

**Town of Brookfield** | 645 N. Janacek Road, Brookfield, WI 53045 Office: 262-796-3788 | Clerk@TownofBrookfield.com

### MEETING AGENDA

|                            | Town Board              | Eric Gnant Room                    |
|----------------------------|-------------------------|------------------------------------|
| Tuesday, September 3, 2024 | Utility District No. 1  | TOB Municipal Building             |
| 7:00pm                     | Sanitary District No. 4 | 645 N. Janacek Rd., Brookfield, WI |

### Item # Topic

1. Call to Order & Roll Call:

Chairman Keith Henderson, Supervisors Steve Kohlmann, Ryan Stanelle, John Charlier, and John Schatzman.

- 2. Meeting Notices.
- 3. Adoption of the Agenda.
- 4. Meeting Minutes: Minutes from the August 20, 2024 meeting of the TB, UD1, SD4.
- 5. Citizen Comments. Three minute limit.

New Business, Including Topics from Departments, Committees and Commissions

6. Plan Commission: Preliminary and Final Approval for Ken Krahe – MSI General Corp., Representing Silgan Containers.

Recommendation of preliminary and final approval for a boiler room and warehouse / mechanical room addition for the property located at 21027 Crossroads Circle. (From the August 27, 2024 PC meeting).

7. Plan Commission: Conditional Use Permit for Katelynn Zingsheim – Ryzing Fitness.

Recommendation of approval of a Conditional Use Permit for a fitness center in the M-1 Limited Manufacturing District, located at 21975 Doral Road. (From the August 27, 2024 PC meeting).

8. Plan Commission: Conceptual Approval for Adrian Deasey – Octane Coffee.

Recommendation of conceptual approval to allow a drive-through coffee business, located at 19555 W Bluemound Rd. (From the August 27, 2024 PC meeting).

9. Clerk: Alcohol Licensing for Class B Fermented Malt Beverage and Class B Liquor License

Entity: **Poplar Creek Hospitality, LLC; DBA Courtyard by Marriott / Residence Inn by Marriott** Location: 20300 W Bluemound Rd., Brookfield, WI 53045 Agent: Thys V. Jones, Jr. License Type: An "above quota" license created for restaurants and hotels meeting certain service capacity levels.

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meetings to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request such services contact the clerk's office at the above.

### 10. Administrator & Clerk: Elected Compensation Report

Follow-up on the directive to study the compensation paid to elected officials across other local municipalities and report back to the Town Board in time for any potential salary adjustments recommended to be included in the Town's 2025 Budget. (From the April 16, 2024 Annual Town Meeting).

### 11. Treasurer: Vouchers and Checks.

- 12. Communications & Announcements.
- 13. Adjourn.

Posted August 29, 2024.

Deanna Alexander

Deanna Alexander, MPA Town Clerk, Town of Brookfield

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### **MEETING MINUTES**

|                          | Town Board              | Eric Gnant Room                    |
|--------------------------|-------------------------|------------------------------------|
| Tuesday, August 20, 2024 | Utility District No. 1  | TOB Municipal Building             |
| 7:00pm                   | Sanitary District No. 4 | 645 N. Janacek Rd., Brookfield, WI |

### Item # Topic

1. Call to Order & Roll Call:

Present: Chairman Keith Henderson, Supervisors Steve Kohlmann, Ryan Stanelle, John Charlier, and John Schatzman. A quorum was met (5-0). The meeting was called to order at 7:00pm.

- 2. Meeting Notices. The Clerk confirmed the meeting was publicly noticed.
- 3. Adoption of the Agenda.

Motion by Stanelle to approve the agenda; seconded by Charlier. Motion prevailed by a voice vote (5-0).

4. Meeting Minutes: Minutes from the August 6, 2024 meeting of the TB, UD1, SD4.

Motion by Stanelle to approve the second draft version of the meeting minutes as presented; seconded by Charlier. Motion prevailed by a voice vote (5-0).

5. Citizen Comments. No members of the public requested to speak.

New Business, Including Topics from Departments, Committees and Commissions

6. Administrator: Intergovernmental Agreement between the City of Brookfield and the Town of Brookfield regarding Bridge Inspection.

The Administrator shared that the version of the agreement presented would need an additional edit because one of the "whereas" clauses describes Brookfield Road spanning Poplar Creek rather than Deer Creek but that this would be updated and also approved by the City of Brookfield prior to executing.

Motion by Stanelle to approve the Intergovernmental Agreement between the City of Brookfield and the Town of Brookfield regarding Bridge Inspection, inclusive of the recommended alteration to update the "Poplar Creek" description to "Deer Creek," and subject to the town attorney's approval; seconded by Kohlmann.

Motion prevailed by a voice vote (5-0).

7. Clerk: Recap Overview of the Fall Partisan Primary Election on August 13, 2024.

The Clerk provided a verbal overview of activities in the recent election including the challenges of overseeing two polling sites at one time while facing technology / machine operation problems and the successes of ensuring things were able to be corrected and kept moving despite the obstacles; along with the successes of having many new poll workers, conducting multiple trainings, and having balanced and reconciled numbers at the end of the day.

### 8. Treasurer: Vouchers and Checks.

Motion by Kohlmann to approve vouchers and checks as presented; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

- 9. Communications & Announcements.
  - Kohlmann asked for an update on signage concerns. The Administrator is working with a sign company to see what it would look like to put signs in parks and working with a specific file type to see if they can put the logo on the signs.
  - Kohlmann asked about progress on the review of elected official salaries as requested at the Town's Annual Meeting. The Clerk confirmed intentions to bring the responsive data to the next Town Board meeting.
  - The Administrator shared that the DPW recently hired three new employees, bringing the department up to five.
  - Kohlmann asked about the pond being full of algae, per Matt Paris at the ARC meeting. The Administrator stated he would look into the situation.
  - The Administrator mentioned considering a few drainage projects in the near future.
  - Supervisors asked about the status of The Dollar Store as it has been non-operational for almost a full year after fire damage. No further information was available at the time.
- 10. Adjourn. Motion by Charlier to adjourn at 7:34pm; seconded by Stanelle. Motion prevailed by a voice vote (5-0).

Submitted August 29, 2024.

Deanna Alexander

Deanna Alexander, MPA Town Clerk, Town of Brookfield

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### TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP Town Planner

REPORT DATE: August 22, 2024 PC MEETING DATE: August 27, 2024

RE: Silgan Containers Building Addition – Conceptual Approval 21027 Crossroads Circle BKFT1129999047

SEH No. 171421, TASK 63

Applicant: Ken Krahe – MSI General Corp, representing Silgan Containers Application Type: Preliminary and Final Conceptual Approval

### **Request**

Applicant is requesting preliminary and final approval of the addition of a boiler room and warehouse/mechanical room to the existing building located 21027 Crossroads Circle.

### Summary of Request

- The applicant is proposing two addition areas: a 23' x 16' (368 square feet) boiler room addition, and a 35' x 117' (4,095 square feet) warehouse and mechanical room addition. The proposed additions will be to the existing 128,632 square foot 2-story building on site.
- Proposed Size = 4,463 square feet it is unclear if both areas are 1 or 2 story additions.
- Zoning District = B-2 Limited General Business District
- Lot size = 8.5 acres.
- Proposed Use (for addition area)= HVAC expansion, Warehousing, and mechanical expansion.
- Use of rest of building: Office and light warehousing.
- Proposed setbacks:
  - Street = 50'
    - $\circ$  Side and rear = 15'
    - o All building setbacks will meet code requirements.
- Maximum Building Height:
  - Principal = 45'
  - Accessory = 15'
  - o Addition heights meet code requirements, assuming they match the current building height.
- Sum total of floor area:
  - Existing = 34.7%
  - Proposed = 37.1%

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351 SEH is 100% employee-owned | sehinc.com | 262.646.6855 | 888.908.8166 fax

- Requirement is met.
- Parking
  - There are 350 existing parking stalls.
  - Code requirement:
    - Office: 1 space per 250sf of space.
      - 304 required.
    - Warehousing: 1 space per employee, plus one space per 5,000sf of gross floor area.
  - The application did not specify number of employees, but there appears to be adequate parking.
- Lighting
  - Not provided.
- Landscaping
  - Not provided.
- Signage
  - Proposed signage plan is included.

The development review team is currently reviewing and feedback may be provided at the time of the meeting.

### **Preliminary Review**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. Preliminary approval recommended by the Architectural Review Committee and granted by the Plan Commission shall expire within six months unless final project plans are presented to the Plan Commission.

### **Final Review**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.





# SILGAN CROSSROADS REMODEL

# **REMODEL & NEW ADDITION(S)**

# 21027 CROSSROADS CIRCLE WAUKESHA, WISCONSIN 53186

| PROJECT IN   | FORMATION  |   |
|--|--|---|
| CODE SUMMARY AND   | BUILDING INFORMATION   | ALL AND A |
| APPLICABLE CODES AND STANDARDS         BUILDING CODE:       2015       INTERNATIONAL BUILDLING CODE ( IBC )         PLUMBING CODE:       2015       WISCONSIN PLUMBING CODE -3SPS 380 TO 387         MECHANICAL CODE:       2015       INTERNATIONAL MECHANICAL CODE ( IMC )         ENGERGY CODE:       2015       INTERNATIONAL MECHANICAL CODE ( IMC )         ELECTRICAL CODE:       2017       NATIONAL ELECTRICAL CODE ( NEC )         FIRE CODE:       2018       INTERNATIONAL FIRE CODE ( IFC )         ACCESSIBILITY CODE:       2009       ANSI A117.1         DEFICION CUUDE:       2009       ANSI A117.1 | MEANS OF EGRESS (IBC CHAPTER 10)         OCCUPANT LOAD (1004)       1854 TOTAL OCCUPANTS<br>(SEE OCCUPANT LOAD CALCULATIONS ON SHEET G-111)         EGRESS SIZING (1005)         OTHER EGRESS COMPONETS  |   |
| PROJECT DESCRIPTION  | = OCCUP. LOAD X 0.2"/OCC.<br>= XXX INCHES REQUIRED<br>= XXX INCHES REQUIRED  |   |
| AN INTERIOR REMODEL OF AN EXISTING 117,929 SF TWO STORY OFFICE BUILDING, INCLUDING CONSTRUCTION O<br>NEW 35'X 117' WAREHOUSE ADDITION, NEW 22'X 22' BOILER ROOM ADDITION, AND NEW DUMPSTER ENCLOSURE<br>LOCATED IN THE CROSSROADS CORPORATE PARK IN THE TOWN OF BROOKFIELD, WI.<br>PROJECT AREA<br>FIRST FLOOR DUMPSTER ENCLOSURE 407 SF   | DF A STAIRS<br>= OCCUP. LOAD X 0.3"/OCC.<br>= XXX INCHES REQUIRED<br>= XXX INCHES PROVIDED   | Til   |
| FIRST FLOOR     BOILER ROOM ADDITION     484 SF       FIRST FLOOR     WAREHOUSE ADDITION     4,068 SF       FIRST FLOOR     EXISTING BUILDING     63,879 SF       SECOND FLOOR     EXISTING BUILDING     54,050 SF       PROJECT AREA:     122,888 SF  | MAXIMUM COMMON PATH OF EGRESS TRAVEL       XXX       FEET         MAXIMUM EXIT ACCESS TRAVEL DISTANCE       XXX       FEET         PLUMBING FIXTURE REQUIREMENTS       ( IBC CHAPTER 29)         SEE PLUMBING FIXTURE CALCULATIONS ON SHEET: G-111 |   |
| USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3)   | THERMAL ENVELOPE (IECC)  | EAS   |
| GROUP(S):<br>B BUSINESS<br>F-1 FACTORY<br>S-1 STORAGE<br>U UTILITY AND MISCELLANEOUS GROUP   | NOT APPLICABLE - EXISTING BUILDING - NO CHANGES TO THERMAL ENVELOPE  |   |
| GENERAL BUILDING HEIGHTS AND AREAS (CHAPTER 5)   |  | Certil.   |
| CONSTRUCTION TYPE:       IIB       ALLOWABLE       ACTUAL         BUILDING HEIGHT IN FEET       (TABLE 504.3)       180'-0"       26'-0"         BUILDING HEIGHT IN STORIES       (TABLE 504.4)       12       2         BUILDING AREA PER FLOOR       (TABLE 506.2)       UNLIMITED         FIRST FLOOR       0 SF       68,441 SF         SECOND FLOOR       0 SF       54,077 SF  |  |   |
| SHOW MATH HERE   | DEFERRED SUBMITTALS  | Site of car   |
| ALLOWABLE AREA INCREASE (TABLE 506.3):<br>SHOW MATH HERE<br>UNLIMITED AREA BUILDING PER IBC 507<br>60'-0" MIN. YARDS PROVIDED WITH EXCEPTION AS ALLOWED PER 507.2.1 OF THE 2015 IBC  | HVAC     FLUMBING     FIRE SUPRESSION SYSTEM     FIRE ALARM SYSTEM   | T.L   |
| FIRE RESISTIVE RATING REQ. FOR BUILDING ELEMENTS (IBC CHAPTER 6)   | • OTHER<br>NOTES:  |   |
| CONSTRUCTION TYPE: IB  | ALL DEFERRED SUBMITTALS TO BE PROVIDED TO THE AUTHORITY HAVING JURISDICTION FOR<br>REVIEW A MINIMUM OF TWO WEEKS PRIOR TO COMMENCMENT OF WORK.   | J. A.   |
| PRIMARY STRUCTURAL FRAMING:     2ª     HR     (SEE TABLE 601)       BEARING WALLS EXTERIOR:     2     HR       BEARING WALLS INTERIOR:     2ª     HR     (SEE TABLE 601)       NON-BEARING WALLS INTERIOR:     0     HR       FLOOR CONCTRUCTION:     2     HB   | ALL DEFERRED SUBMITALS TO BE REVIEWED BY THE ARCHITECT PRIOR TO SUBMITAL TO AUTHORITY HAVING JURISDICTION.   | -1  |
| ROOF CONSTRUCTION: 1b.c HR (SEE TABLE 601)   |  | - Can   |
|  |  |   |
| ALLOWABLE AREA OF OPENINGS:  |  |   |
| FIRE SEPERATION DISTANCE: > 30 FEET<br>OPENING PROTECTION: UNPROTECTED, SPRINKLERED<br>ALLOWABLE OPENING AREA: NO LIMIT  |  |   |
| INTERIOR FINISHES (IBC CHAPTER 8)  |  | 14 14   |
| INTERIOR WALL AND CEILING FINISHES: IBC 2015, TABLE 803.11 SPRINKLERED   |  | PROJEC  |
| INTERIOR EXIT<br>OCCUPANCY         INTERIOR EXIT<br>STAIRWAYS, ETC.         ROOMS AND<br>CORRIDORS, ETC.           B         BUSINESS         CLASS B         CLASS C           F-1         FACTORY         CLASS C         CLASS C  |  | Marsa 7   |
| S-1 STORAGE CLASS C CLASS C CLASS C<br>U UTILITY AND MISCELLANEOUS GROUP NR NR NR  |  |   |
| FIRE PROTECTION SYSTEM (IBC CHAPTER 9)   |  |   |
| AUTOMATIC SPRINKLER SYSTEM: NFPA -XXXX   |  |   |
| FULLY SPRINKLERED ESFR SYSTEM  |  |   |
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|  |  | ARCHITECT SE  |



## VICINITY MAP



|                    | SHEET INDEX  |              |               |                      | SHEET INDE | X        |               |   | SHEET INDEX |  |
|--------------------|--|--------------|---------------|----------------------|------------|----------|---------------|---|-------------|--|
| SHEET<br>NUMBER    | SHEET NAME   | REVISION     | BEVISION DATE | SHEET<br>NUMBER SHEE |            | REVISION | BEVISION DATE |   |             |  |
| NOMBER             |  |              |               |                      |            |          | TENOION DATE  |   |             |  |
| G-001-A            | COVER SHEET  | ADDENDUM - A | XX/XX/XXXX    |                      |            |          |               |   |             |  |
| G-002              | GENERAL NOTES, LEGENDS ABBREVIATIONS AND SYMBOLS                                     |              |               |                      |            |          |               |   |             |  |
| G-111<br>G-121     | FIRST FLOOR - LIFE SAFETY PLAN SECOND FLOOR - LIFE SAFETY PLAN                       |              |               |                      |            |          |               |   |             |  |
| G-201              | GENERAL ACCESSIBILITY REQUIREMENTS   |              |               |                      |            |          |               |   |             |  |
| G-202              | GENERAL ACCESSIBILITY REQUIREMENTS   |              |               |                      |            |          |               |   |             |  |
| RCHITECT           |  |              | 20/20/2000/   |                      |            |          |               |   |             |  |
| AS-101             | ARCHITECTURAL SITE PLAN  | ADDENDUM - A | XX/XX/XXXX    |                      |            |          |               |   |             |  |
|                    |  |              | T             |                      |            |          |               |   |             |  |
| AD-110<br>AD-111.1 | FIRST FLOOR DEMOLITION PLAN - OVERALL  |              |               |                      |            |          |               |   |             |  |
| AD-111.2           | FIRST FLOOR DEMOLITION PLAN - AREA B   |              |               |                      |            |          |               |   |             |  |
| AD-111.3<br>AD-112 | FIRST FLOOR DEMOLITION PLAN - AREA C   |              |               |                      |            |          |               |   |             |  |
| AD-120             | SECOND FLOOR DEMOLITION PLAN   |              |               |                      |            |          |               |   |             |  |
| AD-121.1           | SECOND FLOOR DEMOLITION PLAN - AREA A  |              |               |                      |            |          |               |   |             |  |
| AD-121.3           | SECOND FLOOR DEMOLITION PLAN - AREA C  |              |               |                      |            |          |               |   |             |  |
| AD-122             | SECOND FLOOR DEMOLITION PLAN REFLECTED CEILING PLAN                                  |              |               |                      |            |          |               |   |             |  |
| AD-151             |  |              |               |                      |            |          |               |   |             |  |
|                    |  |              |               |                      |            |          |               |   |             |  |
| A-110<br>A-111.1   | FIRST FLOOR PLAN - AREA A  |              |               |                      |            |          |               |   |             |  |
| A-111.2            | FIRST FLOOR PLAN - AREA B  |              |               |                      |            |          |               |   |             |  |
| A-111.3<br>A-113   | FIRST FLOOR PLAN - AREA C OVERALL FIRST FLOOR REFLECTED CEILING PLAN                 |              |               |                      |            |          |               |   |             |  |
| A-113.1            | FIRST FLOOR REFLECTED CEILING PLAN - AREA A  |              |               |                      |            |          |               |   |             |  |
| A-113.2            | FIRST FLOOR REFLECTED CEILING PLAN - AREA B  |              |               |                      |            |          |               |   |             |  |
| A-116              | FIRST FLOOR SILGAN DEPARTMENT AREA PLAN  |              |               |                      |            |          |               |   |             |  |
| A-120<br>A-121.1   | OVERALL SECOND FLOOR PLAN<br>SECOND FLOOR PLAN - AREA A                              |              |               |                      |            |          |               |   |             |  |
| A-121.2            | SECOND FLOOR PLAN - AREA B   |              |               |                      |            |          |               |   |             |  |
| A-121.3<br>A-123   | SECOND FLOOR PLAN - AREA C<br>SECOND FLOOR BEFLECTED CEILING PLAN                    |              |               |                      |            |          |               |   |             |  |
| A-123.1            | SECOND FLOOR REFLECTED CEILING PLAN - AREA A   |              |               |                      |            |          |               |   |             |  |
| A-123.2            | SECOND FLOOR REFLECTED CEILING PLAN - AREA B   |              |               |                      |            |          |               |   |             |  |
| A-126              | SECOND FLOOR SILGAN DEPARTMENT AREA PLAN   |              |               |                      |            |          |               |   |             |  |
| A-140              | OVERALL ROOF PLAN  |              |               |                      |            |          |               |   |             |  |
| A-720              | BOILER ROOM ADDITION   |              |               |                      |            |          |               |   |             |  |
| A-730              | DUMPSTER ENCLOSURE   |              |               |                      |            |          |               |   |             |  |
| NTERIORS           |  | _            |               |                      |            |          |               |   |             |  |
| I-100<br>I-101.1   | INTERIOR - OVERALL FIRST FLOOR PLAN<br>INTERIOR - ENLARGED FIRST FLOOR PLAN - AREA A |              |               |                      |            |          |               |   |             |  |
| I-101.2            | INTERIOR - ENLARGED FIRST FLOOR PLAN - AREA B  |              |               |                      |            |          |               |   |             |  |
| I-101.3<br>I-200   | INTERIOR - ENLARGED FIRST FLOOR PLAN - AREA C  |              |               |                      |            |          |               |   |             |  |
| I-201.1            | INTERIOR - ENLARGED SECOND FLOOR PLAN - AREA A                                       |              |               |                      |            |          |               |   |             |  |
| l-201.2            | INTERIOR - ENLARGED SECOND FLOOR PLAN - AREA B                                       |              |               |                      |            |          |               |   |             |  |
| I-602              | FINISH MATERIAL LEGEND   |              |               |                      |            |          |               |   |             |  |
| 1-603              |  |              |               |                      |            |          |               |   |             |  |
|                    |  |              |               |                      |            |          |               |   |             |  |
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|                    |  |              |               |                      |            |          |               |   |             |  |
|                    |  |              |               |                      |            |          |               |   |             |  |
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ENGINEER SEAL

09/03/24 Meeting Packet - Page



BUDGET SET - NOT FOR CONSTRUCTION - 07/29/2024



# I FGFND:

| UTILITY  |  | GRADING                             |  |
|--|--|-------------------------------------|--|
| EXISTING:  |  | EXISTING:                           |  |
| W         E         OHW         GAS         SAN         ST | WATERMAIN<br>BURIED ELECTRIC<br>OVERHEAD WIRE<br>GAS LINE<br>SANITARY SEWER<br>STORM SEWER | -160<br>-160<br>+ EXIST<br>+ 100.00 | MAJOR CONTOUR<br>MINOR CONTOUR<br>EXISTING SPOT ELEVATION            |
|  | UTILITY POLE   | PROPOSED:                           |  |
|  | LIGHT POLE   | 160                                 | MAJOR CONTOUR  |
| S  | SANITARY MANHOLE   | 160                                 | MINOR CONTOUR  |
| $\square$  | FIRE HYDRANT   | +                                   | SPOT ELEVATION   |
| $\bowtie$  | WATER VALVE  | -100.00                             | (FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB)                    |
| $\bigcirc$   | STORM SEWER STRUCTURE  | +100.00                             | DOOR ELEVATION   |
| PROPOSED:  |  | +GR<br>+100.00                      | GROUND GRADE AT BUILDING   |
| W  | WATERMAIN  | +100.50T/C<br>+100.00E/P            | SPOT ELEVATION<br>(T/C - TOP OF CURB, E/P - EDGE OF PAVEMENT)        |
| ———— E ———   | ELECTRICAL LINE  |                                     | RETAINING WALL SPOT ELEVATION  |
| GAS  | —— GAS LINE  | 100.50T/W<br>+~100.00B/W            | (T/W - GROUND GRADE AT TOP OF WALL, B/W - GROUND<br>GRADE AT BOTTOM) |
| SAN  | SANITARY SEWER   | 12" FES                             | FLARED END SECTION   |
| ST   | STORM SEWER  |                                     | (PIPE SIZE, INVERT ELEVATION)  |
|  | WATER VALVE  |                                     | DRAINAGE FLOW DIRECTION  |
| $\boxtimes \mathbb{D}$                                     | STORM SEWER STRUCTURE  | iill'                               | EMERGENCY OVERFLOW ROUTE   |
|  | FLARED END SECTION   |                                     |  |

# GENERAL NOTES AND SPECIFICATIONS:

|            | SITE                               |                                     |     |  |
|------------|------------------------------------|-------------------------------------|-----|--|
|            |                                    |                                     | 1.  | THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PF<br>CHAPUT LAND SURVEYS. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATIO<br>REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS                        |
|            | $\langle \mathbf{x} \rangle$       | EXISTING PARKING COUNT              |     | EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UT<br>ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRA<br>INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING                    |
|            | 6                                  | EXISTING SIGN                       |     | WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE LISTED ABOVE.   |
|            | Ğ                                  | EXISTING ADA PARKING SPACE          | 2.  | BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, EXCAVATE EACH EXISTING<br>BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXIST<br>NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY<br>EVALUATION |
|            | PROPOSED:                          |                                     | 0   |  |
|            | $\langle \hat{\mathbf{x}} \rangle$ | PARKING COUNT                       | 3.  | ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR<br>WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE MUNICIPAL CONSTRU<br>STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.                 |
| E OF CURB) | É.                                 | ADA PARKING SPACE                   | 4.  | ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDNR (IF REQUIRED)<br>THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSUR<br>APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.                           |
|            |                                    | SIGN                                | 5.  | NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTIN CONSTRUCTION.  |
| -          |                                    | TRUNCATED DOMES                     | 6.  | BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE T<br>STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PA<br>SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC F                    |
| )          |                                    | PAVEMENT MARKING DIRECTIONAL ARROWS | 7.  | ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR CONSTRUCTION.  |
| - GROUND   |                                    |                                     | 8.  | PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELAST JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).  |
|            |                                    |                                     | 9.  | A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NONMETALLIC UTILITIES MU<br>PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN<br>WITH THE PROVISIONS SECTIONS 182.0715(2R) OF THE STATE STATUTES.                             |
|            |                                    |                                     | 10. | UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH TH<br>SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.  |

11. ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.

| PROVIDED BY<br>TON WITH<br>NS INDICATED<br>IN OF ALL | 12. |  |
|--|-----|--|
| TRACTOR SHALL  | 13. |  |
| IE PARTIES   | 14. |  |
| NG LATERAL TO  | 15. |  |
| <u>ELY FOR</u>                                       | 16. |  |
| OR SEWER AND<br>RUCTION<br>87.                       | 17. |  |
| ED) PRIOR TO   | 18. |  |
|  | 19. |  |
| TING   |     |  |
|  | 20. |  |
| PAVEMENT.<br>C ROADWAYS.)                            | 21. |  |
|  |     |  |

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HE STANDARD

- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION. ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- 5. ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- 2. CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- 8. REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T. ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- . PROTECT ALL PROPERTY CORNERS. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- 22. PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. 23. AS-BUILTS ARE TO BE PROVIDED TO THE CLIENT TRACKING ANY CHANGES THAT OCCURRED DURING CONSTRUCTION.

# CIVIL SHEET INDEX:



C1.00 PROJECT LOCATION AND GENERAL NOTES
C1.10 SITE PLAN
C1.20 GRADING AND EROSION CONTROL PLAN
C1.30 DEMOLITION PLAN
C1.40 EXISTING SURVEY
C5.00 CONSTRUCTION DETAILS AND SPECS C5.00 CONSTRUCTION DETAILS AND SPECS







| HATCH LEC | GEND                                   |
|-----------|--|
|           | PROPOSED CONCRETE SIDEWALK             |
|           | PROPOSED REGULAR DUTY ASPHALT PAVEMENT |
|           | PROPOSED CONCRETE PAVEMENT             |
|           |  |







| Storm Structure Table |  |  |  |  |  |
|-----------------------|--|--|--|--|--|
| # Structure Details   |  |  |  |  |  |
| 100                   | EXISTING STORM MANHOLE<br>RIM = 908.18<br>Pipe - 101 = 900.62                      |  |  |  |  |
| 101                   | EXISTING CATCH BASIN<br>RIM = 904.88<br>Pipe - 102 = 902.13<br>Pipe - 101 = 902.13 |  |  |  |  |

| Storm ripe rable |      |          |        |       |                      |  |
|------------------|------|----------|--------|-------|----------------------|--|
| Pipe Name        | Size | Material | Length | Slope | Description          |  |
| Pipe - 101       | 12   | RCP      | 151    | 1.00% | EXISTING STORM SEWER |  |
| Pipe - 102       | 8    | PVC      | 102    | 3.17% | PLUMBING CONNECTION  |  |
|                  |      |          |        |       |                      |  |







## **DEMOLITION LEGEND**

DENOTES PAVEMENT REMOVAL AREA

DENOTES CONCRETE REMOVAL AREA

-X - X - X - denotes item to be abandoned or removed



DENOTES TREE TO BE REMOVED (MARK ALL TREE REMOVALS IN THE FIELD AND VERIFY WITH OWNER PRIOR TO REMOVAL)









PERFORM WORK CONTAINED ON THESE DRAWINGS. AND FURTHER

THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

\_\_\_\_\_

NOTE: SURVEY COMPLETED BY CHAPUT LAND SURVEYS. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED.





### **GENERAL REQUIREMENTS**

- Contractor shall be solely responsible for obtaining all permits necessary to complete the work. Contractor shall pay all fees associated with obtaining permits.
- Completely coordinate with work of all other trades.
- Although such work is not specifically called out on drawing, the contractor shall furnish and install all miscellaneous items, appurtenances and devices incidental to or necessary for a sound, secure and complete installation
- 2. Drawings are diagrammatic and indicate general arrangement of site features, dimensions, utility tags are provided as a courtesy. All lengths and dimensions shall be verified by Contractor in advance of bidding, otherwise, the more expensive option shall be deemed to be included.
- 3. Field verify locations and arrangement of all existing site features.
- If any errors or omissions appear in Drawings, Specifications, or other documents, bidding Contractor shall notify Engineer no later than ten (10) days prior to submitting bid. Should conflict occur in or between drawings and specifications, bidding contractor is deemed to have estimated more expensive way of doing work, unless he has asked for and obtained written decision (addendum) before submission of bid as to which method or materials will be required.
   Installation of all systems and materials is subject to clarification as indicated in reviewed shop
- drawings and field coordination drawings.
- Perform all work and install materials and equipment in full accordance with the latest applicable rules, regulations, requirements, and specifications of the following:
   State and Federal Laws
   Local laws, codes and ordinances
- American Society for Testing and Materials (ASTM)
   American Water Works Association (AWWA)
- Federal Highway Administration (FHA)
   Environmental Protection Agency (EPA)
- Wisconsin Department of Safety and Professional Services (SPS):
   Chapter NR 141 Monitoring Well Construction
   Chapter NR 812 Well Construction and Pump Installation
- Wisconsin Department of Natural Resources Technical Standards for Constructions Site, Erosion & Sediment Control
   Conflicts, if any, which may exist between the above items, the more restrictive shall govern.

### SUBMITTALS

- . The A/E's review of shop drawings or samples shall not relieve the Contractor of responsibility for any deviation from the contract documents. The Contractor shall include with the shop drawings an index sheet detailing all deviations from the contract documents, and will be held responsible for all deviations unless he has received written approval from the A/E for the specific deviation, separate from general shop drawing approval. The A/E's review shall not relieve the contractor from responsibility for errors or omissions in the shop drawings or samples.
- B. Shop Drawings:
- a. The Contractor shall review the shop drawings and stamp with his approval prior to
- submitting shop drawings to A/E for review.b. Shop drawings shall be submitted electronically in one PDF format file for each specification section. File name shall contain specification number and product name. Each shop drawing
- shall contain the following:
  a. Cover Sheet: The submittals shall contain a cover sheet, which shall include the following information.
  - Submittal Date
     Specification Section
- Manufacturer's Representative (Contact Name, address, and telephone number)
   Project Name, Project City, Project State, and Project Address.
   Product Data: Manufacturer's product data sheets and description of all system components. These data sheets shall be highlighted or suitably marked, so that included items and options are indicated. On data sheets that include multiple products, the products that are not used shall be crossed out.
- 3. Cause as little interference or interruption of existing utilities and services as possible.
- 9. Schedule work which will cause interference or interruption in advance with Owner, Architect, authorities having jurisdiction and all affected trades.
- 10. Examine Contract Documents to determine how other work will affect execution of civil work.
- Determine and verify locations of all existing utilities on or near site.
   Make arrangements for and pay for necessary permits, licenses, and inspections.
- Keep a complete set of all civil drawings in job site office for showing actual locations of utilities and other features encountered, modifications to proposed grades and site features, and other
- deviations from the original design. - Use this set of drawings for no other purpose
- Where any locations of utilities and other features encountered, modifications to proposed grades and site features, and other deviations from the original design are installed differently from that shown, indicate differences clearly and neatly using ink or indelible pencil.
   At project completion, submit record set of drawings to owner and engineer.

### STORM DRAINAGE UTILITIES

- Contractor shall be solely responsible for obtaining all permits necessary to complete the work. Contractor shall pay all fees associated with obtaining permits.
- Conform all materials to the size and type shown on the plans or as called for in the
- specifications and to applicable Laws, Codes, and Ordinances.
- Submittals
   A. Provide manufacturer's product information (cut sheets), shop drawings, and O&M information as indicated in Civil General Requirements for storm sewer materials including:

   Pipe
- Fittings
   Structures
- Outfalls
   Castings
- B. Provide reports documenting any required testing
- 4. Provide the size, type and class/schedule of pipe as indicated on the drawings.
- 5. Use only pipe supplied from the same manufacturer, and of the same type, unless otherwise specified or approved in advance by the Engineer.
- 6. When applicable, only pipe, joints, material and installation approved by Wisconsin Department of Natural Resources and/or the Wisconsin Department of Safety and Professional Services (SPS) for the intended use in the State of Wisconsin shall be used.
- Unless other noted all pipe shall conform to ASTM D-3034 with solvent weld or elastomeric joints. Pipe shall be SDR-35, unless otherwise noted. Pipe over 15 inches in diameter shall meet the requirements of ASTM F679-03.
- Round Catch Basins shall conform to the following requirements:
   Round catch basins shall be 48" (MIN) inside diameter precast concrete unless otherwise
- shown or required. (See plans for specific sizes.)

  Submit manufacturer's preproduction (shop) drawings for approval prior to the start of
- manufacturing.

   Contractor shall carefully locate all pipe locations, sizes, orientation and elevation prior to
- ordering catch basin.Round catch basins shall meet the requirements of ASTM C478.
- 8. Where indicated on the plans, existing sewer to be left in place shall be abandoned in accordance with Section 3.2.24 of the Standard Specifications for Sewer & Water Construction (with the exception of paragraph B). Sewer shall not be abandoned until existing services have been reconnected to the replacement sewer. Abandoning sewers is considered incidental to the construction.
- In paved areas or current/future building pad areas, existing storm sewer facilities are required
- to be abandoned as follows:
  Remove existing pipes or fill them with sand or grout and seal ends with a minimum 2-foot thick grout plug.
- Remove existing inlets, catch basins, and manholes to at least 4 feet below finished grade.
   Provide a minimum 6-inch hole in the bottom of the structure and fill the remaining portion with bedding stone.
- 9. Downspout Connections
- All downspout connections to the storm sewer system shall be made with a manufactured adapter designed for the purpose of connecting downspouts to the storm sewer system.
  Adapter color shall be chosen by owner or architect and shall match the downspout color.
  If no storm sewer connection is shown on the plans all downspouts shall be provided with a splash block.
- 10. Flared End Sections
- All flared end sections shall be reinforced concrete conforming to ASTM C-76.
   Connection between flared and section and hdpe pipe shall be sealed with an external coupler for dissimilar pipe connections, the dissimilar pipe coupler as manufactured by mar mac construction products or an approved equal and shall be installed according to the manufacturer's recommendations. The coupler shall have an outer cover of polyethylene with an under layer of rubberized mastic that is reinforced with a woven polypropylene fabric laminated to a second layer of rubberized mastic and polyethylene. There shall be a peelable protective release film against the mastic that is removed when the coupler is applied to the joint. securing straps shall be isolated from the mastic allowing the straps to tension with equal force around the pipe circumference, the coupler shall be designed so that when it is applied around the joint the ends shall overlap a minimum of 8". After the straps are secured, a polyethylene/mastic flap shall completely cover the straps.

### SEEDING AND RESTORATION

- 1. Grass seed shall meet the requirements of section 630.2.1 of standards specifications for
- highway construction.
   Grass seed: fresh, clean, dry, new-crop seed complying with AOSA's "Journal of Seed
- Technology.
- Water free of wastewater effluent or other hazardous chemicals.
   Clean straw or hay that is well-seasoned, and free of rot, mildew and the seeds of noxious
- weeus.5. No seeding shall occur on frozen ground or at temperatures lower than 32 degrees Fahrenheit.
- No seeding shall occur when the average wind speed exceeds 12 MPH.
  Sow seed using either Method A or Method B as defined in Section 630.3.3 of Standard Specifications for Highway Construction. Unless otherwise noted, sow seed at a rate of 5# (dry seed weight)/1000 square feet.
- Place and anchor mulch using the methods outlined in Section 627.3 of Standard Specifications for Highway Construction.
- Seeded areas are to be watered daily to maintain adequate surface soil moisture for proper seed germination. Watering shall continue for not less than 30 days following seeding. Thereafter, apply <sup>1</sup>/<sub>2</sub>" of water twice weekly until final acceptance.

### DENSE GRADED BASE

- A. Provide copies of material testing reports
  B. Provide manufacturers product information (cut sheets) and mix designs and specifications:
- Aggregate Gradations
  Base course material shall be crushed stone or crushed gravel only.
- Material gradations shall conform to Section 305.2.2 of the WisDOT Standard Specifications for
- Highway and Structure Construction unless specified elsewhere in the contract documents.
  Prepare the foundation, or resurface the previously placed base layer, as specified in WisDOT Section 211 before placing base. Do not place base foundations that are soft, spongy, or covered by ice or snow. Water and rework or re-compact dry foundations as necessary to ensure proper compaction, or as the representative designates.
- 5. In proposed pavement areas, all organic solid shall be removed.
- 6. In areas of existing pavement to be modified or adjusted in grade, the existing pavement section shall be removed by an acceptable method. The new pavement section shall match the construction details.
- 7. Proof-roll all subgrade areas that are to receive aggregate base or pavement.
- Build and maintain stockpiles using methods that minimize segregation and prevent contamination. If the contract specifies location, place stockpiles where specified. Clear and prepare stockpile areas to facilitate the recovery of the maximum amount of stockpiled material.
   Place aggregate in a manner that minimizes hauling on the subgrade. Do not use vehicles or
- operations that damage the subgrade or in-place base. Deposit material in a manner that minimizes segregation.10. Compact the base until there is no appreciable displacement, either laterally or longitudinally,
- under the compaction equipment.
  11. Compact each base layer, including shoulder foreslopes, with equipment specified in WisDOT Section 301.3.1. Use standard compaction conforming to WisDOT Section 301.3.4.2, unless the special provisions specify other methods. Final shaping of shoulder foreslopes does not require
- 12. After the project is completed, thoroughly clean up all debris which may have accumulated during the placement of dense graded base. Replace or repair as required, all surfaces and/or landscape features damaged or disturbed under this item of work.

### DEMOLITION

- 1. For utilities or other services requiring removal or abandonment in-place, submit materials documenting completion of such work.
- Verify all gas and electrical utilities have been abandoned or disconnected and associated hazards mitigated, prior to beginning any demolition.

compaction.

- 3. Take all necessary precautions while dismantling piping containing gas, gasoline, oil or other
- explosive or toxic fluids or gases. Purge lines and contain materials in accordance with all applicable regulations. store such piping outdoors until fumes are removed.
- Unless otherwise noted, Contractor shall be responsible for obtaining and paying for all permits necessary to complete demolition work.
- 5. Use Contractor's normal equipment for demolition purposes and which meets all safety requirements imposed on such equipment.
- . Remove all equipment, fixtures and other materials scheduled for salvage prior to be beginning demolition operations.
- 7. Abandon gas, electric and communication utilities in accordance with local utility company requirements, or applicable substantive requirements if considered private.
- 8. Demolish foundation walls and other below grade features in accordance with the plans. Unless otherwise noted, remove all below grade features to a point 4' below adjoining existing grade, or proposed grade, whichever is lower. Basement and/or lowest level floors more than 4' below existing grade need not be removed, but must be broken up to permit drainage.
- 9. Carefully protect and/or replace drain tiles encountered during demolition which are necessary to maintain site drainage conditions. Immediately repair or replace any drain tiles not scheduled for demolition, but damaged. Report damage to the Construction Representative. Repairs to drain tile or replacement drain tile shall be comparable or better than the existing drain tile system.

10. Transport and dispose all demolition waste in accordance with local, state, and federal guidelines.

### PAVEMENT

- Proof-roll all subgrade areas that are to receive aggregate base or pavement. Proof-roll with a loaded dump truck prior to the placement of base courses to locate soft spots that yield under loading. Loaded truck shall have a minimum gross operating weight of 30 tons.
- Undercut soft or unsuitable areas of subgrade 2 or as directed by the Geotechnical Engineer. Backfill with granular soil (as indicated in the geotechnical report) fill in maximum 8 inch loose lifts, and compact to the minimum required degree of compaction.
- Proofrolling,undercutting, and fill operations shall be performed under the observation of the Geotechnical Engineer.
- 5. Asphalt pavement shall only be installed after a successful proof-roll of the base course has been completed and observed/approved by the geotechnical engineer (immediately before the asphalt pacement).
- 6. Provide hot mix asphalt (HMA) pavement conforming to the requirements Section 460 of Standard Specifications for Highway Construction. Utilize the same material type through the paving operation unless noted elsewhere on the plans. Materials under this section to the requirements of WisDOT Standard Specifications for Highway AND Structure Construction, Section 445 and as revised in any current Supplemental Specifications.
- 7. HMA Type:Heavy Duty
- Surface Course: LT-5 Binder Course: LT-3 - Regular Duty
- Surface Course: LT-5 Binder Course: LT-4
- 3. HMA shall be placed in accordance with the requirements of Section 460 of Standard Specifications for Highway Construction.
- 9. Asphalt shall not be installed adjacent to new curb nor shall backfilling occur adjacent to new curb no sooner than 7 days after pouring. If desired, Contractor (at his cost) may provide cylinders (tested by the geotechnical engineer) that prove a minimum strength of 3000 psi sooner than 7 days.
- 10. Pavement Repairs: Full depth sawcut all pavement surfaces to neat and straight lines at the limits of removal by a two-step method (only applicable in areas where existing pavement is not being pulverized). Limit the initial pavement removal to the immediate area of the proposed work. Adjust all inlets, manholes, catch basins, valve boxes, and other such castings to match new finished grade as incidental work.

### CAST IN PLACE CONCRETE Submittals A. Concrete mix design: Submit five (5) copies of mix design to Architect for review. This submittal shall include the following: - Required cylindrical compression strength for f'c (28 day). - Element (curb, driveway, etc.) in which each class (strength of concrete) will be used - Cylinder compressive strength test results or complete standard deviation analysis in accordance with ACI 318 Section 5.3 - Proportions of Materials - Source of materials - Cement (type and brand), gravel pit. - Aggregate size and certification from an independent testing lab that gradation, specific gravity, soundness, absorption, and impurities meet ASTM requirements. - Admixture brand, dosage, literature. Air content - Water content and target slump - Range of ambient temperature and humidity for which design is valid - Special characteristics of mix which require precautions in mixing, placing, or finishing techniques to achieve finished product specified. B. Product Data: Submit manufacturer's product data for review with application and installation instructions for proprietary materials and items including: patching compounds, epoxies, curing compounds, dry-shake finish materials, hardeners, sealers etc. for all items specified and used in materials list. All work shall be in accordance with applicable manufacturer's and supplier's instructions. All concrete work which does not conform to the requirements of the Con ACI 301, including function, durability, appearance, strength, cracking, tolerances and finishing, shall be corrected as directed by Architect at Contractor's expense. Additional testing, engineering, reinforcement and removal and replacement of defective concrete shall be paid for by Concrete Contractor. Contractor shall also be responsible for the cost of corrections to any other work affected by or resulting from corrections to the concrete work. All concrete, unless otherwise specifically permitted by Architect, shall be transit-mixed in accordance with ASTM C 94. Synthetic Fibers shall be used in concrete mix design in lieu of welded wire fabric. Synthetic fibers shall not replace reinforcing rebar/dowels as depicted on the Construction Details. - For concrete sidewalks: Matrix Bi-Blend micro fiber - FRC Industries. Application dosage shall be 1.5 pounds per cubic yard.

shall be 1.5 pounds per cubic yard.
 For concrete pavements: Matrix HPS 950 Macro/micro synthetic blend fiber or Forta Ferro macro fiber - FRC Industries. Application dosage shall be 5 pounds per cubic yard.

Air entrained concrete: Use for all exterior slabs, walls, walks, platforms, ramps, steps, all

Concrete requiring air entrainment shall contain six (6) percent plus or minus one and a half

(1.5) percent air by volume, for 3/4" dia. aggregate. Conform to ACI 318, Chapter 4.

Maximum aggregate size shall not exceed one third of the slab on grade thickness.

of manufacturer, quality and deliver.

Minimum compressive strength at 28 days: 4000 psi.

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portions of parking

Concrete must meet all requirements of the ASTM C 94, ACI 211, ACI 318 Chapter 4 Durability

Requirements, and those herein specified for materials, proportioning, mixing and other details

### CAST IN PLACE CONCRETE (CONT.)

- Maximum aggregate size shall not exceed one third of the slab on grade thickness.
   Fly Ash may be used as a pound for pound replacement of cement up to 20% of the total cementitious content, 25% for footings, except for finished flatwork during winter construction,
- subject to Architect's approval.
  12. Make one slump test of the first truck of each mix, each day, one test for each compression test and other tests as often as required thereafter, whenever consistency changes.
- Air content tests shall be made from the first truck of each mix, each day and when-ever test cylinders are made, in accordance with ASTM C 173 or ASTM C231. Test more often when required air contents are not achieved.
- 14. Concrete Temperature: Test hourly when air temperature is 40 degrees F (4 degrees C) and below, and when 80 degrees F (27 degrees C) and above; and each time a set of compression test specimens is made.
- 15. If measured slump, air content or concrete temperature falls outside limits specified, a check test shall be made immediately on another portion of same sample. In event of a second failure, concrete shall be considered to have failed to meet requirements of specifications and shall not be used in structure. Notify Architect immediately.
- 16. Strength tests shall be made for each of the following conditions: Each day's pour, each class of concrete, each change of supplies or source, each 150 cubic yards of concrete or fraction thereof, and each 5000 square feet of surface area for slabs or walls.
- 17. To conform to requirements of this Specification, the strength level shall be considered satisfactory so long as the average of all sets of three (3) consecutive strength test results equals or exceeds the specified fc and no individual strength test result falls below the specified strength fc by more than 500 psi. Architect shall be notified immediately of nonconformance.
- 18. Before placing concrete, verify that installation of formwork, reinforcement, and embedded items is complete and that required inspections have been performed.
- Protect freshly placed concrete from premature drying and excessive cold or hot temperatures in conformance with ACI 301 and ACI 308.
   Concrete curb and gutter shall be placed in accordance with WisDOT Section 601 to the
- dimensions and shapes shown in the standard detail drawings. Where curb and gutter details are not provided, curb and gutter shape and dimensions shall match existing adjacent curb and gutter.
- Concrete sidewalk and driveway shall be placed in accordance with WisDOT Section 602 to the dimensions and thicknesses shown in the detail drawings.
   Provide concrete pavement having the thickness and reinforcement as shown on the
- drawings, or to match adjacent existing pavement.23. Each curb ramp shall be provided with a detectable warning field installed in fresh concrete of
- all sidewalk and multi-use trails at legal crosswalks, and as shown in the detail drawings. A detectable warning field shall not be installed in asphalt pavements. The detectable warning field shall be installed per manufacturer's recommendations.

### EARTHWORK AND EROSION CONTROL

- Contact the Project Manager to determine the type, and frequency of quality assurance geotechnical testing required on each project. Provide listing of quality assurance geotechnical testing requirements in this item.
- 2. Contractor shall be solely responsible for determining all earthwork quantities based on the existing and proposed elevations provided on the plans. Any geotechnical investigations provided by the Owner apply only to those locations that the data was collected, and may not be indicative of conditions elsewhere on the site.
- 3. Erosion control and storm water management practices shall be installed and maintained in accordance with the WDNR approved Technical Standards (or equivalent).
- 4. Erosion mats, soil stabilizers, and trackifiers shall be listed on the Product Acceptability List for Multi-Modal Applications ("PAL") as published by the Wisconsin Department of Transportation.
- 5. Silt fence fabric shall comply with the requirements of Standard Specifications for Highway Construction 628.2.6, in 3 foot tall rolls, with 4' tall 2" x 2" nominal cross section hardwood posts spaced a maximum of 10' o.c.. Silt fence shall be Mirafi, Trevira, Amoco, CFM, or approved equal.
- Erosion mat shall comply with the requirements of Class I, Type A erosion mat as defined by Standard Specifications for Highway Construction and the PAL. Erosion mat shall be American Excelsior, SI Geosolutions, Erosion Control Systems, North American Green, or approved equal.
- 7. Fieldstone Cobbles stone shall be the size and type specified on plans. Contractor shall provide an on-site sample for approval prior to installation.
- 8. The aggregate for tracking pads shall be 3 to 6 inch clear of washed stone. All materials shall be retained on a 3-inch sieve. (if required)
- 9. Soil stabilizers shall be non-asphalt-based products of the type specified, and meeting the requirements of the PAL.
- 10. Polymers used to settle suspended sediment shall meet the requirements of the WDNR Technical Standards.
- 11. Water soluble anionic polyacrylamide (PAM) used as temporary soil binding agents to reduce erosion shall meet the requirements of WDNR Technical Standards.
- 12. Install erosion control measures as required by the erosion control plan and contract documents. Provide additional erosion control measures as dictated by Contractor's means and methods, or by differing site conditions. Notify Construction Representative of additional erosion control features that are provided, but not shown on the plan.
- 13. Convey drainage to the nearest adequate stormwater facility. Do not discharge water in a manner that will cause erosion or sedimentation of the site or receiving facility.
- 14. Grading Limits: Confine work to the Construction Limits as indicated on the drawings. In the absence of such a designation on the drawings, confine work to the minimum area reasonably necessary to undertake the work as determined by the Engineer. All areas disturbed by excavation and grading, plus such additional areas as are disturbed by construction related activities including construction access and storage and installation of materials shall be considered the "Construction Area."
- Contractor to review specific method of soil preparation as listed in the geotechnical report.
- 16. Contractor is to establish all heights and grades to properly execute work from benchmark established by others (from original survey work). It is strongly recommended that the original surveyor be contacted and used for all construction layout as well as as-built surveys in an effort to avoid conflict between datums and horizontal control points used. Prior to construction layout, existing and proposed finished floor elevations shall be checked with respect to current site benchmarks to ensure elevations correspond with layout elevations.
- 17. Contractor shall provide all construction layout surveys to accurately locate the construction on the site.
- 18. Prior to start of work, Contractor shall be completely familiar with all conditions at the site, and shall account for conditions that may affect the work including: Geotechnical recommendations and methods, limitations on work access, space limitations, overhead obstructions, traffic patterns, local requirements, adjacent activities, etc. Failure to consider these requirements shall not be cause for claim of job extras.
- Inspect areas and conditions prior to clearing, excavating, filling, and grading.
   Do not proceed until unsatisfactory conditions have been corrected.
- 20. Permits and Fees: Apply for, pay for and secure all permits required in connection with the work under this section from the governmental authorities having jurisdiction.
- 21. Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washout and other hazards created by earthwork and dewatering operations. Protect and maintain all lawns, beds, shrubs, trees, and other work that is to remain in place.
- A. Should damage occur as a result of work performed under this contract, restore to existing condition at no additional cost to Owner, in a manner acceptable to Architect.B. Repair or replace trees and vegetation indicated to remain which are

damaged by construction operations, in a manner acceptable to Architect.

- 22. Conduct site clearing operations to ensure minimum interference with roads, streets, walks and other adjacent occupied or used facilities. Do not close or obstruct roads or other occupied or used facilities without permission from
- Carefully remove items indicated to be salvaged, and store on Owner's premises where indicated or directed.

Owner and authorities having jurisdiction.

24. Provide and maintain temporary fences, planking, lights, warning signs,

barricades and guards necessary for protection of premises and public.

### EARTHWORK AND EROSION CONTROL (CONT.)

- 25. Maintain cut at satisfactory slope which will prevent collapse of embankments. Provide bracing and shoring as required to protect existing improvements, including outside contract limits, new construction or excavations. Contractor is solely responsible for strength and adequacy of bracing or shoring and for safety. Conform to OSHA requirements. Restore any damaged improvements to their original condition.
- 26. Do not load vehicles hauling debris excessively as to cause spillage on to streets and roadways. Do not allow spilled materials to clog drainage of streets.
- 27. Keep sidewalks and streets adjoining the property broom clean and free of debris, excavated materials, rubbish, trash and obstructions, which might affect the safety of streets, walks, utilities and property. Broom clean daily.
- 28. Use all means necessary to control dust on and near the work, if such dust is caused by the Contractor's operations during performance of the work, or if resulting from the condition in which the Contractor leaves the site.
- 29. Provide positive protection (mat/sheet coverings) for all excavation slopes to protect slopes from instability and deterioration due to rain, wind or snow/ice.
- 30. Construct, maintain and protect erosion and sedimentation controls
- 31. Topsoil:
  A. Strip all topsoil to the full depth of all organic material.
  B. Remove heavy growths of grass from areas before stripping.
  C. where existing trees are indicated to remain, leave existing topsoil in place within drip lines to prevent damage to root system.
  D.Stockpile topsoil on site in storage piles (location to be agreed to by Owner) in areas indicated or directed. Construct storage piles to provide free drainage on site of surface water. Stabilize top soil pile
  E. Dispose of unsuitable or excess topsoil same as specified for disposal of waste material.
- 32. Provide all necessary cutting and filling required to change existing grade specified or as shown on drawings.
- 33. Excavated earth shall remain on site, if possible, and placed where directed.
   A. After final grading work is complete, remove any excess earth from premises. Where site constraints dictate, excavated earth shall be stored off-site or landfilled.
   B. All surplus earth shall be removed from premises.
- 34. Grading Outside Building Lines: Grade areas adjacent to building lines to drain away from structures and to prevent ponding. Finish surfaces free from irregular surface changes.
- A. All contours and/or spot elevations shown on Drawings are to finish grade, unless otherwise noted (i.e. top of pavement, topsoil, etc.).
  Contractor shall be responsible for making excavations or embankments to the subgrade elevations necessary such that the addition of the pavement, topsoil or whatever surface improvement, will ensure that finished grades are met.
- B. Contours indicated on drawings are the finished grade elevations. Review all grade elevations before commencing work to insure that proper slopes for drainage, slopes for drives, walks, paving, etc., are maintained. If Contractor believes a deficiency is apparent, he shall notify the Architect for clarification and correction.
- C. Pavements:
  a. Shape the surface of the areas under pavement to line, grade and cross-section, compacted as specified, and graded to prevent ponding of water after rains. Rough grade tolerance shall conform to +0 in./-1 1/2 in. Fine grading tolerance shall conform to +0 in./-3/4 in.
  b. Include such operations as plowing, discing, and any moisture or aerating required to provide the optimum moisture content for compaction.
- c. Fill low areas resulting from removal of unsatisfactory soil material, obstructions, and other deleterious materials, using structural fill material. Shape to line, grade, and cross-section as shown.
- D. Ditches: Finish ditches to ensure proper flow and drainage. Conduct final rolling operations to produce a hard, uniform and smooth cross-section.
- 35. Grading Surface of Fill Under Slabs: Grade smooth and even, free of voids, compacted as specified, and to required elevation. Provide final grades within a tolerance of +0 in./-3/4 in.
- 36. Compaction: After grading, compact subgrade surfaces to the percentage of maximum density for each area classification.
- 37. Preparation for Lawn Construction: Preparation of Subgrade: Grade and uniformly compact subgrade so that it will be parallel to proposed finished grade. Loosen subgrade materials and mix to a depth of 8". Remove all stones over 1" in size and remove all sticks and rubbish. Do not move heavy objects, except lawn rollers, over lawn areas after the subgrade soil has been prepared unless subgrade soil is again graded and loosened, as specified above, before topsoil is spread.











PROPOSED (SIGN A)

| ENGLE AIDED | X<br>DOUBLE AIDED | Paint Colors (AkzoNobsi): | Vinyi Film Colors (3M 3cotchca): | Client Signature:   |   |
|-------------|-------------------|---------------------------|----------------------------------|---|---|
| Quantity:   | 1                 |                           |                                  | Signature   | Date  |
|             |                   |                           |                                  | NOTICE: Michael's Signs, inc. does NOT prov<br>electrical to sign location - RESPONSIBILITY   | ride primary<br>OF OTHERS                               |
|             |                   |                           |                                  | The ideas and designs contained in this origit<br>drawing are the sole property of Michael's Sig<br>MAY NOT BE USED OR REPRODUCED in who<br>without written permission. | inal and unpublished<br>gns, inc. and<br>pie or in part |





Sign Specifications:

**NOTED ABOVE** 

|  | 3'-0"              |  | 3'-0"                                       |   |
|--|--------------------|--|---|---|
| 2<br>6"<br><br>3 1/2"<br>5"                    | VISITOR<br>PARKING | 3<br>6"<br>4<br>8<br>3 1/2"<br>5"                                    | VISITOR<br>PARKING                          | 8"<br>8 3<br>4"   |
| /L OVERLAY<br>BLE SIDED TAPE<br>ATCH PMS 431 C | SINGLE SIDED       | FORLEASE<br>414-271-1111<br>Under3.com<br>VISITO<br>PARKIN<br>WISITO | SINGLE SIDED                                | TASE<br>TITLI<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE<br>TASE |
|  | EXISTING (SIGN 1)  | PROPOSED (SIG  | GN 1) PROF<br>W/EXISTING POST               | POSED (SIGN 1)<br>T & PANEL PAINTED PMS 431   |
| 07-30-24 REVISIO                               |                    |  | Nobel): Vinyl Film Colors (3M Scotzheal): C | ilent Signature:  |

| Date: 07-30-24  | REVISION         |                  |                                     |           | Paint Colors (AlzoNobel): | Vinyi Film Colors (3M Scotchcal): | Client Signature:  |
|-----------------|------------------|------------------|-------------------------------------|-----------|---------------------------|-----------------------------------|--|
| Drawing #: 1(0) | $\bigtriangleup$ | $\bigtriangleup$ | Electrical<br>Requirements: 120 277 | Quantity: |                           |                                   | Signature Date   |
| Sheet: 1 of 1   | $\bigtriangleup$ | $\bigtriangleup$ | Sign Specifications:                |           |                           |                                   | NOTICE: Michael's Signe, inc. does NOT provide primary<br>electrical to sign location - RESPONSIBILITY OF OTHERS             |
| Scale: NA       | $\triangle$      | $\bigtriangleup$ | NOTED ABOVE                         |           |                           |                                   | The ideae and designs contained in this original and unpublished drawing one the sole ortgoerty of Michael's Store, inc. and |
| Deelgner: JJ    | Δ                | $\bigtriangleup$ |                                     |           |                           |                                   | MAY NOT BE USED OR REPRODUCED in whole or in part<br>without written permission.   |

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09/03/24 Meeting Packet - Page 15

EXISTING VISITOR/EMPLOYEE INGRESS AND EGRESS N73° 13' 12"E N 88° 07' 06" E -34.05 R=300.00 L=154.26 R= 250.00 L= 34.05 EXISTING PARKING LOT EXISTING PARKING LOT

| SITE STATISTICS: 21027 CROSSROADS CIRCLE, WAUKESHA, WI 53186 |  |  |  |  |  |
|--|--|--|--|--|--|
| ZONING   | B-2* LIMITED GENERAL BUSINESS<br>(TOWN OF BROOKFIELD) (ZT-860) |  |  |  |  |
| LOT SIZE   | 371,260 SF OR 8.523 ACRES                                      |  |  |  |  |
| FRONT/STREET YARD  | 50' SETBACK  |  |  |  |  |
| REAR YARD  | 15' SETBACK (10' BUFFER TO RESIDENTIAL)                        |  |  |  |  |
| SIDE YARD  | 15' SETBACK (10' BUFFER TO RESIDENTIAL)                        |  |  |  |  |
| BUILDING FOOT PRINT  | EXISTING 118,354 SF± 50% FAR                                   |  |  |  |  |
| BUILDING HEIGHT  | UNLIMITED  |  |  |  |  |
| PAVING   |  |  |  |  |  |
| TOTAL IMPERVIOUS<br>SURFACES                                 | 75% MAX ALLOWED ± TBD PROPOSED                                 |  |  |  |  |
| TOTAL GREENSPACE   |  |  |  |  |  |
| PARKING SPACES   | EXISTING 350 PARKING SPACES                                    |  |  |  |  |

**SITE INFO** 3/16" = 1'-0"



| <b>ROOF PARAPET</b><br>127' - 6"<br><b>ROOF</b><br>126' - 8"   |                     | W11 | W10 |  |
|--|---------------------|-----|-----|--|
| SECOND FLOOR<br>113' - 4"  | FLAMABLE<br>STORAGE |     |     |  |
| $ \begin{array}{c}             FIRST FLOOR \\             100' - 0"                                $ |                     |     |     |  |











A-720

 Image: The second control of the se









GENERAL NOTES - FLOOR PLAN(S)

MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE

WINDOW AND DOOR HEAD AND JAMB RETURNS)

WORK.

(BATHROOMS, JANITOR/PLUMING ROOMS, KITCHENS, ETC. AND EXTERIOR

. ALL WALL AREAS DESIGNATED TO RECEIVE TILE WALL SHALL HAVE CEMENT BOARD BACKER INSTALLED, EXCEPT AT TILE BASE AREAS WHICH CAN BE INSTALLED TO GYPMSUM BOARD. VERIFY RESPONSIBILITY WITH SCOPE OF







![](_page_17_Figure_0.jpeg)

![](_page_17_Figure_1.jpeg)

![](_page_17_Picture_2.jpeg)

ARCHITECTURAL SITE PLAN - DUMPSTER ENCLOSURE 1" = 20'-0"

![](_page_17_Picture_4.jpeg)

![](_page_17_Figure_5.jpeg)

![](_page_17_Figure_8.jpeg)

- MOISTURE RESISTANT GWB AT ALL LOCATIONS EXPOSED TO MOISTURE (BATHROOMS, JANITOR/PLUMING ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOW AND DOOR HEAD AND JAMB RETURNS)
- . ALL WALL AREAS DESIGNATED TO RECEIVE TILE WALL SHALL HAVE CEMENT BOARD BACKER INSTALLED, EXCEPT AT TILE BASE AREAS WHICH CAN BE INSTALLED TO GYPMSUM BOARD. VERIFY RESPONSIBILITY WITH SCOPE OF WORK.
- APPLIANCES, FURNITURE, AND EQUIPMENT BY OWNER, SHOWN FOR REFERENCE ONLY. (UNLESS OTHERWISE NOTED)
- . ALL WALLS NOT LABLED WITH A WALL TYPE, SHOULD FOLLOW THE TYPICAL TYPE THAT IS CALLED OUT ON PLANS.
- PROVIDE BLOCKING IN WALLS WHERE CABINETS, TOLIET ACCESSORIES, GRAB BARS, WALL MOUNTED TV'S, ETC. ARE SHOWN ON PLANS.
- REFER TO SHEET A-601 FOR DOOR AND WINDOW SCHEDULES.
- G. REFER TO SHEET I-601 FOR ROOM, DOOR AND WINDOW FINISHES.

| SHEET NOTES - FLOOR PLAN(S)                |             |  |  |  |
|--|-------------|--|--|--|
| NOTE: THESE NOTES APPLY ONLY TO THIS SHEET |             |  |  |  |
| NO.  | DESCRIPTION |  |  |  |
|  |             |  |  |  |

| SHEET NOTES - EXT. ELEVATIONS              |   |
|--|---|
| NOTE: THESE NOTES APPLY ONLY TO THIS SHEET |   |
| DESCRIPTION                                | 1 |

![](_page_17_Figure_21.jpeg)

![](_page_18_Picture_0.jpeg)

Building a Better World for All of Us®

### TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

| TO: | Plan Commission |
|-----|-----------------|
|     |                 |

FROM: Bryce Hembrook, AICP Town Planner

REPORT DATE:August 22, 2024PC MEETING DATE:August 27, 2024

RE: Ryzing Fitness – Conditional Use Permit 21975 Doral Rd, BKFT1126001

Applicant: Katelynn Zingsheim (Ryzing Fitness) Application Type: Conditional Use Permit

### <u>Request</u>

Conditional Use Permit request to allow a fitness center in the M-1 Limited Manufacturing District, located at 21975 Doral Rd.

### **Background**

The subject property is located in the M-1 Limited Manufacturing District and commercial recreational use (fitness centers) are permitted by conditional use in this district. Prior to the applicant's occupancy, there was a fitness center occupying a portion of the building and this fitness center later expanded. Staff originally thought the original fitness center received proper approvals but upon reviewing the property files, it appears that a conditional use permit was not approved. Staff originally informed the applicant that the use was fine since it was existing but reached out to the applicant to inform them that a conditional use permit was not approved. The applicant immediately submitted a conditional use application to correct this matter.

The property is located in the M-1 Limited Manufacturing District, is intended to provide for manufacturing, industrial and related uses of a limited nature and size, which on the basis of actual physical and operational characteristics would not be detrimental to the surrounding area or to the Town as a whole by reason of smoke, noise, dust, odor, traffic, physical appearance or other similar factors. However, commercial recreational facilities may be appropriate in the district depending on the specific property. There is a gymnastics center across the street that is technically considered the same use. The business seeks to operate large group classes 7 days per week with set schedules. Small group and private classes will also be offered during business hours, with varying schedules. They will also offer "open guy" during business hours for their members. The business will have 10-12 employees. The business does specify they will not be open "24/7", but no specific hours are given.

### **Recommendation**

Recommend approval of the Conditional Use Permit.

Engineers | Architects | Planners | Scientists Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351 SEH is 100% employee-owned | sehinc.com | 262.646.6855 | 888.908.8166 fax MAP WAUKESHA county

### Waukesha County GIS Map

![](_page_19_Figure_2.jpeg)

![](_page_20_Picture_0.jpeg)

### **Ryzing Fitness**

### **Executive Summary:**

Ryzing Fitness LLC is a health and fitness facility located in Waukesha Wisconsin. The company is owned and managed by Katelynn and Ryan Zingsheim. At Ryzing Fitness, our mission is to empower individuals to achieve their health and wellness goals through personalized fitness programs, expert coaching, and a supportive community environment. We are dedicated to fostering a culture of inclusivity, motivation, and continuous improvement, striving to inspire and enable our members to lead happier, healthier lives. Additionally, we are committed to cultivating an environment that promotes career personal trainers, providing ongoing professional development opportunities and mentorship programs. Our aim is to ensure our trainers are equipped with the knowledge, skills, and passion necessary to deliver exceptional service and support, fostering long-term success for both our trainers and our members. We offer a variety of memberships at our facility in order to serve anyone who walks through our doors. Our services include large group classes, small group training, 1 on 1 private training, open gym, agua endurance, nutrition coaching, mindset coaching and physical therapy. Even though we have a large variety of services, we are still considered a small box gym. In being so, this provides value to our community of members because it provides a close and friendly atmosphere where everyone, including our team, knows each member by name. We provide individualized programs while also fostering an environment to build lasting relationships. Many of our members have been part of the Body by Design/Ryzing Fitness community for over a decade! My wife Katelynn and I own and operate the gym. We have a team of 10 trainers that help us run all of the programs that we offer. We are located in a high traffic area just off of I-94 and Bluemound Road. We have great street visibility and a convenient location.

### **Business Description:**

Ryzing Fitness is a health and fitness facility that offers a vast variety of services. Our services include: large group classes, small group training, 1 on 1 private training, open gym, aqua endurance, nutrition coaching, mindset coaching and physical therapy.

Large group classes take place multiple times a day, 7 days a week. They are a fun and effective way to work out in a group that challenges all aspects of your fitness. Each class is 45 minutes. The coaches guide members through a warm-up, detailed instruction, workout, and cool down. We have a set class schedule so that members can keep a consistent plan for attending our classes. We are always looking to add to our class times and types of classes. Our plan is to implement a mobility/yoga class, core class, and pilates class. We have and will

![](_page_21_Picture_0.jpeg)

continue to survey our members to see what classes they enjoy and would like to see more of. This has led us to our implementation of the classes listed above.

Small group training is a more private version of our large group classes. These typically take place between 2 to 5 members. Small group training is similar in style to our 1 on 1 private training, however in being with other people, it still provides that aspect of community and accountability. Small group training is offered in 30, 45, or 60 minute sessions. Small group training has provided the ability for family members and friends to work out together while still having a coach to provide more detailed programming. Our plan is to steer more of our training into small group training as it is a buffer between large group training and 1 on 1 private training. Our members can receive all the detail and attention of a private session while still working out with others. This is also attractive to our members as it serves as a cheaper option for each individual while simultaneously providing more revenue for our business.

Individual private training is our primary focus at Ryzing Fitness. Our private training is offered in 30, 45, or 60 minute sessions. We have found that our members see the most success in achieving their goals by working privately with a coach. The coach provides specific programs to meet the members needs, individualized nutrition planning, and provides an extra layer of accountability by being accessible around the clock via in person, phone, or email. Private training 1:1 is the staple of what we offer at the gym, and we are always striving to improve the experience by providing continued education for our trainers, hiring new coaches, and surveying members to see where we can improve.

Our open gym is a great addition to our space. This allows members to continue their workouts before or after a session and come in on their own time. The addition of the open gym offers our members a space that is not crowded, has more equipment variety, and more access to availability. Our facility is not 24/7, but our open gym allows the most flexibility in terms of time available for our members to workout. Many of our 1:1 trainers provide "homework" to their clients. The open gym is a great place to get that homework completed.

Nutrition coaching is a newer service that we offer at Ryzing Fitness. Many of our coaches have understood the importance that nutrition plays to overall health and performance for a long time. We now have 4 coaches that have obtained a certification in nutrition. Our nutrition coaching program is offered as a 45 minute sit down with one of our coaches. We discuss goals, habits, strengths, areas of improvement, and nutritional guidance that are specific to each member. We understand that nutrition is not one size fits all and needs to be individualized. At Ryzing Fitness we offer a well rounded approach to nutrition that is sustainable and enjoyable. Our plan is to provide continued education for our coaches to gain their nutrition certification and to expand on ones they already have. We also plan to provide seminars to our members where we bring in certified dieticians to talk in more depth about the nuances of nutrition.

Mindset coaching is similar to our nutrition program. We have a couple of coaches who have multiple certifications in the behavior and mindset background. Mindset coaching is offered as a 45 minute sit down with one of the coaches to discuss goals, habits, strengths,

![](_page_22_Picture_0.jpeg)

areas of improvement, and guidance in improving mental health and performance. At Ryzing Fitness we understand that while exercise and nutrition are the more common focal points, behavior and mindset play a larger role in achieving overall health and performance. We plan to further tap into this aspect of our coaching, as we believe mental health is becoming a more demanded topic in the fitness industry.

This summer we are adding a golf strength and mobility program. The strength and mobility program will be offered as a group class option that will consist of 5 60 minute sessions. There will also be the option to continue training as a private option. Private lessons will be offered as 60 minute sessions to work with a coach to improve their golf game. Many of our members are avid golfers. In talking with them, we have discovered that many struggle with their game through mobility, strength, cardiovascular, and mental issues. Our group program and/or private sessions can help our members overcome these issues and improve their game and overall experience while golfing. We also know that living in Wisconsin, golfing year round is not an option due to weather. Our golf program allows members the opportunity to enjoy the sport year round.

We are working towards adding an athlete group training program to Ryzing Fitness. Currently there are some athletes who work privately with our coaches, or utilize our open gym. We believe that creating a program where athletes train together in small groups can help develop their skills and relationships more. Our athlete program will be offered as a 60 minute group workout. Athletes will also have the ability to book private sessions with a coach to get more individualized attention. Many of our members have children in youth, club, high school, college, or semi professional sports. We have come to find that many of the athletes do not have a fitness program outside of their sports season. Our plan with our athlete program is to develop strength, speed, agility, movement knowledge, and injury prevention to our athletes. We intend this program to be a step towards improving our community engagement by attending sporting events, hosting workouts, and developing relationships with athletes, coaches, clubs, and schools. We are anticipating launching this program towards the end of 2024.

We have recently launched a corporate training program at Ryzing Fitness.Our corporate training program is offered as a volume discount to the company based on how many employees would participate. As many of our current members work in the corporate world, we are aware of the strains that it can have on the body and mind. We believe that offering discounts for companies to provide their employees with can help companies foster better relationships with their employees, as well as provide them with the opportunity to become healthier and happier individuals.

### History of business

Ryzing Fitness was formerly known as Body by Design. Body By Design was founded on May 1st, 2012 by Joey Huber. Body By Design's first location was on the corner of Bluemound and Calhoun in Brookfield, WI. It was a very small operation at first, less than 2000 sq ft in the basement of a church. There was no staff and only 9 members to start with.

Joey quickly filled his days full of clients and within two months he had 25 clients and not a spare hour in the day. At that point Body By Design hired its first employees, Justin Plesnik and Jake Huebner, who are still with the company today.

![](_page_23_Picture_0.jpeg)

After that, the process continued, filling up trainers, and hiring new ones. This was done until there were 6 full-time trainers and the studio was packed needing to service 150 members.

In July 2013 Body By Design formed as an LLC and moved into its current location on the corner of Springdale and Doral Road in Brookfield next to the Marcus Majestic Theater.

Body By Design continued to scale and expand each year adding more and more members and staff to fulfill its services. There were 6 expansions total, one in 2013, 2015, 2017, 2018, 2020, and 2022.Each expansion (about 2,000 sq ft at a time) helped Body By Design grow from the 1,800 sq ft basement of a church studio, to one of the largest micro-gyms in the state at 16,000 sq ft.

Body By Design scaled from 9 members in 2012 to over 275 members by 2023. These are premium (high-ticket) service memberships with an average membership of \$300/mo and an average lifetime value of over \$1,800 per member .

Body By Design has done 7.1 million is revenue since opening its doors in 2012 and has expanded its services rendered from only private personal training to now include large group training, semi-private training, aquatic training, open gym, nutrition, accountability coaching, and more.

### Market Analysis:

The fitness industry is continually evolving, driven by shifts in consumer preferences, technological advancements, and societal trends. We have seen the fitness industry primarily focusing on small or large group training, private training and online training. At Ryzing fitness we have been able to quickly adapt to what the industry is demanding. This is why we offer a wide variety of programs and are always continuing to add or remove based on the needs of our members.

Our target market at Ryzing Fitness is broad. We are a facility that prides ourselves in the inclusivity of anyone that is looking to better their health, fitness, performance, or relationships. As we operate in Waukesha County, our target market is to those who live in the surrounding areas. We offer a large variety of services and have a diverse team to accommodate anyone that comes through our doors. Our members range in age from 10 to 80. We have members of all fitness levels.

Our main competitors at Ryzing Fitness are Lifetime, The Wisconsin Athletic Club (WAC), and Anytime Fitness. Our strength against our competitors is the fact that we are a small box gym, and they are all massive franchises. This gives us the ability to foster a larger sense of community to our members, as well as providing exceptional services. Our diverse team of coaches offers us a more well rounded and expansive approach to training. We do not enforce strict guidelines to training style, in order to serve the client in front of us. Another strength is that being a smaller gym, in comparison, we are not overcrowded at any given time. This is nice for our members and coaches because there is not a need to wait or "fight" over equipment or space. Big box gyms have state of the art equipment, but at Ryzing Fitness we know that new equipment doesn't equal better results. We focus on the fundamentals of lifting

![](_page_24_Picture_0.jpeg)

instead of the fancy new equipment or large scale sizes. Our size allows us to foster a tight knit community that the big box gyms can't provide.

Only about 10% of Americans have a gym membership. I believe that is because we make it so complicated and confusing with who has the best programs or facilities, who is the best or cheapest, or having a dogmatic approach to fitness. I believe the market is extensive and there is more than enough to go around. So our best opportunity is to work together towards the greater goal of helping everyone, versus fighting over who is bigger and better, further deterring people from joining. We will be participating in many of the events that our local big box gyms offer. This is a great way for us to get involved in our local fitness community.

### Member Breakdown:

Age: Ryzing Fitness offers services for ages ranging from 10 to 80. We encourage all ages to start working out. Whether it's developing good movement patterns early on, building strength and posture during your adult life, and being able to move and not be in constant pain later in life. Ryzing Fitness can provide training for all ages.

Gender: Ryzing Fitness offers services to all genders. Our primary audience is women aged 38-50. We are always looking to expand our member base, and we pride ourselves on being inclusive. Everyone deserves to be healthy and happy, and Ryzing Fitness can provide that.

Income: Ryzing Fitness offers a variety of services for any income. We understand that not everyone can afford private training, so we offer cheaper options such as group classes or open gym. For those who have the resources, we provide top notch service through our private training sessions.

Occupation: Ryzing Fitness offers services that cater to many professions. We have members of all career types from surgeons to stay at home moms. We understand that no one profession needs health and fitness attention more than the other, so we provide programs to fit all.

Lifestyle: Ryzing Fitness offers services to all lifestyles, from busy professionals to those with limited mobility. We provide extensive in person or at home programs, 30 to 60 minute workouts, or quick 5 to 10 minute bodyweight workouts that you can do anywhere.

Personality: Ryzing Fitness offers services to all sorts of personalities from super competitive to just for fun. We offer gym challenges, workshops, charity events, or community enrichment events such as a cookout.

![](_page_25_Picture_0.jpeg)

Usage: The services provided at Ryzing Fitness offer the ability to use our facility at almost any time of day. We run early, midday, and evening group classes, we offer private training based on time preference, and an open gym that is accessible from 4 in the morning until 10 at night.

Benefits sought: Our members come to us for a multitude of reasons. The primary reason our members join is for fat loss and muscle gain. We excel in that area, however, we also offer programs of performance, maintenance, athleticism, stress relief, sleep habits, mindset and behavior habits, and many more.

Location: Ryzing Fitness is conveniently located off of I-94 and Bluemound Road. We are in the heart of Waukesha County and are easily accessible. There are a plethora of activities to do surrounding our gym, such as shopping, movie theater, go karting, mini golf, trampoline/adventure park, spas, golf courses, and many more.

### Additional Information:

Ryzing Fitness's unique selling proposition is that we offer a wide variety of services and programs. Ryzing fitness is truly a one stop shop for all of your health and fitness needs. Two areas that set us apart from our competitors are aqua endurance and our golf program. Aqua endurance is truly a one of a kind experience and cannot be replicated elsewhere. While there are many gyms that have pools, it is not the same as our aqua endurance program. There are also many gyms and facilities that have golf programs or simulators, but that is their primary focus. At Ryzing Fitness we provide you with those services, but also provide many more that can help you beyond your golf game.

Ryzing Fitness offers its members a personalized experience to fit their needs and goals while meeting like minded individuals. The community of members we have is why the fitness industry is so amazing. No matter what your goals are, weight loss, muscle gain, performance, golf, sleep, mindset, or overall health our team and members are there to support you and keep you going. At Ryzing Fitness we regularly assess the effectiveness of each of our programs through client feedback, surveys, and data analysis. Based on our results we are ready to adapt to meet the needs of our members.

### What we are doing differently:

We plan to cut monthly costs such as car payments, salaries, and profit sharing. Body by Design had four different managerial roles until Ryan stepped in as sole manager in January 2024. These four roles totaled \$80,000 of salaries per year and were also eligible for monthly profit sharing. Many of these roles overlapped in duties which led to disagreements of how things should operate. This led to tension and a stalemate in productivity towards running the gym. At Ryzing Fitness, Ryan and Katelynn will be the sole managers/operators. This allows us to eliminate the salaries and profit sharing as well as fast track marketing and sales efforts. The

![](_page_26_Picture_0.jpeg)

revenue decrease in 2023 can be attributed to the stalemate of having too many competing management positions. The differing opinions led to an inconsistent sales and marketing strategy that was confusing to both members and prospective members. In 2023 Body by Design focused its marketing efforts on "6 week challenges". These challenges were designed to bring people seeking quick results and weight loss into the gym. This strategy was not only expensive, but it was ineffective. The members who signed up for the challenges did not end up staying. Ryzing Fitness will not be marketing towards quick short term programs.

The focus of Body by Design the past year has been a large expansion and adding Aqua Endurance. The addition was the last of 9 expansions over the 12 years Body by Design has operated at this location. An additional 7,000 square feet were added. This led to expenses of remodeling, buying more equipment, buying a pool, painting, cleaning, added rent, and all of the utilities. While adding these were great additions for our existing members, they did not attract new customers as much as anticipated. There were no strategic marketing efforts made to bring in new members to the new space. Ryzing Fitness is focused on filling that space with revenue generating activities.

Ryzing Fitness is a large space, at almost 16,000 square feet. While under ownership as Body by Design, there were many rooms/open space that was not being utilized, therefore, not generating revenue. We plan to fill the "wasted space" with things such as, mobility yoga/pilates classes, golf training, and trainer sales room. In filling these spaces we are making sure that we are making the most of the square footage we have and that it's generating revenue for Ryzing Fitness.

We plan to increase prices for new members to more closely match market expectations. The open gym will go from \$36/month to \$54/month, and group classes will go from \$76/month to \$99/month.

Ryzing Fitness plans to make use of the 1,200 square feet of unused space by adding a golf training program. Conservative projections estimate \$98,000 in additional yearly revenue. The cost to implement this program is very low as Ryan is already certified to teach the classes.

We have opened up job positions and are looking to hire 2 to 3 more full time trainers. Our goal is to hire trainers who have different backgrounds such as yoga or pilates that can add to our services at the gym. In hiring full time trainers, this ensures our ability to provide members with a trainer who is available to accommodate their schedule.

![](_page_27_Picture_0.jpeg)

### About Us

Ryzing Fitness was founded in 2024 by Katelynn and Ryan Zingsheim.

While Ryan has been a prominent member in the fitness industry for years, I, Katelynn, have not. I often joke that "I married into the gym life". I was always on the outskirts of the sports and fitness world. I played sports in highschool, but just for fun. I worked out, when it was convenient. I played intramural sports, when there were friends or drinks involved. In college, at UW Madison, I majored in Nutritional Sciences. I shared classes with the Kinesiology majors, studied the importance of exercise, and listened to them debate the most effective styles of movement. If you had asked me if I considered fitness a crucial part of my life I might have said yes, but I also might have shrugged and said "eh". After college I took a business development role with a company that manufactured ambulances. That job led me to my current job of implementing ecommerce platforms for companies in the OEM sector. I love my job, even if it is a far stretch from the direction I anticipated my career going. Somewhere along the way, I started to miss the fitness world. I googled "gyms near me" and found Body by Design (BBD). It was close, affordable and the google reviews were decent. I signed up for a one week trial and my life changed forever. On my first day at BBD I met Ryan. Long story short, I extended my membership after the week was up, fell in love with exercise and fitness and married Ryan in 2022.

Ryan's entrance into the exercise and fitness community started long before mine. He was an avid athlete in highschool, and refereeing soccer was his first job. After that, he went to Edgewood college and UW Milwaukee for a marketing degree. Throughout college he was dedicated to his personal fitness. After college he got certified as a trainer and started training at Anytime Fitness. Shortly after he interviewed at BBD, where his best friend and roommate worked, his personal training career and lifelong passion began. Ryan started training at BBD in 2018, teaching over 25 classes a week and building his client base. Since he began he has received more than five certifications, even traveling to California to participate in a career development program. Ryan loves working out, but that isn't what makes him the trainer he is today. He is more than a workout partner to his clients. He is a cheerleader, a teacher, a coach and a friend to everyone in the gym. If you asked him, he would tell you his greatest professional achievement is the impact he has made on his clients quality of life, happiness and confidence. He believes that mobility, strength and endurance are more than just physical descriptors. He is a mentor and leader to his colleagues. He has been the manager at BBD since 2023. He has always dreamed of owning his own gym where he could instill his values and culture in the fitness space.

A challenge Ryan, and many trainers in the industry, face is that personal training is seen as a "side hustle" or second job. Our vision for Ryzing Fitness is to be a place that fosters career personal trainers. We focus on professional development, business development and

![](_page_28_Picture_0.jpeg)

continued education. All of our employees are encouraged to develop their niche and style. We support them with marketing, education, guidance and any equipment or supplies they need. This mindset has allowed us to create a team of exceptionally unique and talented trainers.

In parallel to fostering an environment for career trainers we are also dedicated to creating a sanctuary for our members. We live by the motto, "Working out should be fun." and "Strong looks good on everyone". This isn't a gym focused on weight loss, restriction or "never quitting no matter what". This is a space to become the strongest, healthiest and happiest version of yourself, no matter what that looks like. Fitness can truly change a person's life from the inside out. It is an honor to both of us to be able to see, facilitate, and participate in our members' lives in that way.

![](_page_29_Picture_0.jpeg)

### Meet our Team

At Ryzing Fitness our team is what makes us special. We might be biased, but we think we have the best fitness team out there! Professional development is one of our core values and our team reflects that value. All of our trainers are certified, and most have multiple certifications. Each one of our team members has their own style. Because everyone came to Ryzing Fitness from a different fitness avenue, we have a huge pool of background and professional knowledge to share amongst ourselves. We meet regularly to share knowledge and train each other. Many of our trainers are thought leaders in their space. They speak publicly, publish their work, develop new equipment, have patents pending and train others in the fitness space. Some of them have even been featured on TV shows and the local news!

<u>Adam Ameen</u>: Adam has been a personal trainer at Body by Design for over five years. His style of training consists of weightlifting, cardio and functional movement. He likes to keep workouts fresh and new for clients. He trains clients of all ages, but his passion is young athletes. He teaches many of our weekly bootcamp classes and is a leader in that space.

<u>Andy Wasik</u>: Andy has been a personal trainer and team lead at Body by Design for over six years. His passion for training stems from a lifelong participation in sports and weight training, as well as being a physical training leader in the US Air Force for 3+ years. His approach to training is to keep things simple, but dominate the fundamentals. He has also recently published a nutrition handbook. His handbook has sold more than 100 copies and counting!

<u>Justin Plesnik:</u> Justin has been with the team since 2012! His style has evolved a lot over the years but at its core has always been an emphasis on fun and effective workouts. He often incorporates weapons such as the bo staff, mace and lightsabers into his training sessions. Justin has created and developed our AquaEndurance training program. He has a patent pending on the technology he has created for the AquaEndurance program. AquaEndurance allows individuals who might have joint or mobility issues the ability to weight train without pain. This is a life changing program for many of our members. Justin also works very closely with the Paralyzed Veterans Association-Wisconsin Chapter. He has created numerous programs and training regimens for our veterans. He has over 15 certifications ranging from nutrition, personal training, behavior change, movement and sleep. He is truly an expert in the field.

<u>Kat Musni</u>: Kat has been with the team since 2016. She is the embodiment of "workouts should be fun!" here at Ryzing Fitness. Besides teaching classes and personal training in the gym, she has a YouTube channel with over 500 videos. People tune in to her workouts from all over the

![](_page_30_Picture_0.jpeg)

world! She has a large social media following with close to 15,000 followers. She speaks online and in person on mental health, eating disorders and the fitness space. She was a featured contestant on the show Frogger in 2022! She recently became a signed athlete with Baltimore UFX and will be competing this summer.

<u>Trevor Kaucic</u>: Trevor is certified as a personal trainer, mindfulness and meditation coach, and life coach. He started his own company Best Self. Best Self has now grown into being able to help people through the Best Self Studio in Hartland, 'The Best Self Blueprint' podcast on YouTube, organizing a variety of charity events each year, and working with coaches in all scopes of practice to bring knowledge & insight to the Best Self community. At the gym Trevor teaches bootcamps, has 1:1 clients for training, and runs many of our charity events. This summer he is starting a summer race team at Ryzing Fitness. Members will participate in various local race events, such as the Tough Mudder, together as a Ryzing Fitness team!

<u>Jake Huebner</u>: Jake has been with the gym for close to 10 years. He does sales meetings with new clients and trains 1:1. His training style is foundational lifting. He likes to go at a slow pace with an emphasis on progressive overload.

<u>Teri Nitschke:</u> Teri has been in the fitness world for over 40 years. She has experience with triathlons, running, lifting, and long distance biking. She has worked with veterans for much of her career. To know her is to love her! Teri is an amazing, positive and encouraging coach. She teaches classes and works 1:1 with clients at Ryzing Fitness.

<u>Tyler Johnson</u>: Tyler started his coaching career with Crossfit. He brings elements of his Crossfit past to his coaching at Ryzing Fitness. We love his unique blend of training styles. He is a fast paced, upbeat and dedicated coach. He hosts workshops for members outside of our standard bootcamp classes. Most recently he has been running a training program for a Memorial Day Murph event we are hosting at the gym. Tyler has coordinated with the PVA-Wisconsin Chapter for the event and we are looking forward to hosting the event alongside them! Outside of the fitness world, Tyler is a talented artist and painter.

<u>Omar Ranola:</u> Omar is newer to the Ryzing Fitness team. He has experience with gym management, group classes and 1:1 training. He is a master at creating unique and engaging group classes! We are looking forward to seeing his career and style development here at Ryzing Fitness.

<u>Emily Bentley</u>: Emily is also newer to the team. She is a novice trainer who is working towards creating her style. We are so lucky to have her enthusiasm and dedication to helping members find happiness through fitness.

![](_page_31_Picture_0.jpeg)

Building a Better World for All of Us®

### TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

| TO: | Plan Commission |
|-----|-----------------|
| 10: | Plan Commission |

FROM: Bryce Hembrook, AICP Town Planner

REPORT DATE:September 22, 2024PC MEETING DATE:September 27, 2024

### RE: Octane Coffee – Conceptual Approval 19555 West Bluemound Road BKFT1124996004

Applicant: Adrian Deasey, Octane Coffee Application Type: Conceptual Approval

### <u>Request</u>

Applicant is requesting conceptual approval to allow a drive-thru coffee business, located at 19555 West Bluemound Road.

### Summary of Request

- The applicant is proposing to add a small drive-thru coffee shop on the northwest side of the property.
- The building will be portable and can be relocated in the future.
- If this project moves forward, the applicant will need to go through the conditional use permit and variance processes.
- This item was submitted shortly before packets were sent out and more information will be provided at the meeting.

The development review team is currently reviewing and feedback may be provided at the time of the meeting.

### **Conceptual Approval**

The purpose of conceptual project review shall be to determine the best use of a building site. The Plan Commission will consider the proposed land use and its compatibility with adjacent land uses. The Plan Commission should consider ingress and egress, off-street parking, and internal traffic patterns.

MAP WAUKESHA county

\$

## Waukesha County GIS Map

| 1120         1120         1124 <td< th=""><th>Legend         Municipal Boundary_2K         Parcel_Dimension_2K         Note_Text_2K         Lots_2K         Unit         General Common Element         Outlot         SimultaneousConveyance         Assessor Plat         CSM         Condominium         Subdivision         Cartoline_2K         PL-DA         PL-DA         PL-Tie         PL-Tie         PL-Tie         PL-Tie         Railroad_2K</th></td<> | Legend         Municipal Boundary_2K         Parcel_Dimension_2K         Note_Text_2K         Lots_2K         Unit         General Common Element         Outlot         SimultaneousConveyance         Assessor Plat         CSM         Condominium         Subdivision         Cartoline_2K         PL-DA         PL-DA         PL-Tie         PL-Tie         PL-Tie         PL-Tie         Railroad_2K |
|--|--|
| 0 118.68 Feet specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.  | Printed: 8/22/2024   |

![](_page_33_Picture_0.jpeg)

Potential Octane Coffee Sites in Town of Brookfield

![](_page_34_Picture_0.jpeg)

![](_page_35_Picture_0.jpeg)

![](_page_36_Picture_0.jpeg)

Octane Coffee is a fully automated coffee drive-thru concept designed, built, and managed right here in the Waukesha area. We serve premium Coffee, Tea, Juice, and Frozen Drinks as well as grab-and-go Food and Bakery Items to the busy driving commuter.

All orders are fulfilled by robotic automation housed within the small footprint building (no human employees inside). We have regular customers picking up their orders in <u>10 SECONDS OR LESS</u> at our launch location in Waukesha that has been in operation for almost 18 months. We love to support local contractors, suppliers, and companies! We proudly brew Stone Creek Coffee at our locations.

# Bluemound Plaza - Concept #1 (PREFERRED CONCEPT)

![](_page_37_Picture_1.jpeg)

# Bluemound Plaza - Concept #2

![](_page_38_Picture_1.jpeg)

# Bluemound Plaza - Concept #3

![](_page_39_Picture_1.jpeg)

![](_page_40_Picture_0.jpeg)

*Office of the Town Clerk* **Town of Brookfield** | 645 N. Janacek Road, Brookfield, WI 53045 Office: 262-796-3788 | Clerk@TownofBrookfield.com

# Memo

| To:   | Town Supervisors, Administrator                      |
|-------|--|
| From: | Deanna Alexander, Town Clerk                         |
| Date: | August 29, 2024                                      |
| Re:   | Elected Official Salaries in Other Local Communities |

At the 2024 Annual Town Meeting, staff were directed to collect and prepare data related to the financial compensation of elected officials in area communities so that the concept of a pay increase for Town of Brookfield elected officials could be considered in a timely manner for possible 2025 implementation.

I surveyed Towns, Villages and Cities in Waukesha and Washington counties to gather the required data and received responses from 24 other municipalities.

- The average population of other Towns surveyed was 4,982 residents.
- The average salary for other municipalities' Town Supervisors was \$5,100 per year, but I note that one of the respondents in that average using \$4,500 per year as the base also provides Supervisors with \$55 per meeting attended, and that stipend is not included in the average.
- The average salary for other municipalities' Town Chairmen was \$9,455 per year, and also includes one response with \$8,500 per year as the base and a provision for an additional \$55 per meeting attended, and that stipend is not included in the average.
- The Towns all pay a stipend to committee and commission members with a high of \$80 per meeting for a Plan Commission Chairman, a low of \$10 per meeting, and an average of \$40 per meeting attended. However, at the City and Village levels, compensation ranges from volunteer/nothing (common) to \$60 per meeting.
- All Towns responding use a Municipal Judge that is part of a court partnership or that is a county judge, so none pay a judicial salary directly.

Please see the second page of this memo for a chart detailing the responses for the annual salaries paid to Town Board (council) members and Town Chairmen (president) as applicable. Should Supervisors have additional questions I will be glad to review or calculate from the raw data received to provide more insight.

DA/Clerk

| Name of Municipality | Annual Salary for<br>Population Supervisors / Council |    | Annual Salary for<br>Chairman /<br>President |    |         |
|----------------------|---|----|--|----|---------|
| Town of Addison      | 3,422   | \$ | 3,500  | \$ | 8,000   |
| Town of Brookfield   | 6,480   | \$ | 5,000  | \$ | 7,200   |
| Town of Delafield    | 8,100   | \$ | 6,762  | \$ | 6,762   |
| Town of Eagle        | 3,512   | \$ | 6,000  | \$ | 14,620  |
| Town of Genesee      | 7,167   | \$ | 7,000  | \$ | 15,000  |
| Town of Germantown   | 240   | \$ | 1,219  | \$ | 1,516   |
| Town of Jackson*     | 4,029   | \$ | 4,500  | \$ | 8,500   |
| Town of Merton       | 8,267   | \$ | 6,500  | \$ | 11,500  |
| Town of Oconomowoc   | 8,831   | \$ | 5 <i>,</i> 509                               | \$ | 7,652   |
| Town of Polk         | 4,000   | \$ | 4,000  | \$ | 9,000   |
| Town of Wayne        | 2,254   | \$ | 6,000  | \$ | 12,000  |
| Village of Big Bend  | 1,489   | \$ | 2,700  | \$ | 4,000   |
| Village of Butler    | 1,800   | \$ | 2,500  | \$ | 3,500   |
| Village of Lisbon    | 10,734  | \$ | 6,000  | \$ | 10,000  |
| Village of Nashotah  | 1,350   | \$ | 1,000  | \$ | 2,000   |
| Village of Pewaukee  | 8,159   | \$ | 3,960  | \$ | 5,040   |
| Village of Slinger   | 6,100   | \$ | 4,500  | \$ | 6,000   |
| Village of Summit    | 5,202   | \$ | 4,000  | \$ | 6,000   |
| Village of Waukesha  | 8,471   | \$ | 6,000  | \$ | 12,000  |
| City of Brookfield   | 41,121  | \$ | 9,911  | \$ | 121,742 |
| City of Delafield    | 7,085   | \$ | 3,500  | \$ | 7,500   |
| City of Muskego      | 25,000  | \$ | 7,638  | \$ | 72,000  |
| City of New Berlin   | 40,000  | \$ | 10,000                                       | \$ | 10,050  |
| City of Oconomowoc   | 19,126  | \$ | 6,436  | \$ | 7,091   |
| City of Pewaukee     | 16,169  | \$ | 6,500  | \$ | 6,500   |

Compensation Survey Results from Waukesha and Washington County as of April 2024

\*Town of Jackson also provides an additional \$55 stipend per meeting attended.