



## Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

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### MEETING AGENDA

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Tuesday, September 3, 2024 7:00pm	Town Board Utility District No. 1 Sanitary District No. 4	Eric Gnant Room TOB Municipal Building 645 N. Janacek Rd., Brookfield, WI
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#### Item #   Topic

1. Call to Order & Roll Call:  
Chairman Keith Henderson, Supervisors Steve Kohlmann, Ryan Stanelle, John Charlier, and John Schatzman.
2. Meeting Notices.
3. Adoption of the Agenda.
4. Meeting Minutes: **Minutes from the August 20, 2024 meeting of the TB, UD1, SD4.**
5. Citizen Comments. *Three minute limit.*

#### New Business, Including Topics from Departments, Committees and Commissions

6. Plan Commission: **Preliminary and Final Approval for Ken Krahe – MSI General Corp., Representing Silgan Containers.**  
Recommendation of preliminary and final approval for a boiler room and warehouse / mechanical room addition for the property located at 21027 Crossroads Circle. (From the August 27, 2024 PC meeting).
7. Plan Commission: **Conditional Use Permit for Katelynn Zingsheim – Ryzing Fitness.**  
Recommendation of approval of a Conditional Use Permit for a fitness center in the M-1 Limited Manufacturing District, located at 21975 Doral Road. (From the August 27, 2024 PC meeting).
8. Plan Commission: **Conceptual Approval for Adrian Deasey – Octane Coffee.**  
Recommendation of conceptual approval to allow a drive-through coffee business, located at 19555 W Bluemound Rd. (From the August 27, 2024 PC meeting).
9. Clerk: Alcohol Licensing for Class B Fermented Malt Beverage and Class B Liquor License  
Entity: **Poplar Creek Hospitality, LLC; DBA Courtyard by Marriott / Residence Inn by Marriott**  
Location: 20300 W Bluemound Rd., Brookfield, WI 53045      Agent: Thys V. Jones, Jr.  
License Type: An “above quota” license created for restaurants and hotels meeting certain service capacity levels.

10. Administrator & Clerk: **Elected Compensation Report**

Follow-up on the directive to study the compensation paid to elected officials across other local municipalities and report back to the Town Board in time for any potential salary adjustments recommended to be included in the Town's 2025 Budget. (From the April 16, 2024 Annual Town Meeting).

11. Treasurer: **Vouchers and Checks.**

12. Communications & Announcements.

13. Adjourn.

*Posted August 29, 2024.*



*Deanna Alexander, MPA  
Town Clerk, Town of Brookfield*



## Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

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### MEETING MINUTES

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Tuesday, August 20, 2024  
7:00pm

Town Board  
Utility District No. 1  
Sanitary District No. 4

Eric Gnant Room  
TOB Municipal Building  
645 N. Janacek Rd., Brookfield, WI

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#### Item #    Topic

1. Call to Order & Roll Call:

Present: Chairman Keith Henderson, Supervisors Steve Kohlmann, Ryan Stanelle, John Charlier, and John Schatzman. A quorum was met (5-0). The meeting was called to order at 7:00pm.

2. Meeting Notices. The Clerk confirmed the meeting was publicly noticed.

3. Adoption of the Agenda.

Motion by Stanelle to approve the agenda; seconded by Charlier. Motion prevailed by a voice vote (5-0).

4. Meeting Minutes: **Minutes from the August 6, 2024 meeting of the TB, UD1, SD4.**

Motion by Stanelle to approve the second draft version of the meeting minutes as presented; seconded by Charlier.  
Motion prevailed by a voice vote (5-0).

5. Citizen Comments. No members of the public requested to speak.

#### New Business, Including Topics from Departments, Committees and Commissions

6. Administrator: **Intergovernmental Agreement between the City of Brookfield and the Town of Brookfield regarding Bridge Inspection.**

The Administrator shared that the version of the agreement presented would need an additional edit because one of the “whereas” clauses describes Brookfield Road spanning Poplar Creek rather than Deer Creek but that this would be updated and also approved by the City of Brookfield prior to executing.

Motion by Stanelle to approve the Intergovernmental Agreement between the City of Brookfield and the Town of Brookfield regarding Bridge Inspection, inclusive of the recommended alteration to update the “Poplar Creek” description to “Deer Creek,” and subject to the town attorney’s approval; seconded by Kohlmann.

Motion prevailed by a voice vote (5-0).

7. Clerk: Recap Overview of the Fall Partisan Primary Election on August 13, 2024.

The Clerk provided a verbal overview of activities in the recent election including the challenges of overseeing two polling sites at one time while facing technology / machine operation problems and the successes of ensuring things were able to be corrected and kept moving despite the obstacles; along with the successes of having many new poll workers, conducting multiple trainings, and having balanced and reconciled numbers at the end of the day.

8. Treasurer: **Vouchers and Checks.**

Motion by Kohlmann to approve vouchers and checks as presented; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

9. Communications & Announcements.

- Kohlmann asked for an update on signage concerns. The Administrator is working with a sign company to see what it would look like to put signs in parks and working with a specific file type to see if they can put the logo on the signs.
- Kohlmann asked about progress on the review of elected official salaries as requested at the Town's Annual Meeting. The Clerk confirmed intentions to bring the responsive data to the next Town Board meeting.
- The Administrator shared that the DPW – recently hired three new employees, bringing the department up to five.
- Kohlmann asked about the pond being full of algae, per Matt Paris at the ARC meeting. The Administrator stated he would look into the situation.
- The Administrator mentioned considering a few drainage projects in the near future.
- Supervisors asked about the status of The Dollar Store as it has been non-operational for almost a full year after fire damage. No further information was available at the time.

10. Adjourn. Motion by Charlier to adjourn at 7:34pm; seconded by Stanelle. Motion prevailed by a voice vote (5-0).

*Submitted August 29, 2024.*



*Deanna Alexander, MPA  
Town Clerk, Town of Brookfield*



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## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: August 22, 2024  
PC MEETING DATE: August 27, 2024

RE: **Silgan Containers Building Addition – Conceptual Approval  
21027 Crossroads Circle BKFT1129999047**

SEH No. 171421, TASK 63

**Applicant:** Ken Krahe – MSI General Corp, representing Silgan Containers

**Application Type:** Preliminary and Final Conceptual Approval

### Request

Applicant is requesting preliminary and final approval of the addition of a boiler room and warehouse/mechanical room to the existing building located 21027 Crossroads Circle.

### Summary of Request

- The applicant is proposing two addition areas: a 23' x 16' (368 square feet) boiler room addition, and a 35' x 117' (4,095 square feet) warehouse and mechanical room addition. The proposed additions will be to the existing 128,632 square foot 2-story building on site.
- Proposed Size = 4,463 square feet – it is unclear if both areas are 1 or 2 story additions.
- Zoning District = B-2 Limited General Business District
- Lot size = 8.5 acres.
- Proposed Use (for addition area)= HVAC expansion, Warehousing, and mechanical expansion.
- Use of rest of building: Office and light warehousing.
- Proposed setbacks:
  - Street = 50'
  - Side and rear = 15'
  - All building setbacks will meet code requirements.
- Maximum Building Height:
  - Principal = 45'
  - Accessory = 15'
  - Addition heights meet code requirements, assuming they match the current building height.
- Sum total of floor area:
  - Existing = 34.7%
  - Proposed = 37.1%

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

- Required = The sum total of the floor area of the principal building and all accessory buildings shall be not less than 6,000 square feet or 15% of the lot area, whichever is less. Also, the sum total of the floor area of the principal building and all accessory buildings shall not exceed 50% of the lot area.
- Requirement is met.
- Parking
  - There are 350 existing parking stalls.
  - Code requirement:
    - Office: 1 space per 250sf of space.
      - 304 required.
    - Warehousing: 1 space per employee, plus one space per 5,000sf of gross floor area.
  - The application did not specify number of employees, but there appears to be adequate parking.
- Lighting
  - Not provided.
- Landscaping
  - Not provided.
- Signage
  - Proposed signage plan is included.

The development review team is currently reviewing and feedback may be provided at the time of the meeting.

### **Preliminary Review**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. Preliminary approval recommended by the Architectural Review Committee and granted by the Plan Commission shall expire within six months unless final project plans are presented to the Plan Commission.

### **Final Review**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.



# DESIGNBUILD

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## SILGAN CROSSROADS REMODEL

### REMODEL & NEW ADDITION(S)

21027 CROSSROADS CIRCLE  
WAUKESHA, WISCONSIN 53186



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NASHOTAH, WI 53058  
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MILESTONE ISSUE DATES

PRELIMINARY SET: 6/14/2024

BUDGET SET: 7/11/2024

LOCAL DESIGN REVIEW SET:

PROPOSAL SET:

PERMIT SET:

CONSTRUCTION SET:

RECORD DRAWING SET:

REVISIONS:

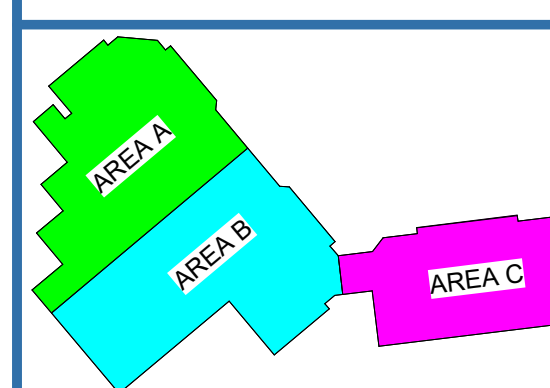
ADD-A | ADDENDUM -A | XXXX/XXXX

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



PROJECT NAME:  
**SILGAN CROSSROADS  
REMODEL**

PROJECT DESCRIPTION:  
**REMODEL & NEW ADDITION(S)**

PROJECT ADDRESS:  
**21027 CROSSROADS CIRCLE**

CITY/STATE/ZIP:  
**WAUKESHA, WISCONSIN 53186**

**ALL WORK TO BE COMPLETED AS SHOWN, AND  
IN ACCORDANCE WITH THE LATEST EDITION OF  
THE MSI GENERAL MASTER SPECIFICATION**

PROJECT ARCHITECT	STRUCTURAL ENGINEER	LANDSCAPE DESIGNER
AMH	DBS	XXX

DESIGN ARCHITECT: NNY

CIVIL ENGINEER: HARWOOD

REVIEWED BY: XXX

SHEET TITLE:  
**COVER SHEET**

SHEET NUMBER:  
**G-001-A**

PROJECT NUMBER:  
**P13439**

#### PROJECT INFORMATION

CODE SUMMARY AND BUILDING INFORMATION

APPLICABLE CODES AND STANDARDS	
BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE (IBC)
PLUMBING CODE:	2015 WISCONSIN PLUMBING CODE (SPS 390 TO 397)
Mechanical Code:	2015 INTERNATIONAL MECHANICAL CODE (IMC)
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
ELECTRICAL CODE:	2017 NATIONAL ELECTRICAL CODE (NEC)
FIRE CODE:	2015 INTERNATIONAL FIRE CODE (IFC)
ACCESSIBILITY CODE:	2008 AMERICAN WITH DISABILITIES ACT (ADA)
DESIGN GUIDE:	INCLUDES WISCONSIN AMENDMENTS

**PROJECT DESCRIPTION**

AN INTERIOR REMODEL OF AN EXISTING 117,369 SF TWO STORY OFFICE BUILDING, INCLUDING CONSTRUCTION OF A NEW 39' x 117' WAREHOUSE ADDITION, NEW 39' x 20' BOILER ROOM ADDITION, AND NEW DUMPSTER ENCLOSURE, LOCATED IN THE CROSSROADS CORPORATE PARK IN THE TOWN OF BROOKFIELD, WI.

FLOOR	AREA	DESCRIPTION	AREA (SF)
FIRST FLOOR	DUMPSTER ENCLOSURE		437 SF
FIRST FLOOR	BOILER ROOM ADDITION		484 SF
FIRST FLOOR	WAREHOUSE ADDITION		4,068 SF
FIRST FLOOR	EXISTING BUILDING		63,679 SF
SECOND FLOOR	EXISTING BUILDING		56,949 SF
PROJECT AREA			132,607 SF

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 5)	
GROUP:	B BUSINESS
	F1 FACTORY
	S1 STORAGE
	U UTILITY AND MISCELLANEOUS GROUP

GENERAL BUILDING HEIGHTS AND AREAS (CHAPTER 5)			
CONSTRUCTION TYPE:	IB	ALLOWABLE	ACTUAL
BUILDING HEIGHT IN FEET:	(TABLE 504.3)	180'-0"	29'-0"
BUILDING HEIGHT IN STOREYS:	(TABLE 504.4)	12	2
BUILDING AREA PER FLOOR:	(TABLE 506.2)	UNLIMITED	
FIRST FLOOR:		0 SF	64,441 SF
SECOND FLOOR:		0 SF	54,877 SF

ALLOWABLE AREA DETERMINATION (TABLE 506.2):

SHOW MATHEMATICALLY:

ALLOWABLE AREA INCREASE (TABLE 506.3):

SHOW MATHEMATICALLY:

UNLIMITED AREA BUILDING PER IBC 507:

NO. OF WBS: TABS PROVIDED WITH DESCRIPTION AS ALLOWED PER 607.2.1 OF THE 2015 IBC

MIXED OCCUPANCIES: NON-SEPARATED

FIRE RESISTIVE RATING REQ. FOR BUILDING ELEMENTS (IBC CHAPTER 6)	
CONSTRUCTION TYPE:	IB
PRIMARY STRUCTURAL FRAMING:	2" HR (SEE TABLE 601)
BEARING WALLS EXTERIOR:	2" HR (SEE TABLE 601)
BEARING WALLS INTERIOR:	2" HR
FLOOR CONSTRUCTION:	2" HR
ROOF CONSTRUCTION:	1 1/2" HR (SEE TABLE 601)
FIRE RESISTANCE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:	0 HR

FIRE AND SMOKE PROTECTION FEATURES (IBC CHAPTER 7)	
ALLOWABLE AREA OF OPENINGS:	
FIRE SEPARATION DISTANCE:	> 30 FEET
OPENING PROTECTION:	LIMITED/TESTED SPRI/NLERED
ALLOWABLE OPENING AREA:	NO LIMIT

INTERIOR FINISHES (IBC CHAPTER 8)					
INTERIOR WALL AND CEILING FINISHES:	IBC 2015, TABLE 803.1.1				
SPRINKLERED:		INTERIOR EXT.	CORRIDORS, ETC.	ROOMS AND ENCLOSURE SPACES	
OCCUPANCY:		CLASS B	CLASS C	CLASS C	
B BUSINESS:		CLASS B	CLASS C	CLASS C	
F1 FACTORY:		CLASS C	CLASS C	CLASS C	
S1 STORAGE:		CLASS C	CLASS C	CLASS C	
U UTILITY AND MISCELLANEOUS GROUP:		NB	NB	NB	

FIRE PROTECTION SYSTEM (IBC CHAPTER 9)	
AUTOMATIC SPRINKLER SYSTEM:	NFPA XXXX
FULLY SPRINKLERED ESFR SYSTEM:	

#### VICINITY MAP





OVER 65 YEARS OF DESIGN EXCELLENCE

ARCHITECT SEAL

ENGINEER SEAL

#### SHEET INDEX

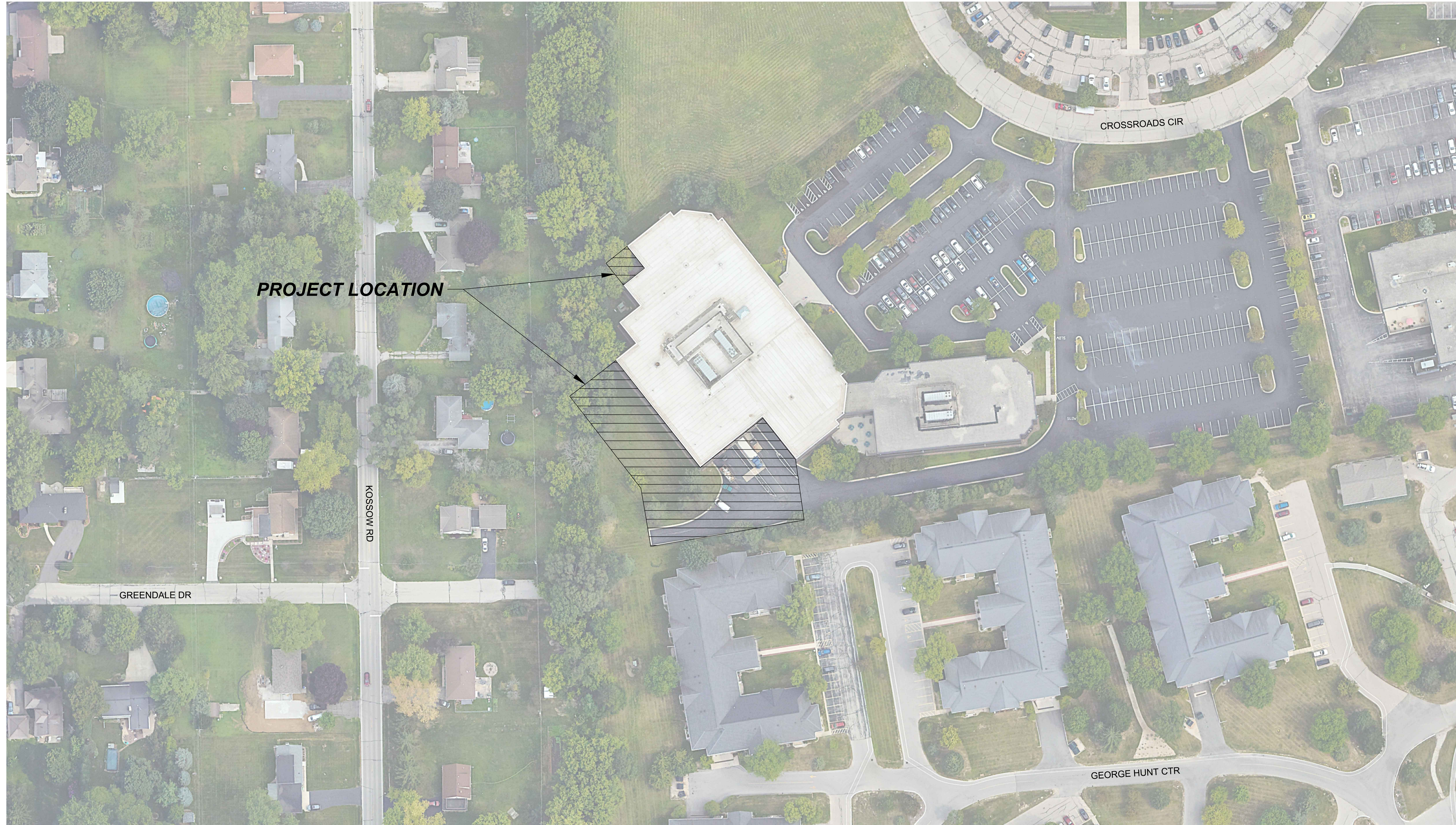
SHEET NUMBER	SHEET NAME	REVISION DESCRIPTION	REVISION DATE
<b>GENERAL</b>			
G-001-A	COVER SHEET	ADDENDUM - A	XXXX/XXXX
G-002	GENERAL NOTES, LEGENDS ABBREVIATIONS AND SYMBOLS		
G-111	FIRST FLOOR - LIFE SAFETY PLAN		
G-121	SECOND FLOOR - LIFE SAFETY PLAN		
G-201	GENERAL ACCESSIBILITY REQUIREMENTS		
G-202	GENERAL ACCESSIBILITY REQUIREMENTS		
<b>ARCHITECTURAL SITE</b>			
AS-101	ARCHITECTURAL SITE PLAN	ADDENDUM - A	XXXX/XXXX
<b>ARCHITECTURAL DEMOLITION</b>			
AD-110	FIRST FLOOR DEMOLITION PLAN - OVERALL		
AD-111.1	FIRST FLOOR DEMOLITION PLAN - AREA A		
AD-111.2	FIRST FLOOR DEMOLITION PLAN - AREA B		
AD-111.3	FIRST FLOOR DEMOLITION PLAN - AREA C		
AD-112	FIRST FLOOR DEMOLITION PLAN REFLECTED CEILING PLAN		
AD-120	SECOND FLOOR DEMOLITION PLAN		
AD-121.1	SECOND FLOOR DEMOLITION PLAN - AREA A		
AD-121.2	SECOND FLOOR DEMOLITION PLAN - AREA B		
AD-121.3	SECOND FLOOR DEMOLITION PLAN - AREA C		
AD-122	SECOND FLOOR DEMOLITION PLAN REFLECTED CEILING PLAN		
AD-151	ROOF DEMOLITION PLAN		
<b>ARCHITECTURAL</b>			
A-110	OVERALL FIRST FLOOR PLAN		
A-111.1	FIRST FLOOR PLAN - AREA A		
A-111.2	FIRST FLOOR PLAN - AREA B		
A-111.3	FIRST FLOOR PLAN - AREA C		
A-113	OVERALL FIRST FLOOR REFLECTED CEILING PLAN		
A-113.1	FIRST FLOOR REFLECTED CEILING PLAN - AREA A		
A-113.2	FIRST FLOOR REFLECTED CEILING PLAN - AREA B		
A-113.3	FIRST FLOOR REFLECTED CEILING PLAN - AREA C		
A-116	FIRST FLOOR SILGAN DEPARTMENT AREA PLAN		
A-120	OVERALL SECOND FLOOR PLAN		
A-121.1	SECOND FLOOR PLAN - AREA A		
A-121.2	SECOND FLOOR PLAN - AREA B		
A-121.3	SECOND FLOOR PLAN - AREA C		
A-123	SECOND FLOOR REFLECTED CEILING PLAN		
A-123.1	SECOND FLOOR REFLECTED CEILING PLAN - AREA A		
A-123.2	SECOND FLOOR REFLECTED CEILING PLAN - AREA B		
A-123.3	SECOND FLOOR REFLECTED CEILING PLAN - AREA C		
A-126	SECOND FLOOR SILGAN DEPARTMENT AREA PLAN		
A-140	OVERALL ROOF PLAN		
A-710	WAREHOUSE ADDITION		
A-720	BOILER ROOM ADDITION		
A-730	DUMPSTER ENCLOSURE		
<b>INTERIORS</b>			
I-100	INTERIOR - OVERALL FIRST FLOOR PLAN		
I-101.1	INTERIOR - ENLARGED FIRST FLOOR PLAN - AREA A		
I-101.2	INTERIOR - ENLARGED FIRST FLOOR PLAN - AREA B		
I-101.3	INTERIOR - ENLARGED FIRST FLOOR PLAN - AREA C		
I-200	INTERIOR - OVERALL SECOND FLOOR PLAN		
I-201.1	INTERIOR - ENLARGED SECOND FLOOR PLAN - AREA A		
I-201.2	INTERIOR - ENLARGED SECOND FLOOR PLAN - AREA B		
I-201.3	INTERIOR - ENLARGED SECOND FLOOR PLAN - AREA C		
I-602	FINISH MATERIAL LEGEND		
I-603	FURNITURE LEGEND		

#### SHEET INDEX

SHEET NUMBER	SHEET NAME	REVISION DESCRIPTION	REVISION DATE
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SHEET NUMBER	SHEET NAME	REVISION DESCRIPTION	REVISION DATE
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MILESTONE ISSUE DATES

PRELIMINARY SET:
BUDGET SET:
LOCAL DESIGN REVIEW SET:
PROPOSAL SET:
PERMIT SET:
CONSTRUCTION SET:
RECORD DRAWING SET:
REVISIONS:




258 N 21st Street, Milwaukee, WI 53211 | 414.475.8541  
HEC PROJECT NUMBER: 024-1113.00

LEGEND:

UTILITY	GRADING	SITE
<b>EXISTING:</b> W WATERMAIN E BURIED ELECTRIC OHW OVERHEAD WIRE GAS GAS LINE SAN SANITARY SEWER ST STORM SEWER UTILITY POLE LIGHT POLE SANITARY MANHOLE FIRE HYDRANT WATER VALVE STORM SEWER STRUCTURE <b>PROPOSED:</b> W WATERMAIN E ELECTRICAL LINE GAS GAS LINE SAN SANITARY SEWER ST STORM SEWER WATER VALVE STORM SEWER STRUCTURE FLARED END SECTION	<b>EXISTING:</b> MAJOR CONTOUR MINOR CONTOUR EXIST SPOT ELEVATION <b>PROPOSED:</b> MAJOR CONTOUR MINOR CONTOUR SPOT ELEVATION (FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB) DOOR ELEVATION GROUND GRADE AT BUILDING SPOT ELEVATION (T.C. - TOP OF CURB, E.P. - EDGE OF PAVEMENT) RETAINING WALL SPOT ELEVATION (T.M. - GROUND GRADE AT TOP OF WALL, B.W. - GROUND GRADE AT BOTTOM) FLARED END SECTION (PIPE SECT INVERT ELEVATION) DRAINAGE FLOW DIRECTION EMERGENCY OVERFLOW ROUTE	<b>EXISTING:</b> EXISTING PARKING COUNT EXISTING SIGN EXISTING ADA PARKING SPACE <b>PROPOSED:</b> PARKING COUNT ADA PARKING SPACE SIGN TRUNCATED DOMES PAVEMENT MARKING DIRECTIONAL ARROWS

GENERAL NOTES AND SPECIFICATIONS:

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CHAPUT LAND SURVEYS. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO (VERIFYING ELEVATION, LOCATION AND SIZE). SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDNR (IF REQUIRED) PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
- BACKFILL REQUIREMENTS AND ROADWAYS/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT SPOT). MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- ALL BUILDING UTILITIES SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NONMETALLIC UTILITIES MUST BE PROVIDED. PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 182.0715(2R) OF THE STATE STATUTES.
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING & FOUNDATION DETAILS AND ORIENTATION.
- ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- CONTRACTOR SHALL MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- PROTECT ALL PROPERTY CORNERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- PROJECT SAFETY ON-SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- AS-BUILTS ARE TO BE PROVIDED TO THE CLIENT TRACKING ANY CHANGES THAT OCCURRED DURING CONSTRUCTION.

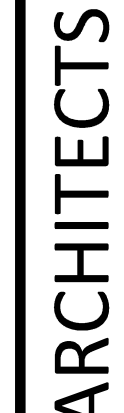
CIVIL SHEET INDEX:

C1.00	PROJECT LOCATION AND GENERAL NOTES
C1.10	SITE PLAN
C1.20	GRADING AND EROSION CONTROL PLAN
C1.30	DEMOLITION PLAN
C1.40	EXISTING SURVEY
C5.00	CONSTRUCTION DETAILS AND SPECS

SILGAN CROSSROADS REMODEL  
 REMODEL & NEW ADDITION(S)  
 21027 CROSSROADS CIRCLE  
 WAUKESHA, WISCONSIN 53196  
 ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

DESIGN APPROVED	STRUCTURAL ENGINEER	LANDSCAPE ARCHITECT
AMH	DJS	XXX
DESIGN APPROVED	CHECKED	REVISIONS
NEW	HARWOOD	XXX

SHEET TITLE:  
**PROJECT LOCATION AND GENERAL NOTES**  
 SHEET NUMBER:  
**C1.00**  
 PROJECT NUMBER:  
**P13439**  
 PROJECT NUMBER: P13439



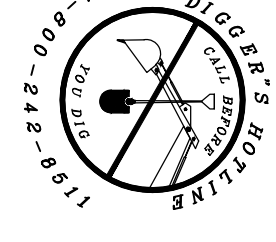
ARCHITECTS

LEADERS

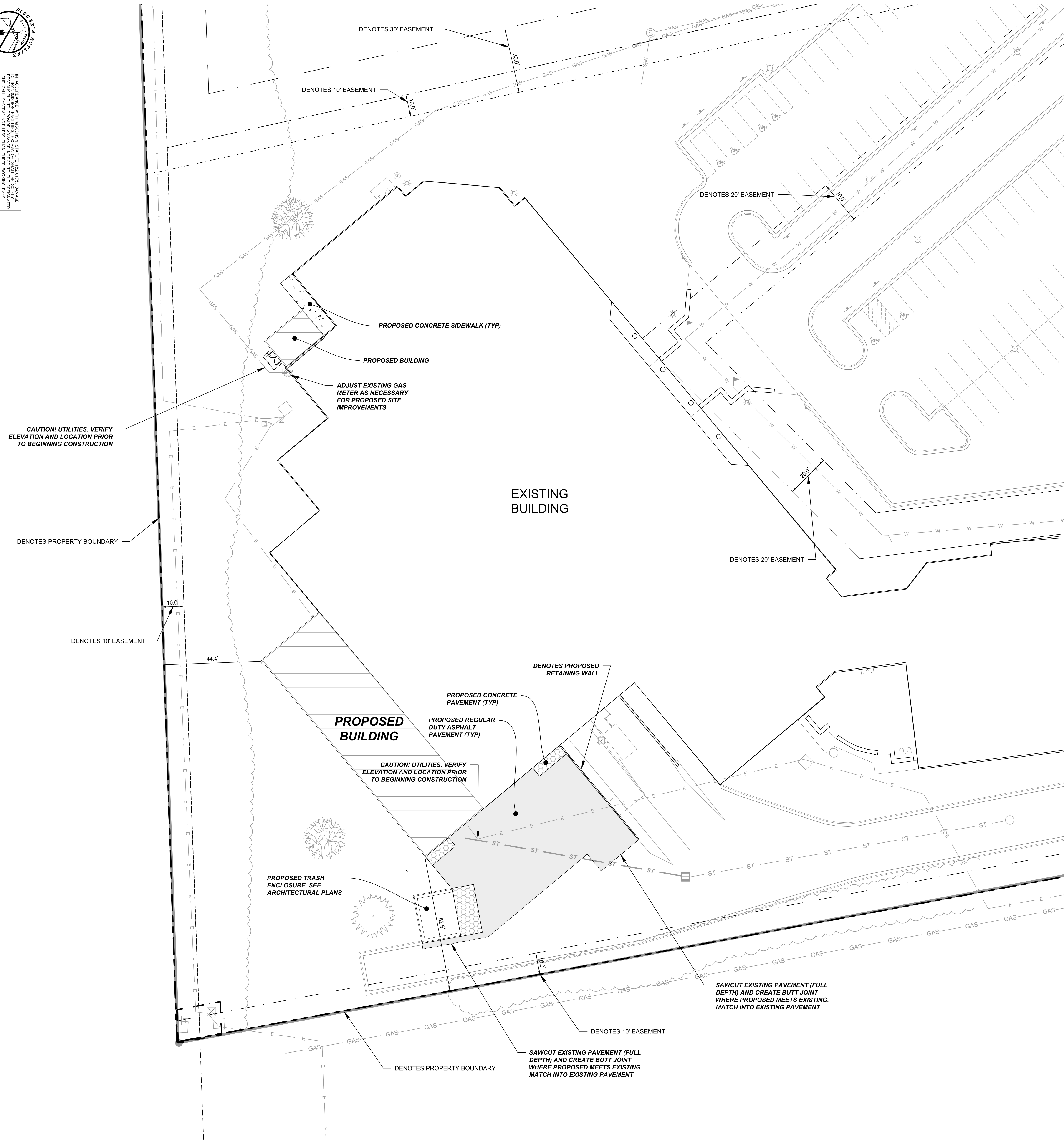
ENGINEERS

CONTRACTORS





MSJ GENERAL CORPORATION  
 2127 CROSSROADS CIRCLE  
 WAUKESHA, WI 53186  
 (262) 546-1111  
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HATCH LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT

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 NASHOTAH, WI 53058  
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MILESTONE ISSUE DATES
PRELIMINARY SET:
BUDGET SET:
LOCAL DESIGN REVIEW SET:
PROPOSAL SET:
PERMIT SET:
CONSTRUCTION SET:
RECORD DRAWING SET:

REVISIONS:

LEADERS

ENGINEERS

CONTRACTORS



SILGAN CROSSROADS REMODEL

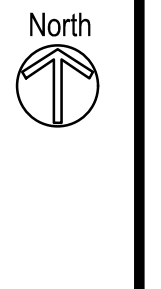
REMODEL & NEW ADDITION(S)  
 2127 CROSSROADS CIRCLE  
 WAUKESHA, WISCONSIN 53186

PROJECT APPROVALS	STRUCTURAL APPROVALS	LANDSCAPE DESIGNER APPROVALS
AMH	DJS	XXX
DESIGN APPROVALS	Civil/Architectural	MECHANICAL/ELECTRICAL
NWJ	HARWOOD	XXX

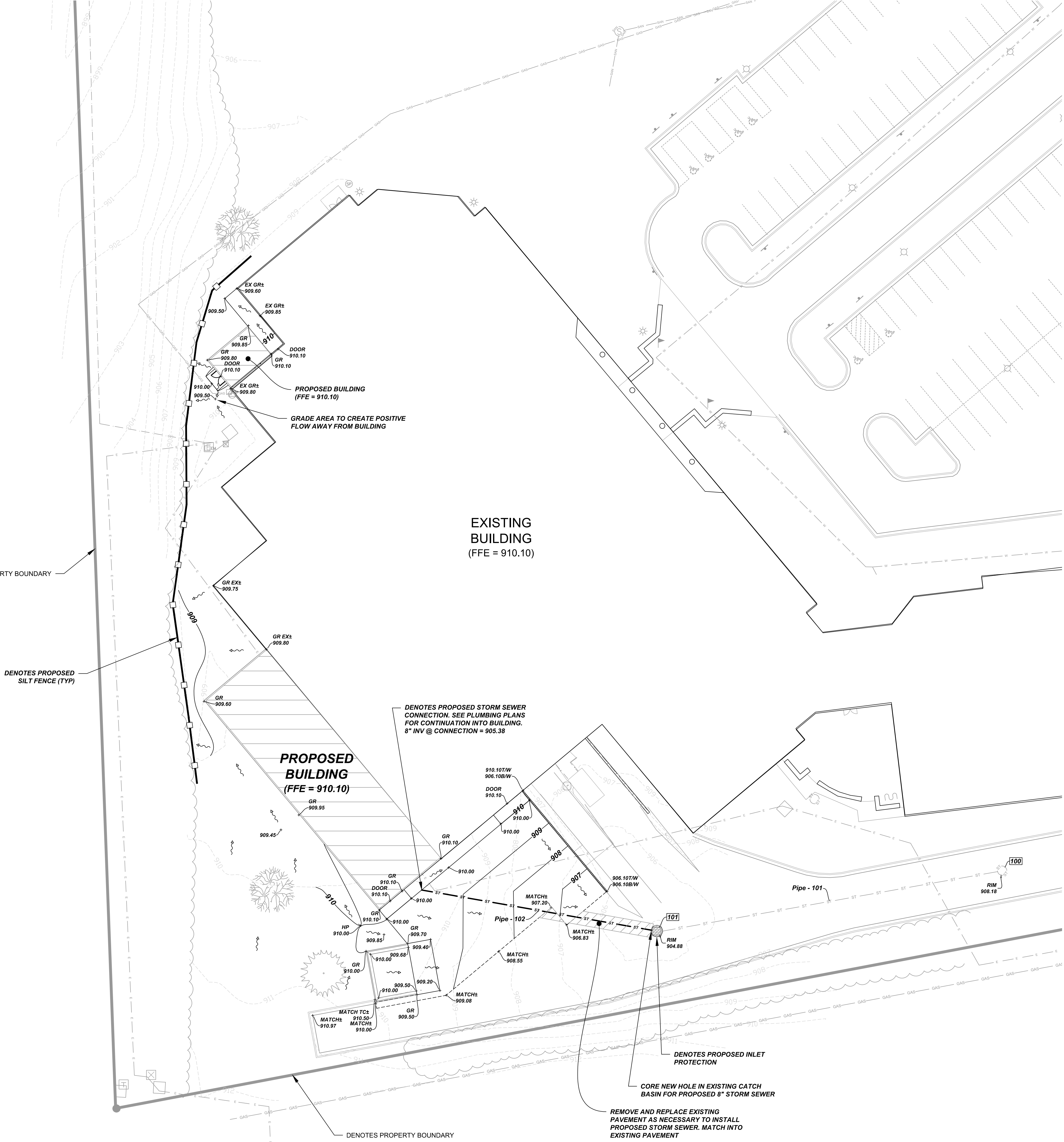
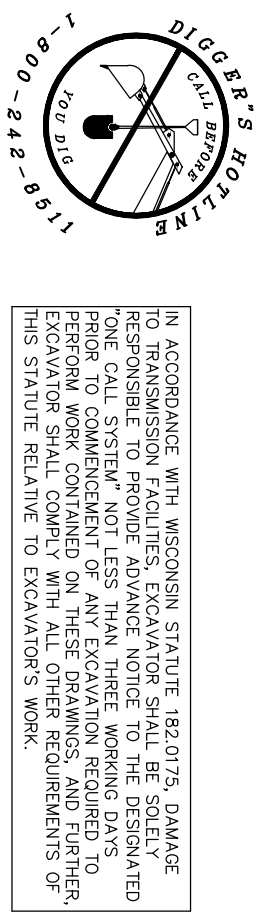
PROJECT TITLE:  
 SITE PLAN

SCALE: 1" = 20'  
 SHEET NUMBER:  
**C1.10**

PROJECT NUMBER:  
**P13439**



ARCHITECTS

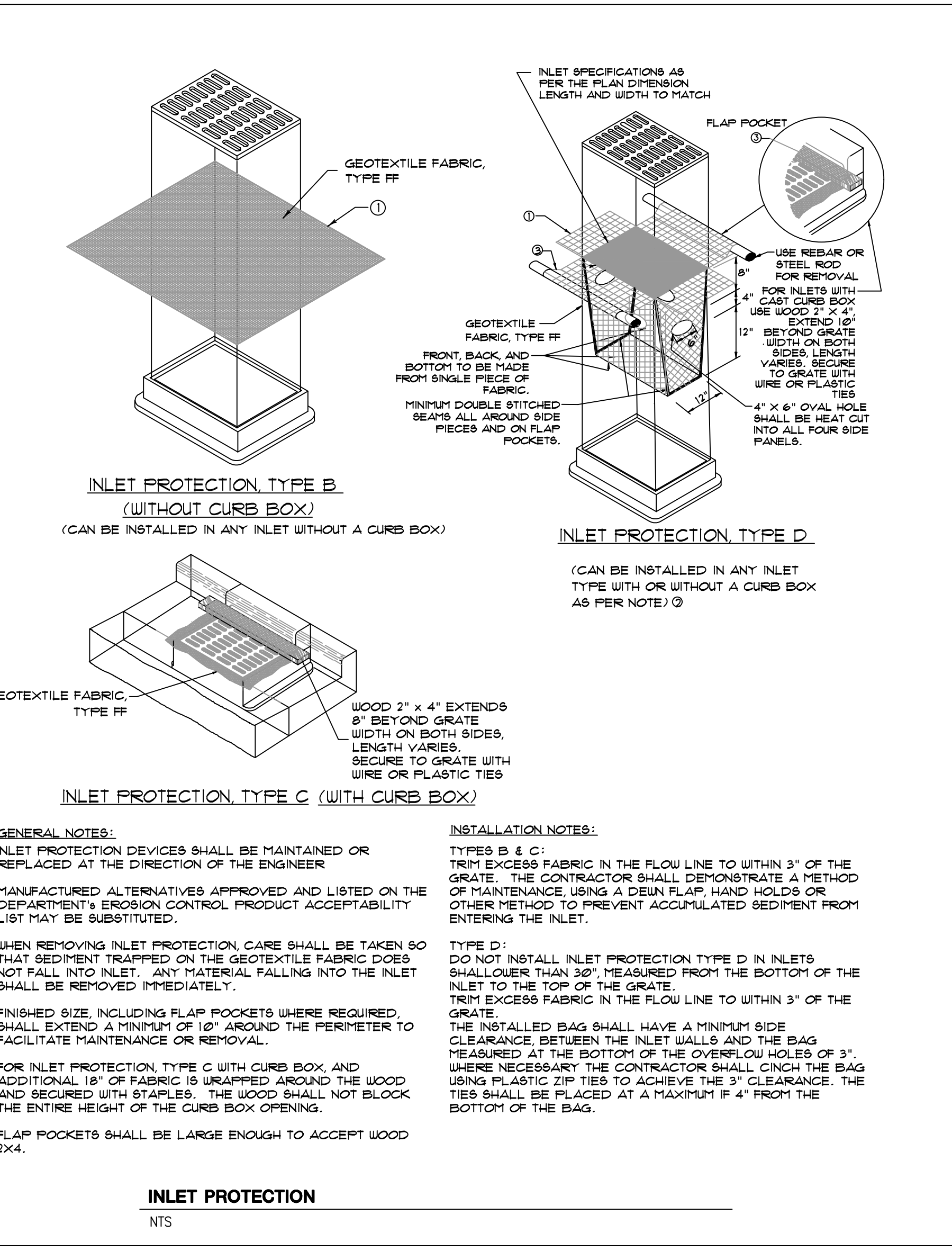
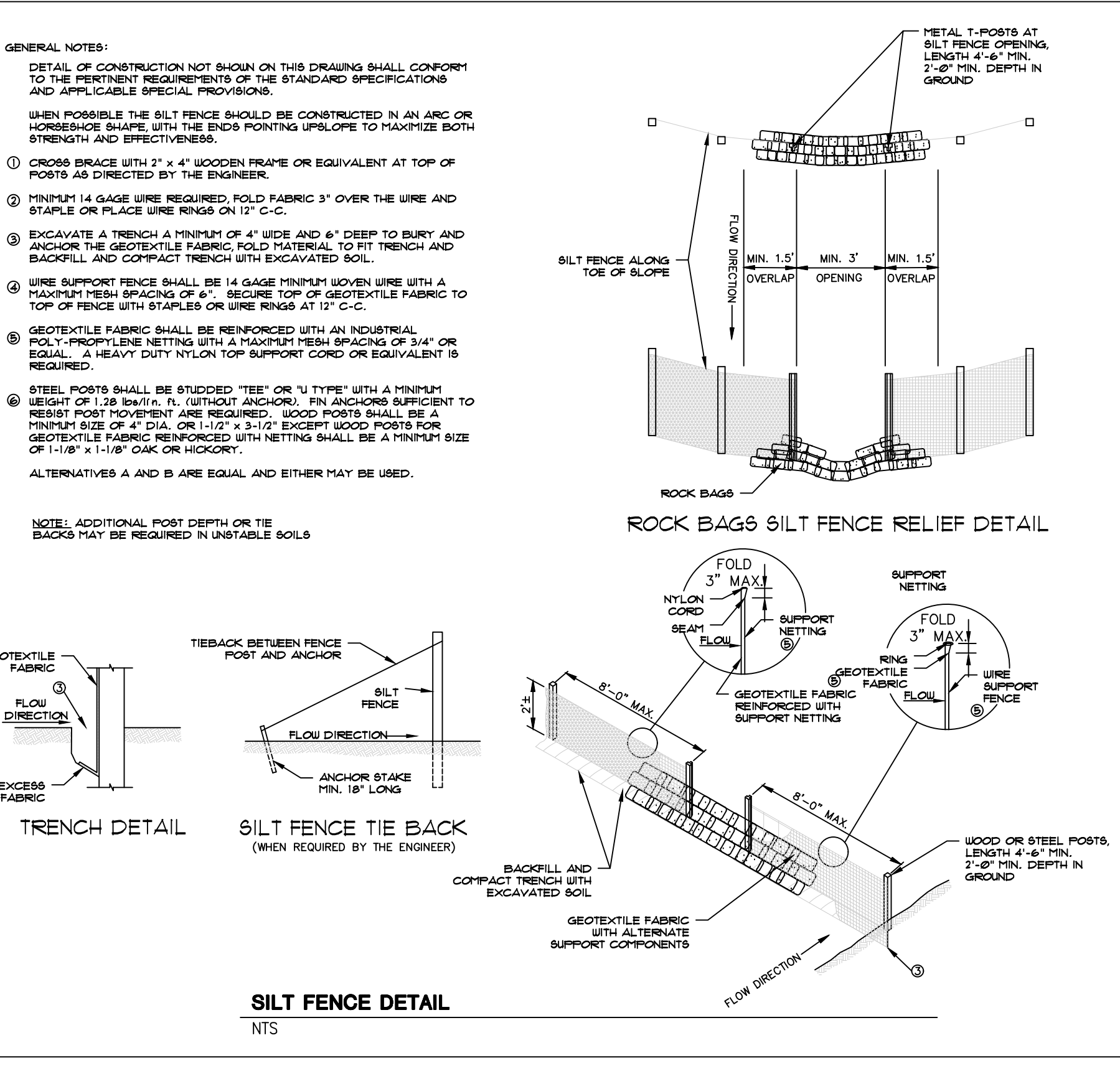


**Storm Structure Table**

#	Structure Details
100	EXISTING STORM MANHOLE RIM = 908.18 Pipe - 101 = 908.62
101	EXISTING CATCH BASIN RIM = 904.88 Pipe - 102 = 902.13 Pipe - 101 = 902.13

**Storm Pipe Table**

Pipe Name	Size	Material	Length	Slope	Description
Pipe - 101	12	RCP	151	1.00%	EXISTING STORM SEWER
Pipe - 102	8	PVC	102	3.17%	PLUMBING CONNECTION



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- MILESTONE ISSUE DATES**
- PRELIMINARY SET:
  - BUDGET SET:
  - LOCAL DESIGN REVIEW SET:
  - PROPOSAL SET:
  - PERMIT SET:
  - CONSTRUCTION SET:
  - RECORD DRAWING SET:
- REVISIONS:**



**SILGAN CROSSROADS REMODEL**

REMODEL & NEW ADDITIONS  
21027 CROSSROADS CIRCLE  
WAUKESHA, WISCONSIN 53186

PROJECT APPROVAL	STRUCTURAL ENGINEER	LANDSCAPE ARCHITECT
AMH	DJS	XXX
DESIGN APPROVAL	CONTRACTOR	PERMITTING
WVY	HARWOOD	XXX

**GRADING AND EROSION CONTROL PLAN**

SCALE: 1" = 20'  
SHEET NUMBER:

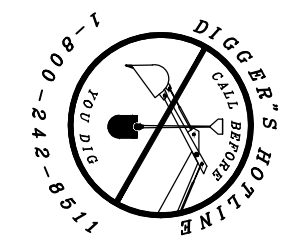
**C1.20**  
PROJECT NUMBER: P13439

LEADERS

ENGINEERS

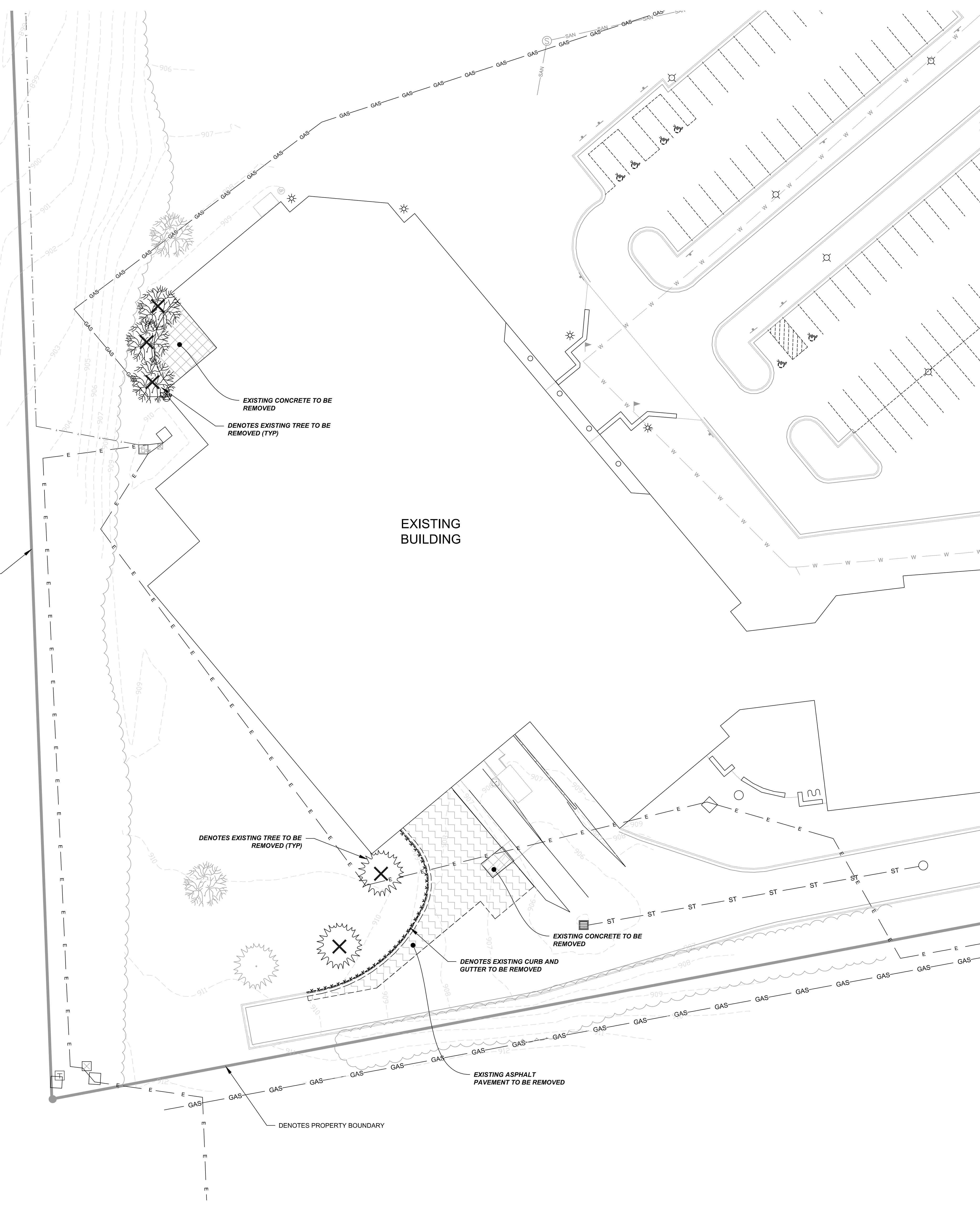
CONTRACTORS

ARCHITECTS



ALL DIMENSIONS SHOWN ON THIS DRAWING ARE TO CENTER UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE MEASURED FROM THE CENTER OF THE ROAD OR DRIVE UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE MEASURED TO THE CENTER OF THE PROPERTY UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE MEASURED TO THE CENTER OF THE ROAD OR DRIVE UNLESS OTHERWISE SPECIFIED. DIMENSIONS SHALL BE MEASURED TO THE CENTER OF THE PROPERTY UNLESS OTHERWISE SPECIFIED.

DENOTES PROPERTY BOUNDARY



EXISTING CONCRETE TO BE REMOVED

DENOTES EXISTING TREE TO BE REMOVED (TYP)

EXISTING BUILDING

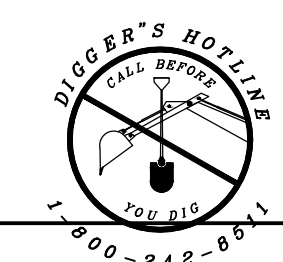
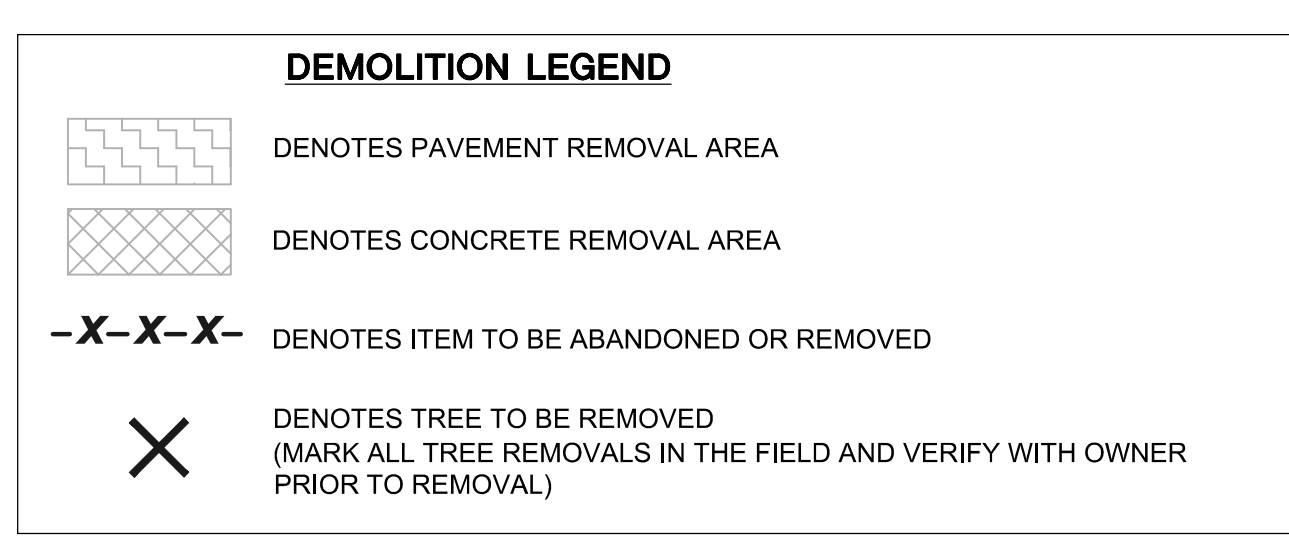
DENOTES EXISTING TREE TO BE REMOVED (TYP)

EXISTING CONCRETE TO BE REMOVED

DENOTES EXISTING CURB AND GUTTER TO BE REMOVED

EXISTING ASPHALT PAVEMENT TO BE REMOVED

DENOTES PROPERTY BOUNDARY



IN ACCORDANCE WITH WISCONSIN STATUTE 180.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADEQUATE NOTICE TO THE DESIGNATED TONE CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED IN THESE DRAWINGS AND FURTHER THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



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LOCAL DESIGN REVIEW SET:

PROPOSAL SET:

PERMIT SET:

CONSTRUCTION SET:

RECORD DRAWING SET:

REVISIONS:

NO.	DESCRIPTION	DATE



**SILGAN CROSSROADS REMODEL**

REMODEL & NEW ADDITION(S)

21027 CROSSROADS CIRCLE

WALKESSHA, WISCONSIN 53186

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PROJECT APPROVALS	STRUCTURAL APPROVALS	LANDSCAPE DESIGN APPROVALS
AMH	DJS	XXX
DESIGN APPROVALS	CONTRACTOR APPROVALS	RELATIONSHIP APPROVALS
NWF	HARWOOD	XXX

SHEET TITLE: DEMOLITION PLAN

SCALE: 1" = 20'

SHEET NUMBER:

**C1.30**

PROJECT NUMBER: **P13439**

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS





**MONUMENT OVERLAY**


**SILGAN / MONUMENT SIGN OVERLAYS**  
 PANEL OVERLAYS FOR DOUBLE SIDED ILLUMINATED MONUMENT SIGN  
 .125 ALUMINUM PANELS WITH ROUTED COPY WITH BACKUP WHITE ACRYLIC  
 PANEL TO BE MAP PAINTED TO MATCH PMS 431 AND ® TO BE 3M WHITE 7725-10 VINYL  
 EXISTING SIGN FACE TO BE CUT OUT AND NEW PANEL TO BE STUD MOUNTED FLUSH  
 \*OPTION\* EXISTING MONUMENT PAINTED TO MATCH PMS 431 C

<p>"We Pledge Your Success"                  PH: (262) 654-0008                  TOLL FREE: (800) 554-4119</p>	Client: SILGAN CONTAINERS	Date: 07-31-24	REVISION Drawing #: 1 (0)	ILLUMINATION: Electrical Requirements: Quantity: 1	Paint Colors (As Shown): <input type="checkbox"/> MATCH PMS 431	Vinyl Film Colors (As Shown): <input type="checkbox"/> 7725-10 WHITE VINYL	Client Signature: Signature: _____ Date: _____
	Address: 21027 CROSSROADS CR	City, State: WAUKESHA, WI 53186	Scale: 1" = 1'	Sign Specifications: NOTED ABOVE			NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.
	City, State: WAUKESHA, WI 53186	Scale: 1" = 1'	Designer: JJ	NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.			

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISHED PAINTED PRODUCT.

**OVERLAY PANELS 1**


**SILGAN / POST & PANEL OVERLAYS**  
 3MM DIBOND PANELS WITH DIGITAL PRINTED VINYL OVERLAY  
 INSTALLED OVER EXISTING SIGN FACE WITH DOUBLE SIDED TAPE  
 \*OPTION\* EXISTING POST & PANEL PAINTED TO MATCH PMS 431 C



<p>"We Pledge Your Success"                  PH: (262) 654-0008                  TOLL FREE: (800) 554-4119</p>	Client: SILGAN CONTAINERS	Date: 07-30-24	REVISION Drawing #: 1 (0)	ILLUMINATION: Electrical Requirements: Quantity: NOTED	Paint Colors (As Shown): <input type="checkbox"/> OPTION MATCH PMS 431	Vinyl Film Colors (As Shown): <input type="checkbox"/> DIGITAL PRINT	Client Signature: Signature: _____ Date: _____
	Address: 21027 CROSSROADS CR	City, State: WAUKESHA, WI 53186	Scale: 1" = 1'	Sign Specifications: NOTED ABOVE			NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.
	City, State: WAUKESHA, WI 53186	Scale: 1" = 1'	Designer: JJ	NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.			

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISHED PAINTED PRODUCT.

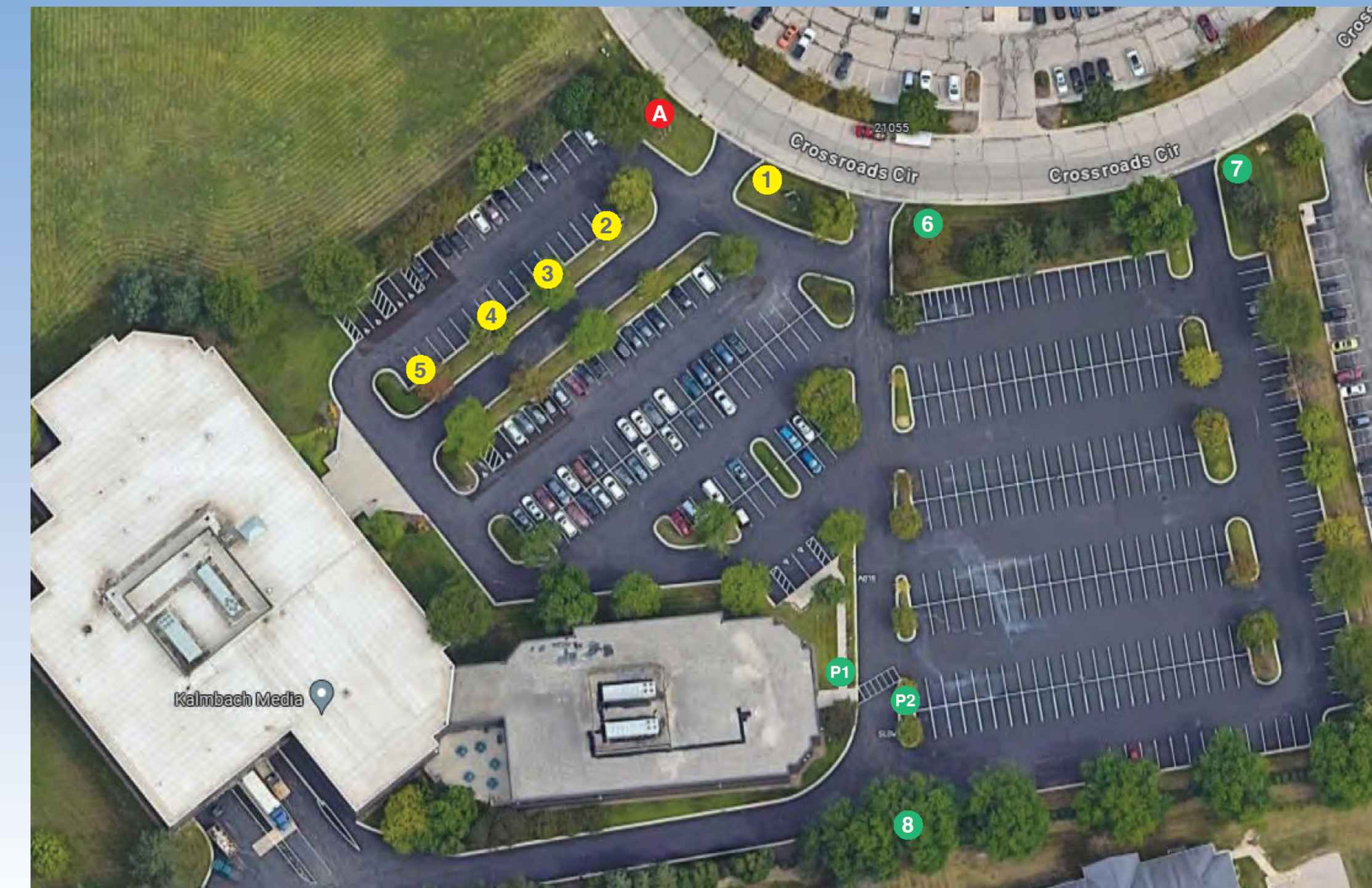
**OVERLAY PANELS 2**


**SILGAN / POST & PANEL OVERLAYS**  
 3MM DIBOND PANELS WITH DIGITAL PRINTED VINYL OVERLAY  
 INSTALLED OVER EXISTING SIGN FACE WITH DOUBLE SIDED TAPE  
 \*OPTION\* EXISTING POST & PANEL PAINTED TO MATCH PMS 431 C



<p>"We Pledge Your Success"                  PH: (262) 654-0008                  TOLL FREE: (800) 554-4119</p>	Client: SILGAN CONTAINERS	Date: 07-30-24	REVISION Drawing #: 1 (0)	ILLUMINATION: Electrical Requirements: Quantity: NOTED	Paint Colors (As Shown): <input type="checkbox"/> OPTION MATCH PMS 431	Vinyl Film Colors (As Shown): <input type="checkbox"/> DIGITAL PRINT	Client Signature: Signature: _____ Date: _____
	Address: 21027 CROSSROADS CR	City, State: WAUKESHA, WI 53186	Scale: 1" = 1'	Sign Specifications: NOTED ABOVE			NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.
	City, State: WAUKESHA, WI 53186	Scale: 1" = 1'	Designer: JJ	NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.			

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISHED PAINTED PRODUCT.

**SITE PLAN**


<p>"We Pledge Your Success"                  PH: (262) 654-0008                  TOLL FREE: (800) 554-4119</p>	Client: SILGAN CONTAINERS	Date: 07-30-24	REVISION Drawing #: 1 (0)	ILLUMINATION: Electrical Requirements: Quantity: NOTED	Paint Colors (As Shown): <input type="checkbox"/> MATCH PMS 431	Vinyl Film Colors (As Shown): <input type="checkbox"/> DIGITAL PRINT	Client Signature: Signature: _____ Date: _____
	Address: 21027 CROSSROADS CR	City, State: WAUKESHA, WI 53186	Scale: NA	Sign Specifications: NOTED ABOVE			NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.
	City, State: WAUKESHA, WI 53186	Scale: NA	Designer: JJ	NOTICE: Michael's Sign, Inc. does NOT provide primary electrical to sign location - RESPONSIBILITY OF OTHERS The Uses and design contained in this original and unapproved drawing are the sole property of Michael's Sign, Inc. and MAY NOT BE USED OR REPRODUCED in whole or in part without written permission.			

NOTE: DUE TO THE PHYSICAL LIMITATIONS OF THE PAPER AND INK INVOLVED IN THIS PRINTING PROCESS, THIS CUSTOM ARTWORK IS NOT INTENDED TO PROVIDE AN EXACT MATCH TO THE ACTUAL FINISHED PAINTED PRODUCT.



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MILESTONE ISSUE DATES

PRELIMINARY SET: 6/14/2024

BUDGET SET: 7/11/2024

LOCAL DESIGN REVIEW SET:

PROPOSAL SET:

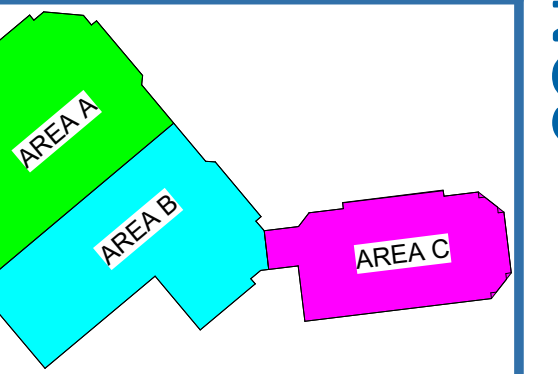
PERMIT SET:

CONSTRUCTION SET:

RECORD DRAWING SET:

REVISIONS:

ADD-A | ADDENDUM - A | XXXXXXXX



PROJECT NAME:  
SILGAN CROSSROADS  
REMODEL

PROJECT DESCRIPTION:  
REMODEL & NEW ADDITION(S)

PROPERTY ADDRESS:  
21027 CROSSROADS CIRCLE

CITY/STATE/ZIP:  
WAUKESHA, WISCONSIN 53186

ALL WORK TO BE COMPLETED AS SHOWN, AND  
IN ACCORDANCE WITH THE LATEST EDITION OF  
THE MSI GENERAL MASTER SPECIFICATION

PROJECT ARCHITECT: AMB	STRUCTURAL ENGINEER: DJS	LANDSCAPE DESIGNER: XXX
DESIGN ARCHITECT: NMY	CIVIL ENGINEER: HAWOOD	REVIEWED BY: XXX

SHEET TITLE:  
ARCHITECTURAL SITE PLAN

SHEET NUMBER:  
AS-101

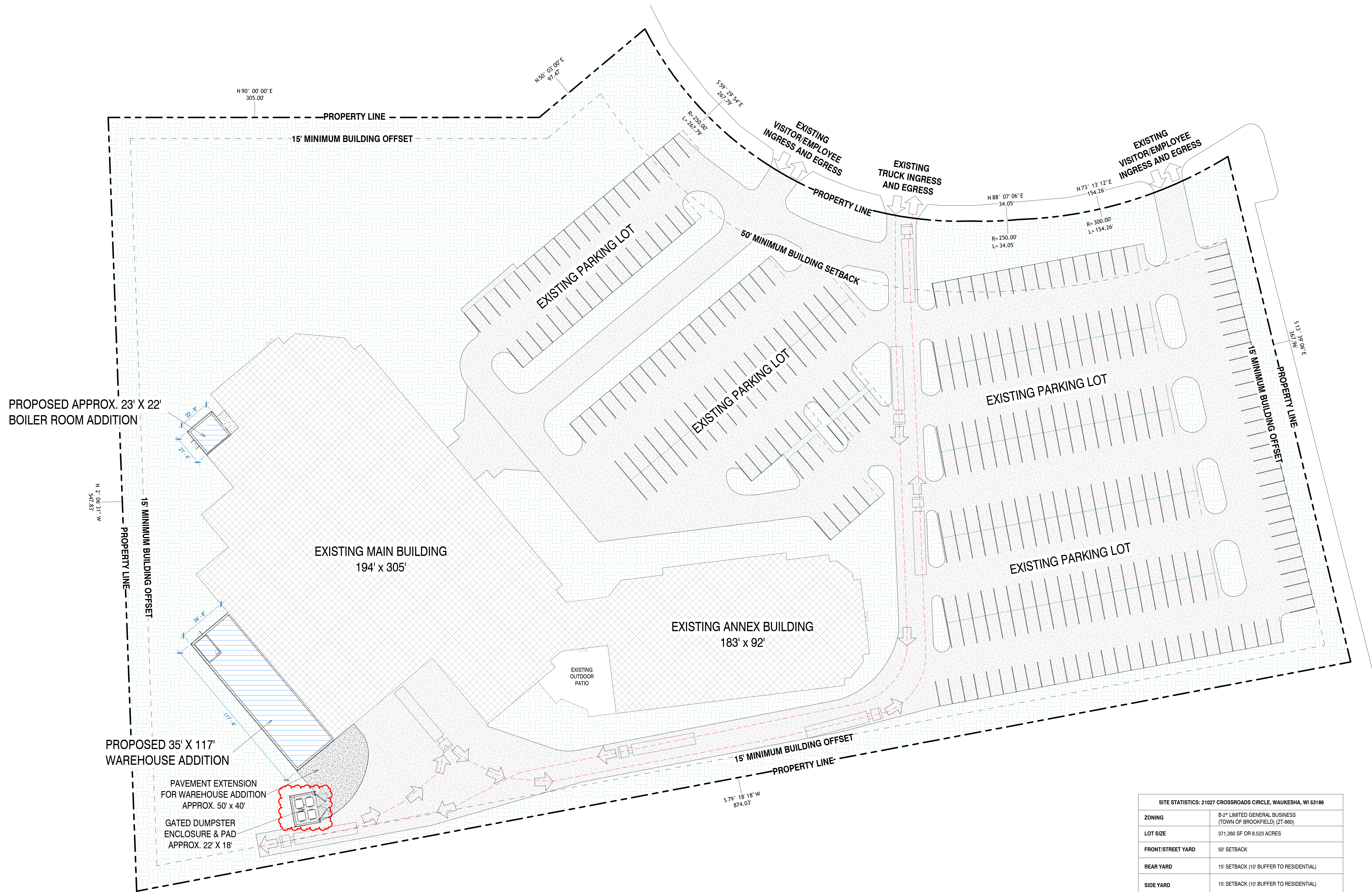
PROJECT NUMBER:  
P13439

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS



1 ARCHITECTURAL SITE PLAN  
1" = 30'-0"



NORTH

SITE STATISTICS: 21027 CROSSROADS CIRCLE, WAUKESHA, WI 53186	
ZONING	B-2* LIMITED GENERAL BUSINESS (TOWN OF BROOKFIELD) (ZT-860)
LOT SIZE	371,260 SF OR 8.523 ACRES
FRONT/STREET YARD	50' SETBACK
REAR YARD	15' SETBACK (10' BUFFER TO RESIDENTIAL)
SIDE YARD	15' SETBACK (10' BUFFER TO RESIDENTIAL)
BUILDING FOOT PRINT	EXISTING 118,354 SF ± 50% FAR
BUILDING HEIGHT	UNLIMITED
PAVING	
TOTAL IMPERVIOUS SURFACES	75% MAX ALLOWED ± TBD PROPOSED
TOTAL GREENSPACE	
PARKING SPACES	EXISTING 350 PARKING SPACES

SITE INFO  
3/16" = 1'-0"

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS

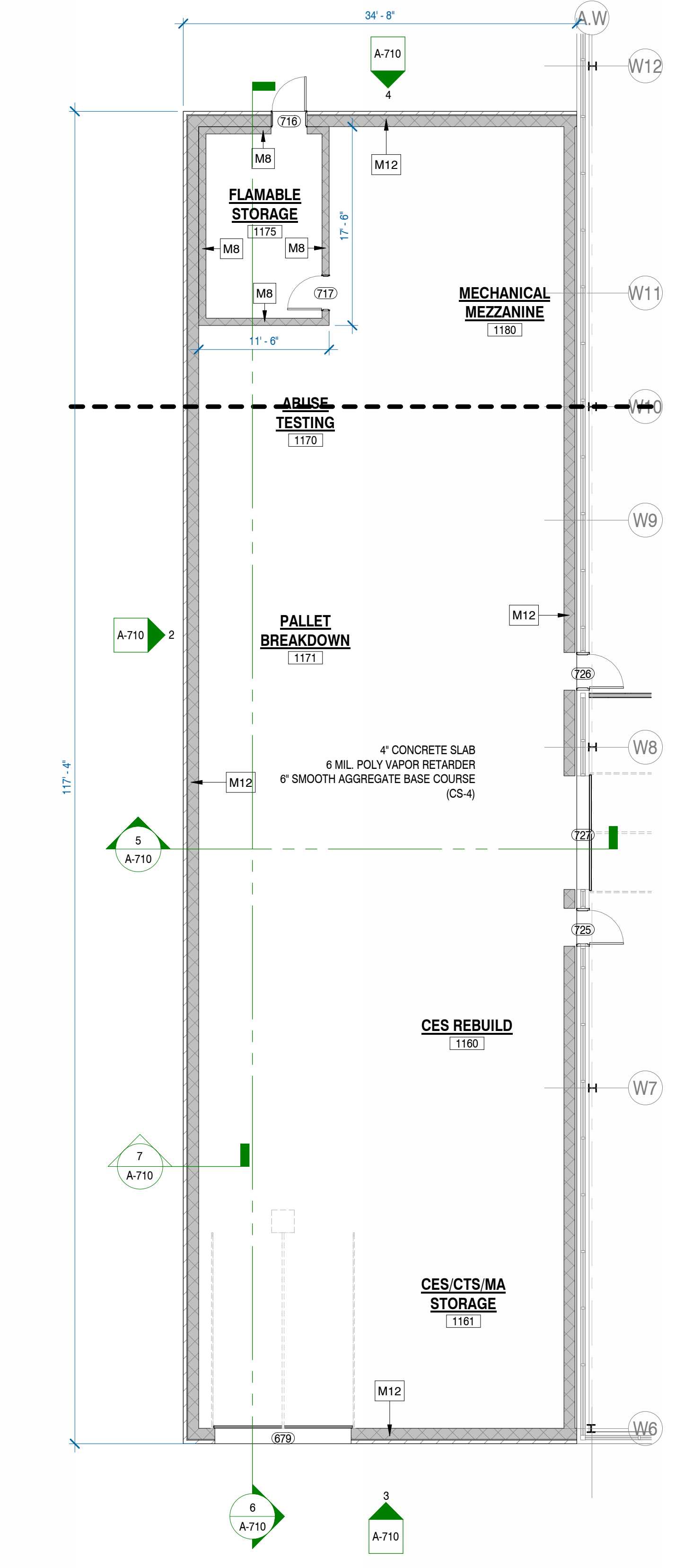
- ### GENERAL NOTES - FLOOR PLAN(S)
- A. MOISTURE RESISTANT GWS AT ALL LOCATIONS EXPOSED TO MOISTURE (BATHROOMS, JANITOR/PLUMBING ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOW AND DOOR HEAD AND JAMB RETURNS)
  - B. ALL WALL AREAS DESIGNATED TO RECEIVE TILE WALL SHALL HAVE CEMENT BOARD BACKER INSTALLED, EXCEPT AT TILE BASE AREAS WHICH CAN BE INSTALLED TO GYPSUM BOARD. VERIFY RESPONSIBILITY WITH SCOPE OF WORK.
  - C. APPLIANCES, FURNITURE, AND EQUIPMENT BY OWNER, SHOWN FOR REFERENCE ONLY. (UNLESS OTHERWISE NOTED)
  - D. ALL WALLS NOT LABELED WITH A WALL TYPE, SHOULD FOLLOW THE TYPICAL TYPE THAT IS CALLED OUT ON PLANS.
  - E. PROVIDE BLOCKING IN WALLS WHERE CABINETS, TOILET ACCESSORIES, GRAB BARS, WALL MOUNTED T.V'S, ETC. ARE SHOWN ON PLANS.
  - F. REFER TO SHEET A-601 FOR DOOR AND WINDOW SCHEDULES.
  - G. REFER TO SHEET I-601 FOR ROOM, DOOR AND WINDOW FINISHES.

### SHEET NOTES - FLOOR PLAN(S)

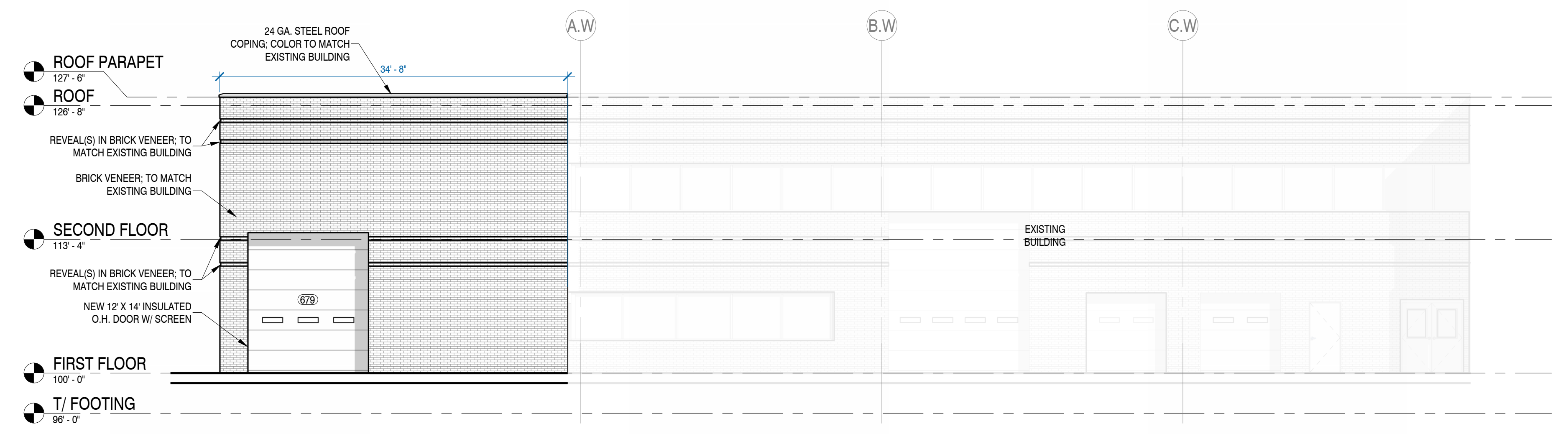
NO.	DESCRIPTION
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### SHEET NOTES - EXT. ELEVATIONS

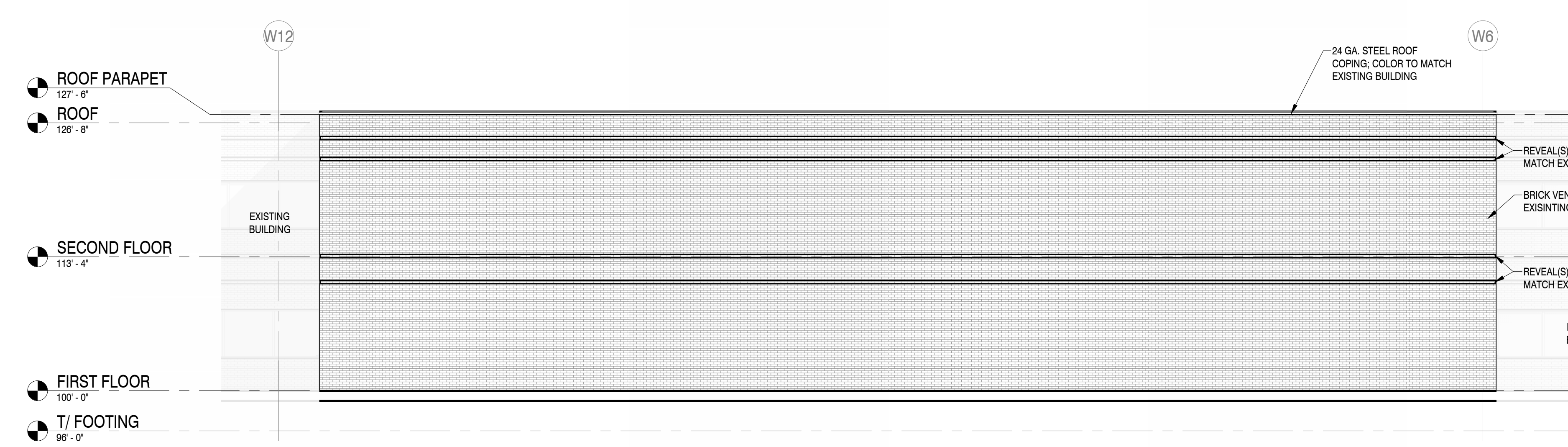
NO.	DESCRIPTION
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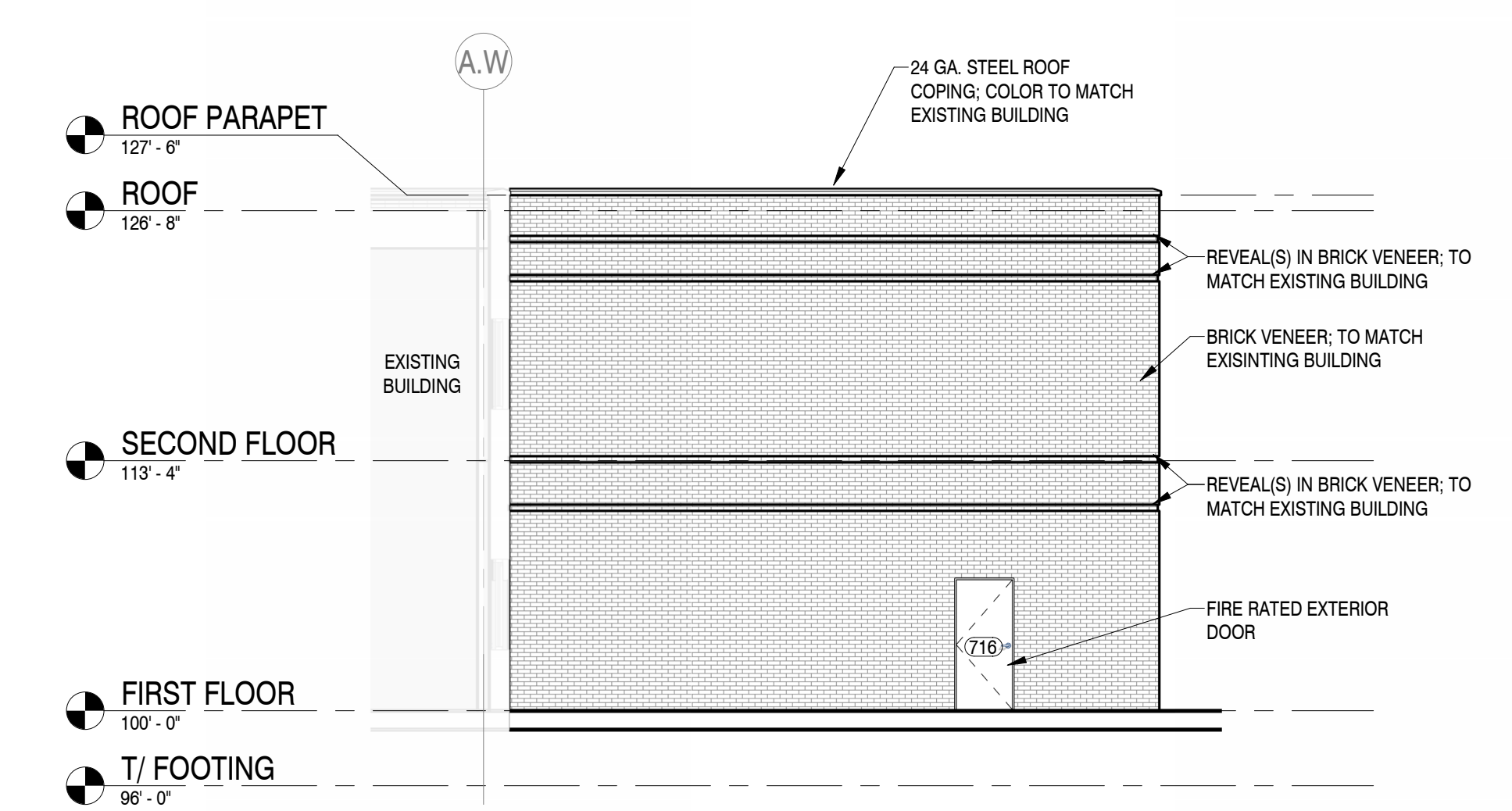
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1/8" = 1'-0"



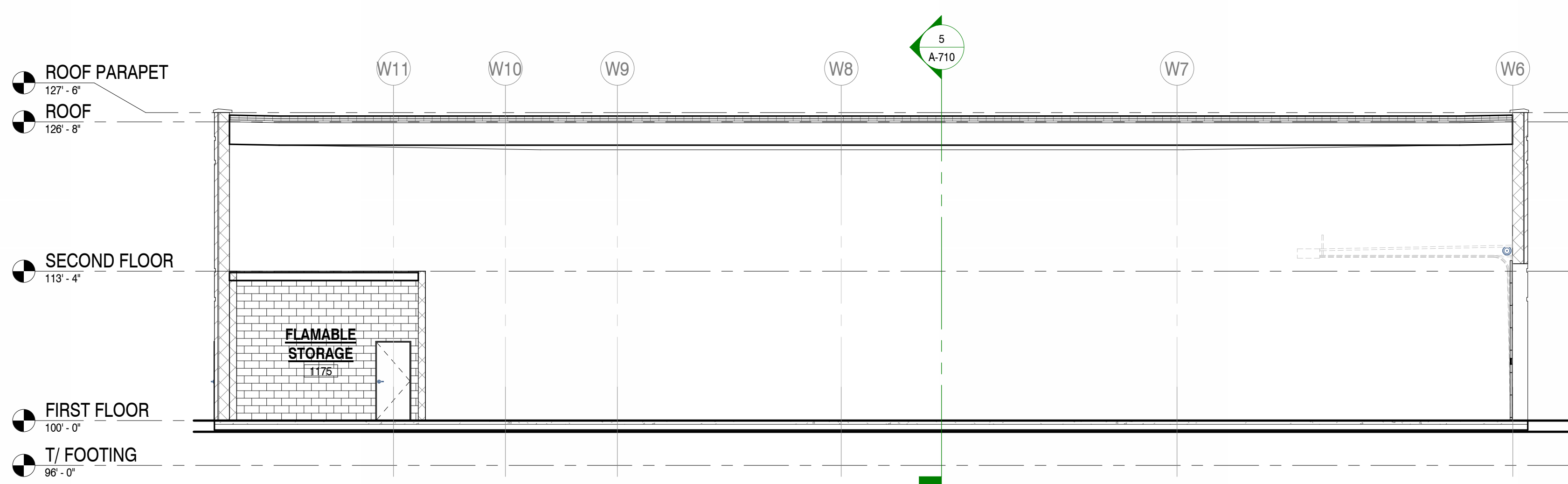
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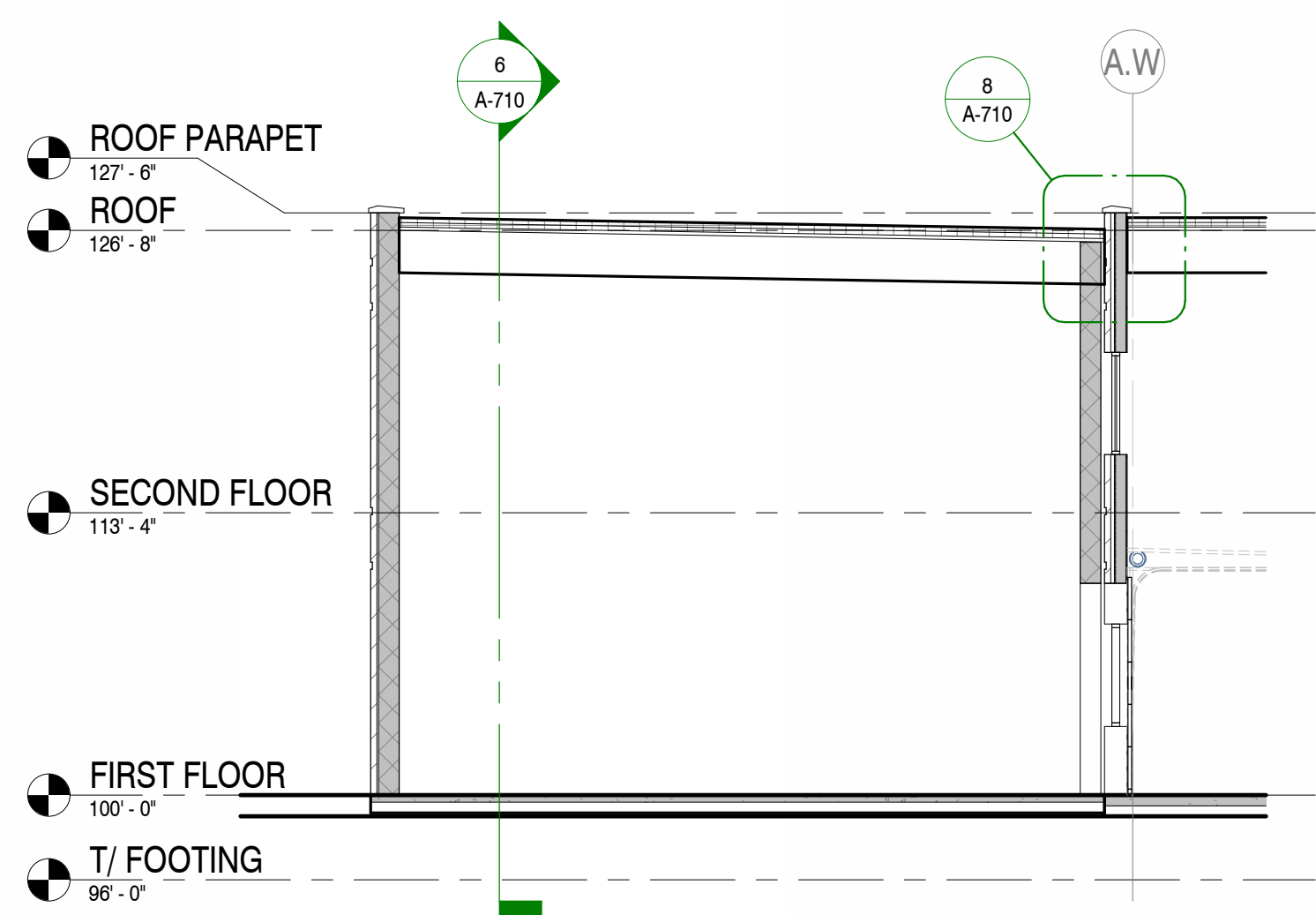
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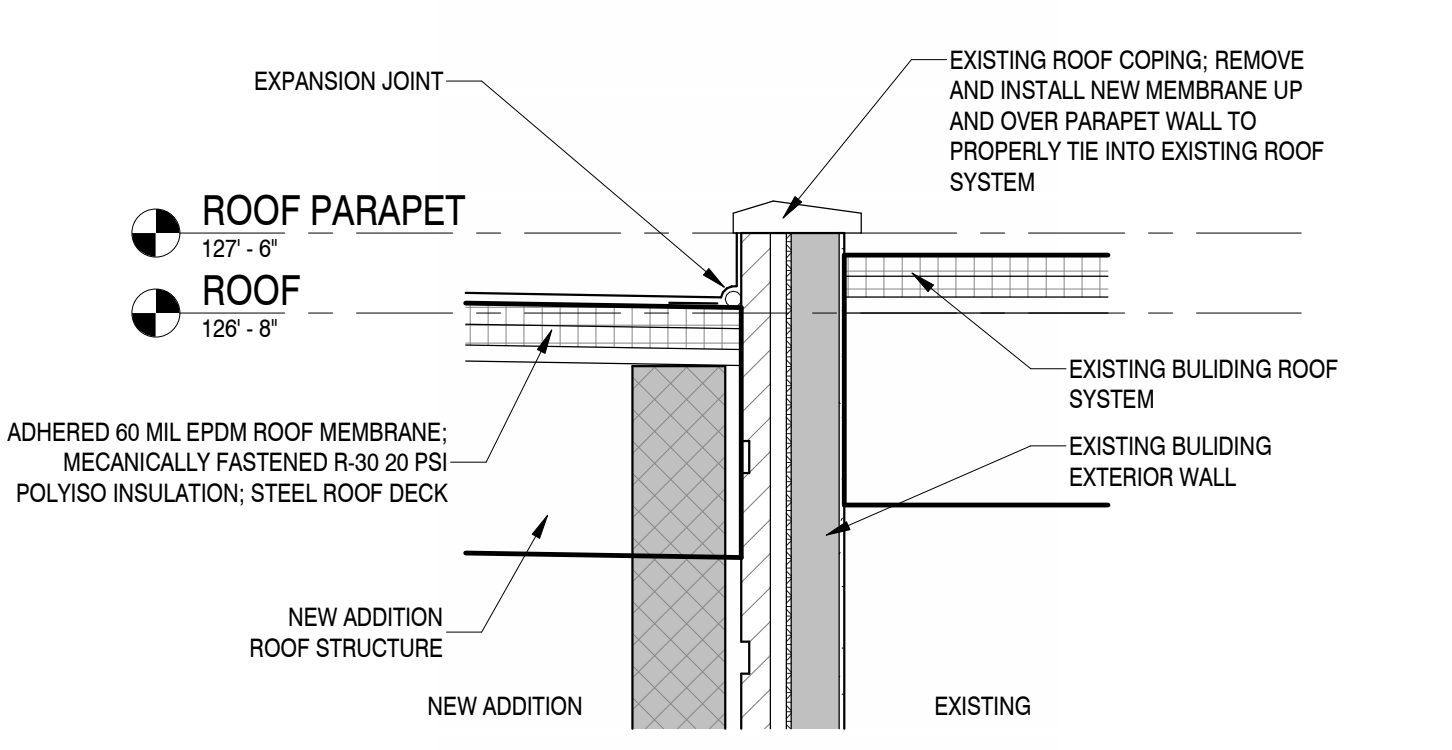
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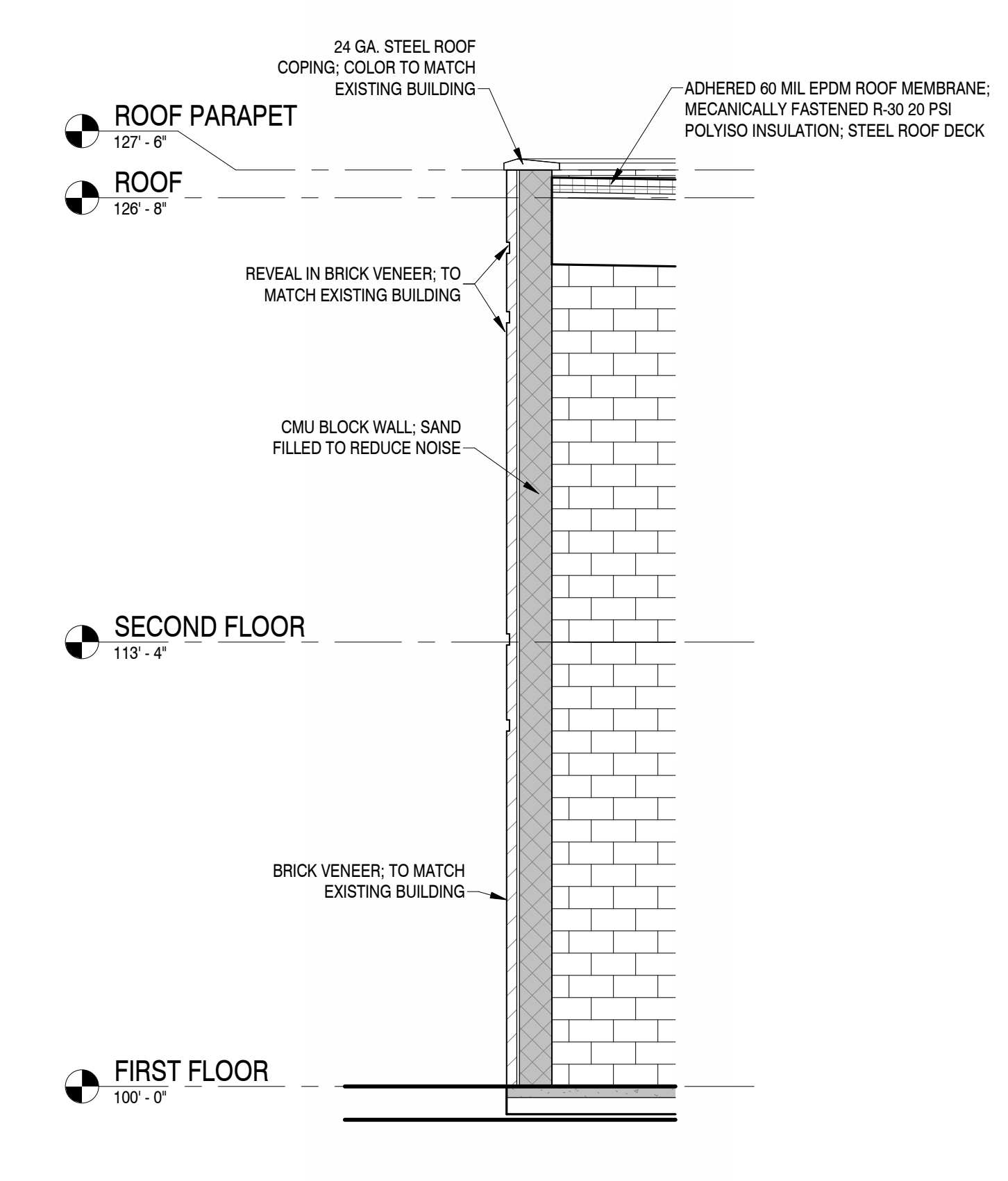
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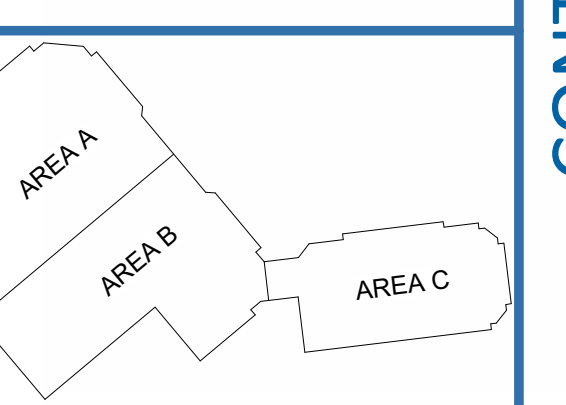
5  
1/8" = 1'-0"



8  
1/2" = 1'-0"



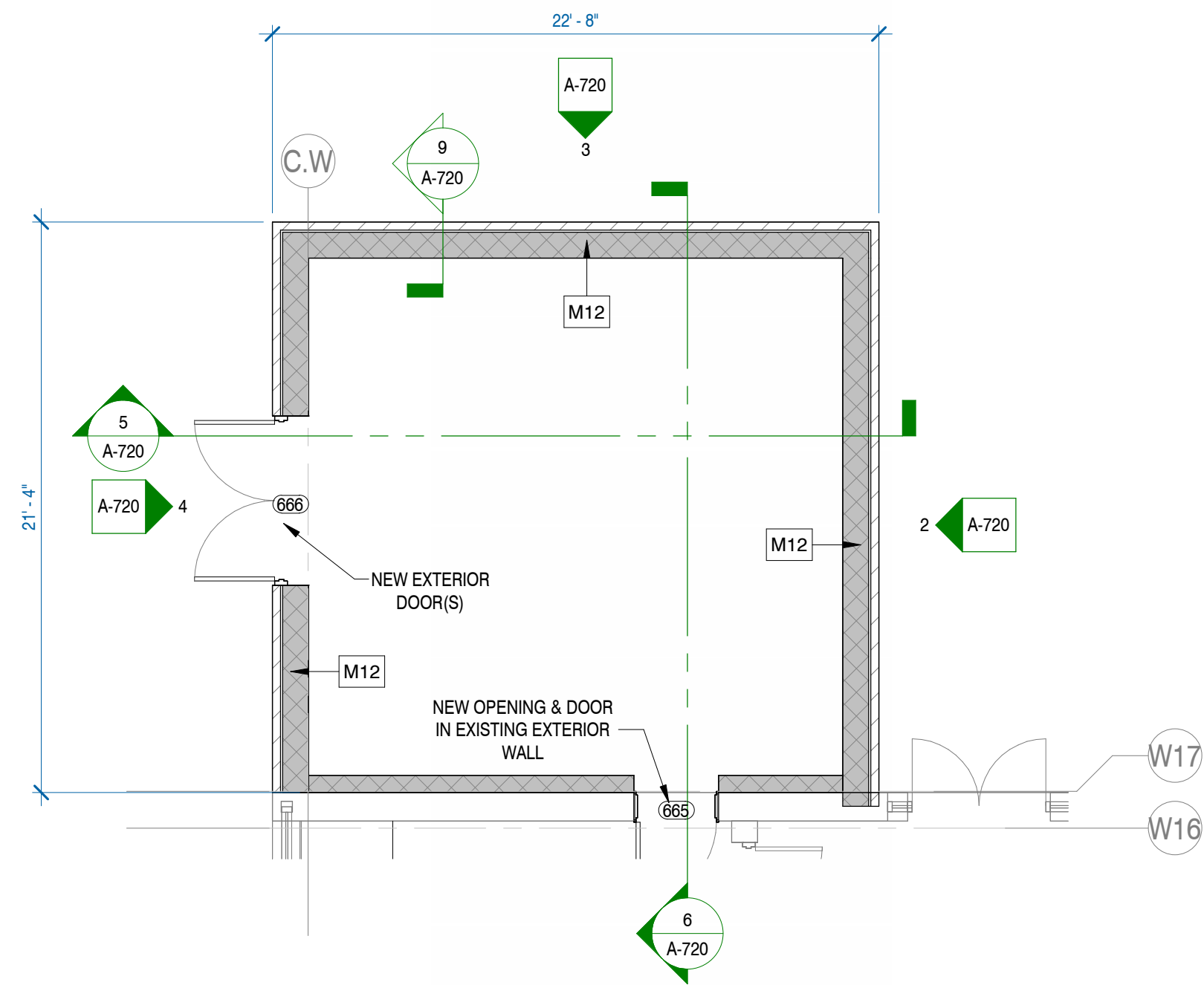
7  
1/4" = 1'-0"


 PROJECT NAME:  
**SILGAN CROSSROADS REMODEL**  
 PROJECT DESCRIPTION:  
 REMODEL & NEW ADDITIONS  
 ADDRESS ADDRESS:  
 21027 CROSSROADS CIRCLE  
 CITY/STATE/ZIP:  
 WAUKESHA, WISCONSIN 53186  
 ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

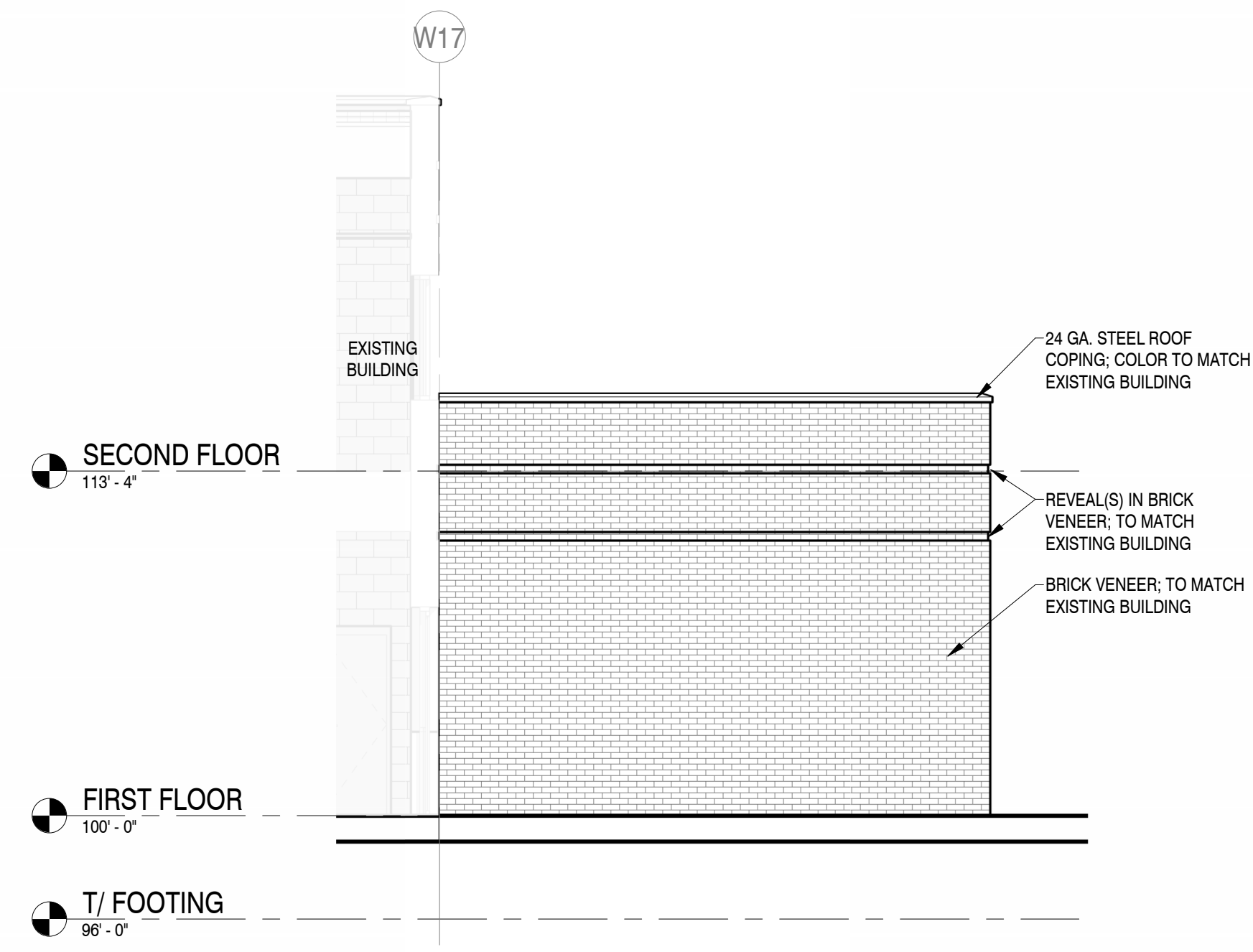
PROJECT ARCHITECT	STRUCTURAL ENGINEER	LANDSCAPE DESIGNER
AMH	DJS	XXX
DESIGN ARCHITECT	CIVIL ENGINEER	REVIEWER BY
NAV	HAHWOOD	XXX

 SHEET TITLE:  
**WAREHOUSE ADDITION**  
 SHEET NUMBER:  
**A-710**  
 PROJECT NUMBER:  
**P13439**  
 PROJECT NUMBER: P13439

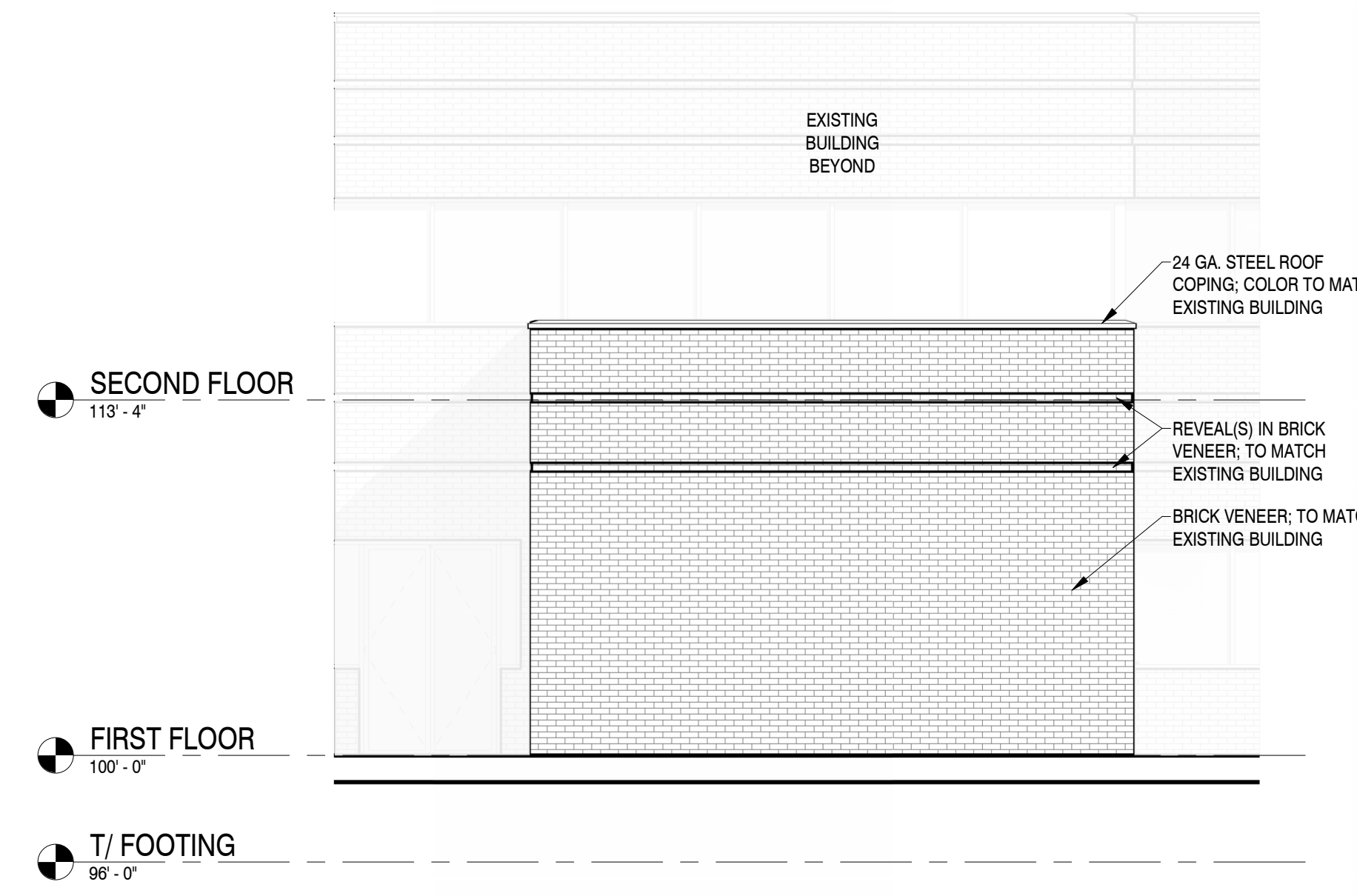




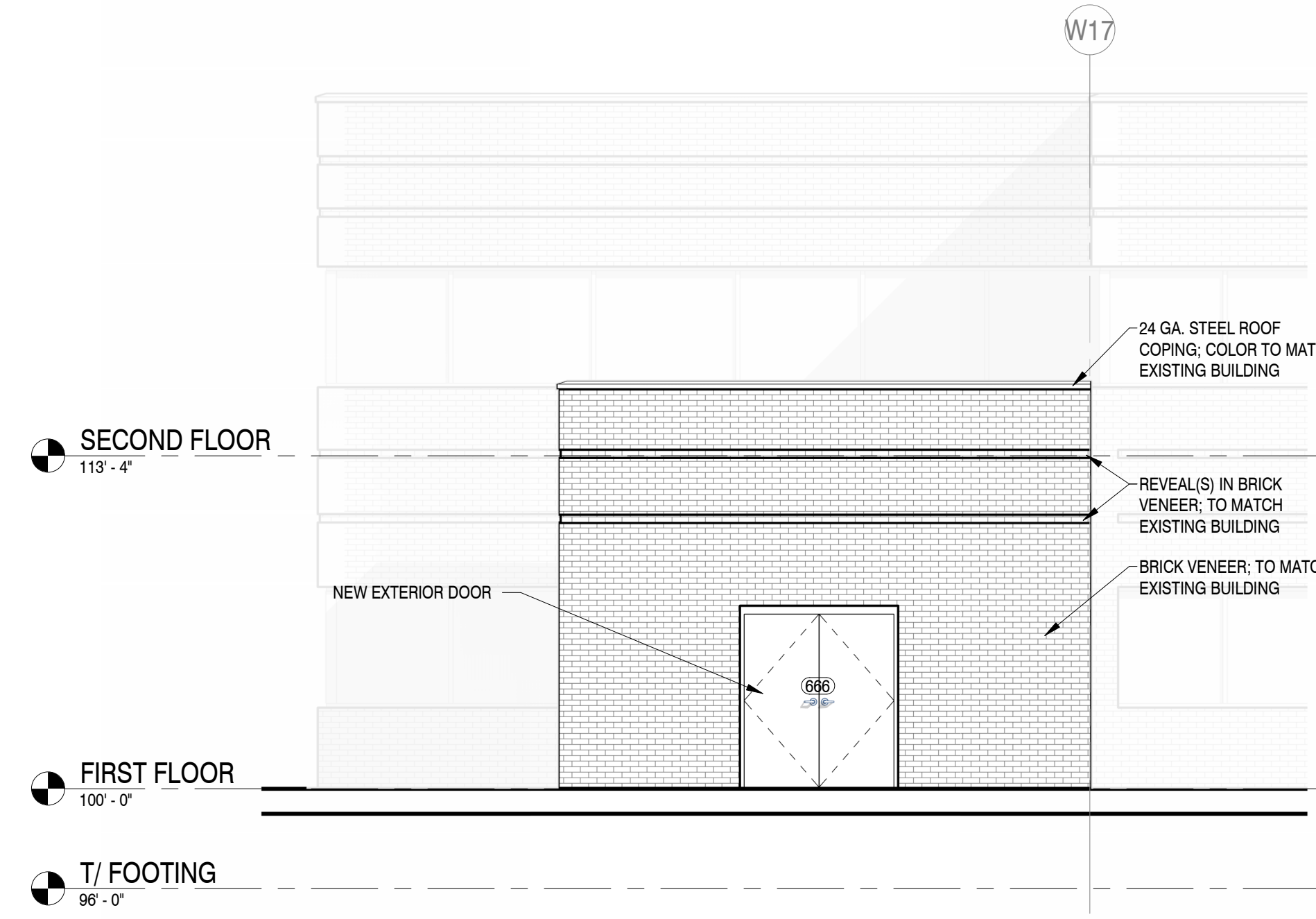
1 FIRST FLOOR PLAN - BOILER ROOM ADDITION  
3/16" = 1'-0"



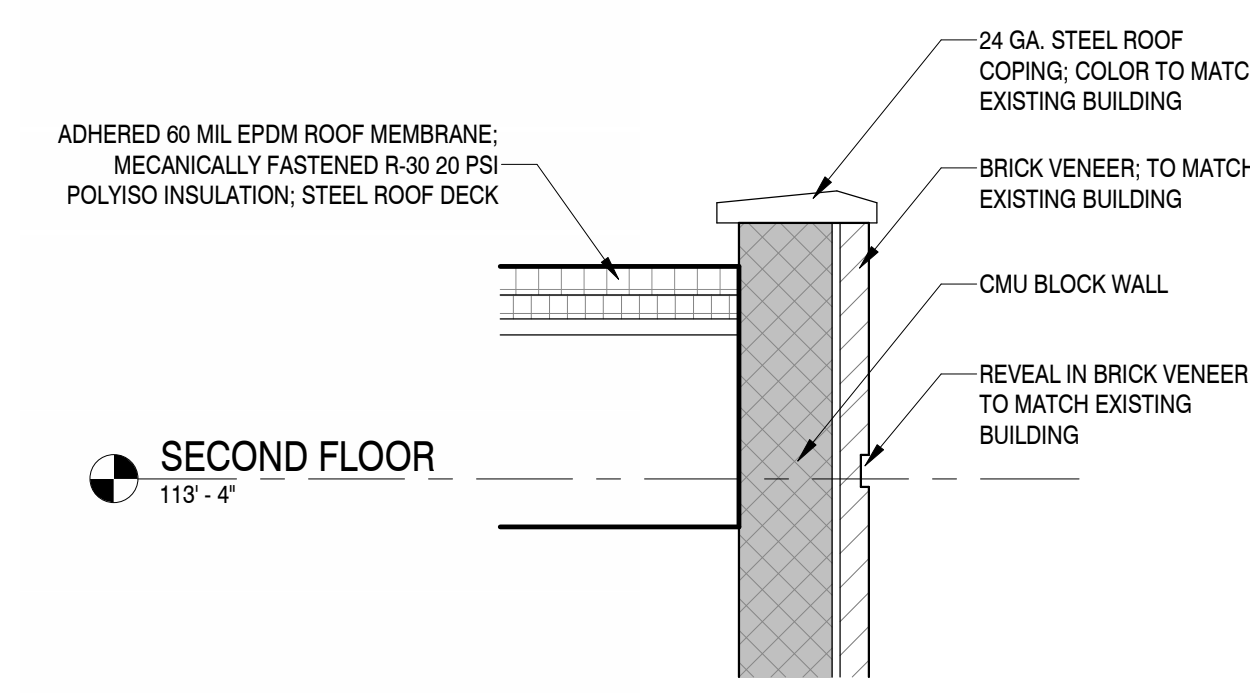
2 BOILER ROOM ADDITION - EAST ELEVATION  
3/16" = 1'-0"



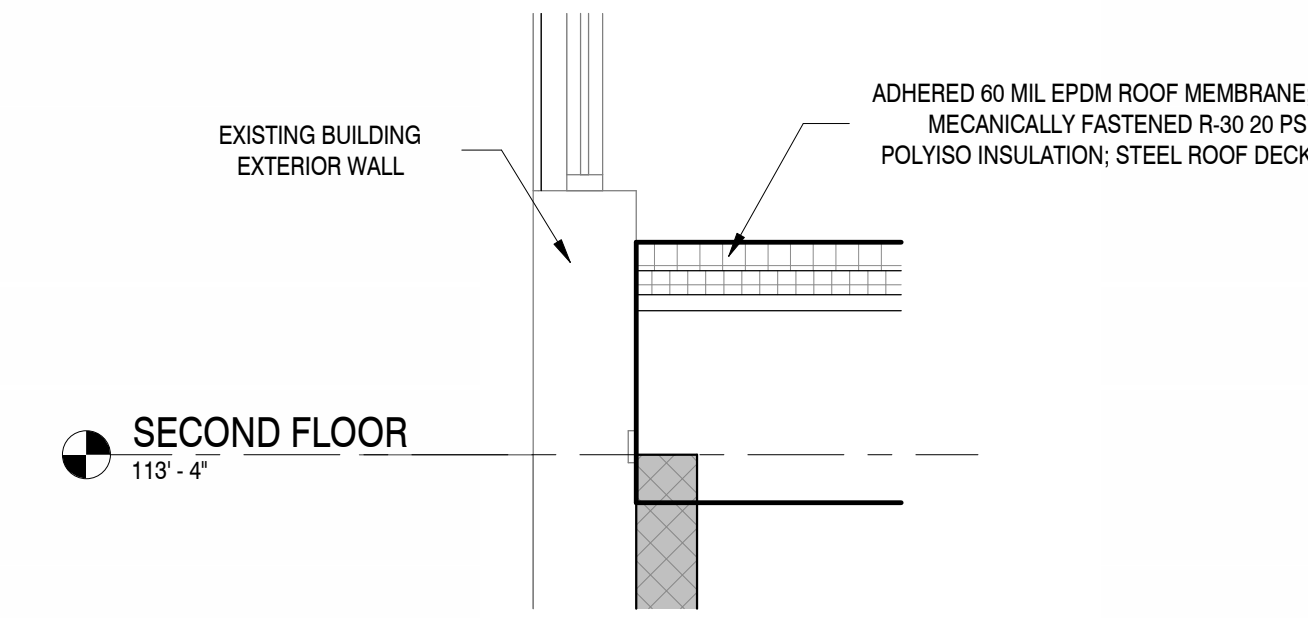
3 BOILER ROOM ADDITION - NORTH ELEVATION  
3/16" = 1'-0"



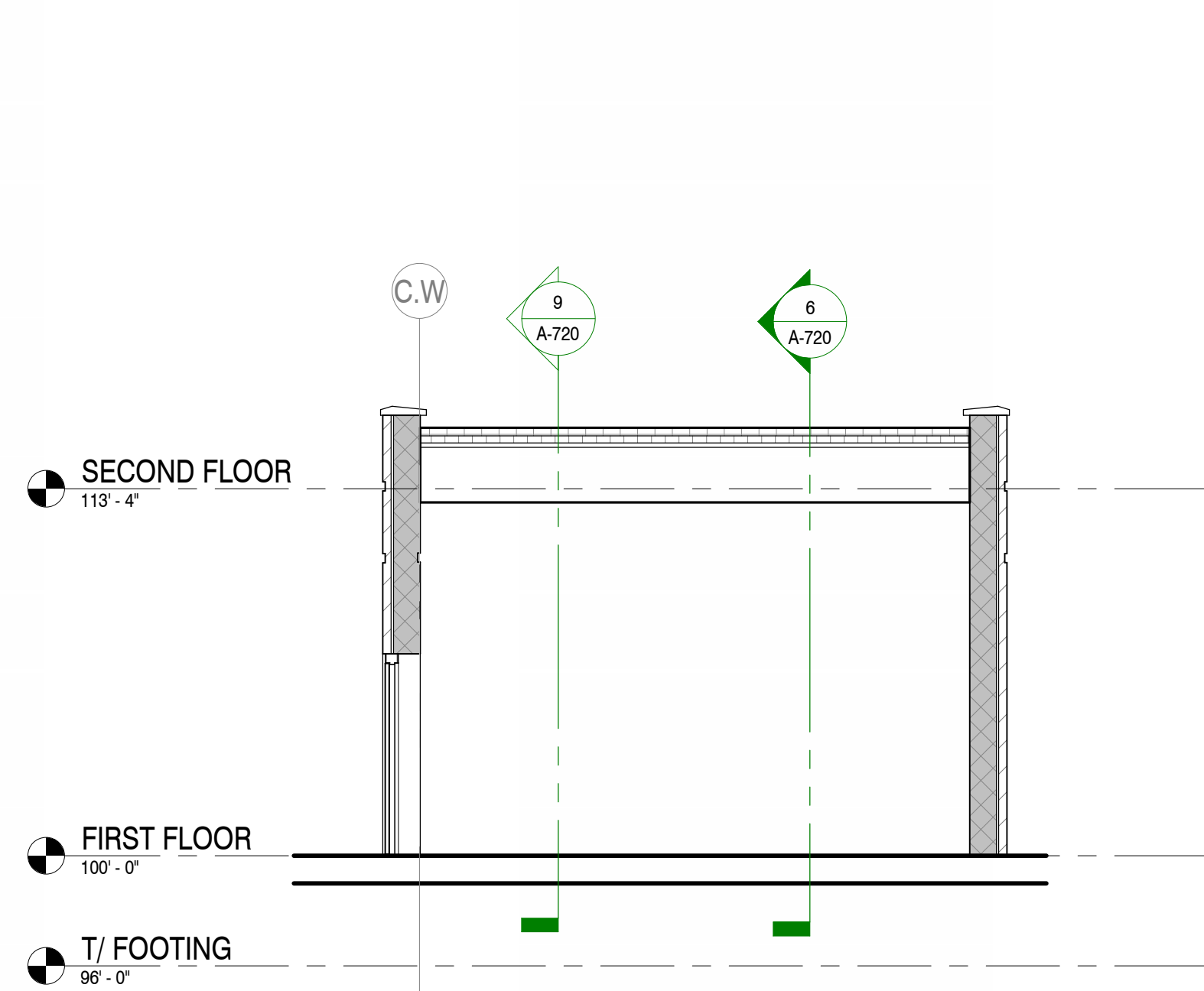
4 BOILER ROOM ADDITION - WEST ELEVATION  
3/16" = 1'-0"



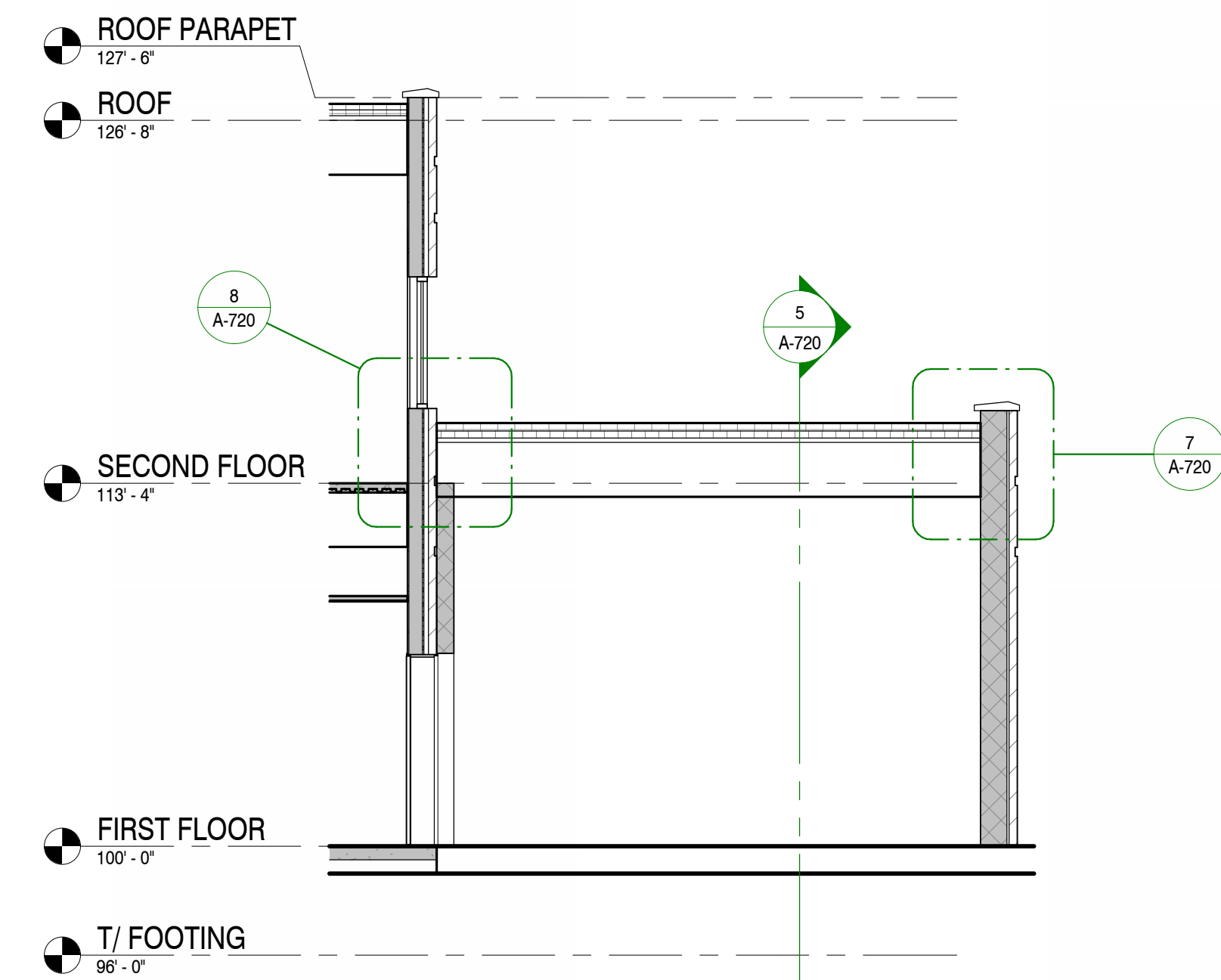
7 BOILER ADDITION ROOF EDGE DETAIL  
1/2" = 1'-0"



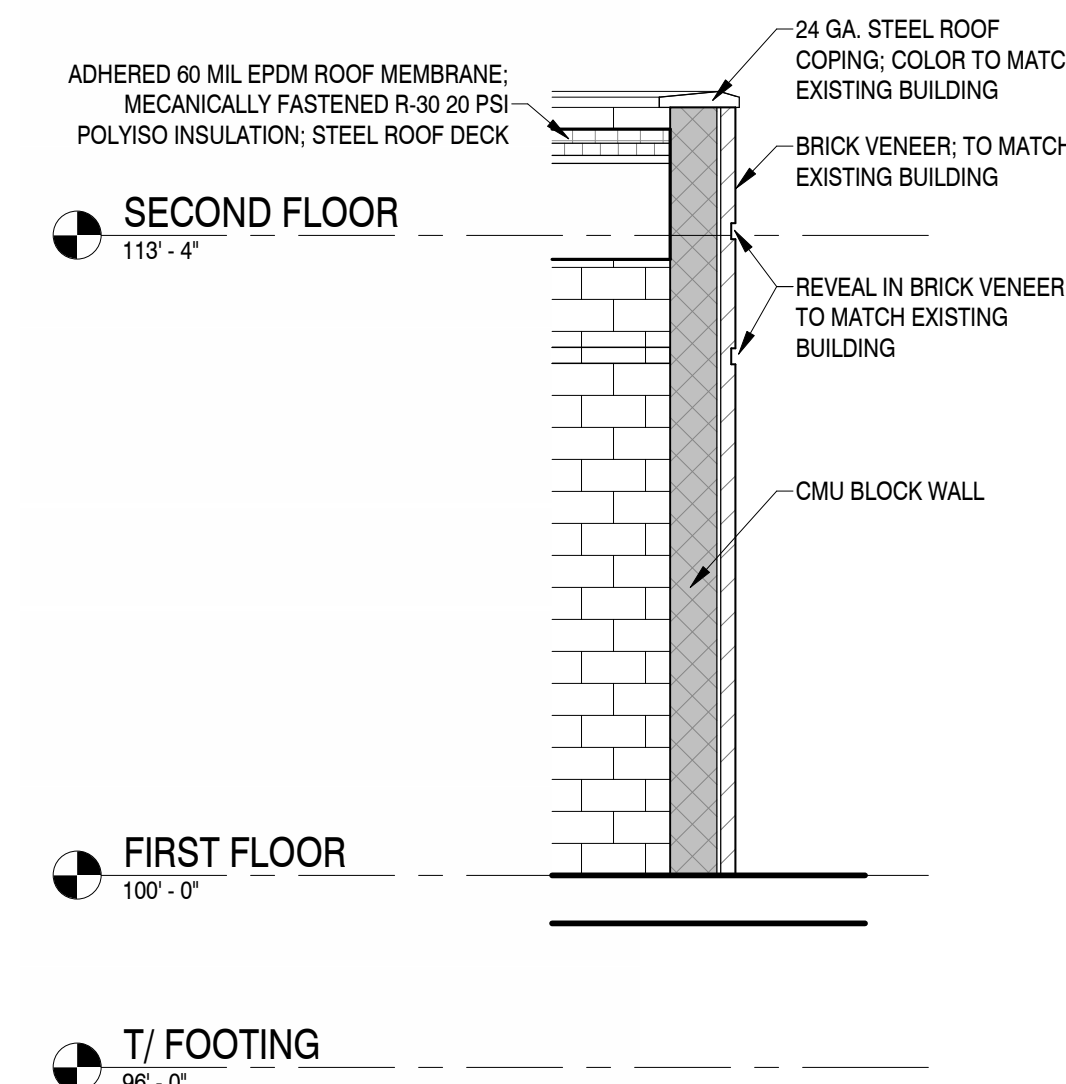
8 BOILER ADDITION TO EXISTING DETAIL  
1/2" = 1'-0"



6 BOILER ADDITION BUILDING SECTION 1  
3/16" = 1'-0"



6 BOILER ADDITION BUILDING SECTION 2  
3/16" = 1'-0"



9 TYP. BOILER ROOM ADDITION WALL SECTION  
1/4" = 1'-0"

- GENERAL NOTES - FLOOR PLAN(S)**
- MOISTURE RESISTANT GWS AT ALL LOCATIONS EXPOSED TO MOISTURE (BATHROOMS, JANITOR/PLUMBING ROOMS, KITCHENS, ETC. AND EXTERIOR WINDOW AND DOOR HEAD AND JAMB RETURNS)
  - ALL WALL AREAS DESIGNATED TO RECEIVE TILE WALL SHALL HAVE CEMENT BOARD BACKER INSTALLED, EXCEPT AT TILE BASE AREAS WHICH CAN BE INSTALLED TO GYPSUM BOARD. VERIFY RESPONSIBILITY WITH SCOPE OF WORK.
  - APPLIANCES, FURNITURE, AND EQUIPMENT BY OWNER, SHOWN FOR REFERENCE ONLY. (UNLESS OTHERWISE NOTED)
  - ALL WALLS NOT LABELED WITH A WALL TYPE, SHOULD FOLLOW THE TYPICAL TYPE THAT IS CALLED OUT ON PLANS.
  - PROVIDE BLOCKING IN WALLS WHERE CABINETS, TOILET ACCESSORIES, GRAB BARS, WALL MOUNTED TV'S, ETC. ARE SHOWN ON PLANS.
  - REFER TO SHEET A-601 FOR DOOR AND WINDOW SCHEDULES.
  - REFER TO SHEET I-601 FOR ROOM, DOOR AND WINDOW FINISHES.

**SHEET NOTES - FLOOR PLAN(S)**

NOTE: THESE NOTES APPLY ONLY TO THIS SHEET

NO.	DESCRIPTION

**SHEET NOTES - EXT. ELEVATIONS**

NOTE: THESE NOTES APPLY ONLY TO THIS SHEET

NO.	DESCRIPTION



DESIGNBUILD

MSI GENERAL CORPORATION  
W215 E. WISCONSIN AVE.  
NASHOTAH, WI 53058  
262.367.3661 | MSIGENERAL.COM

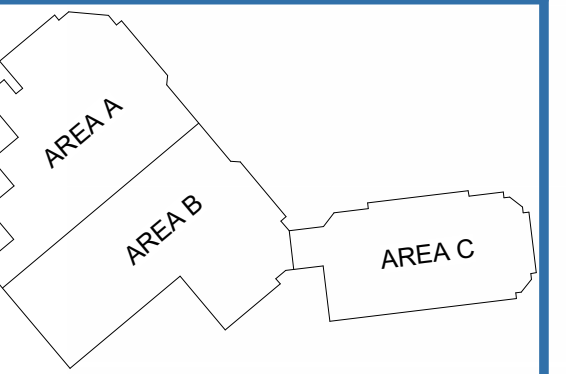
SINGLE SOURCE RESPONSIBILITY  
DESIGNING EXCELLENCE. BUILDING TRUST TM

**MILESTONE ISSUE DATES**

SET	DATE
PRELIMINARY SET:	6/14/2024
BUDGET SET:	7/11/2024
LOCAL DESIGN REVIEW SET:	
PROPOSAL SET:	
PERMIT SET:	
CONSTRUCTION SET:	
RECORD DRAWING SET:	

**REVISIONS:**

NO.	DESCRIPTION



**SILGAN CROSSROADS REMODEL**

REMODEL & NEW ADDITION(S)  
21027 CROSSROADS CIRCLE  
WAUKESHA, WISCONSIN 53186

ALL WORK TO BE COMPLETED AS SHOWN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MSI GENERAL MASTER SPECIFICATION

PROJECT ARCHITECT	STRUCTURAL ENGINEER	LANDSCAPE DESIGNER
AMH	DJS	XXX

DESIGN ARCHITECT	CIVIL ENGINEER	REVIEWER BY
HWY	HWWOOD	XXX

SHEET TITLE:  
**BOILER ROOM ADDITION**

SHEET NUMBER:  
**A-720**  
PROJECT NUMBER:  
**P13439**

LEADERS

ENGINEERS

CONTRACTORS

ARCHITECTS





Building a Better World  
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## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: August 22, 2024  
PC MEETING DATE: August 27, 2024

RE: **Ryzing Fitness – Conditional Use Permit  
21975 Doral Rd, BKFT1126001**

**Applicant:** Katelynn Zingsheim (Ryzing Fitness)  
**Application Type:** Conditional Use Permit

### **Request**

Conditional Use Permit request to allow a fitness center in the M-1 Limited Manufacturing District, located at 21975 Doral Rd.

### **Background**

The subject property is located in the M-1 Limited Manufacturing District and commercial recreational use (fitness centers) are permitted by conditional use in this district. Prior to the applicant’s occupancy, there was a fitness center occupying a portion of the building and this fitness center later expanded. Staff originally thought the original fitness center received proper approvals but upon reviewing the property files, it appears that a conditional use permit was not approved. Staff originally informed the applicant that the use was fine since it was existing but reached out to the applicant to inform them that a conditional use permit was not approved. The applicant immediately submitted a conditional use application to correct this matter.

The property is located in the M-1 Limited Manufacturing District, is intended to provide for manufacturing, industrial and related uses of a limited nature and size, which on the basis of actual physical and operational characteristics would not be detrimental to the surrounding area or to the Town as a whole by reason of smoke, noise, dust, odor, traffic, physical appearance or other similar factors. However, commercial recreational facilities may be appropriate in the district depending on the specific property. There is a gymnastics center across the street that is technically considered the same use. The business seeks to operate large group classes 7 days per week with set schedules. Small group and private classes will also be offered during business hours, with varying schedules. They will also offer “open guy” during business hours for their members. The business will have 10-12 employees. The business does specify they will not be open “24/7”, but no specific hours are given.

### **Recommendation**

Recommend approval of the Conditional Use Permit.

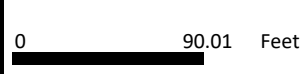
Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax



**Legend**

- Municipal Boundary\_2K
- Parcel\_Dimension\_2K
- Note\_Text\_2K
- Lots\_2K
- Lot
- Unit
- General Common Element
- Outlot
- SimultaneousConveyance
- Assessor Plat
- CSM
- Condominium
- Subdivision
- Cartoline\_2K
- EA-Easement\_Line
- PL-DA
- PL-Extended\_Tie\_line
- PL-Meander\_Line
- PL-Note
- PL-Tie
- PL-Tie\_Line
- <all other values>
- Railroad\_2K



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**Notes:**  
Printed: 8/22/2024



## Ryzing Fitness

### Executive Summary:

Ryzing Fitness LLC is a health and fitness facility located in Waukesha Wisconsin. The company is owned and managed by Katelynn and Ryan Zingsheim. At Ryzing Fitness, our mission is to empower individuals to achieve their health and wellness goals through personalized fitness programs, expert coaching, and a supportive community environment. We are dedicated to fostering a culture of inclusivity, motivation, and continuous improvement, striving to inspire and enable our members to lead happier, healthier lives. Additionally, we are committed to cultivating an environment that promotes career personal trainers, providing ongoing professional development opportunities and mentorship programs. Our aim is to ensure our trainers are equipped with the knowledge, skills, and passion necessary to deliver exceptional service and support, fostering long-term success for both our trainers and our members. We offer a variety of memberships at our facility in order to serve anyone who walks through our doors. Our services include large group classes, small group training, 1 on 1 private training, open gym, aqua endurance, nutrition coaching, mindset coaching and physical therapy. Even though we have a large variety of services, we are still considered a small box gym. In being so, this provides value to our community of members because it provides a close and friendly atmosphere where everyone, including our team, knows each member by name. We provide individualized programs while also fostering an environment to build lasting relationships. Many of our members have been part of the Body by Design/Ryzing Fitness community for over a decade! My wife Katelynn and I own and operate the gym. We have a team of 10 trainers that help us run all of the programs that we offer. We are located in a high traffic area just off of I-94 and Bluemound Road. We have great street visibility and a convenient location.

### Business Description:

Ryzing Fitness is a health and fitness facility that offers a vast variety of services. Our services include: large group classes, small group training, 1 on 1 private training, open gym, aqua endurance, nutrition coaching, mindset coaching and physical therapy.

Large group classes take place multiple times a day, 7 days a week. They are a fun and effective way to work out in a group that challenges all aspects of your fitness. Each class is 45 minutes. The coaches guide members through a warm-up, detailed instruction, workout, and cool down. We have a set class schedule so that members can keep a consistent plan for attending our classes. We are always looking to add to our class times and types of classes. Our plan is to implement a mobility/yoga class, core class, and pilates class. We have and will

continue to survey our members to see what classes they enjoy and would like to see more of. This has led us to our implementation of the classes listed above.

Small group training is a more private version of our large group classes. These typically take place between 2 to 5 members. Small group training is similar in style to our 1 on 1 private training, however in being with other people, it still provides that aspect of community and accountability. Small group training is offered in 30, 45, or 60 minute sessions. Small group training has provided the ability for family members and friends to work out together while still having a coach to provide more detailed programming. Our plan is to steer more of our training into small group training as it is a buffer between large group training and 1 on 1 private training. Our members can receive all the detail and attention of a private session while still working out with others. This is also attractive to our members as it serves as a cheaper option for each individual while simultaneously providing more revenue for our business.

Individual private training is our primary focus at Ryzing Fitness. Our private training is offered in 30, 45, or 60 minute sessions. We have found that our members see the most success in achieving their goals by working privately with a coach. The coach provides specific programs to meet the members needs, individualized nutrition planning, and provides an extra layer of accountability by being accessible around the clock via in person, phone, or email. Private training 1:1 is the staple of what we offer at the gym, and we are always striving to improve the experience by providing continued education for our trainers, hiring new coaches, and surveying members to see where we can improve.

Our open gym is a great addition to our space. This allows members to continue their workouts before or after a session and come in on their own time. The addition of the open gym offers our members a space that is not crowded, has more equipment variety, and more access to availability. Our facility is not 24/7, but our open gym allows the most flexibility in terms of time available for our members to workout. Many of our 1:1 trainers provide "homework" to their clients. The open gym is a great place to get that homework completed.

Nutrition coaching is a newer service that we offer at Ryzing Fitness. Many of our coaches have understood the importance that nutrition plays to overall health and performance for a long time. We now have 4 coaches that have obtained a certification in nutrition. Our nutrition coaching program is offered as a 45 minute sit down with one of our coaches. We discuss goals, habits, strengths, areas of improvement, and nutritional guidance that are specific to each member. We understand that nutrition is not one size fits all and needs to be individualized. At Ryzing Fitness we offer a well rounded approach to nutrition that is sustainable and enjoyable. Our plan is to provide continued education for our coaches to gain their nutrition certification and to expand on ones they already have. We also plan to provide seminars to our members where we bring in certified dieticians to talk in more depth about the nuances of nutrition.

Mindset coaching is similar to our nutrition program. We have a couple of coaches who have multiple certifications in the behavior and mindset background. Mindset coaching is offered as a 45 minute sit down with one of the coaches to discuss goals, habits, strengths,



areas of improvement, and guidance in improving mental health and performance. At Ryzing Fitness we understand that while exercise and nutrition are the more common focal points, behavior and mindset play a larger role in achieving overall health and performance. We plan to further tap into this aspect of our coaching, as we believe mental health is becoming a more demanded topic in the fitness industry.

This summer we are adding a golf strength and mobility program. The strength and mobility program will be offered as a group class option that will consist of 5 60 minute sessions. There will also be the option to continue training as a private option. Private lessons will be offered as 60 minute sessions to work with a coach to improve their golf game. Many of our members are avid golfers. In talking with them, we have discovered that many struggle with their game through mobility, strength, cardiovascular, and mental issues. Our group program and/or private sessions can help our members overcome these issues and improve their game and overall experience while golfing. We also know that living in Wisconsin, golfing year round is not an option due to weather. Our golf program allows members the opportunity to enjoy the sport year round.

We are working towards adding an athlete group training program to Ryzing Fitness. Currently there are some athletes who work privately with our coaches, or utilize our open gym. We believe that creating a program where athletes train together in small groups can help develop their skills and relationships more. Our athlete program will be offered as a 60 minute group workout. Athletes will also have the ability to book private sessions with a coach to get more individualized attention. Many of our members have children in youth, club, high school, college, or semi professional sports. We have come to find that many of the athletes do not have a fitness program outside of their sports season. Our plan with our athlete program is to develop strength, speed, agility, movement knowledge, and injury prevention to our athletes. We intend this program to be a step towards improving our community engagement by attending sporting events, hosting workouts, and developing relationships with athletes, coaches, clubs, and schools. We are anticipating launching this program towards the end of 2024.

We have recently launched a corporate training program at Ryzing Fitness. Our corporate training program is offered as a volume discount to the company based on how many employees would participate. As many of our current members work in the corporate world, we are aware of the strains that it can have on the body and mind. We believe that offering discounts for companies to provide their employees with can help companies foster better relationships with their employees, as well as provide them with the opportunity to become healthier and happier individuals.

### History of business

Ryzing Fitness was formerly known as Body by Design. Body By Design was founded on May 1st, 2012 by Joey Huber. Body By Design's first location was on the corner of Bluemound and Calhoun in Brookfield, WI. It was a very small operation at first, less than 2000 sq ft in the basement of a church. There was no staff and only 9 members to start with.

Joey quickly filled his days full of clients and within two months he had 25 clients and not a spare hour in the day. At that point Body By Design hired its first employees, Justin Plesnik and Jake Huebner, who are still with the company today.



After that, the process continued, filling up trainers, and hiring new ones. This was done until there were 6 full-time trainers and the studio was packed needing to service 150 members.

In July 2013 Body By Design formed as an LLC and moved into its current location on the corner of Springdale and Doral Road in Brookfield next to the Marcus Majestic Theater.

Body By Design continued to scale and expand each year adding more and more members and staff to fulfill its services. There were 6 expansions total, one in 2013, 2015, 2017, 2018, 2020, and 2022. Each expansion (about 2,000 sq ft at a time) helped Body By Design grow from the 1,800 sq ft basement of a church studio, to one of the largest micro-gyms in the state at 16,000 sq ft.

Body By Design scaled from 9 members in 2012 to over 275 members by 2023. These are premium (high-ticket) service memberships with an average membership of \$300/mo and an average lifetime value of over \$1,800 per member .

Body By Design has done 7.1 million in revenue since opening its doors in 2012 and has expanded its services rendered from only private personal training to now include large group training, semi-private training, aquatic training, open gym, nutrition, accountability coaching, and more.

#### Market Analysis:

The fitness industry is continually evolving, driven by shifts in consumer preferences, technological advancements, and societal trends. We have seen the fitness industry primarily focusing on small or large group training, private training and online training. At Ryzing fitness we have been able to quickly adapt to what the industry is demanding. This is why we offer a wide variety of programs and are always continuing to add or remove based on the needs of our members.

Our target market at Ryzing Fitness is broad. We are a facility that prides ourselves in the inclusivity of anyone that is looking to better their health, fitness, performance, or relationships. As we operate in Waukesha County, our target market is to those who live in the surrounding areas. We offer a large variety of services and have a diverse team to accommodate anyone that comes through our doors. Our members range in age from 10 to 80. We have members of all fitness levels.

Our main competitors at Ryzing Fitness are Lifetime, The Wisconsin Athletic Club (WAC), and Anytime Fitness. Our strength against our competitors is the fact that we are a small box gym, and they are all massive franchises. This gives us the ability to foster a larger sense of community to our members, as well as providing exceptional services. Our diverse team of coaches offers us a more well rounded and expansive approach to training. We do not enforce strict guidelines to training style, in order to serve the client in front of us. Another strength is that being a smaller gym, in comparison, we are not overcrowded at any given time. This is nice for our members and coaches because there is not a need to wait or "fight" over equipment or space. Big box gyms have state of the art equipment, but at Ryzing Fitness we know that new equipment doesn't equal better results. We focus on the fundamentals of lifting





instead of the fancy new equipment or large scale sizes. Our size allows us to foster a tight knit community that the big box gyms can't provide.

Only about 10% of Americans have a gym membership. I believe that is because we make it so complicated and confusing with who has the best programs or facilities, who is the best or cheapest, or having a dogmatic approach to fitness. I believe the market is extensive and there is more than enough to go around. So our best opportunity is to work together towards the greater goal of helping everyone, versus fighting over who is bigger and better, further deterring people from joining. We will be participating in many of the events that our local big box gyms offer. This is a great way for us to get involved in our local fitness community.

#### Member Breakdown:

**Age:** Ryzing Fitness offers services for ages ranging from 10 to 80. We encourage all ages to start working out. Whether it's developing good movement patterns early on, building strength and posture during your adult life, and being able to move and not be in constant pain later in life. Ryzing Fitness can provide training for all ages.

**Gender:** Ryzing Fitness offers services to all genders. Our primary audience is women aged 38-50. We are always looking to expand our member base, and we pride ourselves on being inclusive. Everyone deserves to be healthy and happy, and Ryzing Fitness can provide that.

**Income:** Ryzing Fitness offers a variety of services for any income. We understand that not everyone can afford private training, so we offer cheaper options such as group classes or open gym. For those who have the resources, we provide top notch service through our private training sessions.

**Occupation:** Ryzing Fitness offers services that cater to many professions. We have members of all career types from surgeons to stay at home moms. We understand that no one profession needs health and fitness attention more than the other, so we provide programs to fit all.

**Lifestyle:** Ryzing Fitness offers services to all lifestyles, from busy professionals to those with limited mobility. We provide extensive in person or at home programs, 30 to 60 minute workouts, or quick 5 to 10 minute bodyweight workouts that you can do anywhere.

**Personality:** Ryzing Fitness offers services to all sorts of personalities from super competitive to just for fun. We offer gym challenges, workshops, charity events, or community enrichment events such as a cookout.



Usage: The services provided at Ryzing Fitness offer the ability to use our facility at almost any time of day. We run early, midday, and evening group classes, we offer private training based on time preference, and an open gym that is accessible from 4 in the morning until 10 at night.

Benefits sought: Our members come to us for a multitude of reasons. The primary reason our members join is for fat loss and muscle gain. We excel in that area, however, we also offer programs of performance, maintenance, athleticism, stress relief, sleep habits, mindset and behavior habits, and many more.

Location: Ryzing Fitness is conveniently located off of I-94 and Bluemound Road. We are in the heart of Waukesha County and are easily accessible. There are a plethora of activities to do surrounding our gym, such as shopping, movie theater, go karting, mini golf, trampoline/adventure park, spas, golf courses, and many more.

#### Additional Information:

Ryzing Fitness's unique selling proposition is that we offer a wide variety of services and programs. Ryzing fitness is truly a one stop shop for all of your health and fitness needs. Two areas that set us apart from our competitors are aqua endurance and our golf program. Aqua endurance is truly a one of a kind experience and cannot be replicated elsewhere. While there are many gyms that have pools, it is not the same as our aqua endurance program. There are also many gyms and facilities that have golf programs or simulators, but that is their primary focus. At Ryzing Fitness we provide you with those services, but also provide many more that can help you beyond your golf game.

Ryzing Fitness offers its members a personalized experience to fit their needs and goals while meeting like minded individuals. The community of members we have is why the fitness industry is so amazing. No matter what your goals are, weight loss, muscle gain, performance, golf, sleep, mindset, or overall health our team and members are there to support you and keep you going. At Ryzing Fitness we regularly assess the effectiveness of each of our programs through client feedback, surveys, and data analysis. Based on our results we are ready to adapt to meet the needs of our members.

#### What we are doing differently:

We plan to cut monthly costs such as car payments, salaries, and profit sharing. Body by Design had four different managerial roles until Ryan stepped in as sole manager in January 2024. These four roles totaled \$80,000 of salaries per year and were also eligible for monthly profit sharing. Many of these roles overlapped in duties which led to disagreements of how things should operate. This led to tension and a stalemate in productivity towards running the gym. At Ryzing Fitness, Ryan and Katelynn will be the sole managers/operators. This allows us to eliminate the salaries and profit sharing as well as fast track marketing and sales efforts. The



revenue decrease in 2023 can be attributed to the stalemate of having too many competing management positions. The differing opinions led to an inconsistent sales and marketing strategy that was confusing to both members and prospective members. In 2023 Body by Design focused its marketing efforts on "6 week challenges". These challenges were designed to bring people seeking quick results and weight loss into the gym. This strategy was not only expensive, but it was ineffective. The members who signed up for the challenges did not end up staying. Ryzing Fitness will not be marketing towards quick short term programs.

The focus of Body by Design the past year has been a large expansion and adding Aqua Endurance. The addition was the last of 9 expansions over the 12 years Body by Design has operated at this location. An additional 7,000 square feet were added. This led to expenses of remodeling, buying more equipment, buying a pool, painting, cleaning, added rent, and all of the utilities. While adding these were great additions for our existing members, they did not attract new customers as much as anticipated. There were no strategic marketing efforts made to bring in new members to the new space. Ryzing Fitness is focused on filling that space with revenue generating activities.

Ryzing Fitness is a large space, at almost 16,000 square feet. While under ownership as Body by Design, there were many rooms/open space that was not being utilized, therefore, not generating revenue. We plan to fill the "wasted space" with things such as, mobility yoga/pilates classes, golf training, and trainer sales room. In filling these spaces we are making sure that we are making the most of the square footage we have and that it's generating revenue for Ryzing Fitness.

We plan to increase prices for new members to more closely match market expectations. The open gym will go from \$36/month to \$54/month, and group classes will go from \$76/month to \$99/month.

Ryzing Fitness plans to make use of the 1,200 square feet of unused space by adding a golf training program. Conservative projections estimate \$98,000 in additional yearly revenue. The cost to implement this program is very low as Ryan is already certified to teach the classes.

We have opened up job positions and are looking to hire 2 to 3 more full time trainers. Our goal is to hire trainers who have different backgrounds such as yoga or pilates that can add to our services at the gym. In hiring full time trainers, this ensures our ability to provide members with a trainer who is available to accommodate their schedule.

## About Us

Ryzing Fitness was founded in 2024 by Katelynn and Ryan Zingsheim.

While Ryan has been a prominent member in the fitness industry for years, I, Katelynn, have not. I often joke that "I married into the gym life". I was always on the outskirts of the sports and fitness world. I played sports in highschool, but just for fun. I worked out, when it was convenient. I played intramural sports, when there were friends or drinks involved. In college, at UW Madison, I majored in Nutritional Sciences. I shared classes with the Kinesiology majors, studied the importance of exercise, and listened to them debate the most effective styles of movement. If you had asked me if I considered fitness a crucial part of my life I might have said yes, but I also might have shrugged and said "eh". After college I took a business development role with a company that manufactured ambulances. That job led me to my current job of implementing ecommerce platforms for companies in the OEM sector. I love my job, even if it is a far stretch from the direction I anticipated my career going. Somewhere along the way, I started to miss the fitness world. I googled "gyms near me" and found Body by Design (BBD). It was close, affordable and the google reviews were decent. I signed up for a one week trial and my life changed forever. On my first day at BBD I met Ryan. Long story short, I extended my membership after the week was up, fell in love with exercise and fitness and married Ryan in 2022.

Ryan's entrance into the exercise and fitness community started long before mine. He was an avid athlete in highschool, and refereeing soccer was his first job. After that, he went to Edgewood college and UW Milwaukee for a marketing degree. Throughout college he was dedicated to his personal fitness. After college he got certified as a trainer and started training at Anytime Fitness. Shortly after he interviewed at BBD, where his best friend and roommate worked, his personal training career and lifelong passion began. Ryan started training at BBD in 2018, teaching over 25 classes a week and building his client base. Since he began he has received more than five certifications, even traveling to California to participate in a career development program. Ryan loves working out, but that isn't what makes him the trainer he is today. He is more than a workout partner to his clients. He is a cheerleader, a teacher, a coach and a friend to everyone in the gym. If you asked him, he would tell you his greatest professional achievement is the impact he has made on his clients quality of life, happiness and confidence. He believes that mobility, strength and endurance are more than just physical descriptors. He is a mentor and leader to his colleagues. He has been the manager at BBD since 2023. He has always dreamed of owning his own gym where he could instill his values and culture in the fitness space.

A challenge Ryan, and many trainers in the industry, face is that personal training is seen as a "side hustle" or second job. Our vision for Ryzing Fitness is to be a place that fosters career personal trainers. We focus on professional development, business development and

continued education. All of our employees are encouraged to develop their niche and style. We support them with marketing, education, guidance and any equipment or supplies they need. This mindset has allowed us to create a team of exceptionally unique and talented trainers.

In parallel to fostering an environment for career trainers we are also dedicated to creating a sanctuary for our members. We live by the motto, "Working out should be fun." and "Strong looks good on everyone". This isn't a gym focused on weight loss, restriction or "never quitting no matter what". This is a space to become the strongest, healthiest and happiest version of yourself, no matter what that looks like. Fitness can truly change a person's life from the inside out. It is an honor to both of us to be able to see, facilitate, and participate in our members' lives in that way.

## Meet our Team

At Ryzing Fitness our team is what makes us special. We might be biased, but we think we have the best fitness team out there! Professional development is one of our core values and our team reflects that value. All of our trainers are certified, and most have multiple certifications. Each one of our team members has their own style. Because everyone came to Ryzing Fitness from a different fitness avenue, we have a huge pool of background and professional knowledge to share amongst ourselves. We meet regularly to share knowledge and train each other. Many of our trainers are thought leaders in their space. They speak publicly, publish their work, develop new equipment, have patents pending and train others in the fitness space. Some of them have even been featured on TV shows and the local news!

Adam Ameen: Adam has been a personal trainer at Body by Design for over five years. His style of training consists of weightlifting, cardio and functional movement. He likes to keep workouts fresh and new for clients. He trains clients of all ages, but his passion is young athletes. He teaches many of our weekly bootcamp classes and is a leader in that space.

Andy Wasik: Andy has been a personal trainer and team lead at Body by Design for over six years. His passion for training stems from a lifelong participation in sports and weight training, as well as being a physical training leader in the US Air Force for 3+ years. His approach to training is to keep things simple, but dominate the fundamentals. He has also recently published a nutrition handbook. His handbook has sold more than 100 copies and counting!

Justin Plesnik: Justin has been with the team since 2012! His style has evolved a lot over the years but at its core has always been an emphasis on fun and effective workouts. He often incorporates weapons such as the bo staff, mace and lightsabers into his training sessions. Justin has created and developed our AquaEndurance training program. He has a patent pending on the technology he has created for the AquaEndurance program. AquaEndurance allows individuals who might have joint or mobility issues the ability to weight train without pain. This is a life changing program for many of our members. Justin also works very closely with the Paralyzed Veterans Association-Wisconsin Chapter. He has created numerous programs and training regimens for our veterans. He has over 15 certifications ranging from nutrition, personal training, behavior change, movement and sleep. He is truly an expert in the field.

Kat Musni: Kat has been with the team since 2016. She is the embodiment of "workouts should be fun!" here at Ryzing Fitness. Besides teaching classes and personal training in the gym, she has a YouTube channel with over 500 videos. People tune in to her workouts from all over the

world! She has a large social media following with close to 15,000 followers. She speaks online and in person on mental health, eating disorders and the fitness space. She was a featured contestant on the show Frogger in 2022! She recently became a signed athlete with Baltimore UFX and will be competing this summer.

Trevor Kaucic: Trevor is certified as a personal trainer, mindfulness and meditation coach, and life coach. He started his own company Best Self. Best Self has now grown into being able to help people through the Best Self Studio in Hartland, 'The Best Self Blueprint' podcast on YouTube, organizing a variety of charity events each year, and working with coaches in all scopes of practice to bring knowledge & insight to the Best Self community. At the gym Trevor teaches bootcamps, has 1:1 clients for training, and runs many of our charity events. This summer he is starting a summer race team at Ryzing Fitness. Members will participate in various local race events, such as the Tough Mudder, together as a Ryzing Fitness team!

Jake Huebner: Jake has been with the gym for close to 10 years. He does sales meetings with new clients and trains 1:1. His training style is foundational lifting. He likes to go at a slow pace with an emphasis on progressive overload.

Teri Nitschke: Teri has been in the fitness world for over 40 years. She has experience with triathlons, running, lifting, and long distance biking. She has worked with veterans for much of her career. To know her is to love her! Teri is an amazing, positive and encouraging coach. She teaches classes and works 1:1 with clients at Ryzing Fitness.

Tyler Johnson: Tyler started his coaching career with Crossfit. He brings elements of his Crossfit past to his coaching at Ryzing Fitness. We love his unique blend of training styles. He is a fast paced, upbeat and dedicated coach. He hosts workshops for members outside of our standard bootcamp classes. Most recently he has been running a training program for a Memorial Day Murph event we are hosting at the gym. Tyler has coordinated with the PVA-Wisconsin Chapter for the event and we are looking forward to hosting the event alongside them! Outside of the fitness world, Tyler is a talented artist and painter.

Omar Ranola: Omar is newer to the Ryzing Fitness team. He has experience with gym management, group classes and 1:1 training. He is a master at creating unique and engaging group classes! We are looking forward to seeing his career and style development here at Ryzing Fitness.

Emily Bentley: Emily is also newer to the team. She is a novice trainer who is working towards creating her style. We are so lucky to have her enthusiasm and dedication to helping members find happiness through fitness.



Building a Better World  
for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: September 22, 2024  
PC MEETING DATE: September 27, 2024

RE: **Octane Coffee – Conceptual Approval**  
**19555 West Bluemound Road BKFT1124996004**

**Applicant:** Adrian Deasey, Octane Coffee

**Application Type:** Conceptual Approval

### **Request**

Applicant is requesting conceptual approval to allow a drive-thru coffee business, located at 19555 West Bluemound Road.

### **Summary of Request**

- The applicant is proposing to add a small drive-thru coffee shop on the northwest side of the property.
- The building will be portable and can be relocated in the future.
- If this project moves forward, the applicant will need to go through the conditional use permit and variance processes.
- This item was submitted shortly before packets were sent out and more information will be provided at the meeting.

The development review team is currently reviewing and feedback may be provided at the time of the meeting.

### **Conceptual Approval**

The purpose of conceptual project review shall be to determine the best use of a building site. The Plan Commission will consider the proposed land use and its compatibility with adjacent land uses. The Plan Commission should consider ingress and egress, off-street parking, and internal traffic patterns.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax






**Legend**

- Municipal Boundary\_2K
- Parcel\_Dimension\_2K
- Note\_Text\_2K
- Lots\_2K
  - Lot
  - Unit
  - General Common Element
  - Outlot
- SimultaneousConveyance
  - Assessor Plat
  - CSM
  - Condominium
  - Subdivision
- Cartoline\_2K
  - EA-Easement\_Line
  - PL-DA
  - PL-Extended\_Tie\_line
  - PL-Meander\_Line
  - PL-Note
  - PL-Tie
  - PL-Tie\_Line
  - <all other values>
- Railroad\_2K



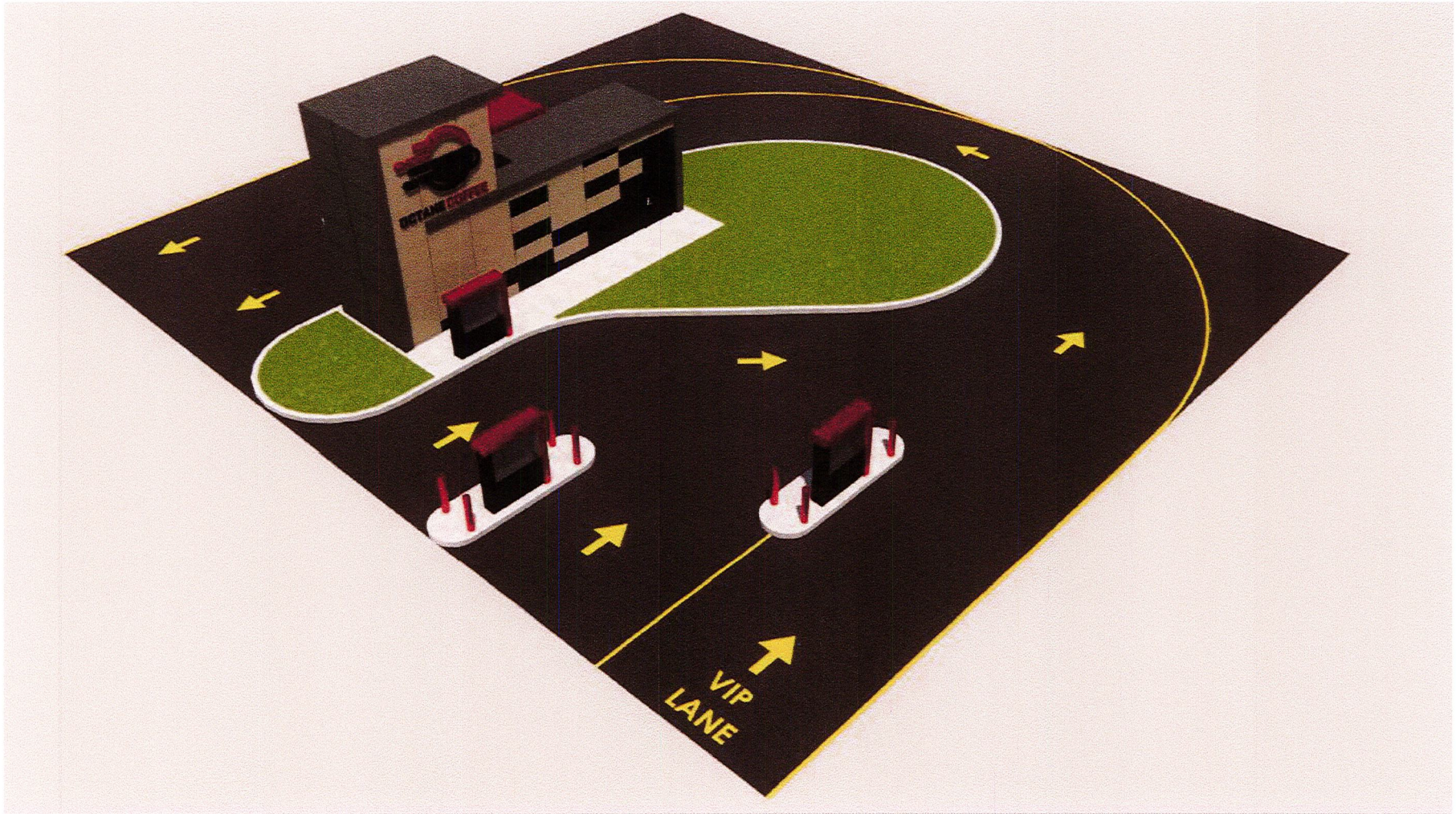
The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

**Notes:**  
Printed: 8/22/2024 



## Potential Octane Coffee Sites in Town of Brookfield



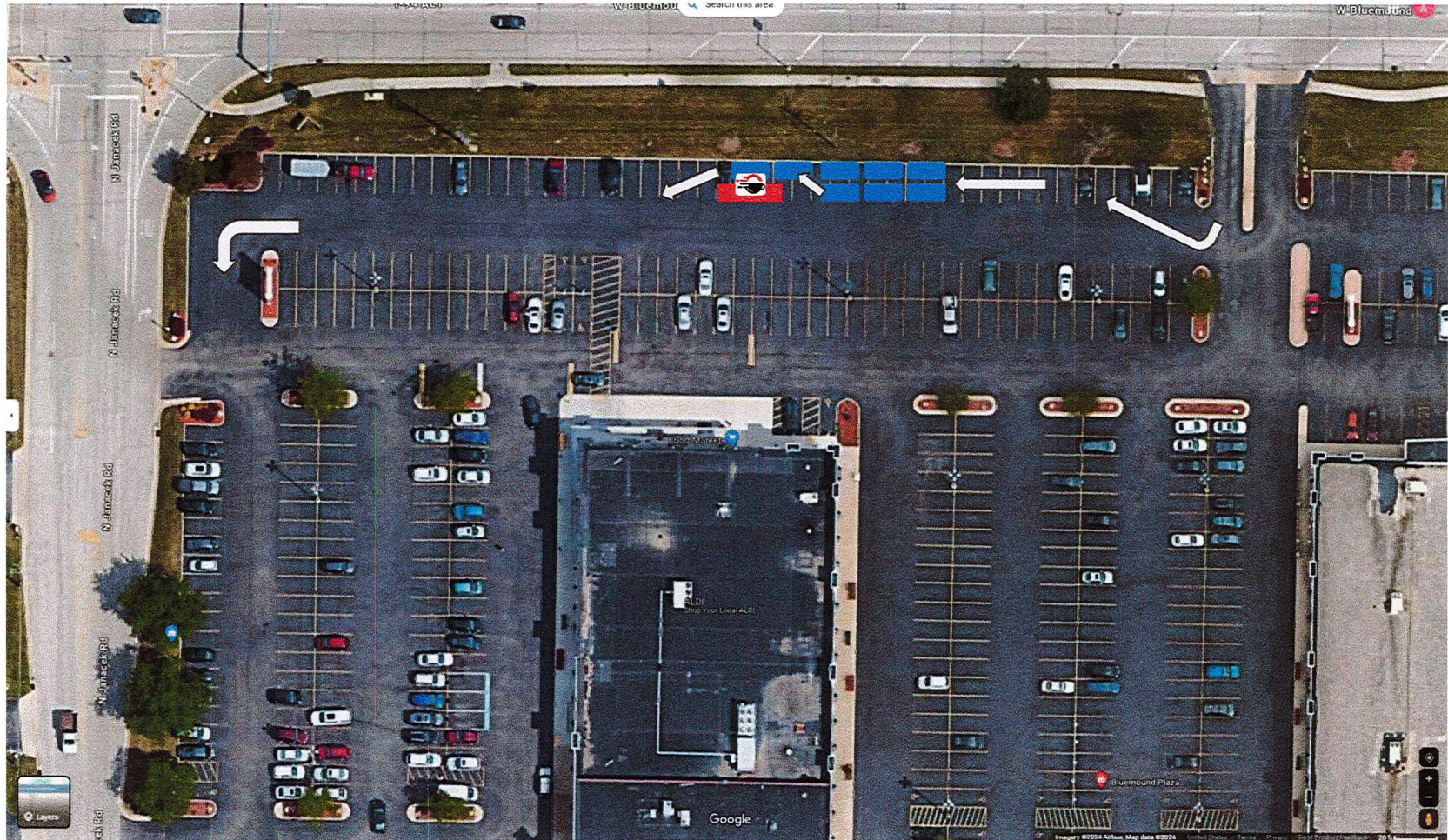




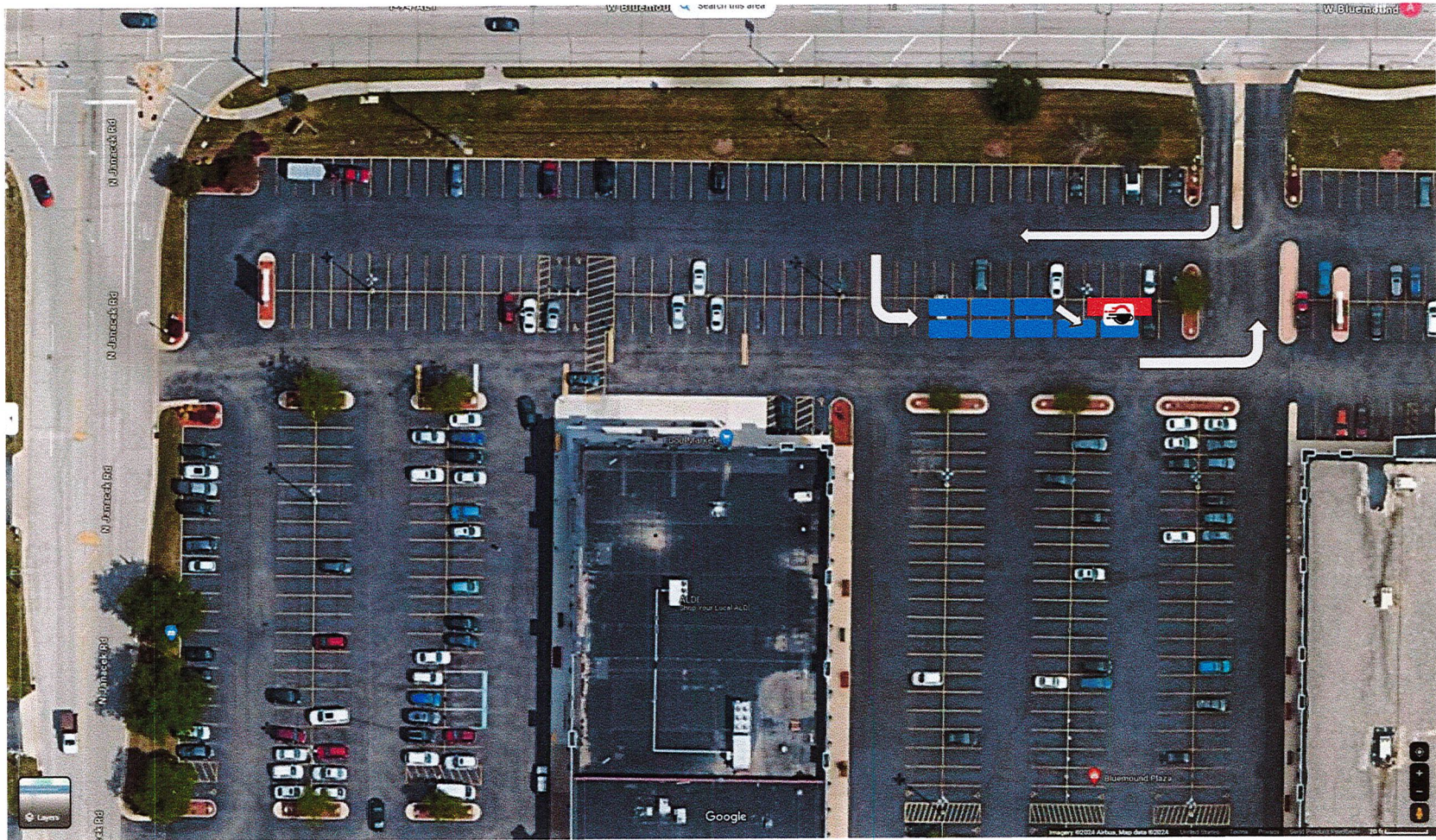
Octane Coffee is a fully automated coffee drive-thru concept designed, built, and managed right here in the Waukesha area. We serve premium Coffee, Tea, Juice, and Frozen Drinks as well as grab-and-go Food and Bakery Items to the busy driving commuter.

All orders are fulfilled by robotic automation housed within the small footprint building (no human employees inside). We have regular customers picking up their orders in 10 SECONDS OR LESS at our launch location in Waukesha that has been in operation for almost 18 months. We love to support local contractors, suppliers, and companies! We proudly brew Stone Creek Coffee at our locations.

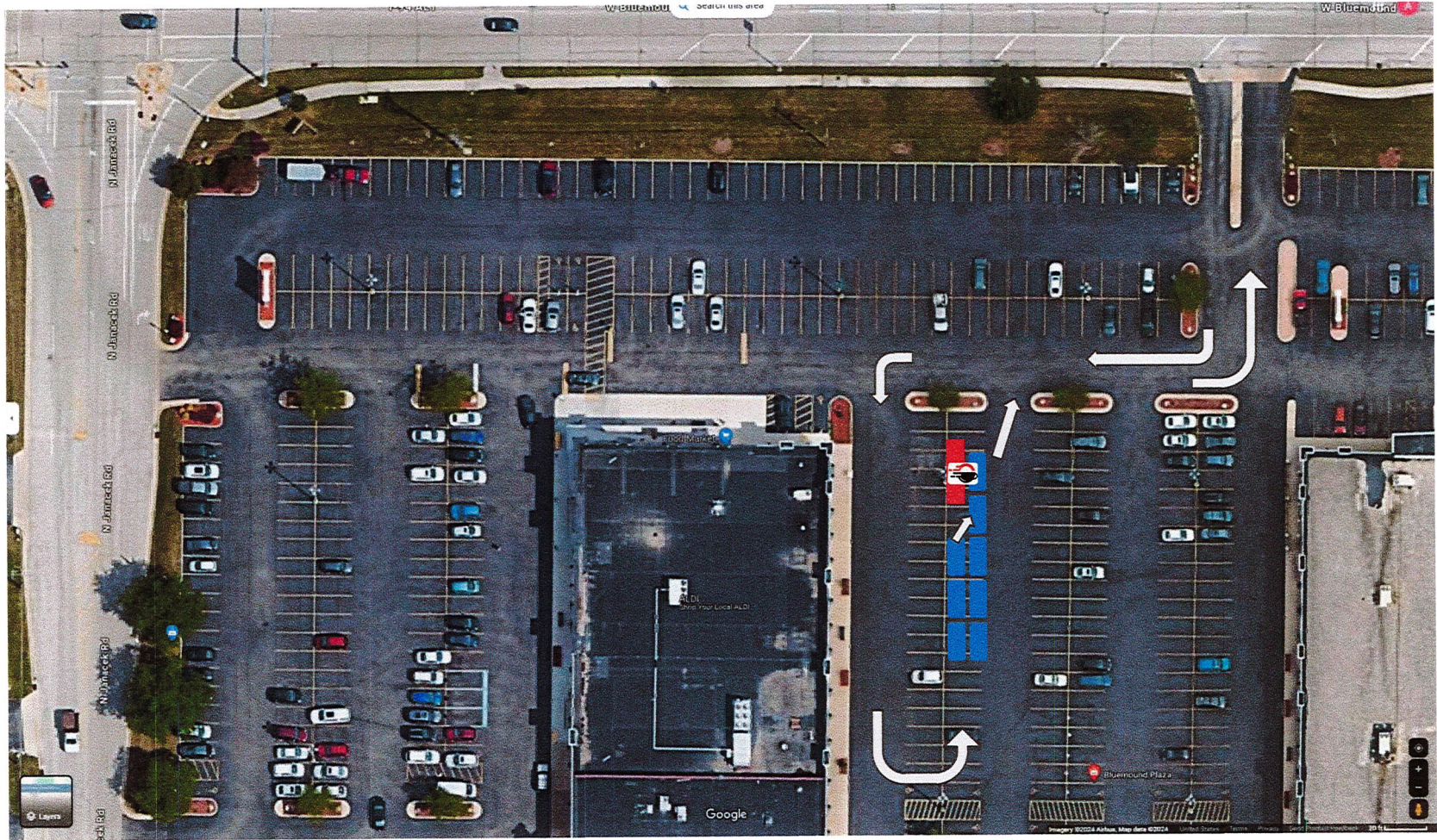
# Bluemound Plaza - Concept #1 (PREFERRED CONCEPT)



# Bluemound Plaza - Concept #2



# Bluemound Plaza - Concept #3







## Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

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# Memo

**To:** Town Supervisors, Administrator  
**From:** Deanna Alexander, Town Clerk  
**Date:** August 29, 2024  
**Re:** Elected Official Salaries in Other Local Communities

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At the 2024 Annual Town Meeting, staff were directed to collect and prepare data related to the financial compensation of elected officials in area communities so that the concept of a pay increase for Town of Brookfield elected officials could be considered in a timely manner for possible 2025 implementation.

I surveyed Towns, Villages and Cities in Waukesha and Washington counties to gather the required data and received responses from 24 other municipalities.

- The average population of other Towns surveyed was 4,982 residents.
- The average salary for other municipalities' Town Supervisors was \$5,100 per year, but I note that one of the respondents in that average using \$4,500 per year as the base also provides Supervisors with \$55 per meeting attended, and that stipend is not included in the average.
- The average salary for other municipalities' Town Chairmen was \$9,455 per year, and also includes one response with \$8,500 per year as the base and a provision for an additional \$55 per meeting attended, and that stipend is not included in the average.
- The Towns all pay a stipend to committee and commission members with a high of \$80 per meeting for a Plan Commission Chairman, a low of \$10 per meeting, and an average of \$40 per meeting attended. However, at the City and Village levels, compensation ranges from volunteer/nothing (common) to \$60 per meeting.
- All Towns responding use a Municipal Judge that is part of a court partnership or that is a county judge, so none pay a judicial salary directly.

Please see the second page of this memo for a chart detailing the responses for the annual salaries paid to Town Board (council) members and Town Chairmen (president) as applicable. Should Supervisors have additional questions I will be glad to review or calculate from the raw data received to provide more insight.

DA/Clerk

Compensation Survey Results from Waukesha and Washington County as of April 2024

Name of Municipality	Population	Annual Salary for Supervisors / Council	Annual Salary for Chairman / President
Town of Addison	3,422	\$ 3,500	\$ 8,000
<b>Town of Brookfield</b>	<b>6,480</b>	<b>\$ 5,000</b>	<b>\$ 7,200</b>
Town of Delafield	8,100	\$ 6,762	\$ 6,762
Town of Eagle	3,512	\$ 6,000	\$ 14,620
Town of Genesee	7,167	\$ 7,000	\$ 15,000
Town of Germantown	240	\$ 1,219	\$ 1,516
Town of Jackson*	4,029	\$ 4,500	\$ 8,500
Town of Merton	8,267	\$ 6,500	\$ 11,500
Town of Oconomowoc	8,831	\$ 5,509	\$ 7,652
Town of Polk	4,000	\$ 4,000	\$ 9,000
Town of Wayne	2,254	\$ 6,000	\$ 12,000
Village of Big Bend	1,489	\$ 2,700	\$ 4,000
Village of Butler	1,800	\$ 2,500	\$ 3,500
Village of Lisbon	10,734	\$ 6,000	\$ 10,000
Village of Nashotah	1,350	\$ 1,000	\$ 2,000
Village of Pewaukee	8,159	\$ 3,960	\$ 5,040
Village of Slinger	6,100	\$ 4,500	\$ 6,000
Village of Summit	5,202	\$ 4,000	\$ 6,000
Village of Waukesha	8,471	\$ 6,000	\$ 12,000
City of Brookfield	41,121	\$ 9,911	\$ 121,742
City of Delafield	7,085	\$ 3,500	\$ 7,500
City of Muskego	25,000	\$ 7,638	\$ 72,000
City of New Berlin	40,000	\$ 10,000	\$ 10,050
City of Oconomowoc	19,126	\$ 6,436	\$ 7,091
City of Pewaukee	16,169	\$ 6,500	\$ 6,500

\*Town of Jackson also provides an additional \$55 stipend per meeting attended.