604-0677
INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04
CHECKED BY: MPD 11/8/04
APPROVED BY: _____ DATE _____
TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 12/15/04
SCALE: 1"=40'

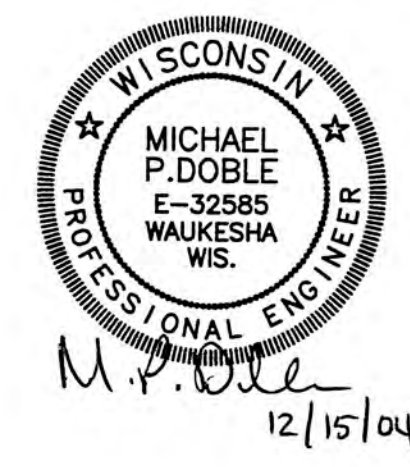
J.B.J. Construction
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W178 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
www.jbjcompanies.com
Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
EROSION CONTROL PLAN
C3



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NOTES:
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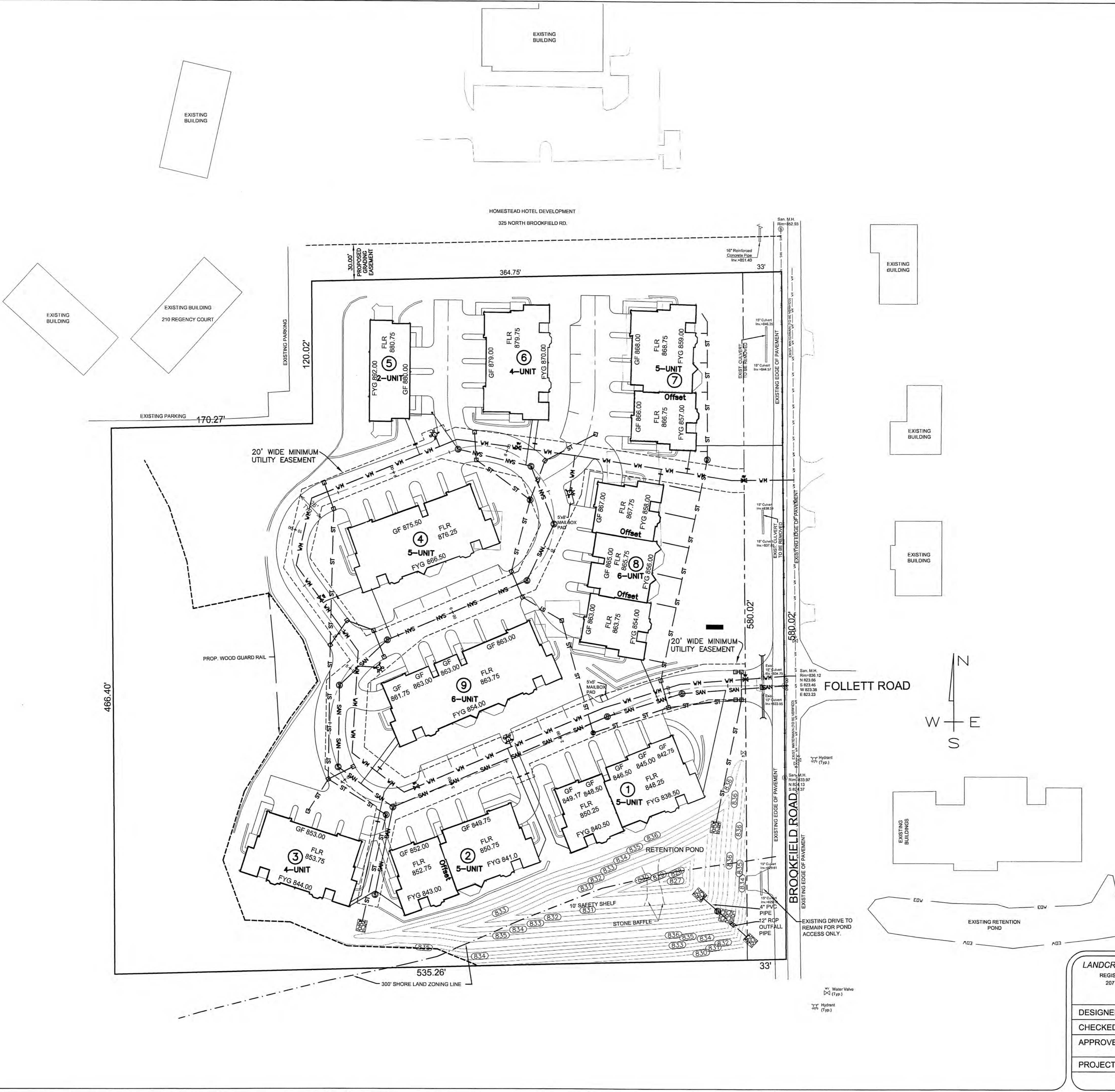


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 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
 2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227
 PH. (414) 604-0674 FAX (414) 604-0677
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04
 CHECKED BY: MPD 9/27/04
 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE
 PROJECT NO.-REVISION: 030642 - 12/15/04
 SCALE: 1"=40' HORZ. 1"=4' VERT.

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 (a division of J.B.J. Companies, Inc.)
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 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
 ROAD PROFILE
 C4

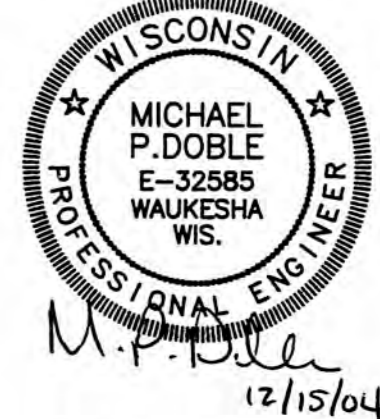


- NOTES:**
1. EXISTING SANITARY SEWER LATERALS SHALL BE ABANDONED AT THE RIGHT-OF-WAY BY CAPPING OR OTHER METHOD APPROVED BY THE SANITARY DISTRICT. PROVIDE PROOF BY TELEVISION THAT THE LATERAL PIPES TO REMAIN IN THE RIGHT-OF-WAY ARE NOT LEAKING, OR GROUT THE LATERAL AT THE CONNECTION TO THE MAIN LINE.
 2. EXISTING WATER SERVICES SHALL BE ABANDONED AT THE CORPORATION STOP.
 3. PUBLIC WATERMAIN, INCLUDING VALVES AND HYDRANTS, MUST BE INSTALLED, PRESSURE TESTED, AND A SAFE WATER SAMPLE OBTAINED PRIOR TO TAPPING INTO EXISTING WATERMANS IN BROOKFIELD ROAD.
 4. CONNECTION TO THE EXISTING WATERMAIN IN BROOKFIELD ROAD AT THE INTERSECTION OF FOLLETT ROAD SHALL BE LOCATED A MINIMUM DISTANCE OF 5 FEET FROM THE EXISTING FOLLETT ROAD WATERMAIN TEE.
 5. CONTRACTOR MUST FOLLOW THE SANITARY DISTRICT NO. 4, TOWN OF BROOKFIELD SPECIFICATIONS FOR BURIED PIPE LINES, FEBRUARY 2004 REVISION DATE.
 6. A NON DESCRIPTIVE ACCESS EASEMENT TO BE GRANTED FOR USE OF PAVED SURFACES TO ACCESS AND MAINTAIN THE WATERMAIN AND SANITARY SEWER.

GENERAL NOTES:

1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

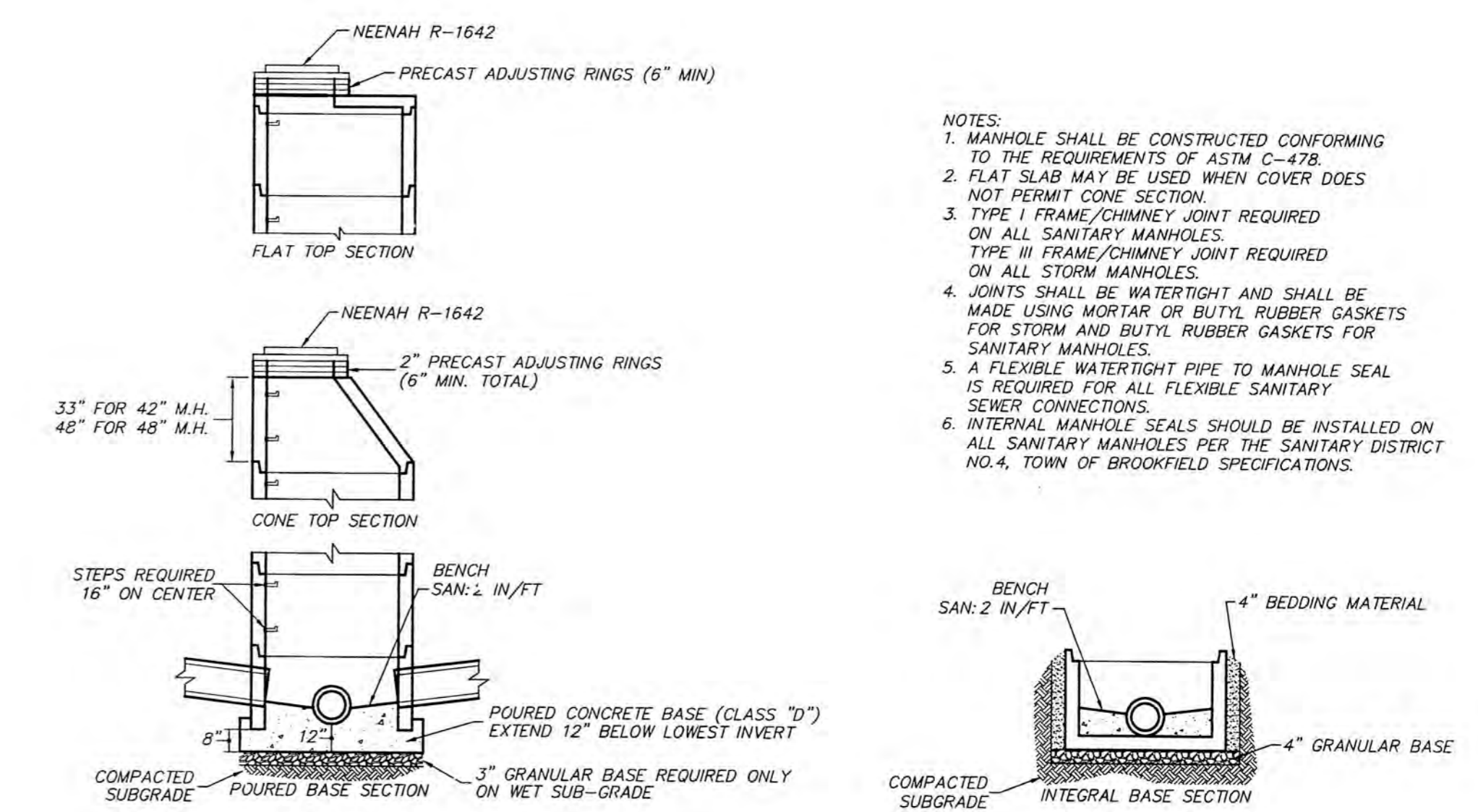
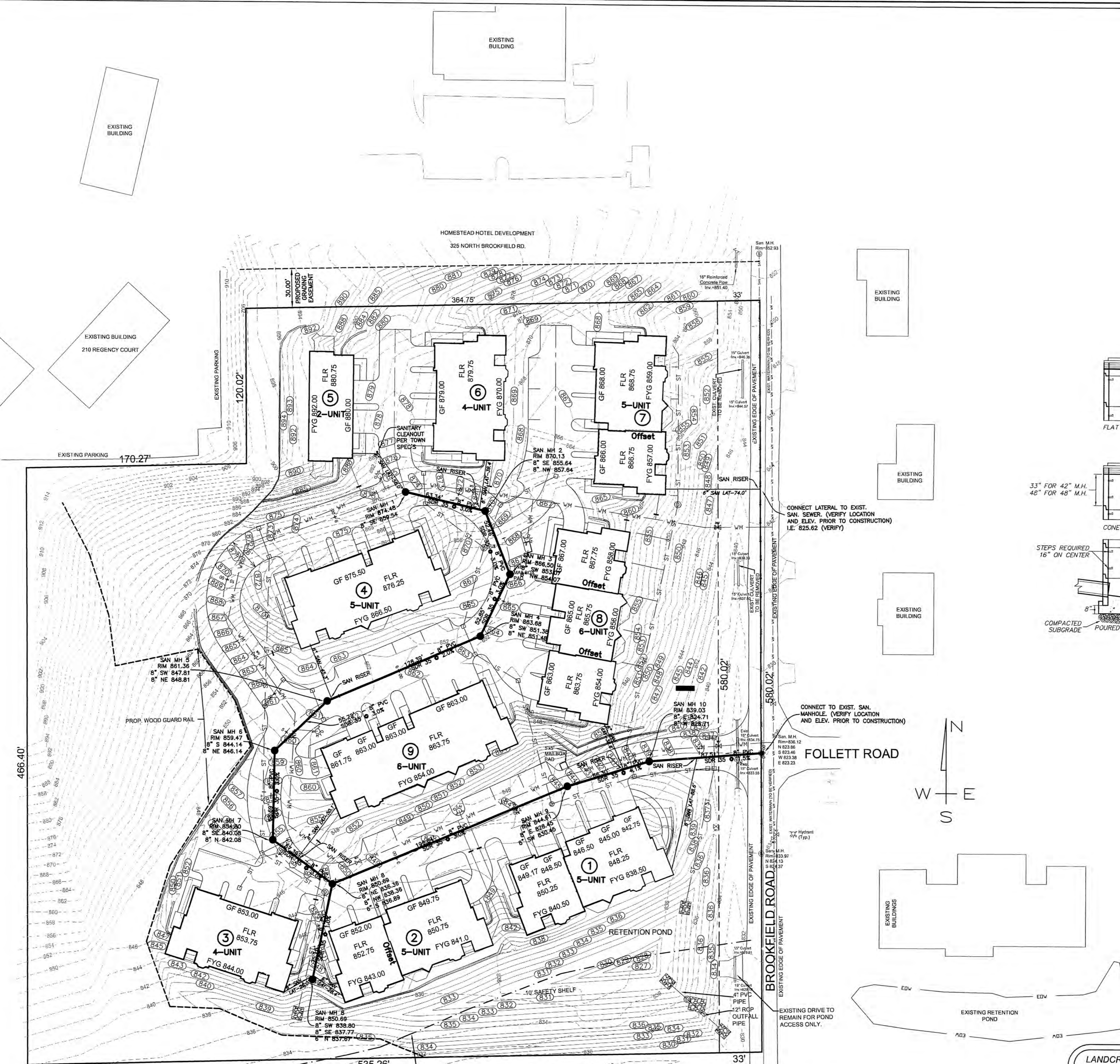


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DESIGNED BY: CWH 6/24/04
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 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE
 PROJECT NO.-REVISION: 030642 - 12/15/04
 SCALE: 1"=40'

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 www.jbjcompanies.com
 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
 UTILITY PLAN
 C5

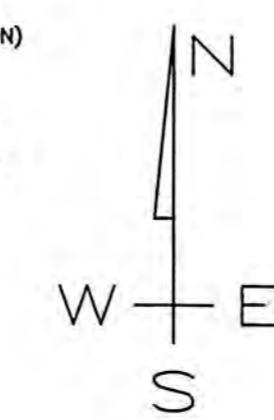


PRECAST MANHOLE DETAIL

- NOTES:**
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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NOTE: SEE SHEET C7 FOR SANITARY SEWER RISER INFORMATION. FOR SERVICES WITHOUT RISERS WYES ARE REQUIRED.



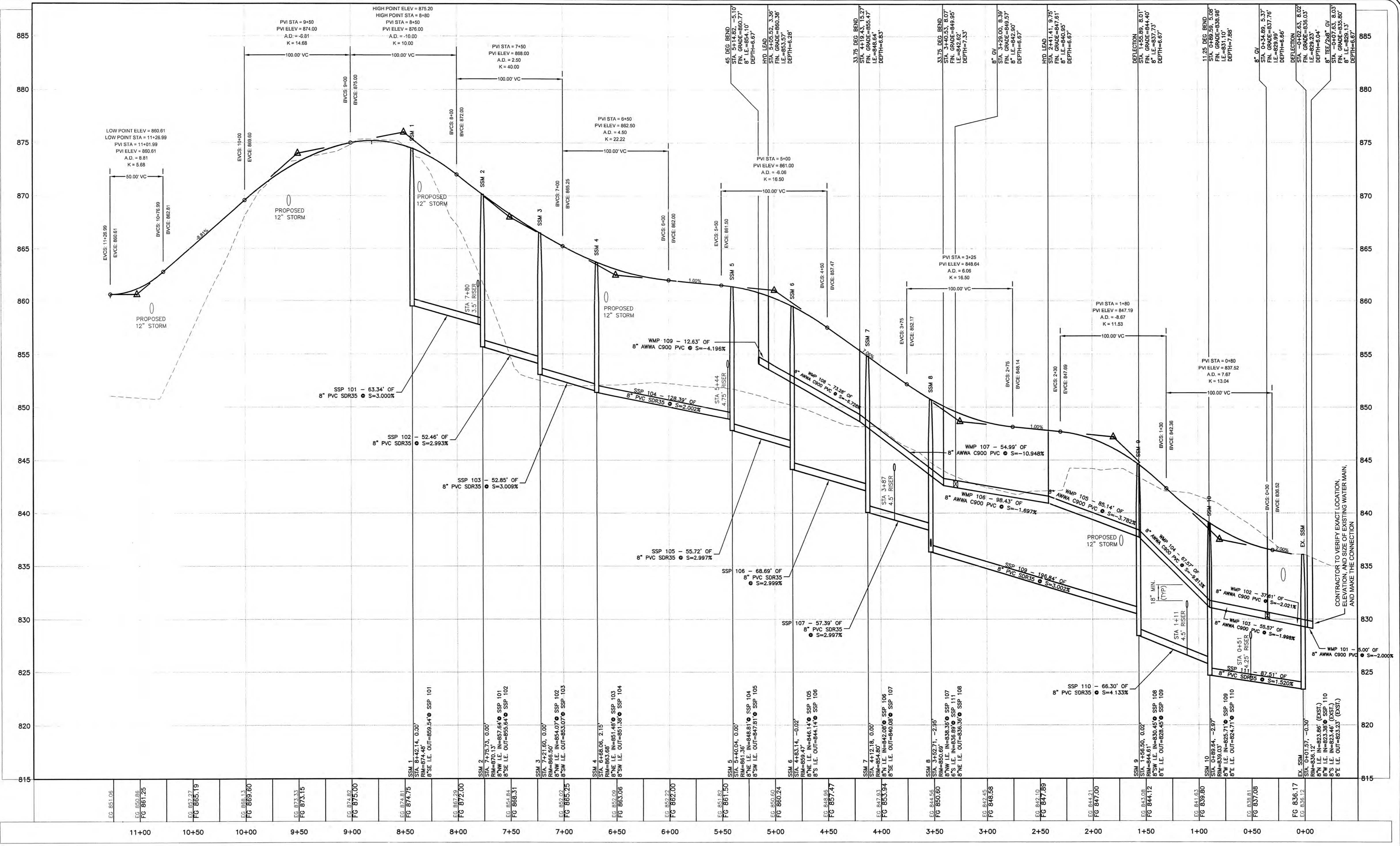
DIGGERS HOTLINE
 WISCONSIN STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE CALL DIGGERS HOTLINE 1-800-242-8511

WISCONSIN PROFESSIONAL ENGINEER
 MICHAEL P. DOBLE
 E-32585
 WAUKESHA, WI.
 M.P. DOBLE
 12/15/04

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DESIGNED BY:	CWH 6/24/04
CHECKED BY:	MPD 11/8/04
APPROVED BY:	TOWNSHIP ENGINEER DATE
PROJECT NO.-REVISION:	030642 - 12/15/04
SCALE:	1"=40'

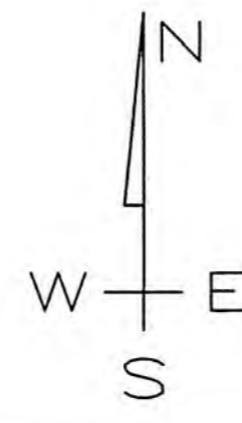
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 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
SANITARY SEWER PLAN
C6



NOTES:
 1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE-TO-NODE (I.E. CENTER-TO-CENTER OF MANHOLES).
 2. SEE SHEET 1 OF THIS SET FOR DETAILS.
 3. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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ABBREVIATIONS
 STP - STORM SEWER PIPE
 SSM - SANITARY SEWER MANHOLE
 SSP - SANITARY SEWER PIPE
 HYD - HYDRANT
 GV - GATE VALVE
 WM - WATERMAIN
 AV - AIR RELIEF VALVE AND BOX
 WMP - WATERMAIN PIPE



DIGGERS HOTLINE
 WISCONSIN STATE STATUTE 182.0175 REQUIRES
 THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
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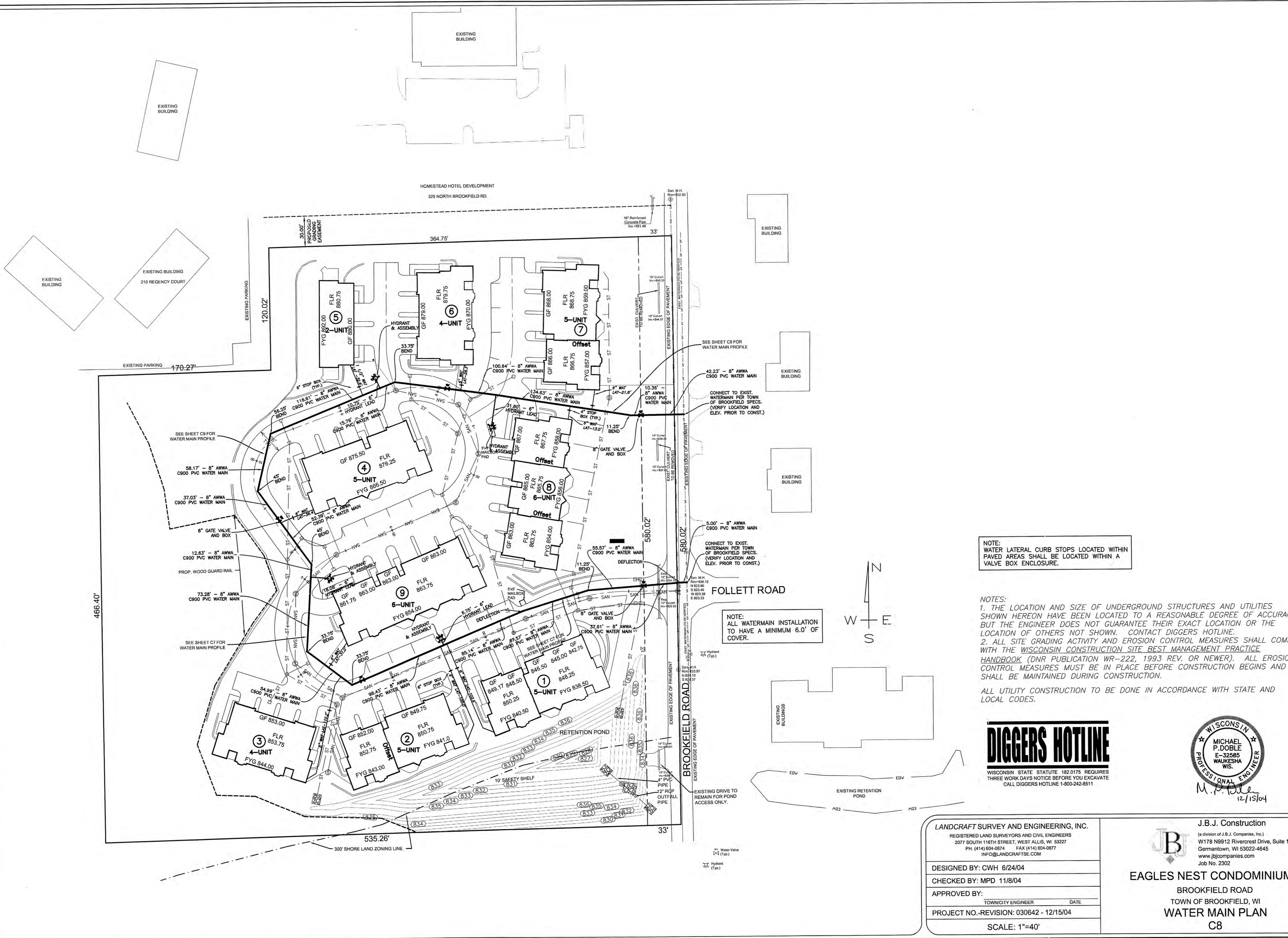
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 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 9/1/04
 CHECKED BY: MPD 11/8/04
 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE
 PROJECT NO.-REVISION: 030642 - 12/15/04
 HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'

J.B.J. Construction
 (a division of J.B.J. Companies, Inc.)
 W178 N9912 Rivercrest Drive, Suite 101
 Germantown, WI 53022-4645
 www.jbjcompanies.com
 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
SANITARY SEWER & WATERMAIN PROFILE
C7

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NOTE:
WATER LATERAL CURB STOPS LOCATED WITHIN PAVED AREAS SHALL BE LOCATED WITHIN A VALVE BOX ENCLOSURE.

NOTE:
ALL WATERMAIN INSTALLATION TO HAVE A MINIMUM 6.0' OF COVER.

NOTES:
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

DIGGERS HOTLINE
WISCONSIN STATE STATUTE 182.0175 REQUIRES THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE. CALL DIGGERS HOTLINE 1-800-242-8511

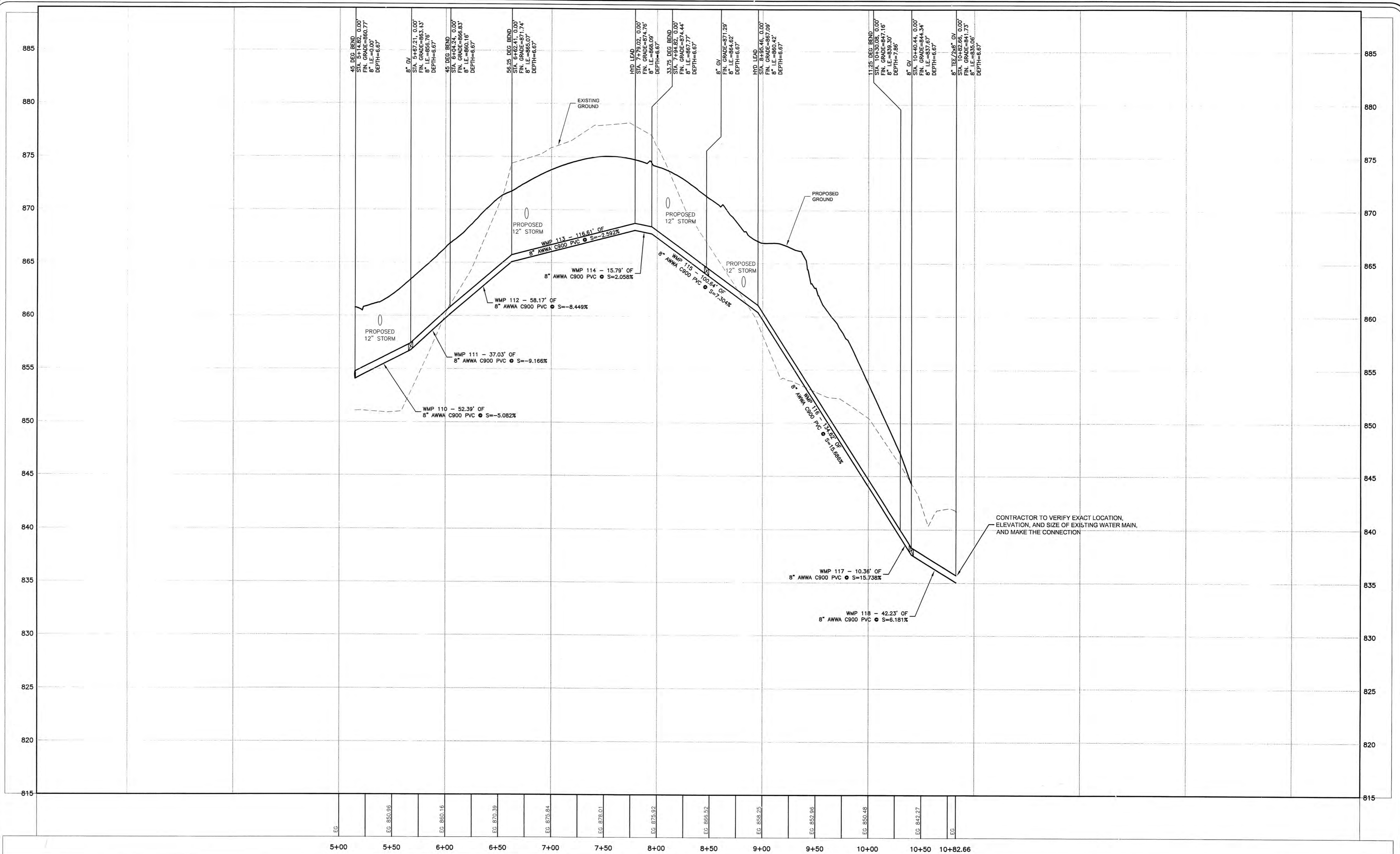


LANDCRAFT SURVEY AND ENGINEERING, INC.
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227
PH. (414) 694-0674 FAX (414) 694-0677
INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04
CHECKED BY: MPD 11/8/04
APPROVED BY: _____ DATE: _____
PROJECT NO.-REVISION: 030642 - 12/15/04
SCALE: 1"=40'

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
WATER MAIN PLAN
C8

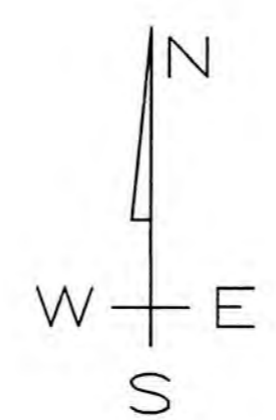
J.B.J. Construction
(a division of J.B.J. Companies, Inc.)
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Germanstown, WI 53022-4645
www.jbjcompanies.com
Job No. 2302



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NOTES:
 1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE-TO-NODE (I.E. CENTER-TO-CENTER OF MANHOLES).
 2. SEE SHEET 1 OF THIS SET FOR DETAILS.
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ABBREVIATIONS
 STP - STORM SEWER PIPE
 SSM - SANITARY SEWER MANHOLE
 SSP - SANITARY SEWER PIPE
 HYD - HYDRANT
 GV - GATE VALVE
 WM - WATERMAIN
 AV - AIR RELIEF VALVE AND BOX
 WMP - WATERMAIN PIPE



DIGGERS HOTLINE
 WISCONSIN STATE STATUTE 182.0175 REQUIRES
 THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
 CALL DIGGERS HOTLINE 1-800-242-8511

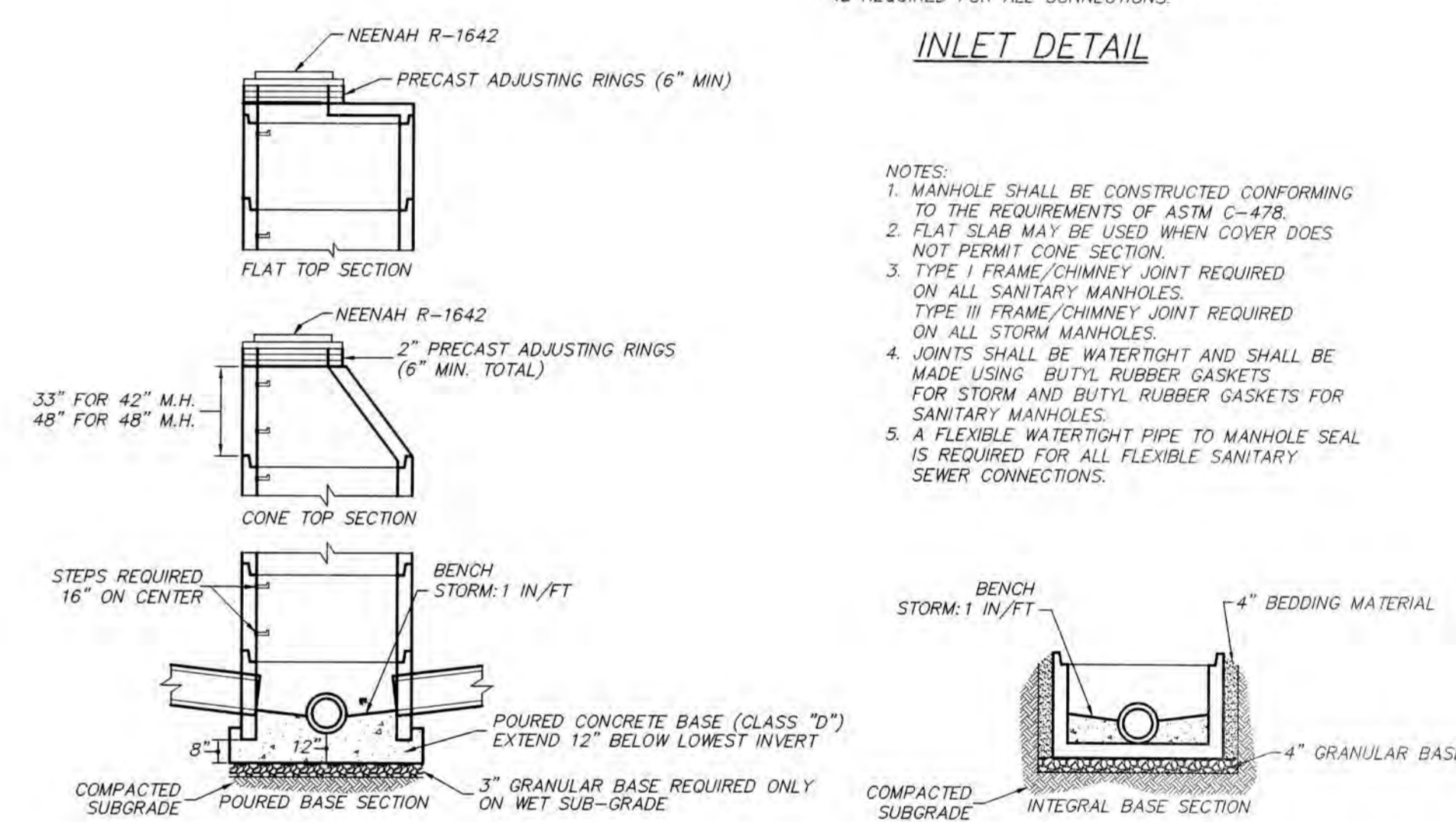
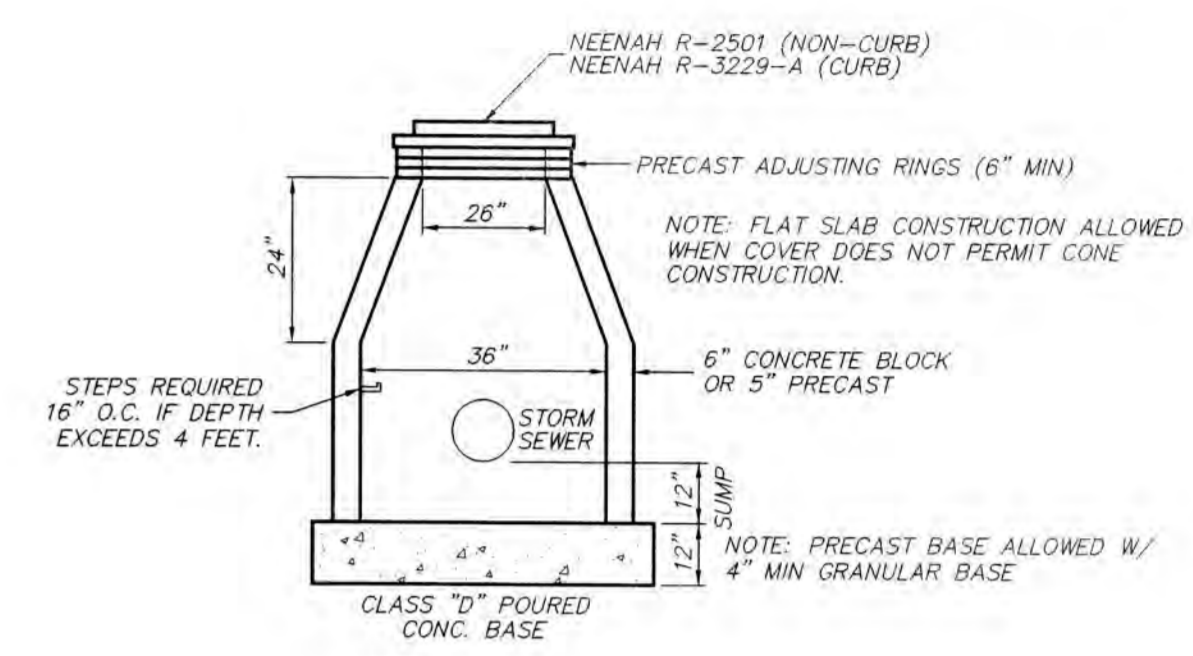
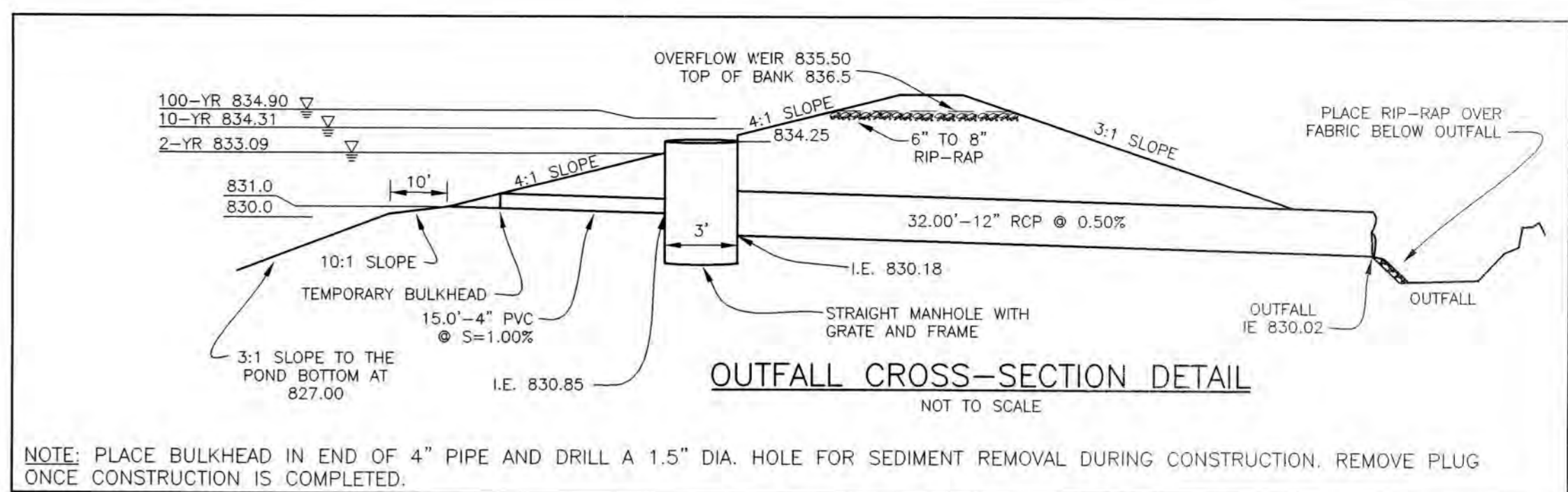
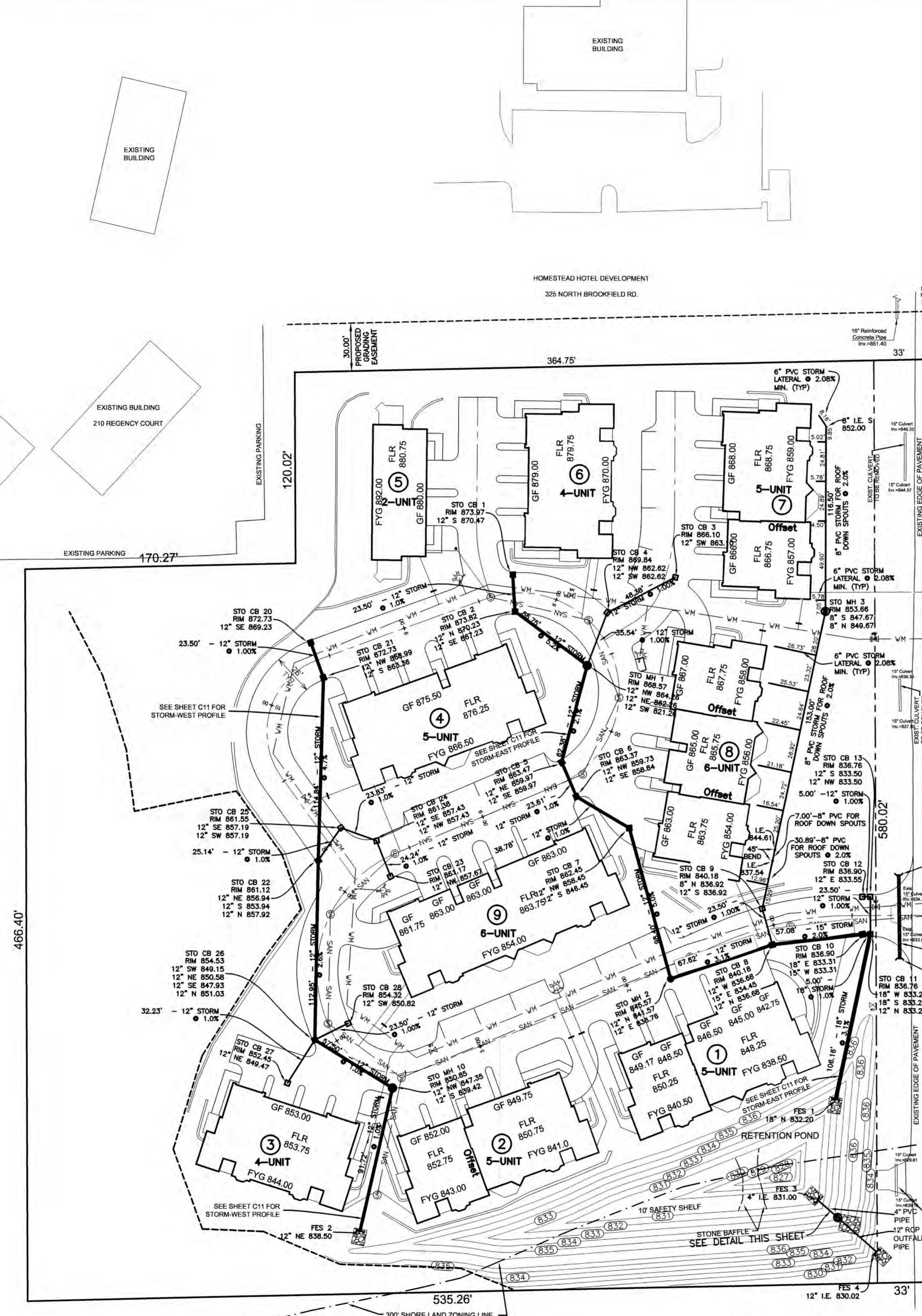


LANDCRAFT SURVEY AND ENGINEERING, INC.
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
 2077 SOUTH 116th STREET, WEST ALLIS, WI 53227
 PH. (414) 604-0674 FAX (414) 604-0677
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 9/1/04
 CHECKED BY: MPD 9/27/04
 APPROVED BY: _____ DATE _____
 TOWN/CITY ENGINEER
 PROJECT NO.-REVISION: 030642 - 12/15/04
 HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'

J.B.J. Construction
 (a division of J.B.J. Companies, Inc.)
 W178 N9912 Rivercrest Drive, Suite 101
 Germantown, WI 53022-4645
 www.jbjcompanies.com
 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
WATERMAIN PROFILE (NORTH)
 C9



NOTE:
ALL STORM SEWER PIPE IS
RCP UNLESS NOTED OTHERWISE.

NOTES:
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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DIGGERS HOTLINE
WISCONSIN STATE STATUTE 182.0175 REQUIRES
THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-8511

WISCONSIN
MICHAEL P. DOBLE
E-32585
WAUKESHA
WIS.
PROFESSIONAL ENGINEER

LANDSCAPE SURVEY AND ENGINEERING, INC.
REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227
PH. (414) 864-0674 FAX (414) 864-0677
INFO@LANDCRAFTSSE.COM

DESIGNED BY: CWH 6/24/04
CHECKED BY: MPD 12/15/04
APPROVED BY: _____ DATE _____
PROJECT NO.-REVISION: 030642 - 2/23/05
SCALE: 1"=40'

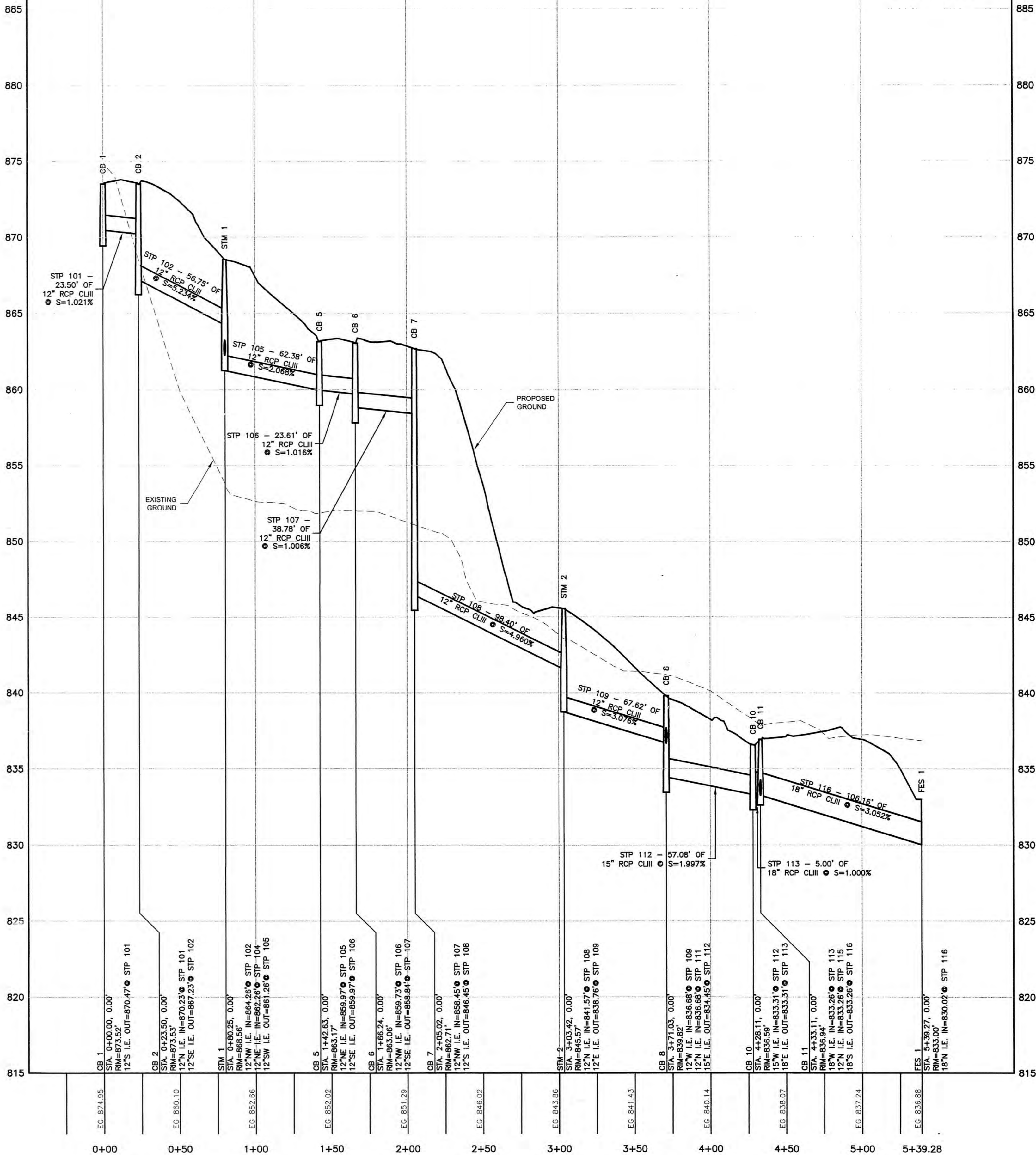
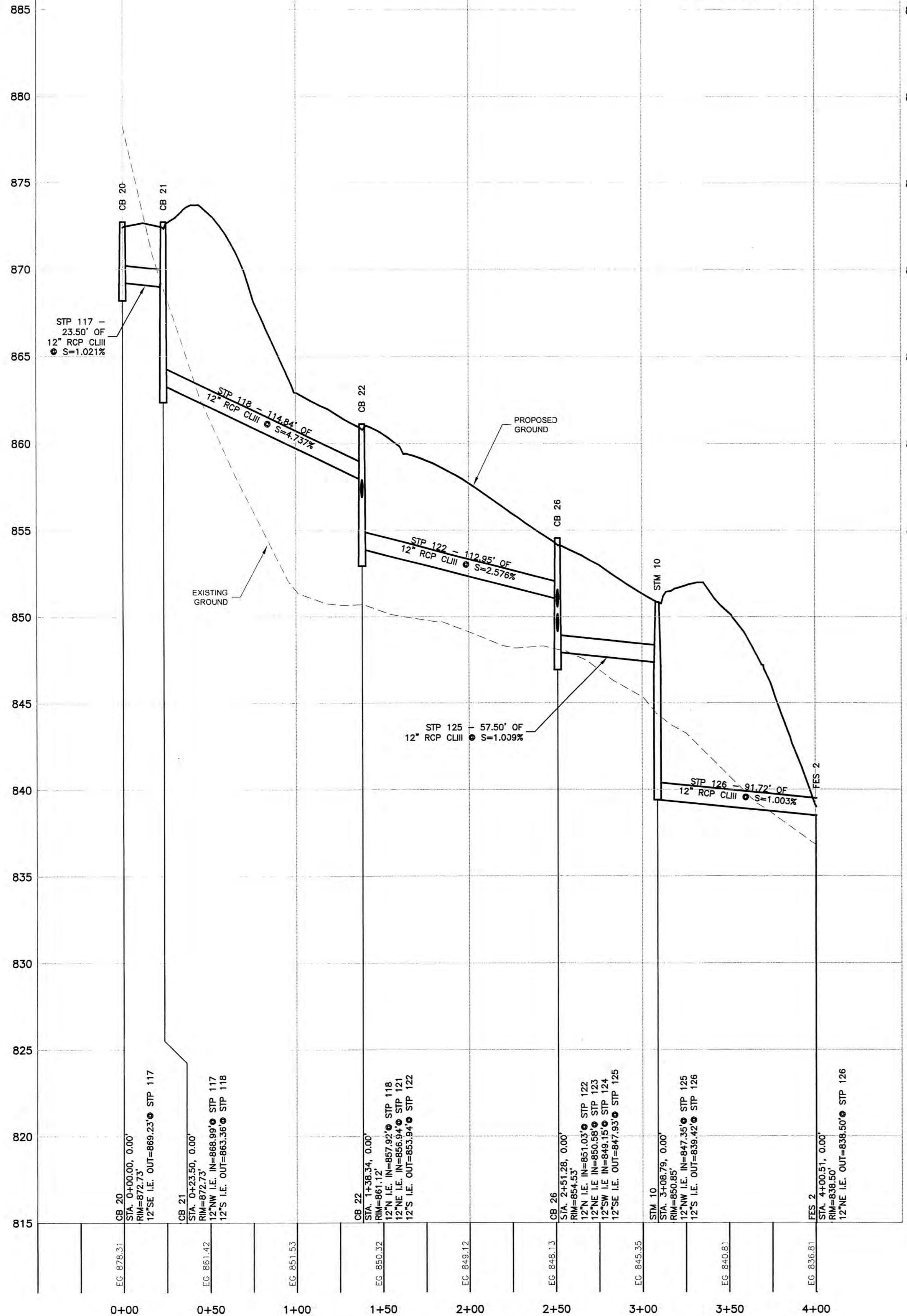
J.B.J. Construction
(a division of J.B.J. Companies, Inc.)
W178 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
www.jbjcompanies.com
Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
STORM SEWER PLAN
C10

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STORM-WEST

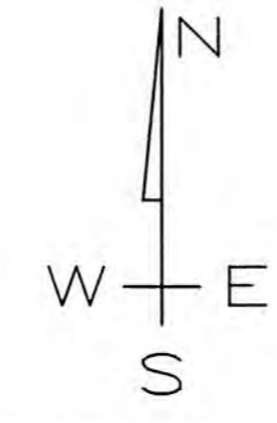
STORM-EAST



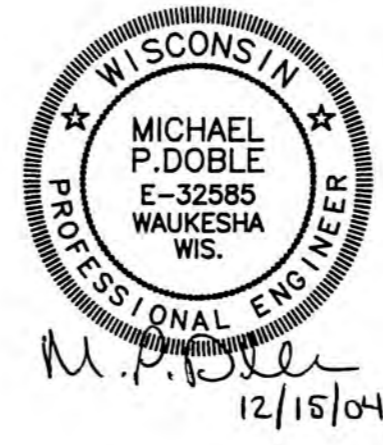
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NOTES:
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DIGGERS HOTLINE
 WISCONSIN STATE STATUTE 182.0175 REQUIRES
 THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
 CALL DIGGERS HOTLINE 1-800-242-8511



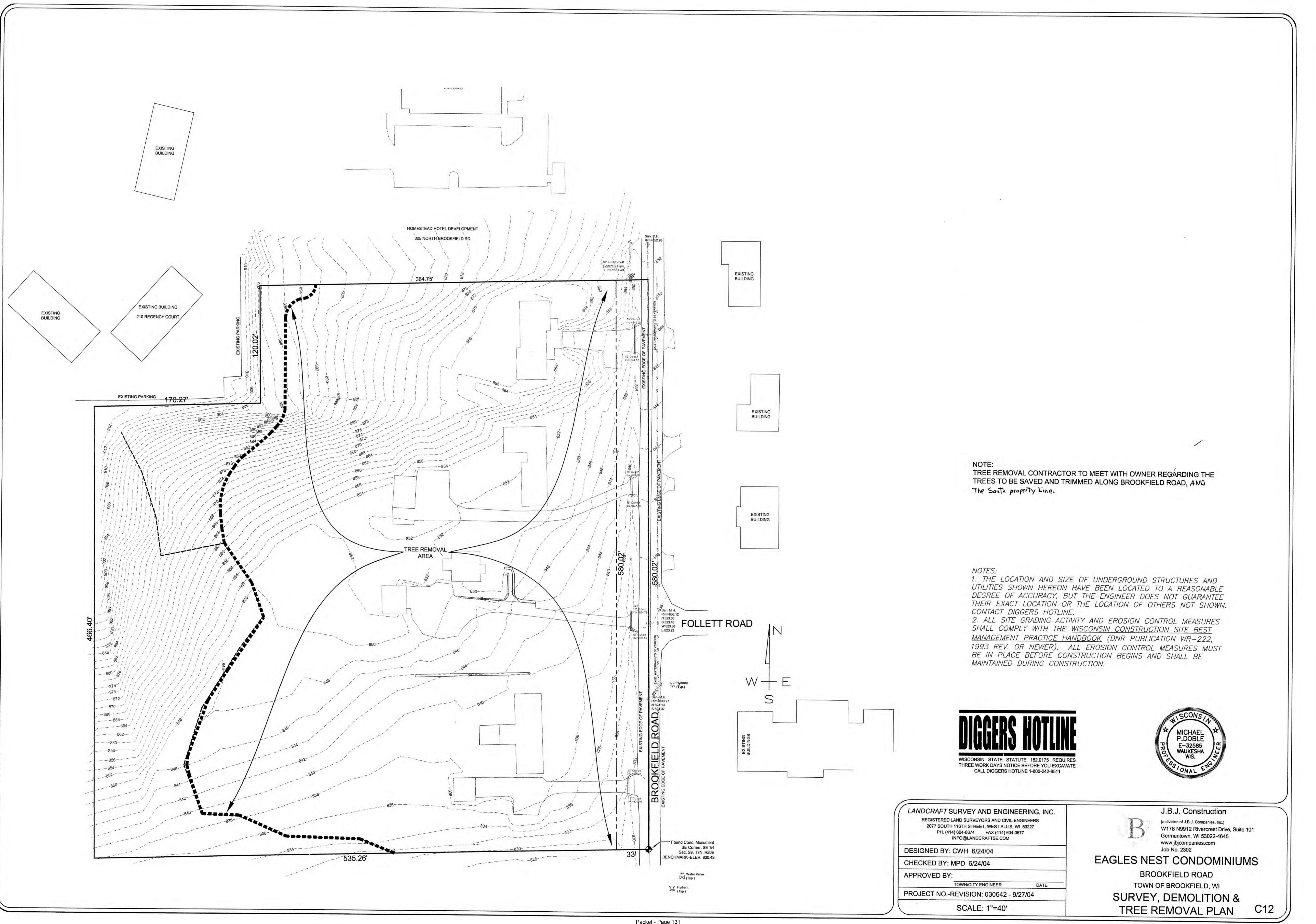
LANDCRAFT SURVEY AND ENGINEERING, INC.
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
 2077 SOUTH 118th STREET, WEST ALLIS, WI 53227
 PH. (414) 604-0674 FAX (414) 604-0677
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 9/1/04
 CHECKED BY: MPD 9/27/04
 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE _____

PROJECT NO.-REVISION: 030642 - 12/15/04
 HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'

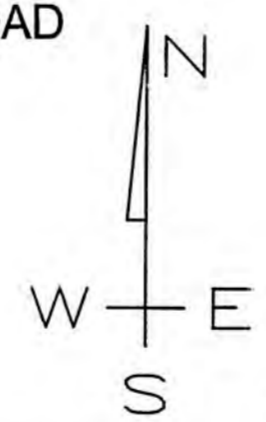
J.B.J. Construction
 (a division of J.B.J. Companies, Inc.)
 W178 N9912 Rivercrest Drive, Suite 101
 Germantown, WI 53022-4645
 www.jbjcompanies.com
 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
STORM SEWER PROFILE
 C11



NOTE:
 TREE REMOVAL CONTRACTOR TO MEET WITH OWNER REGARDING THE TREES TO BE SAVED AND TRIMMED ALONG BROOKFIELD ROAD, AND The South property line.

NOTES:
 1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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LANDCRAFT SURVEY AND ENGINEERING, INC.
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
 2077 SOUTH 118TH STREET, WEST ALLIS, WI 53227
 PH (414) 604-0674 FAX (414) 604-0677
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04
 CHECKED BY: MPD 6/24/04
 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE
 PROJECT NO.-REVISION: 030642 - 9/27/04
 SCALE: 1"=40'

J.B.J. Construction
 (a division of J.B.J. Companies, Inc.)
 1178 N9912 Rivercrest Drive, Suite 101
 Germantown, WI 53022-4645
 www.jbjcompanies.com
 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
 SURVEY, DEMOLITION &
 TREE REMOVAL PLAN C12

Drawn by: J.M. Date: 05-22-04
 Drawn by: J.M. Date: 05-22-04
 Drawn by: J.M. Date: 05-22-04

DYNAMIC LIGHTING INC.
 5220 SHANK ROAD PEARLAND, TX 77581
 PHONE: (281) 997-5400 FAX: (281) 997-5441
 TOLL FREE: (800) 364-0098

LIGHT DISTRIBUTION
 TYPE II REFRACTOR
 TYPE III REFRACTOR
 TYPE IV REFRACTOR
 TYPE V REFRACTOR

FINISH
 TBC TEXTURED BLACK
 SGT SMOOTH SATIN BLACK
 GRN GREEN
 GGG GRANITE GREEN
 WHT WHITE
 ATC ANTIQUE COPPER
 CLB CLASSIC BRONZE
 CUS CUSTOM COLOR

VOLTAGE
 120
 277
 208
 MULTITAP
 240

GENERAL
 EXTERIOR HARDWARE WILL BE STAINLESS STEEL.
 ELECTRICAL COMPONENTS WILL BE ETL LISTED "SUITABLE FOR WET LOCATIONS"

FILE LOCATION
 Actual drawings not sheets
 File Name: Eagle Nest
 0509

CHECKED BY:

NOTES
 THIS DRAWING SHOULD ACCOMPANY YOUR ORDER. THANK YOU.

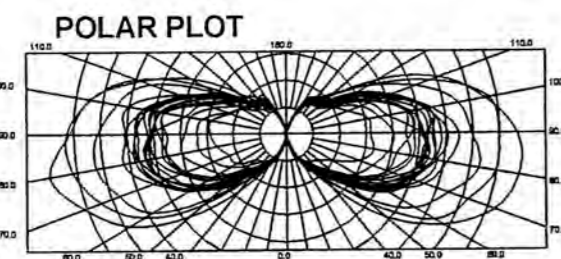


www.DynamicLighting.com

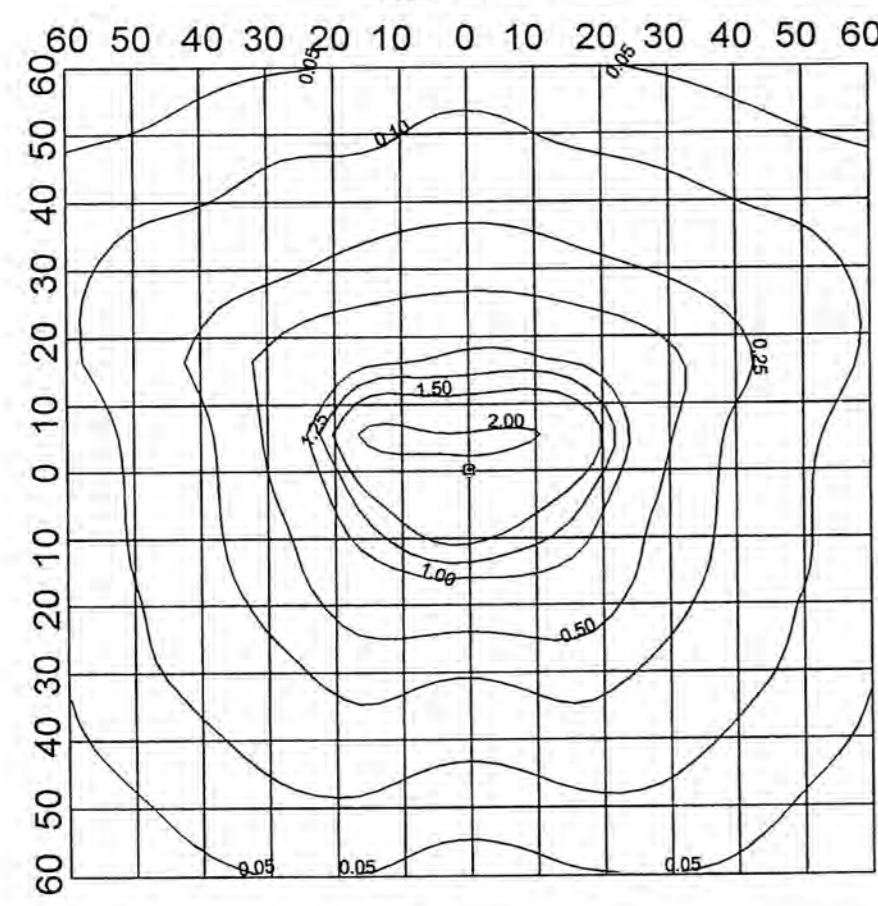
Iso-footcandle Lines of Horizontal Illumination

Catalog # AO25PC-CL / L3 / REFLECTOR / 150HPS
 Light Source 150w High Pressure Sodium
 Description Cast aluminum fitter, reflector
 Clear textured diffuser, type III glass refractor

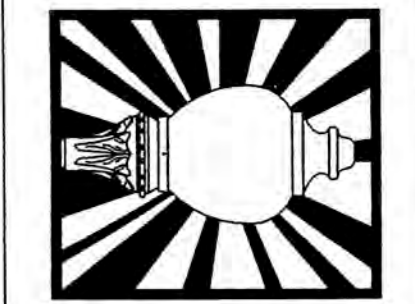
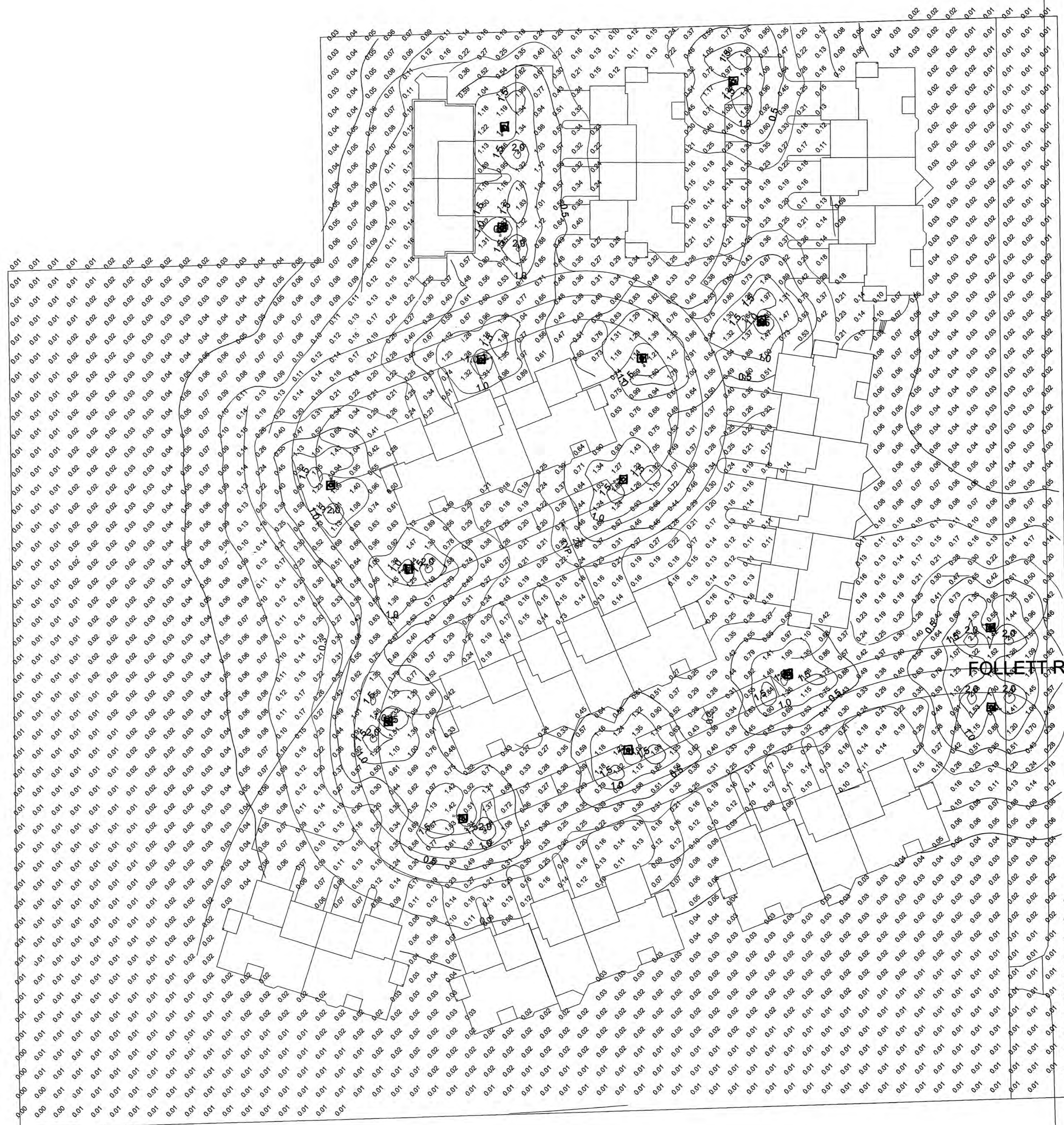
Lamp Lumens 16,000
 Mounting Height 11.6'



120' GRID



5220 Shank Rd. Pearland, Texas 77581 (800)364-0098 (281)997-5441 Fax



DYNAMIC LIGHTING INC.

WWW.DYNAMICLIGHTING.COM
 5220 SHANK ROAD
 PEARLAND, TEXAS 77581
 PHONE: (281) 997-5400
 FAX: (281) 997-5441
 TOLL FREE: 1 (800) 364-0098

GENERAL NOTES
 AVG: .26
 MIN: .00
 MAX: 2.36

LEGEND
 D131/AO25PC-CL
 Light Lid
 Type III Refractor
 D30-10
 150w HPS

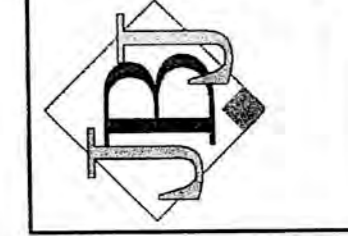
JOB
 Eagles Nest

PHOTOMETRICS BY:
 JMT
DATE
 05/22/04

SCALE
 NONE

Job # 2302
 Eagle's Nest
 Condominiums
 Town of Brookfield

J.B.J. Construction
 (a division of JBJ Companies, Inc.)
 W178 N9912 Rivercrest Drive, Suite 101
 Germantown, WI 53022-4645
 Phone: (262) 255-1800
 Fax (262) 255-2234
 www.jbjcompanies.com

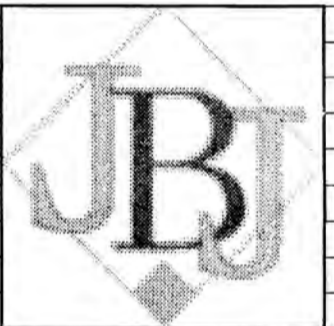


EAGLES NEST CONDOMINIUMS

Town of Brookfield, Wisconsin
Job # 2302

CONSTRUCTION MANAGER:
BJ CONSTRUCTION
(a division of J.B.J. Companies, Inc.)

W78 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
Phone: (262) 255-1800
Fax: (262) 255-2234
E-mail: www.jbjcompanies.com



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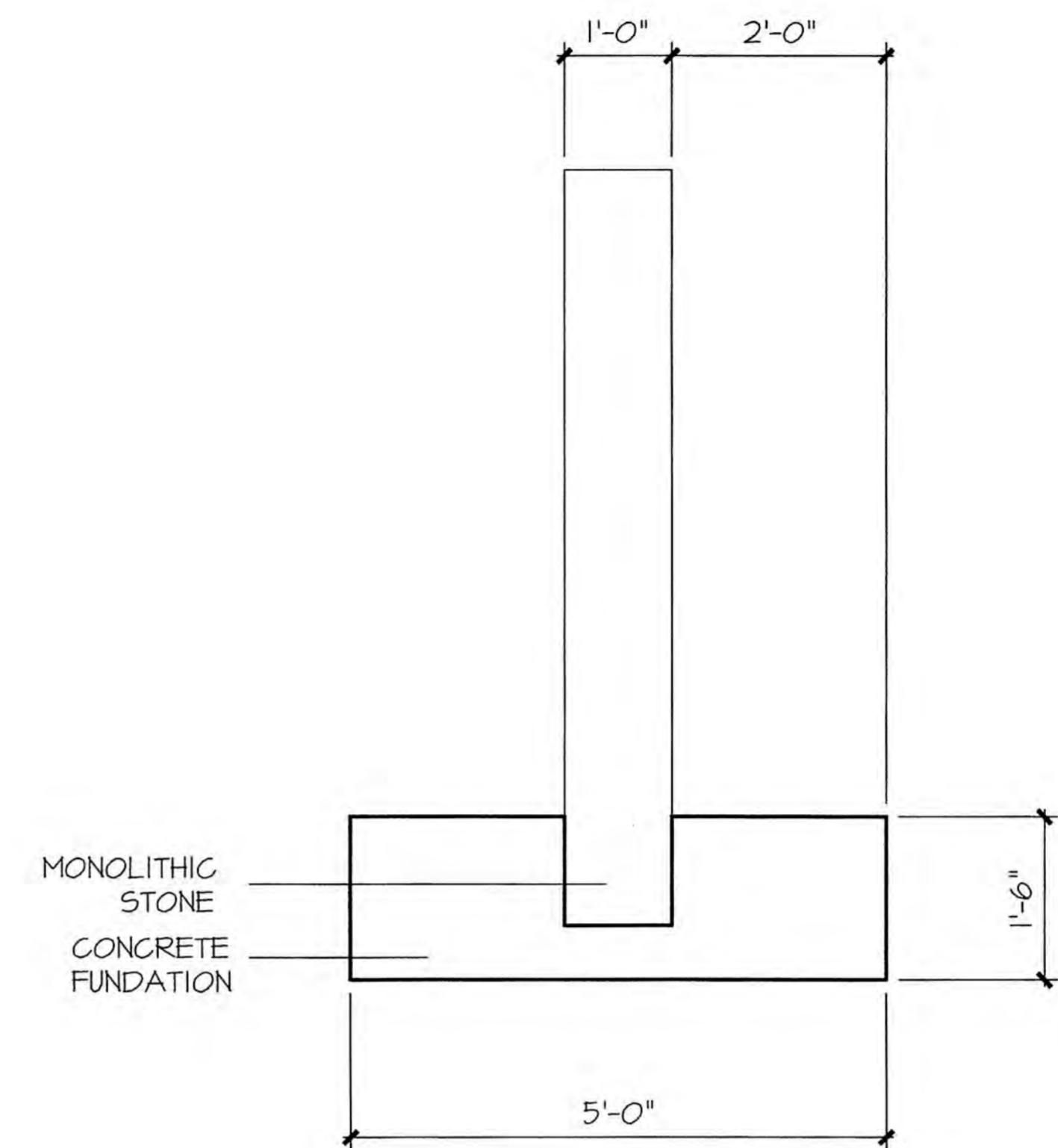
PROJECT NO. 0326.01
DRAWING

SIGN

DRAWN BY: ISSUE DATE: 25 JUNE 2004
REVIEWED BY: JBS REVISION: 02 SEP 2004

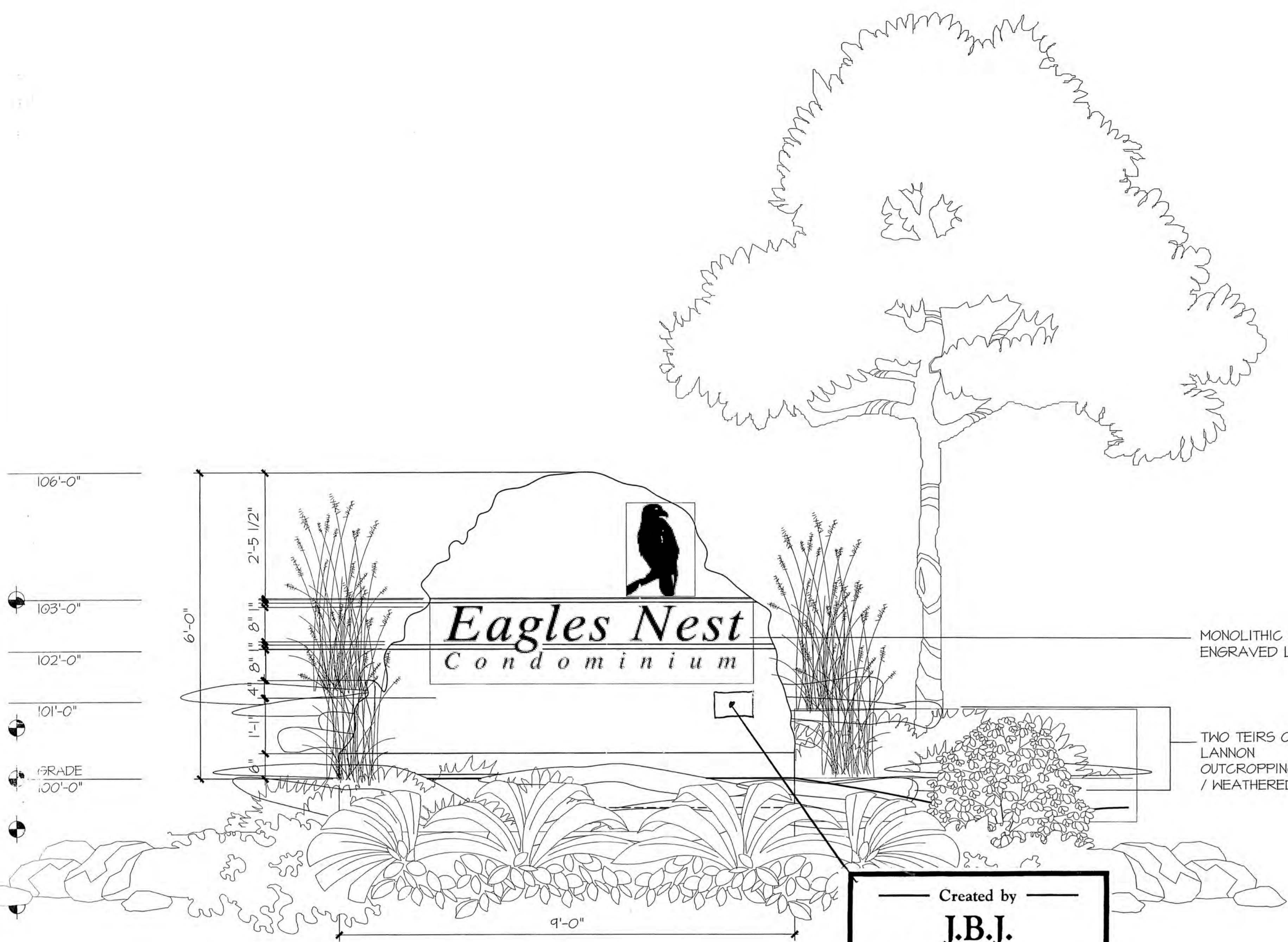
C14

3/4" ENTRANCE SIGN



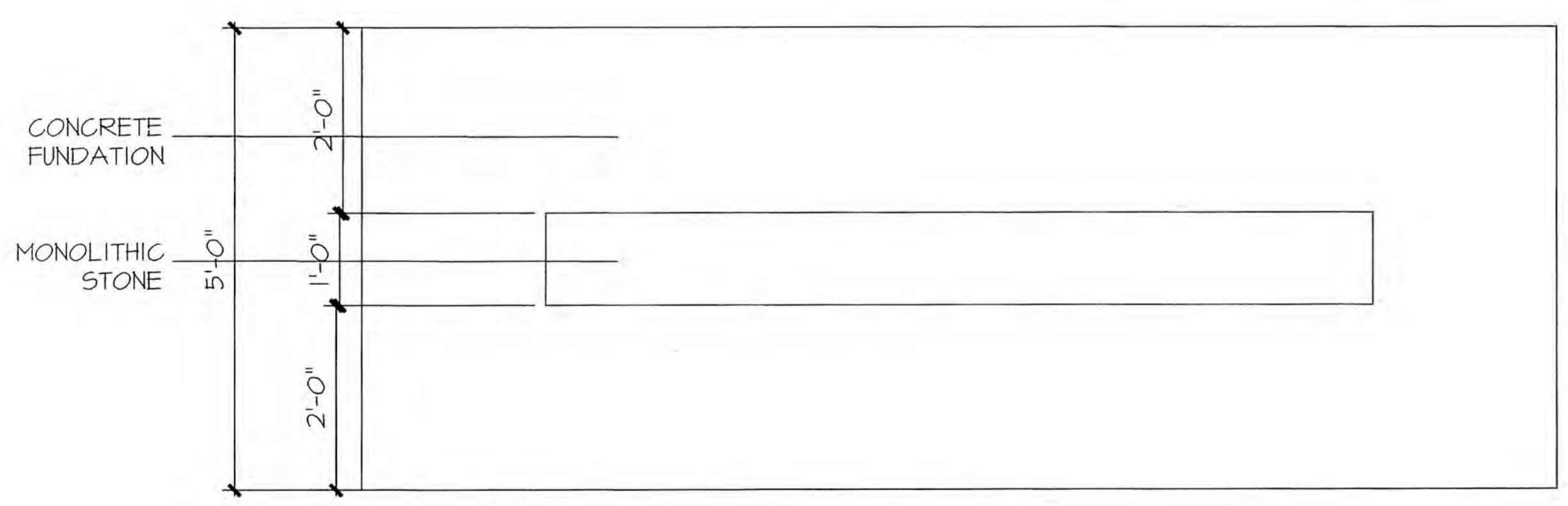
SIGN SECTION
3/4" = 1'-0"

⊕ = Light
Rudd or Equal
MODEL: NS6407-D
SPEC: POST MOUNT,
BRONZE FINISH, CLEAR
TEMPERED AND ANNEALED
GLASS LENS
9 3/4" WIDE, 6 1/4" HIGH,
4 3/4" DEEP
1 - 70W MH LAMP
MONUMENT SIGN FLOOD
SUPPLIED WITH DB-9 DEEP
BAFFLE.



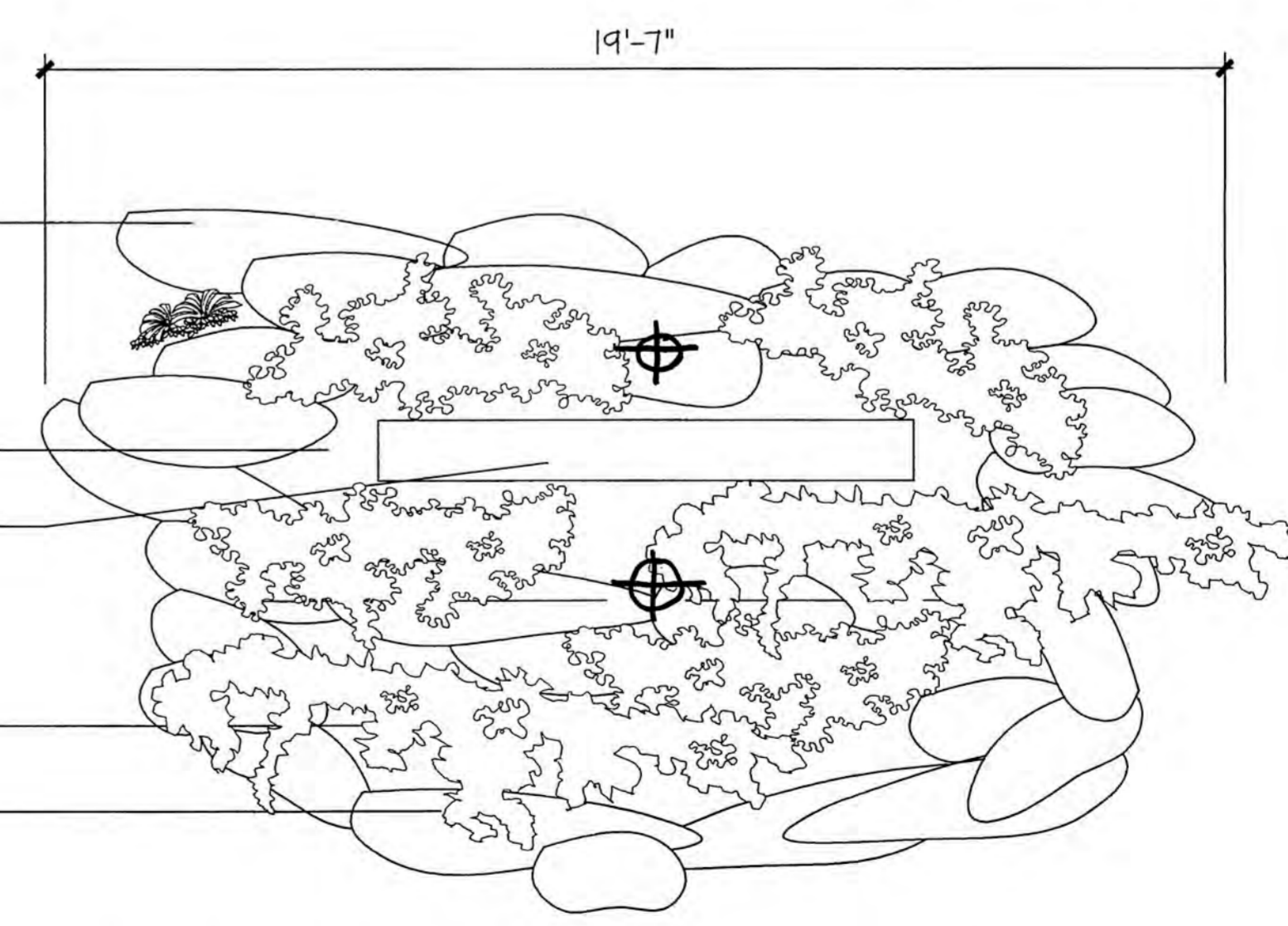
SIGN & FOUNTAIN ELEVATION
3/4" = 1'-0"

Created by
J.B.J. Development
2005 A.D.
(a division of J.B.J. Companies, Inc.)



PLAN VIEW SIGN
3/4" = 1'-0"

SECOND TIERS OF LANNON OUTCROPPING STONE / WEATHEREDGE
LANDSCAPE
SIGN
LANDSCAPE
FIRST TIERS OF LANNON OUTCROPPING STONE / WEATHEREDGE



PLAN VIEW SIGN & FOUNTAIN



Strand Associates, Inc.[®]
 910 West Wingra Drive
 Madison, WI 53715
 (P) 608.251.4843
www.strand.com

April 29, 2024

CHANGE ORDER NO. 1

PROJECT: Poplar Creek Interceptor Lining
 OWNER: Town of Brookfield Sanitary District No. 4, Wisconsin
 CONTRACT: 2-2023
 CONTRACTOR: Visu-Sewer, Inc.

Description of Change

1a	Chemical grouting of leaks in the 54-inch interceptor.	ADD	\$21,757.50
1b	Removal and replacement of the inside drop pipe at Manhole SN 19-045A.	ADD	\$7,428.30
1c	Cured-in-place manhole (CIPM) liner at Manhole SN 10-043.	ADD	\$38,010.00
1d	1,750 square feet of sodding in the backyard of the Larkspur Drive property.	ADD	\$4,000.00
TOTAL VALUE OF THIS CHANGE ORDER:		ADD	\$71,195.80

Contract Price Adjustment

Original Contract Price	\$2,632,500.00
Previous Change Order Adjustments	\$0.00
Adjustment in Contract Price this Change Order	\$71,195.80
Current Contract Price including this Change Order	\$2,703,695.80

Contract Substantial Completion Date Adjustment

Original Contract Substantial Completion Date	April 30, 2024
Contract Substantial Completion Date Adjustments due to previous Change Orders	0 Days
Contract Substantial Completion Date Adjustments due to this Change Order	61 Days
Current Substantial Contract Completion Dates including all Change Orders	June 30, 2024

Contract Final Completion Date Adjustment

Original Contract Final Completion Date	May 31, 2024
Contract Final Completion Date Adjustments due to previous Change Orders	0 Days
Contract Final Completion Date Adjustments due to this Change Order	76 Days
Current Final Contract Completion Dates including all Change Orders	August 15, 2024

JDC:sj\S:\MAD\1900--1999\1956\03\1\Construction\Change Orders\Change Order No. 1\CO1.docx

Town of Brookfield Sanitary District No. 4-Visu-Sewer, Inc.
Contract 2-2023, Change Order No. 1
Page 2
April 29, 2024

This document shall become a supplement to the Contract and all provisions will apply hereto.

RECOMMENDED

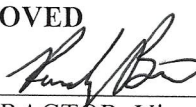


ENGINEER-Strand Associates, Inc.®

4/29/24

Date

APPROVED



CONTRACTOR-Visu-Sewer, Inc.

4/30/24

Date

APPROVED

OWNER-Town of Brookfield Sanitary District No. 4, Wisconsin

Date

Poplar Creek Interceptor Relining Change Orders

54" Interceptor Leak Repair - Change Order

	Total	Town	City
Leak Repair Change Order Total:	\$ 21,757.50	73.18% \$ 15,922.14	26.82% \$ 5,835.36

Replacement of Inside Drop - Change Order

	Total	Town	City
Mary LynnManhole inside drop replacement	\$ 7,428.30	73.18% \$ 5,436.03	26.82% \$ 1,992.27

Barker Rd Manhole Relining - Change Order

	Total	Town	City
Barker Rd Manhole Relining Total:	\$ 38,010.00	72.06% \$ 27,390.01	27.94% \$ 10,619.99

Install Sod on Larkspur Dr Backyard

	Total	Town	City
Mary LynnManhole inside drop replacement	\$ 4,000.00	73.18% \$ 2,927.20	26.82% \$ 1,072.80

Manhole Frame and Lid Replacement

	Total	Town	City
Replace all Manhole Frames and Lids to meet current specifications.	\$ -	73.18% \$ -	26.82% \$ -

72" Interceptor Leak Repair

	Total	Town	City
Mary LynnManhole inside drop replacement	\$ -	23.39% \$ -	76.61% \$ -

	Total	Town	City
Change Orders Total:	\$ 71,195.80	\$ 51,675.37	\$ 19,520.43



May 3, 2024

Mr. Tony Skof
 Town of Brookfield Sanitary District No. 4
 645 North Janacek Road
 P.O. Box 1296
 Brookfield, WI 53008-1296

Re: Well Nos. 3 and 4 Filter Rehabilitation
 Contract 1-2024
 Town of Brookfield Sanitary District No. 4, Brookfield, Wisconsin

Dear Tony,

Bids for the above-referenced Project were opened on May 1, 2024. Two Bids were received with the resulting Bid tabulation enclosed.

August Winter & Sons, Inc. of Appleton, Wisconsin, was the apparent low Bidder at \$564,090. The Bid included a Bid Bond for 10 percent. It has been noted by August Winter & Sons, Inc. that the cash allowances were not included in the lump sum Bid as required. Including these cash allowances in the lump sum Bid would still result in August Winter & Sons, Inc. being the apparent low Bidder. A brief schedule of values provided by August Winter & Sons, Inc. is included in the following table.

Item No.	Description	Rounded Value
1.	General Conditions	\$ 25,000
2.	Labor, Subsistence, Travel, and Insurance	\$ 170,000
3.	Equipment	\$ 5,000
4.	Miscellaneous Pipe, Fittings, and Valves	\$ 10,000
5.	Media Removal and Disposal	\$ 5,000
6.	Electrical	\$ 49,000
7.	Coatings–Vessel Exterior	\$ 65,000
8.	Coatings–Vessel Interior	\$ 50,000
9.	Coatings–Piping	\$ 10,000
10.	Vessel Components, Compressor, Valves	\$ 175,000

Strand Associates, Inc.® has previously worked with August Winter & Sons, Inc. on projects for Cities of Brookfield, Antigo, Berlin, and Port Washington, Wisconsin. For those projects, the owners determined August Winter & Sons, Inc. to be responsible.

Mr. Tony Skof
Town of Brookfield Sanitary District No. 4
Page 2
May 3, 2024

If you determine that August Winter & Sons, Inc. is a responsible Bidder after your evaluation of their qualifications, we recommend proceeding with award of the Contract in accordance with Article 18 of the Instructions to Bidders.

Sincerely,

STRAND ASSOCIATES, INC.®

A handwritten signature in dark ink, appearing to read 'S B Kluesner', with a long horizontal flourish extending to the right.

Steven B. Kluesner, P.E.

Enclosures

Well Nos. 3 and 4 Filter Rehabilitation								
Contract 1-2024								
Town of Brookfield Sanitary District No. 4								
Solicitor: Strand Associates, Inc.								
May 1, 2024 1 P.M.								
					August Winter & Sons, Inc		Mid City Corporation	
Section Title	Line Item	Item Description	UofM	Quantity	Unit Price	Extension	Unit Price	Extension
Well Nos. 3 and 4 Filter Rehabilitation								
	1	Lump Sum Bid	LS	1	\$564,090.00	\$564,090.00	\$585,400.00	\$585,400.00
Base Bid Total:					\$564,090.00		\$585,400.00	

BIDDER: August Winter & Sons, Inc.

BID FORMS

TOWN OF BROOKFIELD SANITARY DISTRICT NO. 4
BRROKFIELD, WISCONSIN
WELL NOS. 3 AND 4 FILTER REHABILITATION
CONTRACT 1-2024

Prepared by:

STRAND ASSOCIATES, INC.®
910 West Wingra Drive
Madison, WI 53715
www.strand.com

Issued for Bid
April 9, 2024



SECTION 00 41 00

BID

TOWN OF BROOKFIELD SANITARY DISTRICT NO. 4
BROOKFIELD, WISCONSIN
WELL NOS. 3 AND 4 FILTER REHABILITATION
CONTRACT 1-2024

A. Table of Contents

ARTICLE 1. BID RECIPIENT
ARTICLE 2. BIDDER'S ACKNOWLEDGEMENTS
ARTICLE 3. BIDDER'S REPRESENTATIONS
ARTICLE 4. BIDDER'S CERTIFICATIONS
ARTICLE 5. BASIS OF BID
ARTICLE 6. TIME OF COMPLETION
ARTICLE 7. ATTACHMENTS TO THIS BID
ARTICLE 8. DEFINED TERMS
ARTICLE 9. COMMUNICATIONS
ARTICLE 10. BID SUBMITTAL

ARTICLE 1–BID RECIPIENT

1.01 Bids to be received until 1 P.M., local time, May 1, 2024.

1.02 Online electronic Bidding through QuestCDN.com is the only way the Bid will be accepted. To access the electronic Bid Form, download the Project Documents and click the Online Bidding button.

1.03 The undersigned Bidder proposes and agrees, if this Bid is accepted, to enter into an Agreement with OWNER in the form included in the Bidding Documents to perform all Work as specified or indicated in the Bidding Documents for the prices and within the times indicated in this Bid and in accordance with the other terms and conditions of the Bidding Documents.

ARTICLE 2–BIDDER'S ACKNOWLEDGEMENTS: ACCEPTANCE PERIOD, INSTRUCTIONS, AND RECEIPT OF ADDENDA

2.01 Bid Acceptance Period

A. This Bid will remain subject to acceptance for 85 days after the Bid opening, or for such longer period of time that Bidder may agree to in writing upon request of OWNER.

2.02 Instructions to Bidders

A. Bidder accepts all of the terms and conditions of the Instructions to Bidders, including without limitation those dealing with the disposition of Bid security.

2.03 In submitting this Bid, Bidder represents the following:

A. Bidder has examined and carefully studied the Bidding Documents, and any data and reference items identified in the Bidding Documents, and hereby acknowledges receipt of the addenda.

2.04 Bidder will sign and deliver the required number of counterparts of the Agreement with the bonds, insurance certificates, and other documents required by the Bidding Requirements within 15 days after the date of OWNER's Notice of Award.

ARTICLE 3–BIDDER'S REPRESENTATIONS

3.01 Bidder's Representations

A. In submitting this Bid, Bidder represents the following:

1. Bidder has examined and carefully studied the Bidding Documents, including Addenda.

2. Bidder has visited the Site, conducted a thorough visual examination of the Site and adjacent areas, and become familiar with the general, local, and Site conditions that may affect cost, progress, and performance of the Work.

3. Bidder is familiar with all Laws and Regulations that may affect cost, progress, and performance of the Work.

4. Bidder has carefully studied the reports of explorations and tests of subsurface conditions at or adjacent to the Site and the drawings of physical conditions relating to existing surface or subsurface structures at the Site that have been identified in the Supplementary Conditions, with respect to the Technical Data in such reports and drawings.

5. Bidder has carefully studied the reports and drawings relating to Hazardous Environmental Conditions, if any, at or adjacent to the Site that have been identified in the Supplementary Conditions, with respect to Technical Data in such reports and drawings.

6. Bidder has considered the information known to Bidder itself; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Bidding Documents; and the Technical Data identified in the Supplementary Conditions or by definition, with respect to the effect of such information, observations, and Technical Data on (a) the cost, progress, and performance of the Work; (b) the means, methods, techniques, sequences, and procedures of construction to be employed by Bidder, if selected as CONTRACTOR; and (c) Bidder's (CONTRACTOR's) safety precautions and programs.

7. Based on the information and observations referred to in the preceding paragraph, Bidder agrees that no further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Price, within the Contract Times, and in accordance with the other terms and conditions of the Contract.

8. Bidder is aware of the general nature of work to be performed by OWNER and others at the Site that relates to the Work as indicated in the Bidding Documents.

9. Bidder has given ENGINEER written notice of all conflicts, errors, ambiguities, or discrepancies that Bidder has discovered in the Bidding Documents, and of discrepancies between Site conditions and the Contract Documents, and the written resolution thereof by ENGINEER is acceptable to CONTRACTOR.

10. The Bidding Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

11. The submission of this Bid constitutes an incontrovertible representation by Bidder that without exception the Bid and all prices in the Bid are premised upon performing and furnishing the Work required by the Bidding Documents.

ARTICLE 4–BIDDER’S CERTIFICATIONS

4.01 Bidder certifies the following:

A. This Bid is genuine and not made in the interest of or on behalf of any undisclosed individual or entity and is not submitted in conformity with any collusive agreement or rules of any group, association, organization, or corporation.

B. Bidder has not directly or indirectly induced or solicited any other Bidder to submit a false or sham Bid.

C. Bidder has not solicited or induced any individual or entity to refrain from Bidding.

D. Bidder has not engaged in corrupt, fraudulent, collusive, or coercive practices in competing for the Contract. For the purposes of this Paragraph 4.01.D:

1. Corrupt practice means the offering, giving, receiving, or soliciting of anything of value likely to influence the action of a public official in the Bidding process.

2. Fraudulent practice means an intentional misrepresentation of facts made (a) to influence the Bidding process to the detriment of OWNER, (b) to establish Bid prices at artificial non-competitive levels, or (c) to deprive OWNER of the benefits of free and open competition.

3. Collusive practice means a scheme or arrangement between two or more Bidders, with or without the knowledge of OWNER, a purpose of which is to establish Bid prices at artificial, non-competitive levels.

4. Coercive practice means harming or threatening to harm, directly or indirectly, persons or their property to influence their participation in the Bidding process or affect the execution of the Contract.

ARTICLE 5–BASIS OF BID

5.01 Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

The following abbreviations may be used in this Bid:

CIP	-	Complete in Place	LS	-	Lump Sum
CY	-	Cubic Yard	LT	-	Left
DI	-	Ductile Iron	MBF	-	Thousand Board Feet
DP	-	Deep Pits	MFOB	-	Thousand Freight-On-Board
DIA	-	Diameter	MH	-	Manhole
EA	-	Each	RCP	-	Reinforced Concrete Pipe
EST	-	Estimate(d)	RT	-	Right
EXCL	-	Excluding	SF	-	Square Foot
FT	-	Feet	SI	-	Square Inches
GAL	-	Gallon	STA	-	Station
HERCP	-	Horizontal Elliptical RCP	SY	-	Square Yard
HRS	-	Hours	T	-	Ton
IN	-	Inch	VLF	-	Vertical Linear Foot
INCL	-	Including	W/	-	With
LBS	-	Pounds	W/O	-	Without
LF	-	Linear Foot			

BIDDERS SHOULD NOT ADD ANY CONDITIONS OR QUALIFYING STATEMENTS TO THIS BID OR THE BID MAY BE DECLARED IRREGULAR AS NOT BEING RESPONSIVE TO THE INSTRUCTIONS TO BIDDERS.

BID

TOWN OF BROOKFIELD SANITARY DISTRICT NO. 4
BROOKFIELD, WISCONSIN
WELL NOS. 3 AND 4 FILTER REHABILITATION
CONTRACT 1-2024

LUMP SUM BID:

_____ Dollars \$ _____
(Words) (Numbers)

See Section 01 29 00–Contract Considerations for discussion of Cash Allowances to include in the Bid.

ENTER BID VIA
QUEST VBID ONLY

BID

TOWN OF BROOKFIELD SANITARY DISTRICT NO. 4
 BROOKFIELD, WISCONSIN
 WELL NOS. 3 AND 4 FILTER REHABILITATION
 CONTRACT 1-2024

CASH ALLOWANCES

The following Cash Allowances shall be included in the Lump Sum Base Bid. The Cash Allowances for non-Lump Sum items shall be equal to the product of the quantity included in the Lump Sum Base Bid and the Unit Price. The Cash Allowances will be adjusted in the event that estimated quantities to be included in the Lump Sum Base Bid are different from final measured quantities. A single Unit Price shall be bid for each item. Failure to include one or more of the following Unit Price items may result in rejection of the entire Bid as nonconforming. For items with a quantity of 1, the Cash Allowance shall be adjusted based on actual final costs.

Item Number	Description	Estimated Quantity Included in the Lump Sum Base Bid	Unit	Bid Unit Price	Total Bid Price Included in the Lump Sum Base Bid
Well Nos. 3 and 4 Filter Rehabilitation					
1.	Pit Filling by Surfacing Epoxy (Section 09 91 00-Painting)	10	SF	\$ 520	\$ 5,200
2.	Pit Filling by Welding (Section 09 91 00-Painting)	25	SI	\$ 100	\$ 2,500

ARTICLE 6–TIME OF COMPLETION

6.01 Bidder agrees that the Work will be substantially complete on or before April 30, 2025 and will be completed and ready for final payment in accordance with Paragraph 15.06 of the General Conditions on or before May 31, 2025.

In addition to the required substantial and final completion times, there are milestones by which certain items of work must be completed. See General Requirements for milestone requirements.

Milestone 1 60 Calendar Days

6.02 Bidder accepts the provisions of the Agreement as to liquidated damages in the event of failure to complete the Work within the Contract Times.

ARTICLE 7–ATTACHMENTS TO THIS BID

7.01 The following documents are attached to and made a condition of this Bid:

A. Required Bid security in the form of Bid Bond
(Surety2000, Certified Check, Bank Money Order, or Bond)

B. Evidence of authority to do business in the state of the Project; or a written covenant to obtain such license, if applicable, within the time for acceptance of Bids. Attached

C. Where applicable, Bidder shall provide CONTRACTOR’s License Number for the state of the Project, where noted at end of Bid or Bidder shall provide evidence of Bidder’s ability to obtain a State Contractor’s License and a covenant by Bidder to obtain said license within the time for acceptance of Bids. HVAC:120264 Master Plumber:871958

ARTICLE 8–DEFINED TERMS

8.01 The terms used in this Bid with initial or all capital letters have the meanings stated in the Instructions to Bidders, the General Conditions, and the Supplementary Conditions.

ARTICLE 9–COMMUNICATIONS

9.01 Communications concerning this Bid shall be addressed to the address of Bidder indicated below:

Name: Eric LeBlanc

Street: 2323 N. Roemer Road, PO Box 1896

City, State, Zip Code: Appleton, WI 54912-1896

Phone No.: 920-739-8881 Fax No.: 920-739-2230

E-mail address: eleblanc@augustwinter.com

ARTICLE 10–BID SUBMITTAL

Submitted on May 1, 2024

State Contractor License Number HVAC:120264 (if applicable).
Master Plumber:871958

If Bidder is:

An Individual

By: _____ N/A
 _____ (Individual's signature)

Name (typed or printed): _____

Doing business as: _____
 Business address: _____

Phone No.: _____ Fax No.: _____

E-mail address: _____

A Partnership

Partnership Name: _____ N/A

By: _____
 _____ (Signature of general partner -- attach evidence of authority to sign)

Name (typed or printed): _____

Business address: _____

Phone No.: _____ Fax No.: _____

E-mail address: _____

A Corporation

Corporation Name: August Winter & Sons, Inc.

State of Incorporation: Wisconsin

Type (General Business, Professional, Service, Limited Liability): General Business

By: _____
 _____ (Signature -- attach evidence of authority to sign)

Name (typed or printed): Mark Eimmerman

Title: President

Attest _____
 _____ (Signature of Corporate Secretary)

Business address: 2323 N. Roemer Road, PO Box 1896
Appleton, WI 54912-1896

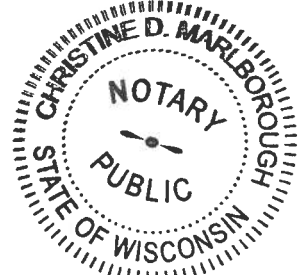
Phone No.: 920-739-8881 Fax No.: 920-739-2230

E-mail address: eleblanc@augustwinter.com

Date of Qualification to do business in (State where the Project is located) is Since 1929
Incorporated 4/27/1953

Sworn and subscribed to before me this
1st day of May, 2024
Christine D. Marlborough

Notary Public or Other Officer
 Authorized to Administer Oaths.
 My Commission expires: 1/31/2028



Section 00 41 00-8
 1956.032/1-2024

A *Limited Liability Company* (Note: If member-managed, an authorized member must sign; if manager-managed, the authorized manager must sign. Attach evidence of authority to sign on behalf of LLC).

N/A

(Fill in complete name of LLC)

State of Formation: _____

By: _____
(Signature)

_____, [Member] [Manager]
(Print Name)

Business Address: _____

Telephone.: _____

Email: _____

Fax: _____

A Joint Venture

N/A

Name of Joint Venture: _____

First Joint Venturer Name: _____

By: _____
(Signature of first joint venture partner -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

Business address: _____

Phone No.: _____ Fax No.: _____

E-mail address: _____

Second Joint Venturer Name: _____

By: _____
(Signature of second joint venture partner -- attach evidence of authority to sign)

Name (typed or printed): _____

Title: _____

Business address: _____

Phone No.: _____ Fax No.: _____

E-mail address: _____

Phone No., Fax No., and postal and E-mail address for receipt of official communications:

(Each joint venturer must sign. The manner of signing for each individual, partnership, and corporation that is a party to the joint venture should be in the manner indicated above.)

Sworn and subscribed to before me this
_____ day of _____, _____

Notary Public or Other Officer
Authorized to Administer Oaths.
My Commission expires: _____

END OF SECTION

**CERTIFIED COPY OF RESOLUTION OF BOARD OF DIRECTORS
OF AUGUST WINTER & SONS, INC.**

I, Gerald J. Hietpas, hereby certifying that I am duly elected and qualified Secretary of August Winter & Sons, Inc. and keeper of its records and the Corporate Seal and that the following is true and correct copy of a Resolution duly adopted at a special meeting of the Board of Directors of said August Winter & Sons, Inc. duly convened in accordance with the By-Laws of said Corporation at its office at Appleton, Wisconsin, on the 14th day of June, 2019.

RESOLVED, that Mark M. Eimmerman, President, and Gerald J. Hietpas, Vice-President, Secretary and Treasurer, and Travis B. Glennon, Assistant Secretary and Assistant Treasurer, and each of them is hereby authorized to execute all contracts and all other papers necessary in the transaction of the Corporation's business and to bind the Corporation by such execution without any other signature of any other Officer.

IN WITNESS WHEREOF, I have hereunto affixed my name as Secretary and have caused this Corporate Seal of said Corporation to be hereto affixed this 14th day of June, 2019.


Gerald J. Hietpas, Secretary

(CORPORATE SEAL)

I, Gerald J. Hietpas, a Director of said Corporation do hereby certify that the foregoing is a correct copy of a Resolution passed as therein set forth.


Gerald J. Hietpas, Director



WISCONSIN DEPARTMENT OF REVENUE
 PO BOX 8902
 MADISON, WI 53708-8902

Contact Information:

2135 RIMROCK RD PO BOX 8902
 MADISON, WI 53708-8902
 ph: 608-266-2776 fax: 608-327-0235
 email: DORBusinessTax@wisconsin.gov
 website: revenue.wi.gov

000616

AUGUST WINTER & SONS, INC.
 2323 N ROEMER RD
 APPLETON WI 54911-8619

Letter ID L1824269360



Wisconsin Business Tax Registration Certificate



Expiration date: January 31, 2026
Legal/real name: AUGUST WINTER & SONS, INC.



- This certificate confirms that you are registered with the Wisconsin Department of Revenue for the tax types shown below.
- This registration certificate is not a seller's permit, and should not be used as proof that you hold a seller's permit.
- You may not transfer this certificate to any other individual or business.

Tax Type	Account Type	Number
Sales & Use Tax	Sales & Use Tax	456-0000577559-03
Withholding Tax	Withholding Tax	036-0000577559-04

The following is a list of the business locations that you have registered with the Department of Revenue.

456-0000577559-03
AUGUST WINTER & SONS, INC.
2323 N ROEMER RD
APPLETON WI 54911-8619

10% BID BOND

Any singular reference to Bidder, Surety, Owner or other party shall be considered plural where applicable.

<p>Bidder Name: August Winter & Sons, Inc. Address (principal place of business): 2323 N. Roemer Road, PO Box 1896 Appleton, WI 54911</p>	<p>Surety Name: Ohio Farmers Insurance Company Address (principal place of business): P.O. Box 5001 Westfield Center, OH 44251</p>
<p>Owner Name: Town of Brookfield Sanitary District No. 4 Address (principal place of business): 645 North Janacek Road Brookfield, WI 53045</p>	<p>Bid Project (name and location): Well Nos. 3 and 4 Filter Rehabilitation Contract 1-2024 Bid Due Date: May 1, 2024</p>
<p>Bond Penal Sum: Ten Percent of Amount Bid (10%) Date of Bond: April 24, 2024</p>	
<p>Surety and Bidder, intending to be legally bound hereby, subject to the terms set forth in this Bid Bond, do each cause this Bid Bond to be duly executed by an authorized officer, agent, or representative.</p>	
<p>Bidder August Winter & Sons, Inc. (Full formal name of Bidder)</p>	<p>Surety Ohio Farmers Insurance Company (Full formal name of Surety) (corporate seal)</p>
<p>By: <u>Travis Glennon</u> (Signature)</p>	<p>By: <u>Haley Pflug</u> (Signature) (Attach Power of</p>
<p>Name: <u>Travis Glennon</u> (Printed or typed)</p>	<p>Name: <u>Haley Pflug</u> (Printed or typed)</p>
<p>Title: <u>Asst. Secretary</u></p>	<p>Title: <u>Attorney-in-Fact</u></p>
<p>Attest: <u>Wendy Zeinert</u> (Signature)</p>	<p>Attest: <u>Blake Bohlig</u> (Signature)</p>
<p>Name: <u>Wendy Zeinert</u> (Printed or typed)</p>	<p>Name: <u>Blake Bohlig</u> (Printed or typed)</p>
<p>Title: <u>Witness</u></p>	<p>Title: <u>Witness</u></p>
<p>Notes: (1) Note: Addresses are to be used for giving any required notice. (2) Provide execution by any additional parties, such as joint venturers, if necessary.</p>	



EJCDC® C-430, Bid Bond (Penal Sum Form).

This document is a MODIFIED version of EJCDC® C-430. Copyright© 2018 National Society of Professional Engineers, American Council of Engineering Companies, and American Society of Civil Engineers. All rights reserved.

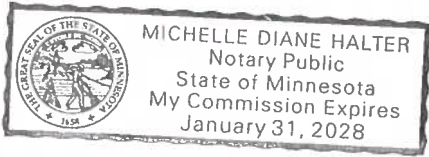
1. Bidder and Surety, jointly and severally, bind themselves, their heirs, executors, administrators, successors, and assigns to pay to Owner upon default of Bidder the penal sum set forth on the face of this Bond. Payment of the penal sum is the extent of Bidder's and Surety's liability. Recovery of such penal sum under the terms of this Bond will be Owner's sole and exclusive remedy upon default of Bidder.
2. Default of Bidder occurs upon the failure of Bidder to deliver within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents.
3. This obligation will be null and void if:
 - 3.1. Owner accepts Bidder's Bid and Bidder delivers within the time required by the Bidding Documents (or any extension thereof agreed to in writing by Owner) the executed Agreement required by the Bidding Documents and any performance and payment bonds required by the Bidding Documents, or
 - 3.2. All Bids are rejected by Owner, or
 - 3.3. Owner fails to issue a Notice of Award to Bidder within the time specified in the Bidding Documents (or any extension thereof agreed to in writing by Bidder and, if applicable, consented to by Surety when required by Paragraph 5 hereof).
4. Payment under this Bond will be due and payable upon default of Bidder and within 30 calendar days after receipt by Bidder and Surety of written notice of default from Owner, which notice will be given with reasonable promptness, identifying this Bond and the Project and including a statement of the amount due.
5. Surety waives notice of any and all defenses based on or arising out of any time extension to issue Notice of Award agreed to in writing by Owner and Bidder, provided that the total time for issuing Notice of Award including extensions does not in the aggregate exceed 120 days from the Bid due date without Surety's written consent.
6. No suit or action will be commenced under this Bond prior to 30 calendar days after the notice of default required in Paragraph 4 above is received by Bidder and Surety, and in no case later than one year after the Bid due date.
7. Any suit or action under this Bond will be commenced only in a court of competent jurisdiction located in the state in which the Project is located.
8. Notices required hereunder must be in writing and sent to Bidder and Surety at their respective addresses shown on the face of this Bond. Such notices may be sent by personal delivery, commercial courier, or by United States Postal Service registered or certified mail, return receipt requested, postage pre-paid, and will be deemed to be effective upon receipt by the party concerned.
9. Surety shall cause to be attached to this Bond a current and effective Power of Attorney evidencing the authority of the officer, agent, or representative who executed this Bond on behalf of Surety to execute, seal, and deliver such Bond and bind the Surety thereby.
10. This Bond is intended to conform to all applicable statutory requirements. Any applicable requirement of any applicable statute that has been omitted from this Bond will be deemed to be included herein as if set forth at length. If any provision of this Bond conflicts with any applicable statute, then the provision of said statute governs and the remainder of this Bond that is not in conflict therewith continues in full force and effect.
11. The term "Bid" as used herein includes a Bid, offer, or proposal as applicable.

Surety Acknowledgment

State of Minnesota }
County of Hennepin } ss.

On this 24th day of April 2024, before me personally came Haley Pflug, to me known, who being by me duly sworn, did depose and say that she is the Attorney-in-Fact of Ohio Farmers Insurance Company described in and which executed the above instrument; that she knows the seal of said corporation; that the seal affixed to said instruments is such corporate seal, that it was so affixed by order of the Board of Directors of said corporation, and that she signed her name to it by like order.

Michelle Diane Halter
Notary Public



THIS POWER OF ATTORNEY SUPERCEDES ANY PREVIOUS POWER BEARING THIS SAME POWER # AND ISSUED PRIOR TO 01/18/23, FOR ANY PERSON OR PERSONS NAMED BELOW.

POWER NO. 2263612 02

General Power of Attorney

Westfield Insurance Co. Westfield National Insurance Co. Ohio Farmers Insurance Co. Westfield Center, Ohio

CERTIFIED COPY

Know All Men by These Presents, That WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY, corporations, hereinafter referred to individually as a "Company" and collectively as "Companies," duly organized and existing under the laws of the State of Ohio, and having its principal office in Westfield Center, Medina County, Ohio, do by these presents make, constitute and appoint BRIAN D. CARPENTER, NICOLE LANGER, CRAIG OLMSTEAD, JESSICA HOFF, MICHELLE HALTER, HEATHER R. GOEDEL, KELLY NICOLE ENGHAEUSER, BLAKE S. BOHLIG, LAURIE PFLUG, HALEY PFLUG, JOINTLY OR SEVERALLY

of BLOOMINGTON and State of MN its true and lawful Attorney(s)-in-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver any and all bonds, recognizances, undertakings, or other instruments or contracts of suretyship in any penal limit.

LIMITATION: THIS POWER OF ATTORNEY CANNOT BE USED TO EXECUTE NOTE GUARANTEE, MORTGAGE DEFICIENCY, MORTGAGE GUARANTEE, OR BANK DEPOSITORY BONDS.

and to bind any of the Companies thereby as fully and to the same extent as if such bonds were signed by the President, sealed with the corporate seal of the applicable Company and duly attested by its Secretary, hereby ratifying and confirming all that the said Attorney(s)-in-Fact may do in the premises. Said appointment is made under and by authority of the following resolution adopted by the Board of Directors of each of the WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY:

"Be It Resolved, that the President, any Senior Executive, any Secretary or any Fidelity & Surety Operations Executive or other Executive shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

The Attorney-in-Fact, may be given full power and authority for and in the name of and on behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements of indemnity and other conditional or obligatory undertakings and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-Fact shall be as binding upon the Company as if signed by the President and sealed and attested by the Corporate Secretary."

"Be it Further Resolved, that the signature of any such designated person and the seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signatures or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached." (Each adopted at a meeting held on February 8, 2000).

In Witness Whereof, WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY have caused these presents to be signed by their National Surety Leader and Senior Executive and their corporate seals to be hereto affixed this 18th day of JANUARY A.D., 2023 .

Corporate Seals Affixed



WESTFIELD INSURANCE COMPANY WESTFIELD NATIONAL INSURANCE COMPANY OHIO FARMERS INSURANCE COMPANY

Handwritten signature of Gary W. Stumper

By: Gary W. Stumper, National Surety Leader and Senior Executive

State of Ohio County of Medina ss.:

On this 18th day of JANUARY A.D., 2023 , before me personally came Gary W. Stumper to me known, who, being by me duly sworn, did depose and say, that he resides in Medina, OH; that he is National Surety Leader and Senior Executive of WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY, the companies described in and which executed the above instrument; that he knows the seals of said Companies; that the seals affixed to said instrument are such corporate seals; that they were so affixed by order of the Boards of Directors of said Companies; and that he signed his name thereto by like order.

Notarial Seal Affixed



Handwritten signature of David A. Kotnik

David A. Kotnik, Attorney at Law, Notary Public My Commission Does Not Expire (Sec. 147.03 Ohio Revised Code)

State of Ohio County of Medina ss.:

I, Frank A. Carrino, Secretary of WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Companies, which is still in full force and effect; and furthermore, the resolutions of the Boards of Directors, set out in the Power of Attorney are in full force and effect.

In Witness Whereof, I have hereunto set my hand and affixed the seals of said Companies at Westfield Center, Ohio, this 24th day of April A.D., 2024 .



Handwritten signature of Frank A. Carrino

Frank A. Carrino, Secretary