

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
(P) 262-796-3788
(F) 262-796-0339



MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Gnant Room
645 N. Janacek Road, Brookfield, WI

Tuesday, April 23, 2024

PLAN COMMISSION

7:00 p.m

AGENDA

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
 - a. March 26, 2024 Plan Commission Minutes
- 5) Citizen Comments: Three-minute limit.
- 6) Old Business:
 - a. None.
- 7) New Business:
 - a. Keith Hueffner, representing Master Spa Warehouse, for review and recommendation of preliminary approval for a new warehouse building for the property located at 21675 Doral Rd.
 - b. Scott Bence (JBJ Develop, L.P.) is requesting a recommendation for preliminary and final approval of the continuation of the Eagles Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016).
- 8) Communication and Announcements.
- 9) Adjourn.

Posted this 18th day of April, 2024
Bryce Hembrook
Town Planner

TOWN OF BROOKFIELD
PLAN COMMISSION MINUTES
March 26, 2024

The regular meeting of the Plan Commission was held in the Erich Gnant Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER.

Chairman Keith Henderson called the meeting to order at 7:02 p.m. with the following people present: Town Supervisor Ryan Stanelle; Plan Commission members Gordon Gaeth and Len Smeltzer; and Town Planner Hembrook. Plan Commission members William Neville, Kevin Riordan, and Jeremy Watson were absent and excused.

2) MEETING NOTICES.

Planner Hembrook confirmed the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA

Motion by Supervisor Stanelle to approve the agenda.

Seconded by Plan Commissioner Smeltzer.

Motion Passed Unanimously.

4) APPROVAL OF MINUTES.

a. Motion by Stanelle to approve the February 27, 2024 Plan Commission Minutes as presented.

Seconded by Smeltzer.

Motion Passed Unanimously.

5) CITIZEN COMMENTS; Three-minute limit.

William Rahfeldt, 480 Claremont Court, Waukesha 53186 (Town of Brookfield) commented that there is a drainage concern from the Eagles Nest Condominiums on North Brookfield Road, directly north of the property that he owns at 101 South Brookfield Road. Water runs down to his property and Mr. Rahfeldt's driveway gets washed out. Mr. Rahfeldt feels it is necessary to review Eagles Nest drainage and storm water plans before approvals are given to add more buildings on that parcel.

6) OLD BUSINESS:

a. None.

7) NEW BUSINESS:

a. Keith Hueffner, representing Master Spa Warehouse, for review and recommendation of conceptual approval for a new warehouse building for the property located at 21675 Doral Rd.

Planner Hembrook described the proposed building as being 53,173 square feet, including a mezzanine. The existing building on the east side of the property will not be included in this proposal. Mr. Hembrook further reported that all building setbacks meet code requirements, as well as floor area requirement at 46.4% of lot area for both buildings. There are 19 proposed parking spaces, which is only for the west building. The applicant did not specify the number of employees, therefore parking requirements have not been clarified. Hembrook included Architectural requirements for manufacturing districts. Stormwater requirements are being reviewed by the Town Engineer. Chairman Henderson inquired about the concrete pad that remained after the fire. Kelly Sperl, with Architectural & Construction Services, 327 Randolph Drive, Appleton WI responded that the goal was to try to save that, however it was not advisable. Chairman Henderson also suggested some type of signage on facing Doral Road. Details for signage will be shown on plans. Mr. Sperl reported that the use is projected to be that the east part of the building is for general warehousing, the middle portion is for spa warehousing, and the west end is being retained for possible expansion, but until that is needed, may lease out that portion of the building. As of now, number of employees is 3-5 in each of the two tenant spaces, with the third space being a possible lease. Mr. Sperl clarified that this is not a retail facility, so there will not be customer traffic. It is only a warehousing and distribution facility. Commissioner Smeltzer opined that enhanced architectural features on the north side of the building are desirable, as well as landscaping.

Brad McDermid with Mach IV Engineering & Surveying reported that they have coordinated with Strand (Town Engineer) regarding stormwater requirements. Not more than a half-acre of impervious surface is being added. There is space to the northeast and southwest of the existing building to the east to add stormwater bio-filters, which will include native species. Supervisor Stanelle agreed that he would like to see the north side of the proposed building enhanced.

Motion by Supervisor Stanelle to **recommend** conceptual approval for a new warehouse building for the property located at 21675 Doral Road as presented.

Seconded by Commissioner Gaeth.

Motion passed unanimously.

- a. Scott Bence (JBJ Develop, L.P.) is requesting a recommendation for conceptual, preliminary, and final approval of the continuation of the Eagles Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016)

Chairman Henderson explained that since a number of years have passed since the original approval, the applicant has to start from the beginning, which is conceptual approval. Preliminary and final approval are to be considered at subsequent meetings. Planner Hembrook described the proposal as presented in the staff report, which was included in the Plan Commission Packet. Scott Bence (JBJ Development) was present and clarified that the building plans being presented are for building 9. The plan is representative for the balance of the remaining sites. Exterior elevations and landscaping was reviewed. Architectural styles and materials are proposed to be the same as on the existing buildings. Chairman Henderson pointed out the condition of a second road up a hill from Eagle Drive, and Mr. Bence responded that is just a binder for that road. Chairman Henderson also asked about a retaining wall on the northwest side as being partially finished, and when the wall is finished, the first half should be checked to be sure everything is still intact. Mr. Bence pointed out that the condominium association has been passed to the current 10 homeowners. They are in control of all general improvements and site. Mr. Bence stated he is seeking approval to build the building that goes on pad 9. Mr. Bence owns the parcels that are unbuilt. Any damage to the road during construction will be repaired. Chairman Henderson asked about stormwater, and getting water to the pond. Mr. Bence responded that is not his responsibility, and it is an enforcement issue by the Town. Mr. Bence shared his comments with the Town Engineer that is not filled in with silt, and was built to specs. He went on to say that, typically when they build them they over-dig by approximately 2½ feet to allow for silt build-up. Mr. Bence asked if Mr. Rahfeldt could show him where the erosion is happening. Mr. Bence commented that when building 3 is built (to the west), the swale being dug per the approved grading plan would be key to avoiding the drainage problem. Chairman Henderson suggested that if they start building #9, the area for drainage by building #3 should be taken care of. Supervisor Stanelle asked for clarification of what is being requested for approval, whether it is just for building 9 or the overall project. Planner Hembrook responded that it is his understanding that the entire site plan is being reviewed, the developer would try to do building 9 as a starting point, and once approval for building 9 is acquired, the developer could move on to the next building while the approval is still good. Mr. Bence concurred with Hembrook's understanding. Chairman Henderson indicated that he is comfortable with conceptual approval, but feels there is not enough information for the entire project to grant preliminary approval. Mr. Smeltzer asked about turning radius for emergency vehicles, and Hembrook responded that the Fire Department has no concerns. Mr. Bence inquired what additional information is requested by the Plan Commission. Chairman Henderson responded that he is looking at the whole project, and does not have plans for buildings 3 through 8. Mr. Bence asked if they want plans for each building, because for most projects he does not draw every building, he draws a representation of one building, shows all four sides of it and a 3-D model. Chairman Henderson asked if for building 9 as presented, does it currently meet code changes that may have occurred in the last fifteen years. Planner Hembrook responded that from a planning standpoint it has not changed, from a building standpoint he could not answer that. Building plans are sent to the state or E-plan for approval. Updated versions of grading and stormwater should be submitted for preliminary review, and comment from the Town Engineer.

There was discussion regarding what was originally approved and installed, and Planner Hembrook reminded the applicant that because the rest of the development was not finished at that time, approvals expire after 12 months. It was also clarified that if any remaining buildings were not started within 12 months of approval, the approval process for those buildings would have to be repeated. Supervisor Stanelle opined that he would like to see language in preliminary approval relating to pond maintenance. It was reiterated that this is a condominium association responsibility, however Mr. Bence indicated that he is willing to work with them to benefit the development.

Motion by Mr. Smeltzer to **recommend** conceptual approval of the continuation of the Eagles Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016)

Seconded by Mr. Gaeth.

Motion passed unanimously.

8) COMMUNICATION AND ANNOUNCEMENTS.

Marx Park is having the Easter Egg Hunt on Saturday, March 30th, starting at 10:00am.

9) ADJOURN.

Motion by Supervisor Stanelle to adjourn at 8:01pm.

Seconded by Commissioner Gaeth.

Motion Passed Unanimously.

Respectfully submitted,
Bryce Hembrook – Town Planner



Building a Better World
for All of Us®

TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP
Town Planner

REPORT DATE: April 18, 2024
PC MEETING DATE: April 23, 2024

RE: **Master Spa Warehouse – Preliminary Approval**
21675 Doral Road BKFT1126004

SEH No. 171421, TASK 52

Applicant: Keith Hueffner, representing Master Spa Warehouse

Application Type: Preliminary Approval

Request

Applicant is requesting preliminary approval of the construction of a warehouse building for the property located at 21675 Doral Road.

Summary of Request

- The subject property experienced a fire a few years ago that resulted in the western building being razed. The applicant is proposing to construct a new warehouse building in the same location and this building is intended to be used for Master Spa Warehouse. There is an existing building on the east side of the property.
- Proposed Size = 53,173 square feet including mezzanine.
- Zoning District = M-1 Limited Manufacturing District
- Lot size = 3.6 acres.
- Proposed Use = Warehousing.
- Proposed setbacks:
 - Street (Doral Rd) = 130'
 - Street (I-94) = 52'
 - Side (west) = 10'
 - Side (east) = 240'
 - Building separation from east building = 69'
 - All building setbacks will meet code requirements.
- Sum total of floor area
 - Proposed = 46.4% of lot area for both buildings.
 - Required = Sum total of the floor area of the principal building and all accessory buildings shall be not less than 8,000 square feet or 20% of the lot area, whichever is less. Also, sum total of

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351

SEH is 100% employee-owned | **sehinc.com** | 262.646.6855 | 888.908.8166 fax

the floor area of the principal building and all accessory buildings shall not exceed 50% of the lot area.

- Requirement is met.
- Parking
 - Code requirement: 1 space per employee for the work shift with the largest number of employees, plus 1 space per 5,000 square feet of gross floor area.
 - Proposed: 19 new parking spaces.
 - The application did not specify number of employees, so there is not enough information to determine if the parking requirement is met at this time, but can be addressed during preliminary and final review.
- Architectural requirements for manufacturing districts
 - The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. Fifty percent of a facade facing a street shall be finished with brick, decorative masonry, glass panel, or other appropriate finished facade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 20 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.
- Number of Structures
 - The Plan Commission may permit more than one structure per lot in other districts where more than one structure is needed for the orderly development of the parcel. Where additional structures are permitted, the Plan Commission may impose additional yard requirements, landscaping requirements, or parking requirements, or require a minimum separation distance between principal structures.
- Lighting
 - Not provided at time of packet completion.
- Landscaping
 - Not provided at time of packet completion.

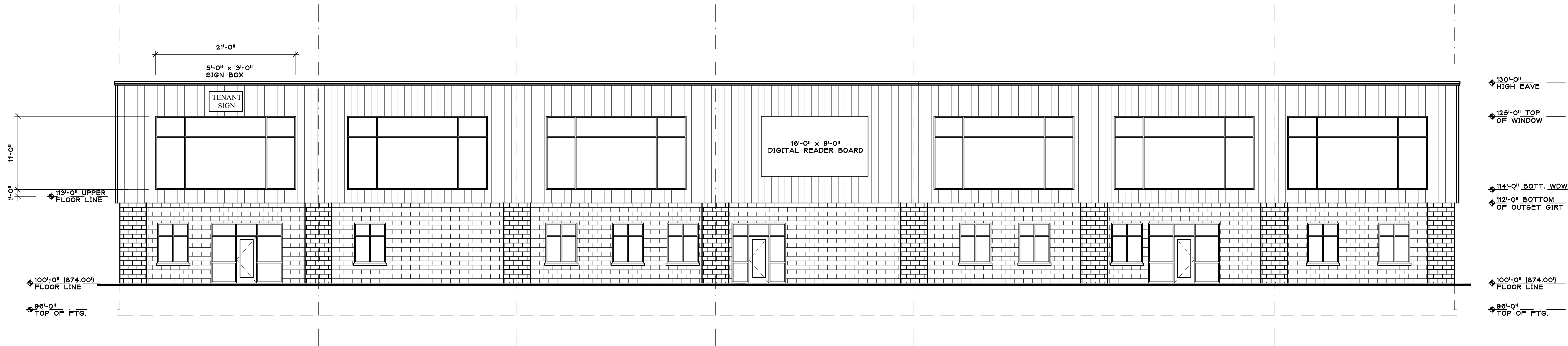
The development review team is currently reviewing and feedback may be provided at the time of the meeting.

Preliminary Approval

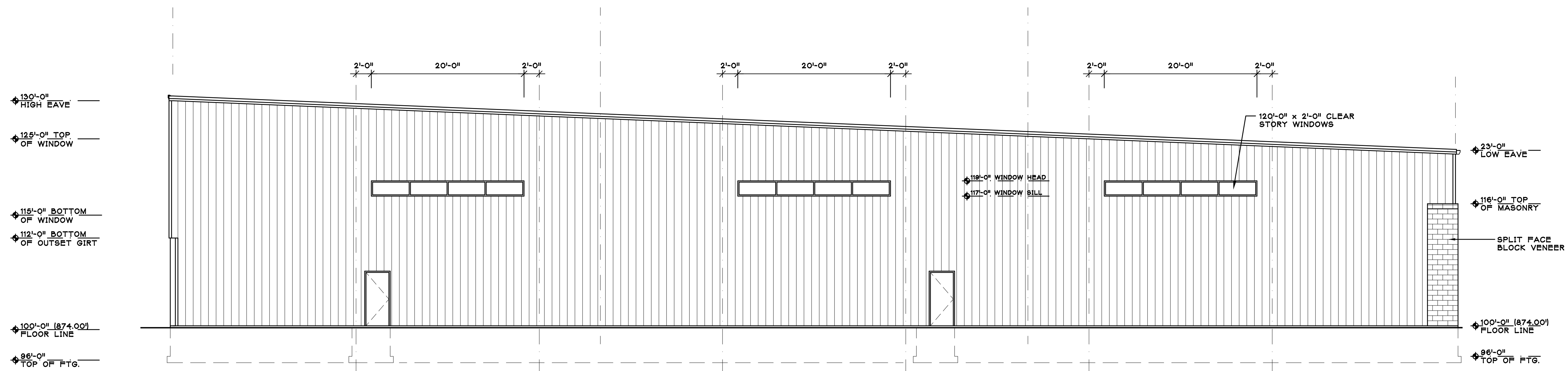
The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site.

Architectural Review Committee

The Committee reviewed the request and recommended approval.



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"



327 RANDOLPH DRIVE - SUITE C
APPLETON, WI 54913
TELE: 920-574-2657 FAX: 920-574-2660

PROPOSED NEW FACILITY FOR
WAREHOUSE BLD'G.

WISCONSIN

TOWN OF BROOKFIELD,

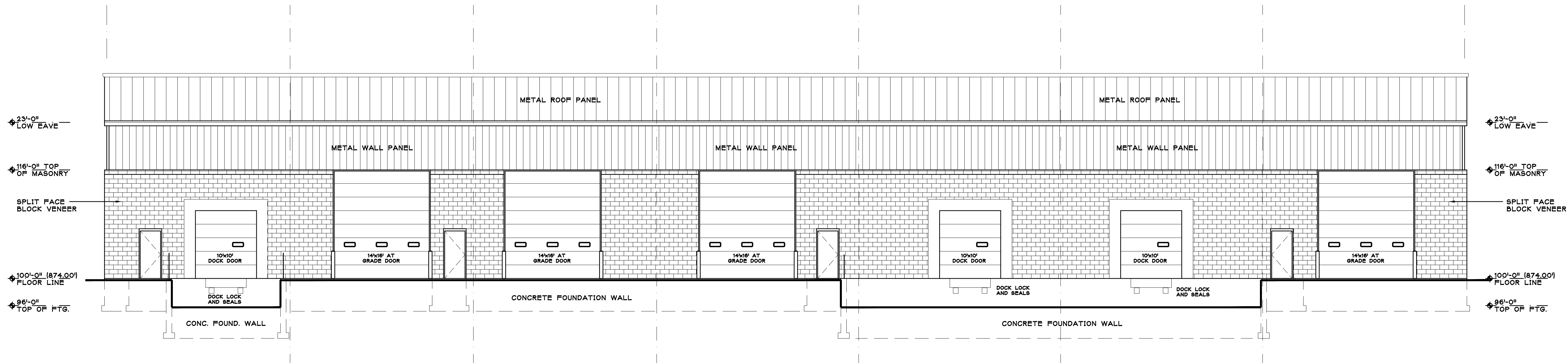
DATE: APRIL 2, 2024
ARCH. K. SPERL
D. BY: _____
JOB: _____
REV. _____

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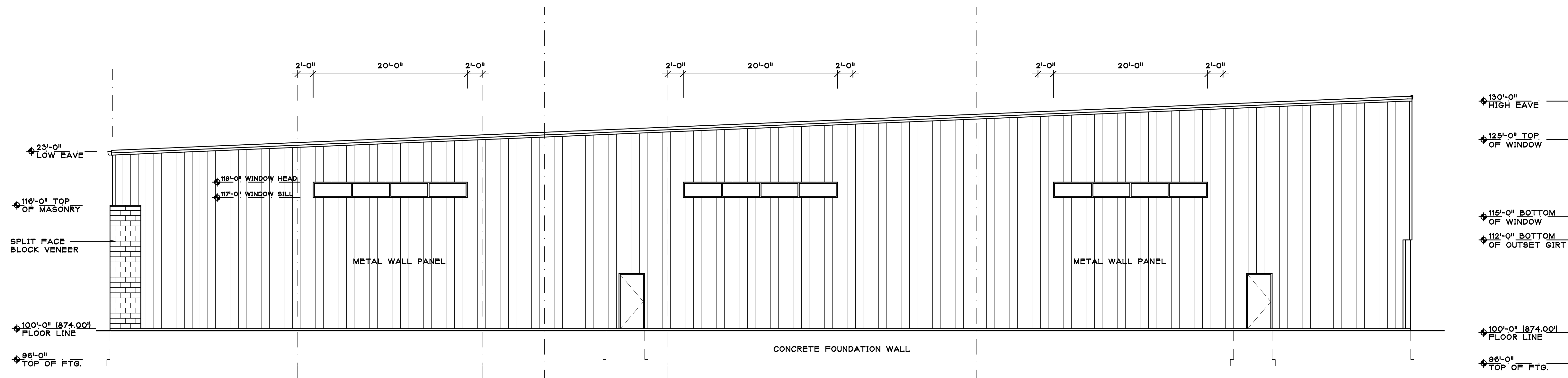
PROPOSED NEW FACILITY FOR
WAREHOUSE BLD'G.
TOWN OF BROOKFIELD,
WISCONSIN

DATE: APRIL 2, 2024
ARCH. K. SPERL
D. BY: _____
JOB: _____
REV. _____

A
2.1



NORTH ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



Proposed Building For:
Master Spas Waukesha Warehouse Building
Waukesha, Wisconsin



DATE: 03/08/24
ARCH: K. SPERL
D. BY: J. MILLER
JOB: 22-025
REV.

COVER SHEET

LEGAL DESCRIPTION

LOT 4 & ELY 1/2 LOT 3 BLK A LILLIE INDUSTRIAL PARK PT NW 1/4 SEC 30 T7N R20E;
COM NE CORNR OF SAID LOT 3 BLK A AT A PNT ON S LINE DORAL ROAD; N69°47'W
ALN S LINE OF DORAL ROAD 150.00 FT; S20°13'W 350.00 FT; S69°47'E 150.00 FT;
N20°13' E ALNG E LINE OF SAID LOT 350.00 FT TO BGN.



LOCATION MAP

21675 DORAL ROAD
BROOKFIELD, WI 53186

NOT TO SCALE

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- C6.1 UTILITY & GRADING DETAILS
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

- SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC JANUARY 11, 2024.
- SURVEY VERTICAL DATUM IS NAVD88.
- THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
- UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
- PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
- NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
- ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
- COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
- UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
- FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
- NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
- GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
- NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
- FOR NOTES SHOWN THUS, "C1", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

CIVIL LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
CABLE PEDESTAL		EVERGREEN SHRUB		STANDARD DUTY ASPHALT	
ELECTRIC METER		EVERGREEN TREE		HEAVY DUTY ASPHALT	
ELECTRIC PEDESTAL		TREE		BUILDING	
GUY WIRE		TREE SHRUB		ASPHALT	
LIGHT POLE		BUILDING OVERHANG		CONCRETE	
POWER POLE		UNDERGROUND CABLE		GRAVEL	
GAS METER		OVERHEAD WIRE		LANDSCAPE WOOD MULCH	
GAS VALVE		UNDERGROUND ELECTRIC		LANDSCAPE STONE MULCH	
BOLLARD		GAS			
HANDICAP PARKING		LANDSCAPE			
SANITARY CLEANOUT		FENCE			
SANITARY MANHOLE		GUARDRAIL			
CATCH BASIN		CENTERLINE			
CULVERT		CURB			
DOWNSPOUT		PARKING STRIPE			
INLET		SANITARY SEWER			
INLET 2' X 2'		CULVERT			
STORM CLEANOUT		STORM SEWER			
STORM MANHOLE		FIBER OPTIC			
FIBER OPTIC PEDESTAL		WOOD LINE			
SIGN		RETAINING WALL			
FIRE HYDRANT		WATERMAIN			
WATER SHUT OFF		CONTOUR MAJOR			
WATER VALVE		CONTOUR MINOR			

ABBREVIATIONS

Ø	DIAMETER	MIN	MINIMUM
AC	ACRE	mm	MILLIMETER
AEW	APRON END WALL	N	NORTH
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NE	NORTHEAST
BM	BENCHMARK	OC	ON CENTER
C	CABLE	OD	OUTSIDE DIAMETER
CB	CATCH BASIN	OHP	OVER HEAD POWER
CI	CURB INLET	OL	OUTLOT
CMP	CORRUGATED METAL PIPE	PSI	POUNDS PER SQUARE INCH
CO	CLEAN OUT	PVC	POLYVINYL CHLORIDE
CSM	CERTIFIED SURVEY MAP	R	RADIUS
C.T.H	COUNTY TRUNK HIGHWAY	RAD	RADIUS
DIA	DIAMETER	RCP	REINFORCED CONCRETE PIPE
DOT	DEPARTMENT OF TRANSPORTATION	REQ	REQUIRED
E	EAST	S	SOUTH
E	ELECTRIC (BURIED)	SA	SANITARY
EL	ELEVATION	SAN	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SCHD	SCHEDULE
FFE	FIRST FLOOR ELEVATION	S.D.	SUMP DEPTH
FL	FLOW LINE	SQ	SQUARE
FO	FIBER OPTIC	ST	STORM
FT	FEET	S.T.H.	STATE TRUNK HIGHWAY
G	GAS	STM	STORM
G.F.E.	GROUND FLOOR ELEVATION	T	TELEPHONE
GR	GRADE	T/C	TOP OF CURB
HDPE	HIGH DENSITY POLYETHYLENE	U.S.H.	UNITED STATES HIGHWAY
INL	INLET	V	VARIES
INV	INVERT	W	WEST
M	METER	WAT	WATER
MAX	MAXIMUM	WI	WISCONSIN
MH	MANHOLE	WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION

SURVEY NOTE

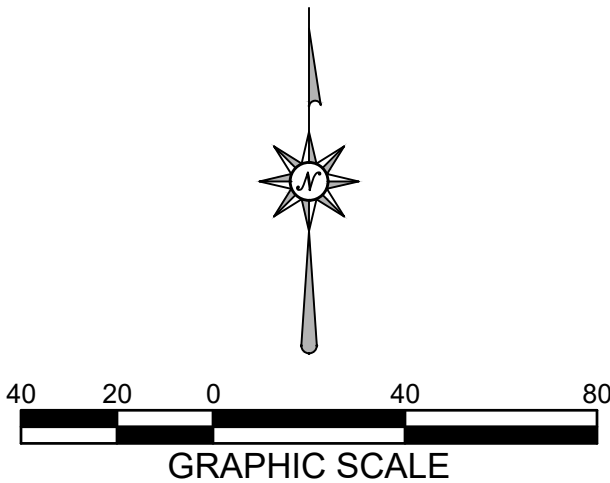
AT TIME OF FIELD WORK THERE WAS APPROXIMATELY
10" - 12" OF SNOW ON THE GROUND

DIGGERS HOTLINE

CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2148-01-23

ADDITION AND ALTERATIONS FOR,

21675 DORAL ROAD

TOWN OF BROOKFIELD,

WISCONSIN



327 RANDOLPH DR. STE 101
APPLETON, WI 54913
TELE: 920-707-4226 FAX: 920-240-8072

DATE: JANUARY 31, 2024

ARCH: J. EHRPURTH

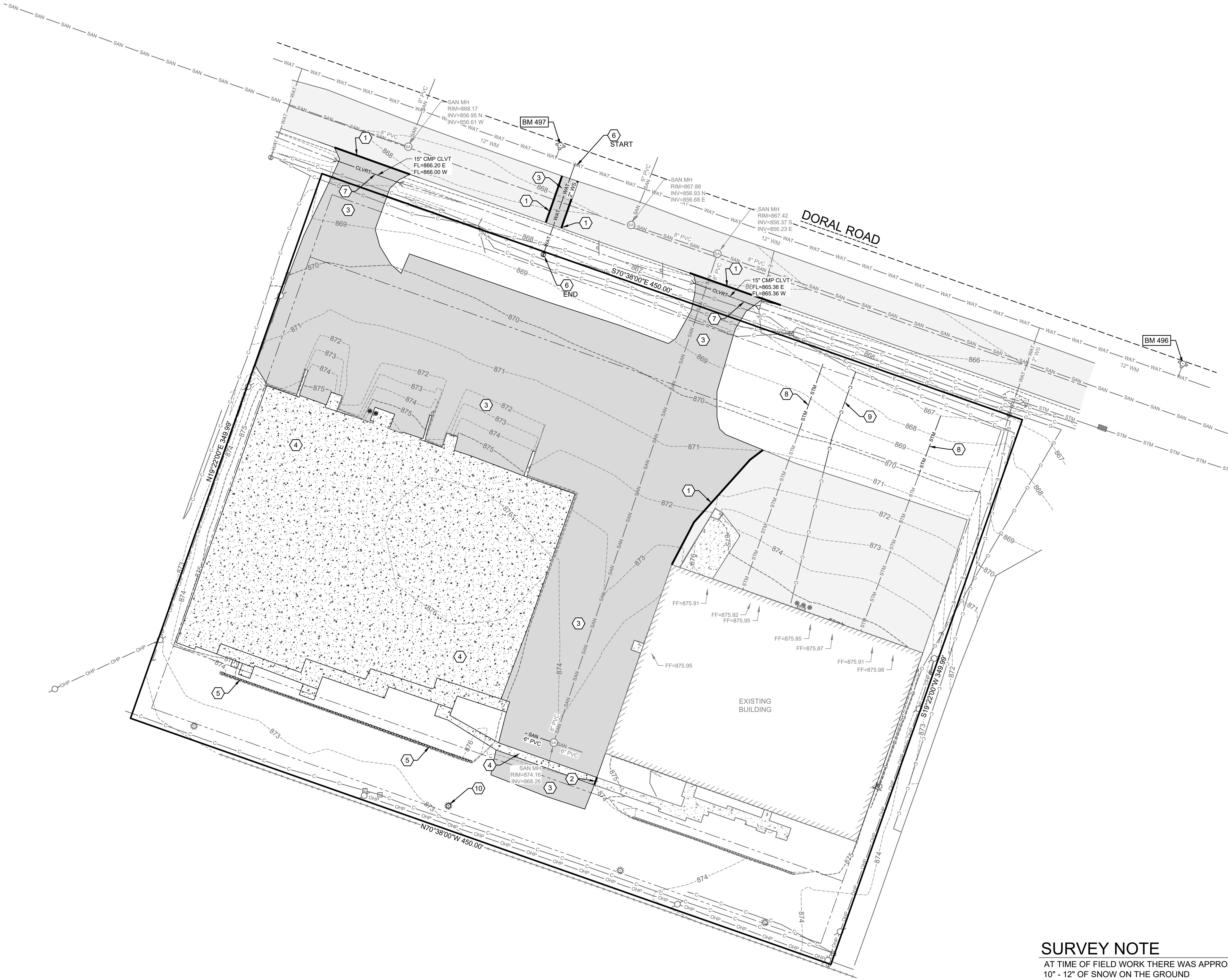
D. BY: RPH

JOB: 23-003

REV: ----

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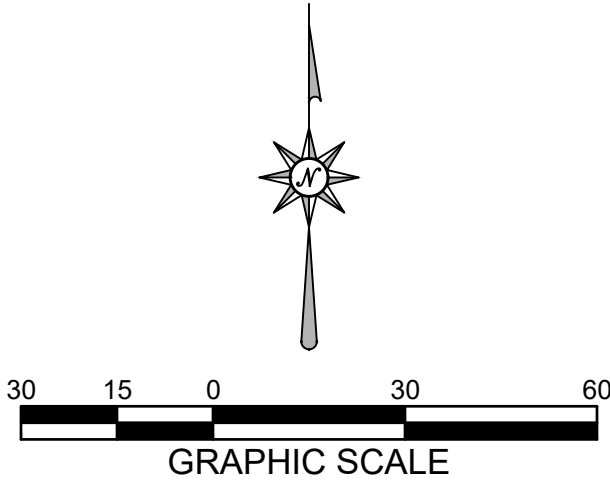


SURVEY NOTE
AT TIME OF FIELD WORK THERE WAS APPROXIMATELY
10" - 12" OF SNOW ON THE GROUND

DEMOLITION PLAN

Benchmarks		
Label	Elevation	Description
BM 496	866.74	HYDRANT FLAG BOLT
BM 497	870.25	HYDRANT FLAG BOLT

- SHEET KEY NOTES:**
- 1 SAW CUT ASPHALT
 - 2 SAW CUT CONCRETE
 - 3 REMOVE ASPHALT
 - 4 REMOVE CONCRETE
 - 5 REMOVE CONCRETE WALL AND FOUNDATION
 - 6 REMOVE EX. 2" WATER SERVICE LINE AND SHUT OFF VALVE
 - 7 REMOVE CULVERT
 - 8 REMOVE STORM SEWER WITHIN THE BIOFILTER; REFER TO SHEET C4.0 FOR BIOFILTER
 - 9 COORDINATE THE RELOCATION OF PRIVATE UTILITIES WITHIN BIOFILTER WITH UTILITY OWNER; REFER TO SHEET C4.0 FOR BIOFILTER
 - 10 REMOVE AND RELOCATE EXISTING LIGHT; COORDINATE WITH ELECTRICAL DRAWINGS



MACH IV
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2148-01-23

ADDITION AND ALTERATIONS FOR,

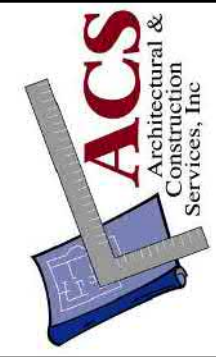
21675 DORAL ROAD

TOWN OF BROOKFIELD,

WISCONSIN

DATE: JANUARY 31, 2024
ARCH: J. EHRPURTH
D. BY: RPH
JOB: 23-003
REV: ----

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1.0



327 RANDOLPH DR. STE 100
APPLETON, WI 54913
TELE: 920-707-4226 FAX: 920-240-8072

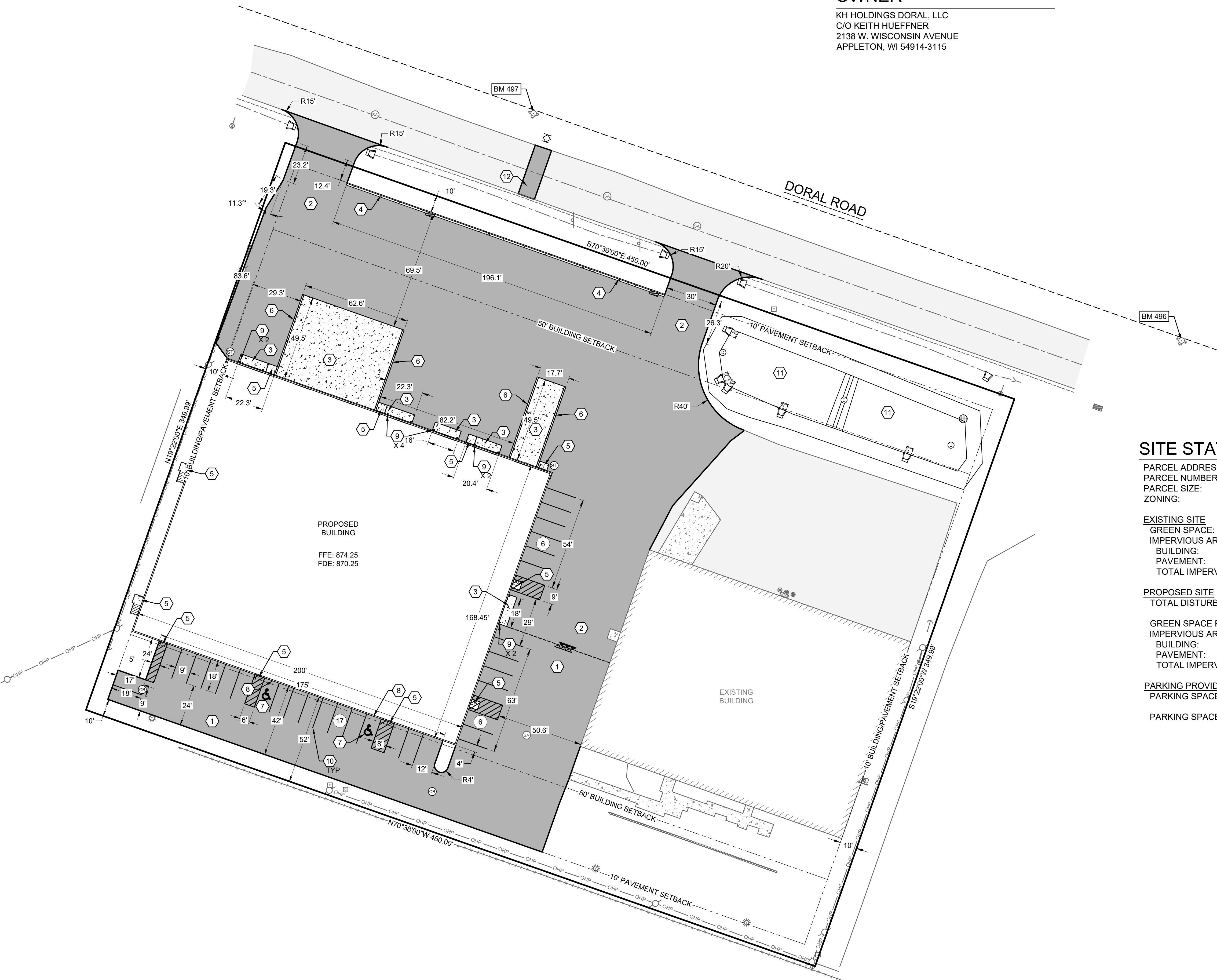
SITE PLAN

OWNER

KH HOLDINGS DORAL, LLC
C/O KEITH HUEFFNER
2138 W. WISCONSIN AVENUE
APPLETON, WI 54914-3115

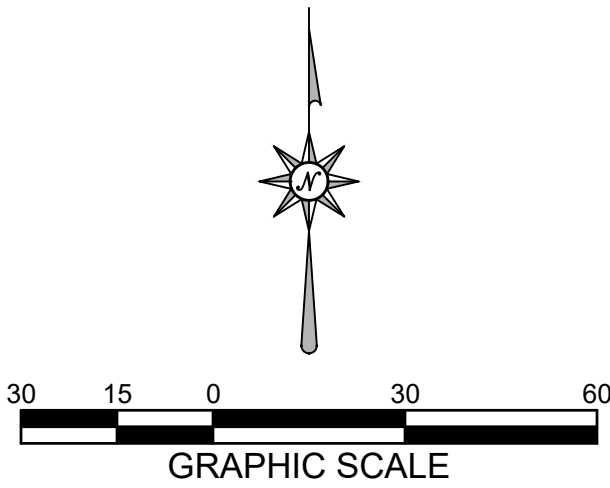
SHEET KEY NOTES:

- 1 STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C6.0
- 2 HEAVY DUTY ASPHALT; SEE DETAIL B SHEET C6.0
- 3 CONCRETE PAVEMENT; SEE DETAIL C SHEET C6.0
- 4 CONCRETE CURB & GUTTER; SEE DETAIL D SHEET C6.0
- 5 STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- 6 LOADING DOCK RETAINING WALL; REFER TO ARCHITECTURAL DRAWINGS
- 7 ADA HANDICAP STALL, SYMBOL; SEE DETAIL E SHEET C6.0
- 8 ADA HANDICAP SIGN; SEE DETAIL F SHEET C6.0
- 9 BOLLARD; SEE DETAIL G SHEET C6.0
- 10 4" WIDE PAINT STRIPE; COLOR BY OWNER
- 11 BIOFILTER CELL; SEE SHEET C4.0
- 12 REPLACE ASPHALT IN-KIND



SITE STATISTICS

PARCEL ADDRESS:	21675 DORAL ROAD SUITE B
PARCEL NUMBER:	BKFT1126004
PARCEL SIZE:	157,494 SF (3.62 AC)
ZONING:	M-1: LIMITED MANUFACTURING DISTRICT
EXISTING SITE	
GREEN SPACE:	49,813 SF (31.63%)
IMPERVIOUS AREA	
BUILDING:	19,573 SF (12.43%)
PAVEMENT:	88,108 SF (55.94%)
TOTAL IMPERVIOUS:	107,681 SF (68.37%)
PROPOSED SITE	
TOTAL DISTURBED AREA:	108,836 SF (2.499 AC)
GREEN SPACE PROVIDED:	34,145 SF (21.68%)
IMPERVIOUS AREA	
BUILDING:	53,268 SF (33.82%)
PAVEMENT:	70,081 SF (44.50%)
TOTAL IMPERVIOUS:	123,349 SF (78.32%)
PARKING PROVIDED	
PARKING SPACES REQ'D/CALCS:	1 PER EMPLOYEE + 1 PER 2,500 SF 15 EMPLOYEE + 53,268 SF / 2,500 SF = 15 + 22 STALLS = 37 STALLS
PARKING SPACES PROVIDED:	39 STALLS, INCLUDES 2 ADA HANDICP STALLS



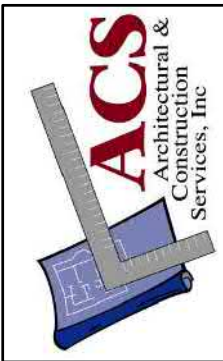
2260 Salscheider Court Green Bay, WI 54313
PH:920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2148-01-23

ADDITION AND ALTERATIONS FOR,

21675 DORAL ROAD

TOWN OF BROOKFIELD,

WISCONSIN



327 RANDOLPH DR. STE 100
APPLETON, WI 54913
TELE: 920-707-4226 FAX: 920-240-8072

DATE: JANUARY 31, 2024
ARCH: J. EHRPURTH
D. BY: RPH
JOB: 23-003
REV: ----

C
2.0

UTILITY PLAN

Benchmarks		
Label	Elevation	Description
BM 496	866.74	HYDRANT FLAG BOLT
BM 497	870.25	HYDRANT FLAG BOLT

SHEET KEY NOTES:

- CONNECT TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND VALVE; SEE DETAIL A SHEET C6.1
- COORDINATE CONNECTION TO BUILDING WITH PLUMBING AND ARCHITECTURAL PLANS
- CONNECT SANITARY SEWER TO EXISTING MANHOLE
- STORM INLET - 2'X3'; SEE DETAIL B SHEET C6.1
- STORM INLET - 3' DIAMETER; SEE DETAIL C SHEET C6.1
- STORM MANHOLE - 3' DIAMETER; SEE DETAIL D SHEET C6.1
- STORM CLEANOUT; SEE DETAIL E SHEET C6.1, CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- APRON END WALL
- BIOFILTER OUTLET STRUCTURE; SEE DETAIL F SHEET C6.1
- BIOFILTER CELL; SEE SHEET C4.0
- ROOF DRAIN COLLECTOR LINE; COORDINATE WITH PLUMBING AND ARCHITECTURAL PLANS

UTILITY NOTES:

- SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
- WATER SERVICE SHALL BE C900 PVC. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
- ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
- ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
- WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
- STORM SEWER SHALL BE PVC SDR 35 (ASTMD-3034) OR SCH 40.
- NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
- CONNECTIONS TO MUNICIPAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S RESPECTIVE STANDARD SPECIFICATIONS.



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D. BY: RPH
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REV: ----

C
3.0

GRADING PLAN

Benchmarks		
Label	Elevation	Description
BM 496	866.74	HYDRANT FLAG BOLT
BM 497	870.25	HYDRANT FLAG BOLT

SHEET KEY NOTES:

- 1
- CONSTRUCTION / GRADING LIMITS

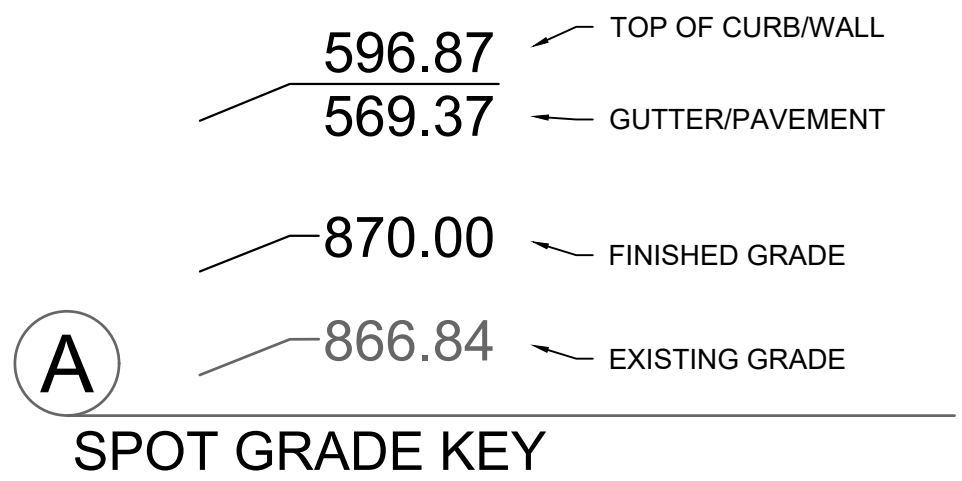
2

3

4

5

6



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WISCONSIN

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D. BY: RPH

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REV: ----

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4.0



327 RANDOLPH DR. STE 100

APPLETON, WI 54913

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for All of Us®

TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP
Town Planner

REPORT DATE: April 18, 2024
PC MEETING DATE: April 23, 2024

RE: **Eagles Nest – Preliminary & Final Approval
Eagle Drive BKFT1124974016**

SEH No. 171421, TASK 54

Applicant: Scott Bence (JB Development, L.P.)
Application Type: Preliminary and Final Approval

Request

Applicant is requesting preliminary and final approval of the continuation the Eagles Nest Condominium Project with updated building plans.

Summary of Request

- The Eagles Nest Condominium Project was originally approved in 2004 with a revised building design in May of 2008. 42 units were approved during the original proposal.
 - Currently all the infrastructure has been built including the overall site grading, paving, stormwater management, sanitary, storm and watermain, and site lighting.
 - There are 7 pad ready condo lots available for construction.
 - Due to the housing market crash in 2008, a portion of the project was delayed and the approval for the project expired.
 - The zoning code requires that all new multifamily projects receive conceptual, preliminary, and final approval as outlined in § 17.02(7) of the zoning code.
 - The applicant is requesting conceptual, preliminary, and final approval from the Plan Commission because the proposal is remaining the same, except for a few architectural difference.
- According to the applicant, “Our desire is to start building with building pad 9, this pad allows for 6 condominium units. The attached plan is consistent with what was approved in 2008, because of the updated building codes, we are proposing 3 duplex (2 family buildings) zero lot line buildings vs. a traditional six-unit multifamily building. It is important to note that the 3 buildings are individual buildings with an air gap/sheathing on both exterior walls (Detail 20/A4.0) The only difference is the exterior facade (Siding/stone/shingles) are carried across the separation gap to give it a uniform look to match the look of the traditional six-unit multifamily building. The end look will be the same, but the 3

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351
SEH is 100% employee-owned | **sehinc.com** | 262.646.6855 | 888.908.8166 fax

buildings are governed by a different set of rules. We will be applying for three two family building permits for building pad #9. Note the color and materials are consistent with the existing building and what was previously approved.

- Zoning District = RM-2 Multifamily Residential District
- Lot size = 6.6 acres.
- The property currently has 2 buildings with 5 units towards the south side of the property, as originally approved.
- Proposed buildings are located within the same footprint as the original approved plans and utilities are generally provided near proposed buildings.
 - The proposed buildings are all townhouse style units; whereas the original approved plans consisted of a mix of flats and townhouses.
- 32 units are proposed.
 -
- Proposed setbacks:
 - All building setbacks will meet code requirements and are not changing from original approval.
- Sum total of floor area
 - Proposed = 17.84% of lot area.
 - Required = Sum total of the floor area of the principal buildings and all accessory buildings shall not exceed 25% of the lot area.
 - Requirement is met.
- Parking
 - Parking is proposed to remain the same as originally approved and there appears to be sufficient parking.
- Lighting
 - Street lighting is existing and the buildings have coach lights on the garage elevations which are shown on sheet E1.0 in the packet. These are the same as the existing buildings (100 watt light fixtures).
- Landscaping
 - Proposed to remain the same from the original approval and is included in the packet.

The development review team is currently reviewing the plans and may provide feedback by the time of the meeting.

Preliminary Approval

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site.

Final Approval

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

Architectural Review Committee

The Committee reviewed the proposal and recommended preliminary and final approval.

PROJECT NAME:

Eagles Nest
Condominiums
3 Duplexes (6 Units)
165 Aerie Circle - Bldg #9
Brookfield, WI 53045
Job # 2302J

GENERAL CONTRACTOR



Companies, Inc.

JBJ Development

(A Division of JBJ Companies Inc.)
W178 N9912 Rivercrest Dr., Ste 101
Germantown, WI 53022-4645
(262) 255-1800 Fax (262) 255-2234
www.JBJCompanies.com

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1506 S. 58th STREET
WEST ALLIS, WI 53214
PHONE (414) 617-0352

Eagles Nest
Condominiums
165 Aerie Circle - Bldg #9
Brookfield, WI 53045
Job # 2302J

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Sheet Contents

TITLE SHEET
CODE INFORMATION
LOCATION PLAN
DEVELOPMENT PLAN
--

Issued For: Prelim 1
Date: 10 Dec, 2020

75% Set 19 Feb, 2021
45% Set 19 Feb, 2021
For Construction 19 March, 2021
Rev 1 23 April, 2021
Rev 2 28 May, 2021
Rev 3 21 Nov, 2023
Bld Set 06 Dec, 2023

Drawn By: DG

Checked By: DG

Date: 04 Dec, 2020

Job Number: 20,044

Sheet Number

T 1.0



DRAWING INDEX :

ARCHITECTURAL:

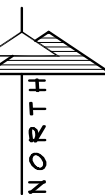
- T 1.0 TITLE SHEET
A 1.0 BASEMENT PLANS
A 1.1 FLOOR PLANS
A 1.2 ROOF PLAN
A 2.0 ELEVATIONS
A 3.0 WALL SECTIONS
A 3.1 UNIT A SECTIONS
A 3.2 UNIT B & C SECTIONS
A 4.0 UNIT A PLANS
A 4.1 UNIT A PLANS (OPP.)
A 4.2 UNIT B PLANS
A 4.3 UNIT C PLANS
A 5.0 CASEWORK
E 1.0 BASEMENT & EXTERIOR ELECTRICAL
E 1.1 UNIT A ELECTRICAL PLANS
E 1.2 UNIT B ELECTRICAL PLANS
E 1.3 UNIT C ELECTRICAL PLANS
S 1.0 FOUNDATION PLAN
S 1.1 FOUNDATION PLAN
S 1.2 FLOOR FRAMING
S 1.3 ROOF FRAMING
S 1.4 BRACING PLANS

INTERIOR DECORATING

- ID 100 COVER SHEET
ID 101 MATERIAL LEGEND - SCHEME A
ID 102 MATERIAL LEGEND - SCHEME B
ID 200 FINISH PLAN - BASEMENT
ID 201 FINISH PLAN - FIRST FLOOR
ID 202 FINISH PLAN - SECOND FLOOR
ID 300 DECORATIVE ELEVATIONS

CODE INFORMATION :

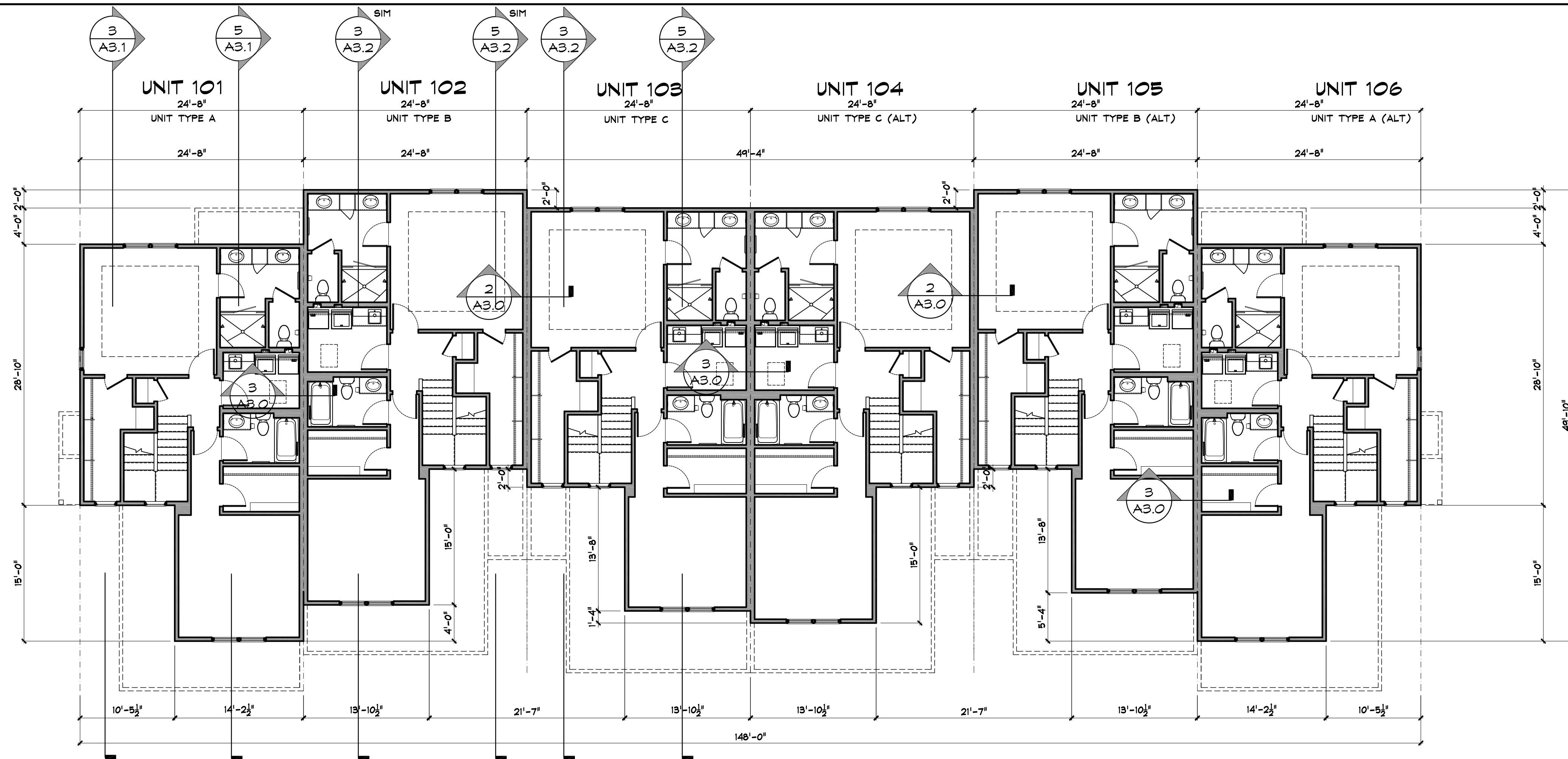
CODE AND PROJECT SCOPE:
PER SPS 320.04 (6) THESE BUILDINGS ARE CONSIDERED
(6) DUPLEXES UNDER THE UDC - SPS320-325



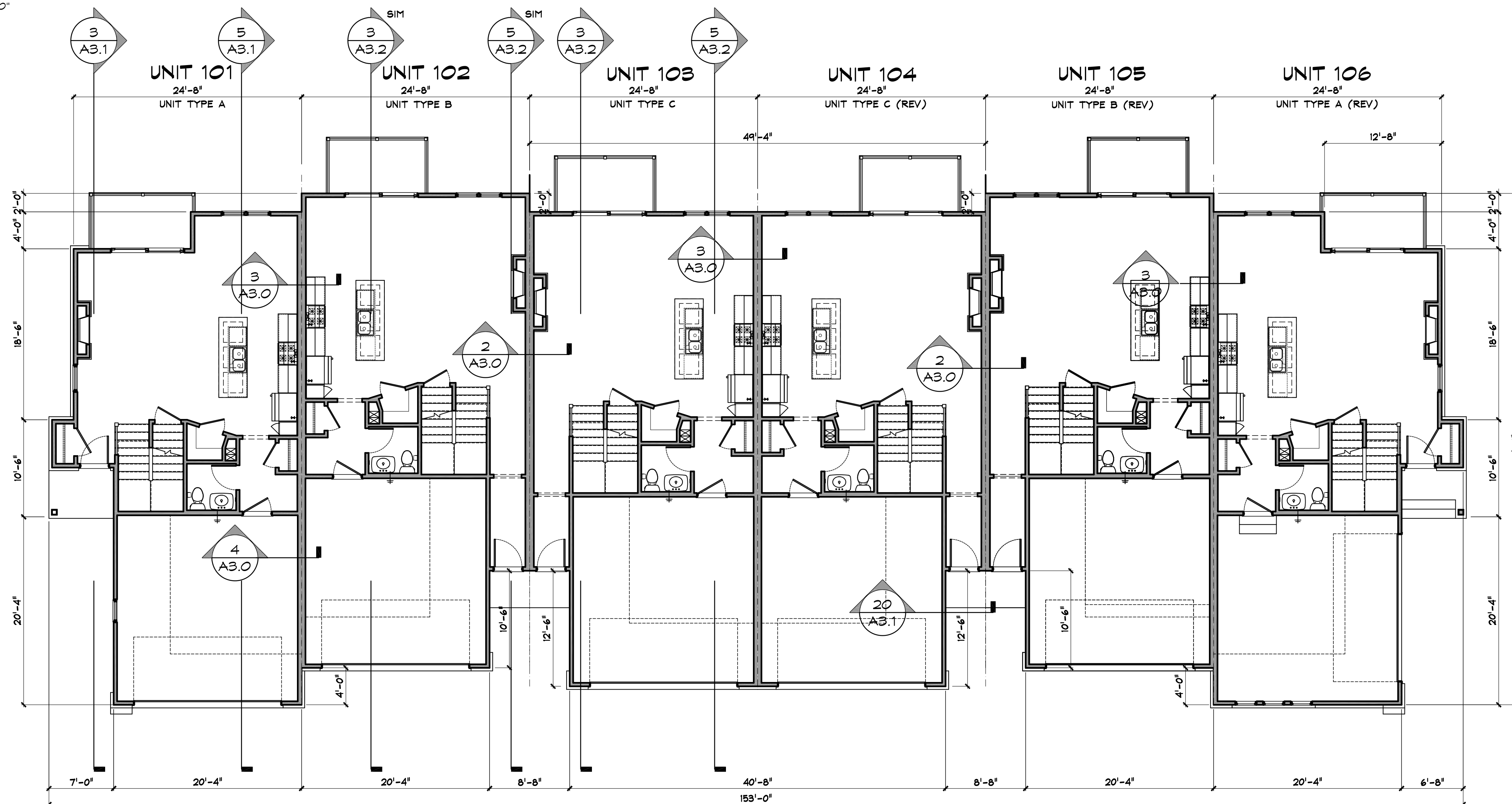
5

SITE DEVELOPMENT PLAN

1" = 60'-0"



14 SECOND FLOOR PLAN
1/8" = 1'-0"



4 FIRST FLOOR PLAN
1/8" = 1'-0"

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Condominiums
165 Aerie Circle - Bldg #9
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FLOOR PLANS

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Prelim 1 10 Dec, 2020
Prelim 2 21 Dec, 2020

Prelim 4 13 Jan, 2021
Prelim 5 14 Jan, 2021
Prelim 6 27 Jan, 2021
Prelim 7 01 Feb, 2021
Prelim 8 14 Feb, 2021
75% Set 14 Feb, 2021

For Construction 14 March, 2021
Rev 1 23 April, 2021
Rev 2 26 May, 2021
Rev 3 21 Nov, 2023
Bld Set 06 Dec, 2023

Drawn By: DG

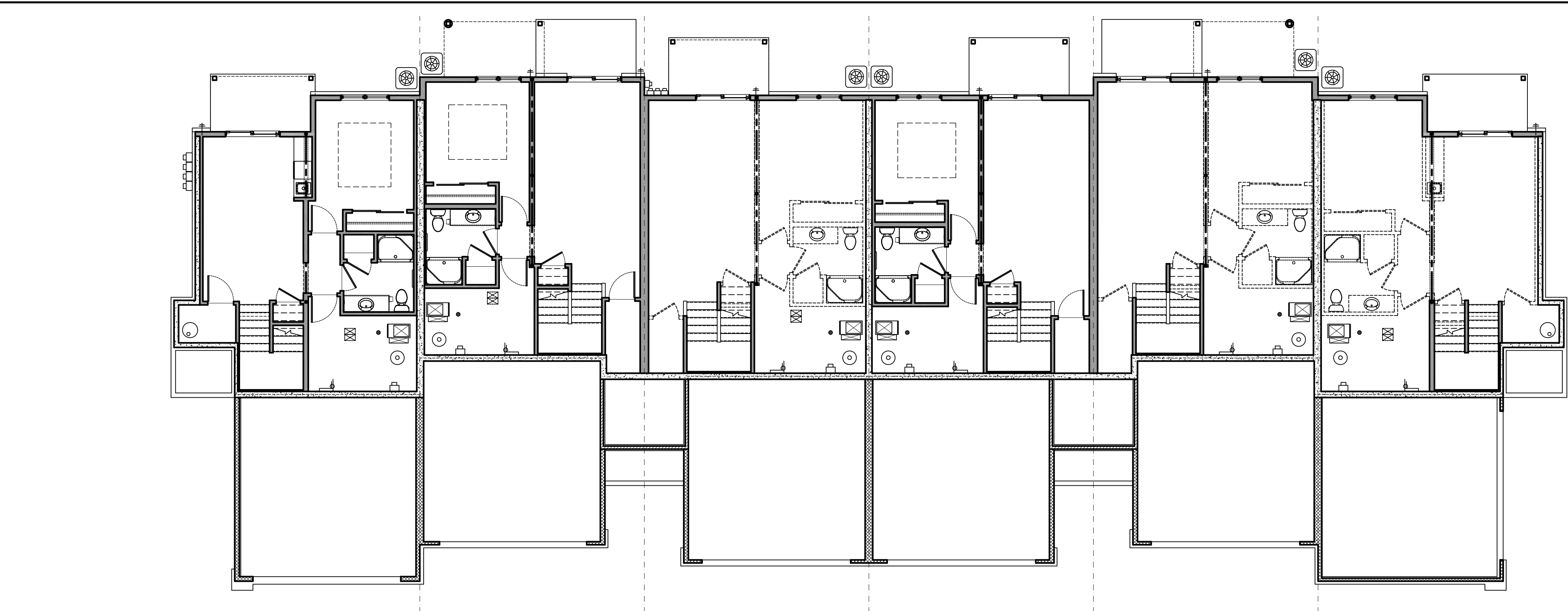
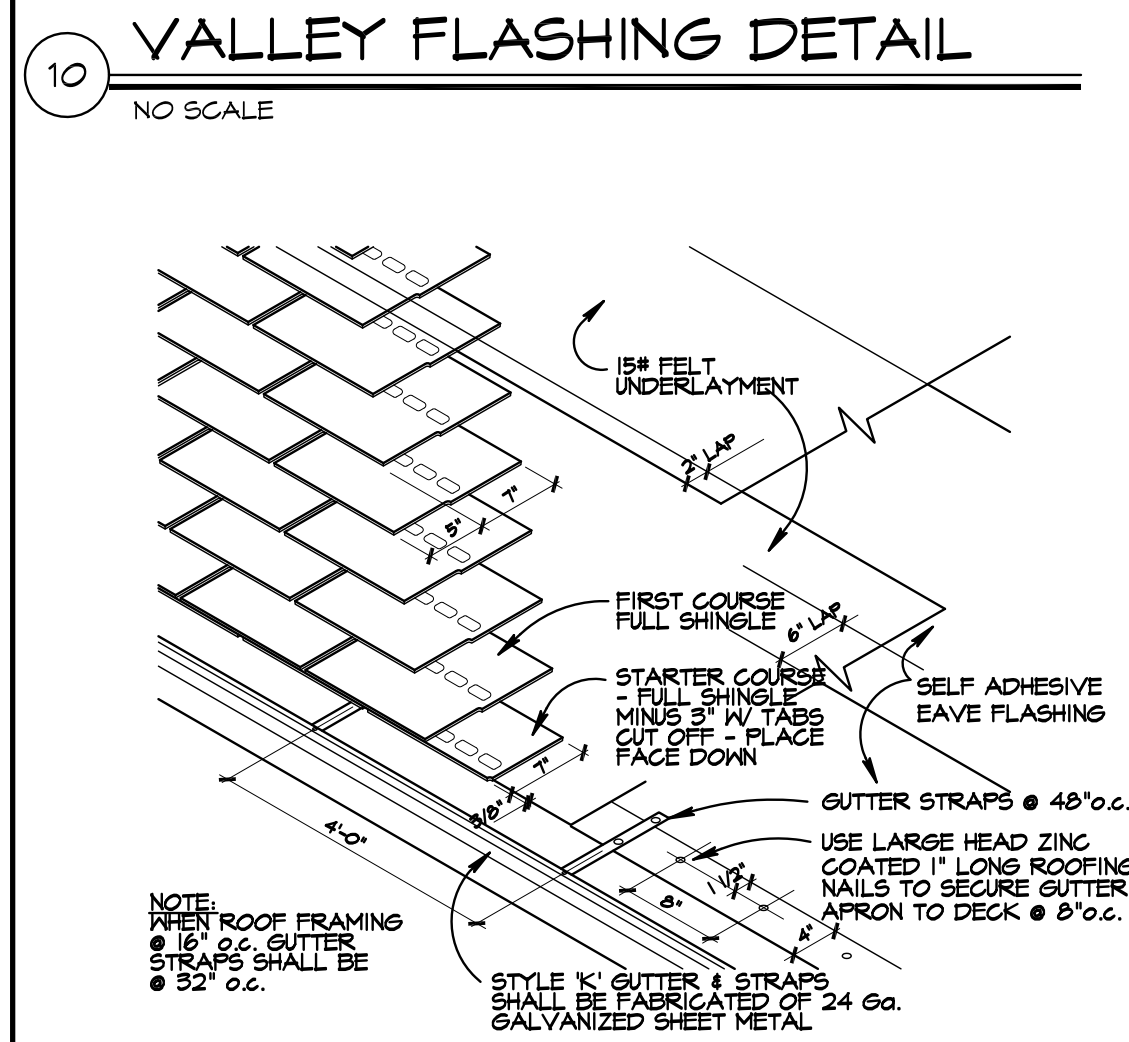
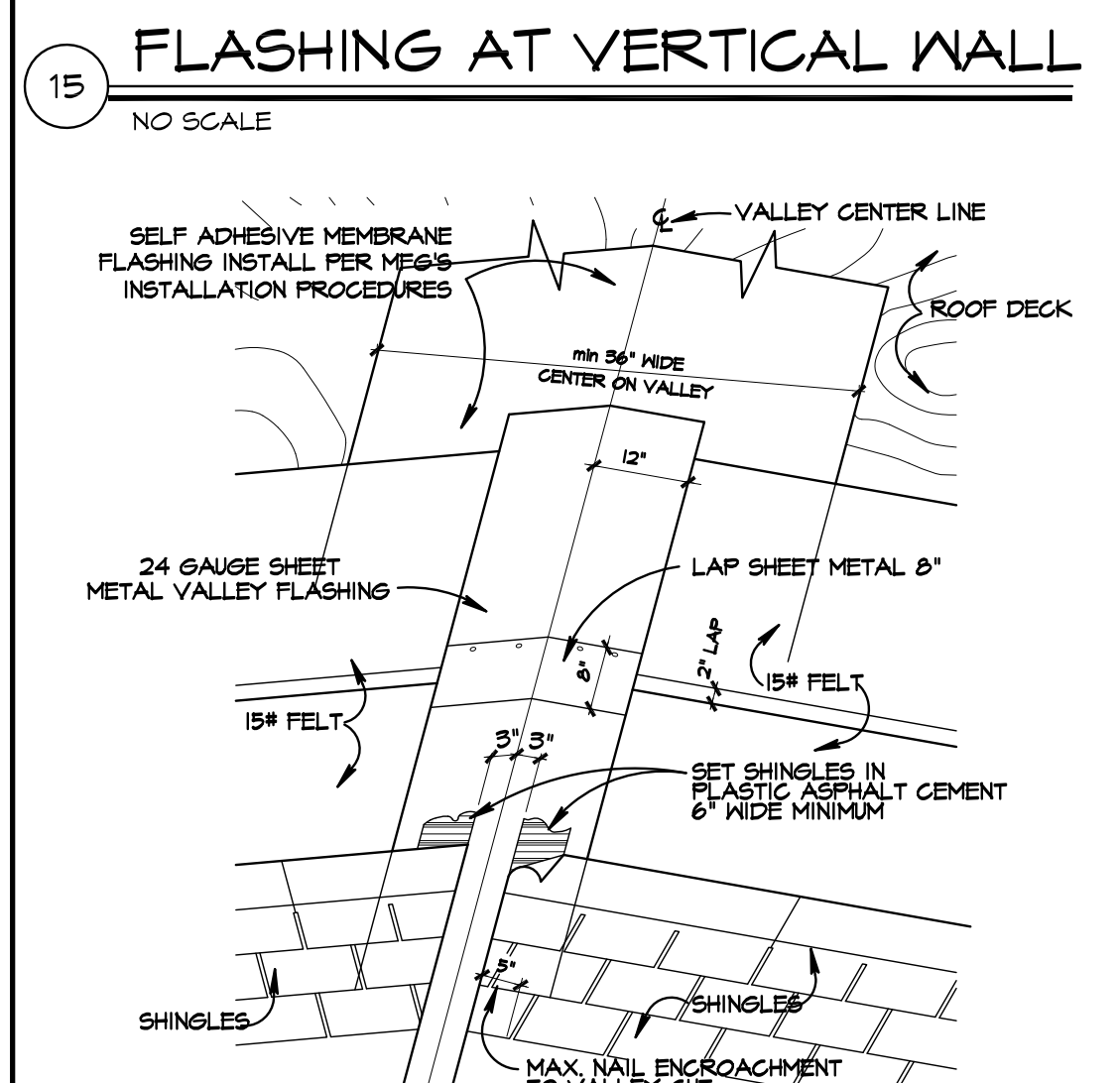
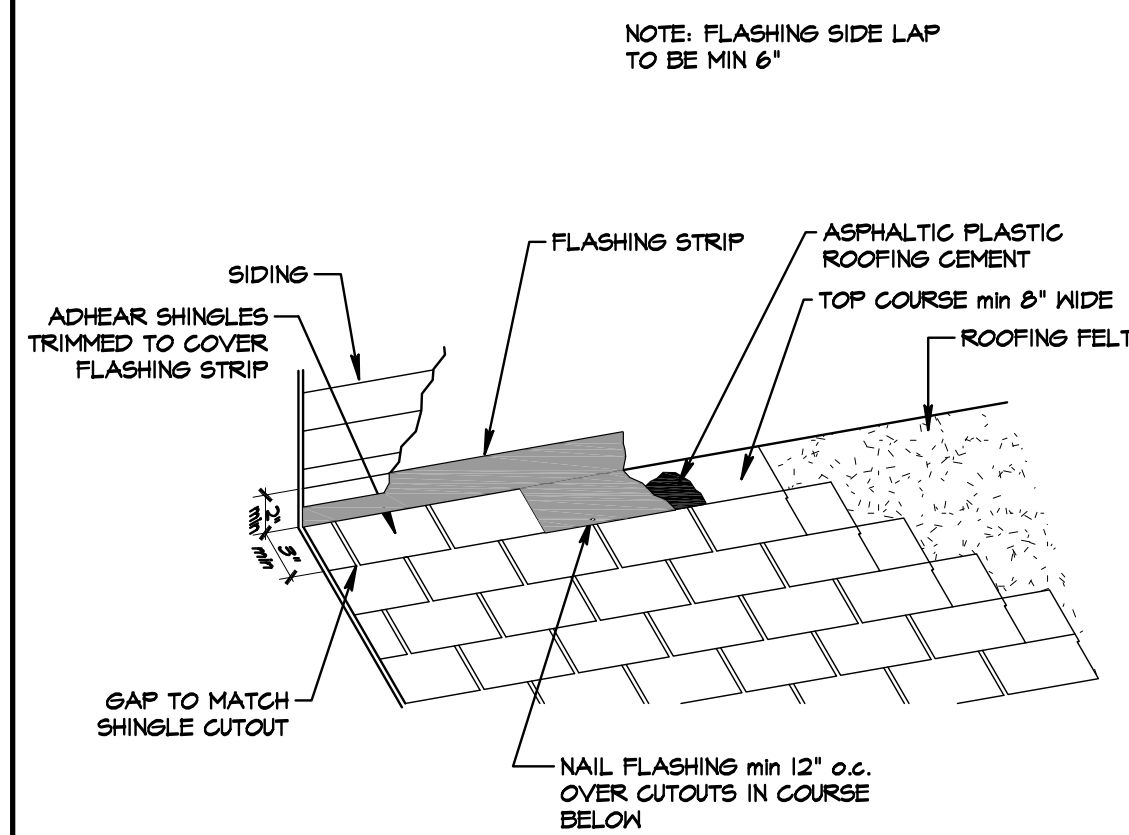
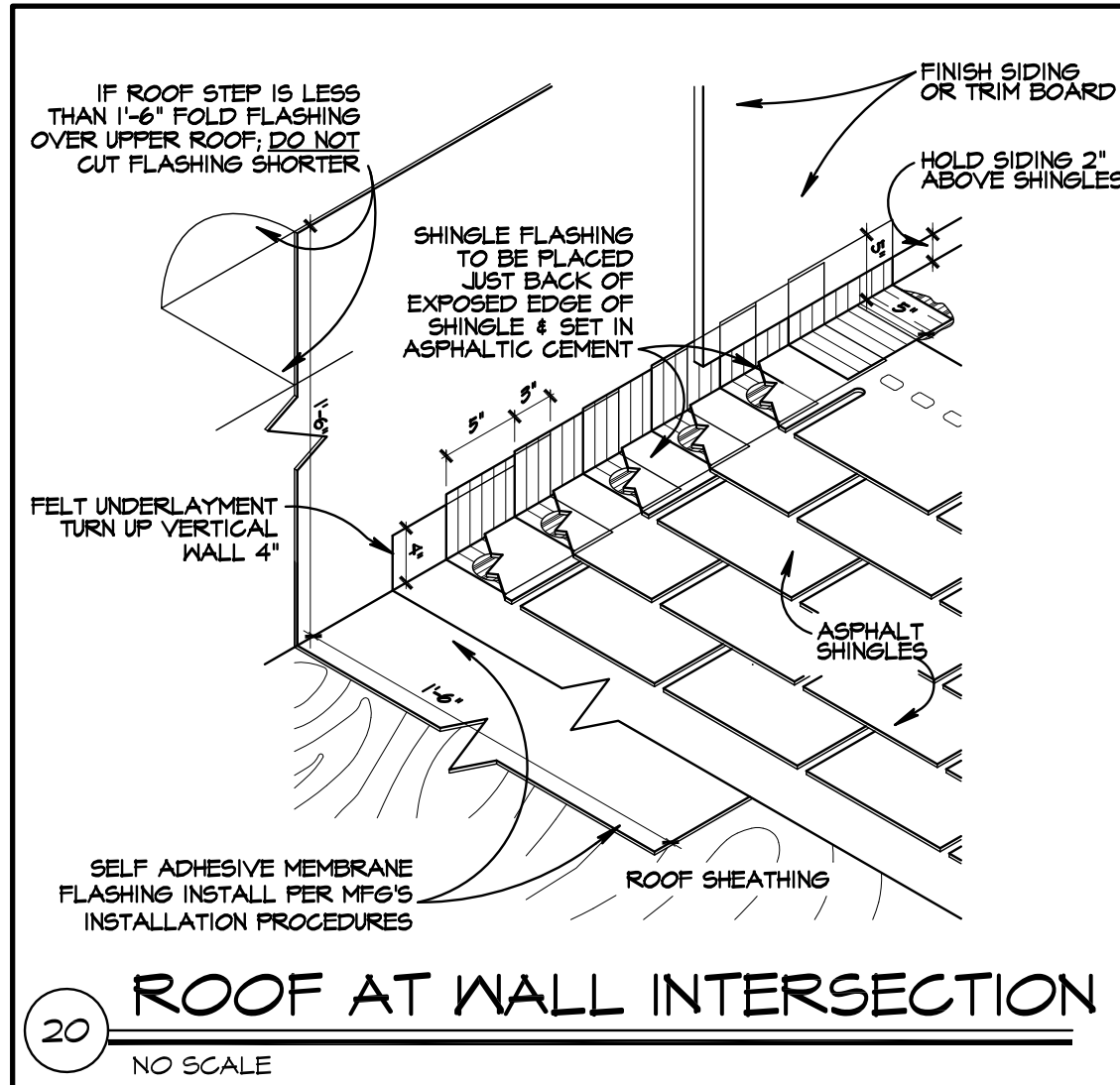
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Date: 04 Dec, 2020

Job Number: 20,044

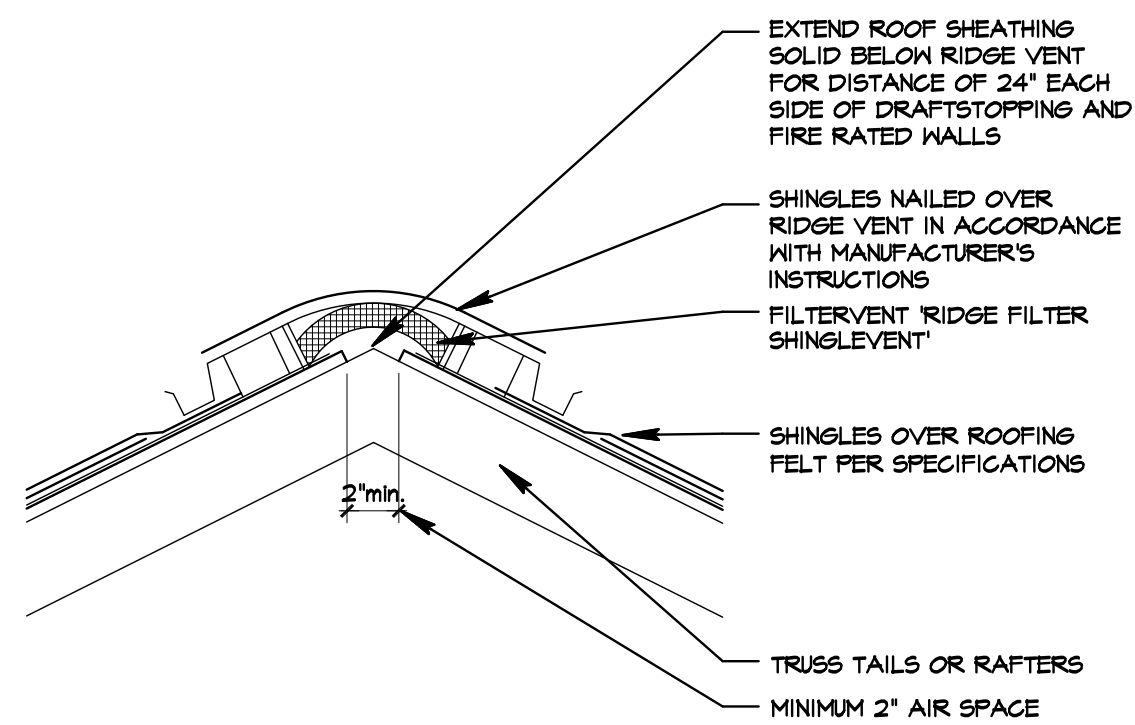
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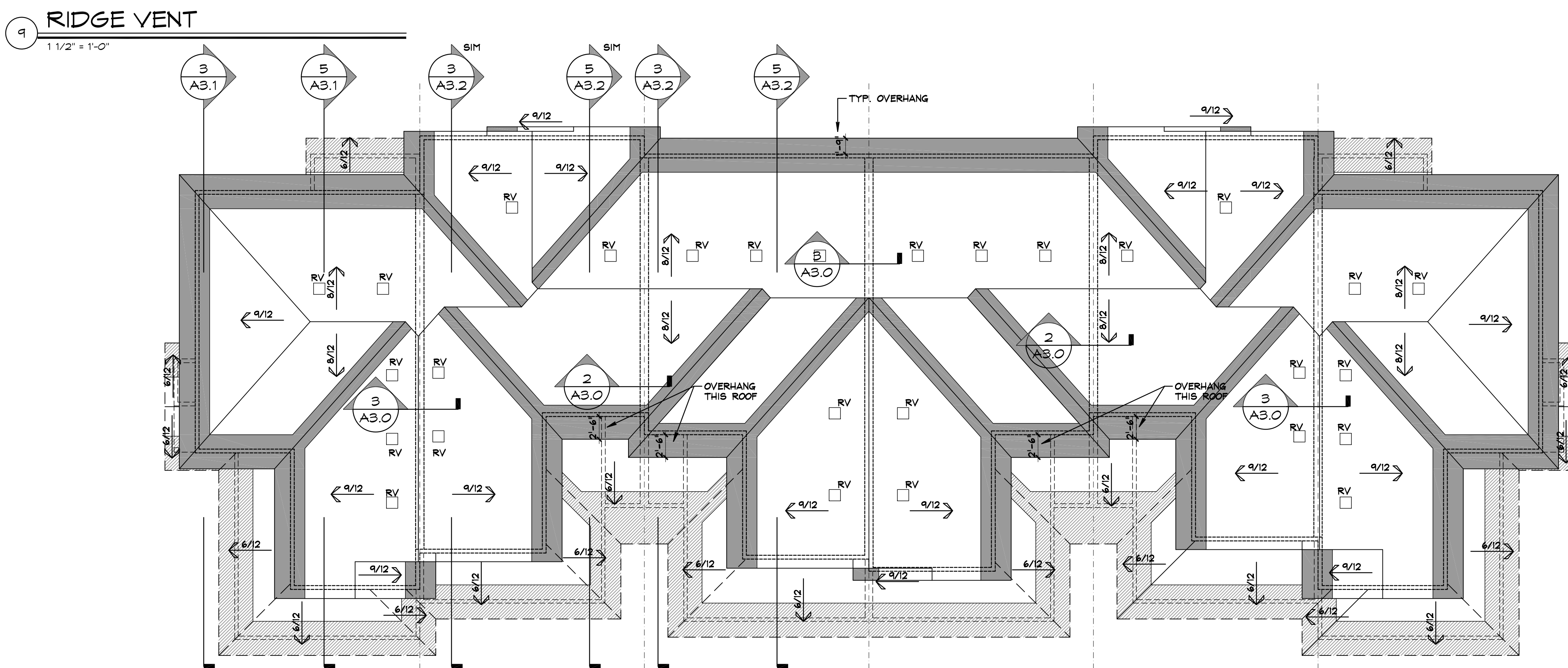
14 OVERALL BASEMENT PLAN

1/8" = 1'-0"



PLAN KEY

- ROOF VENT (min 50 sq.in. FREE VENT AREA)
- SELF-ADHESIVE RUBBERIZED ASPHALT MEMBRANE (ICE & WATER SHIELD OR EQ.) UPPER ROOF EAVES & VALLEYS
- SELF-ADHESIVE RUBBERIZED ASPHALT MEMBRANE (ICE & WATER SHIELD OR EQ.) LOWER ROOF EAVES & VALLEYS



4 ROOF PLAN

1/8" = 1'-0"

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ROOF PLAN

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Prelim 1	10 Dec, 2020
Prelim 2	21 Dec, 2020
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Prelim 5	14 Jan, 2021
Prelim 6	27 Jan, 2021
Prelim 7	01 Feb, 2021
Prelim 8	14 Feb, 2021
75% Set	14 Feb, 2021
45% Set	14 Feb, 2021
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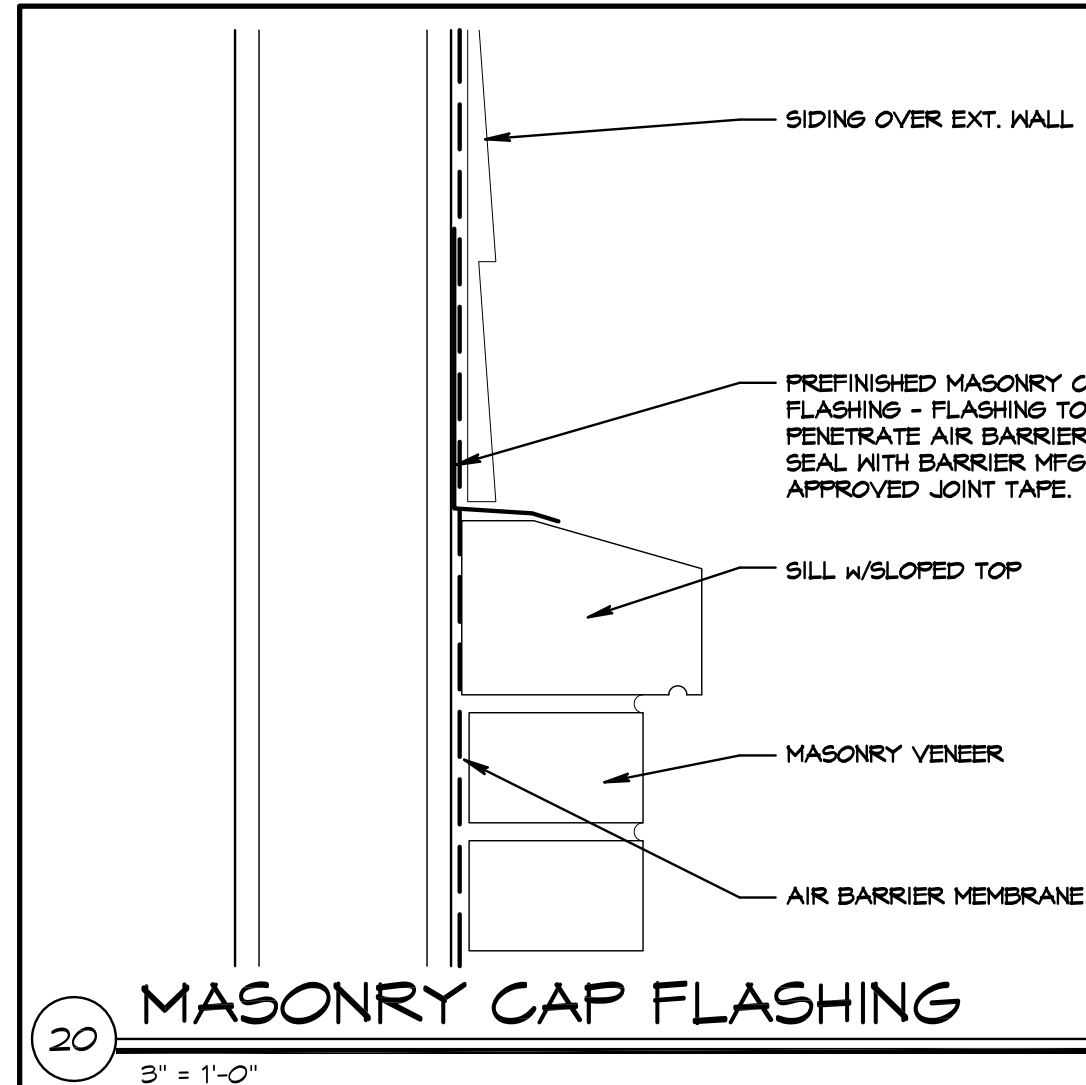
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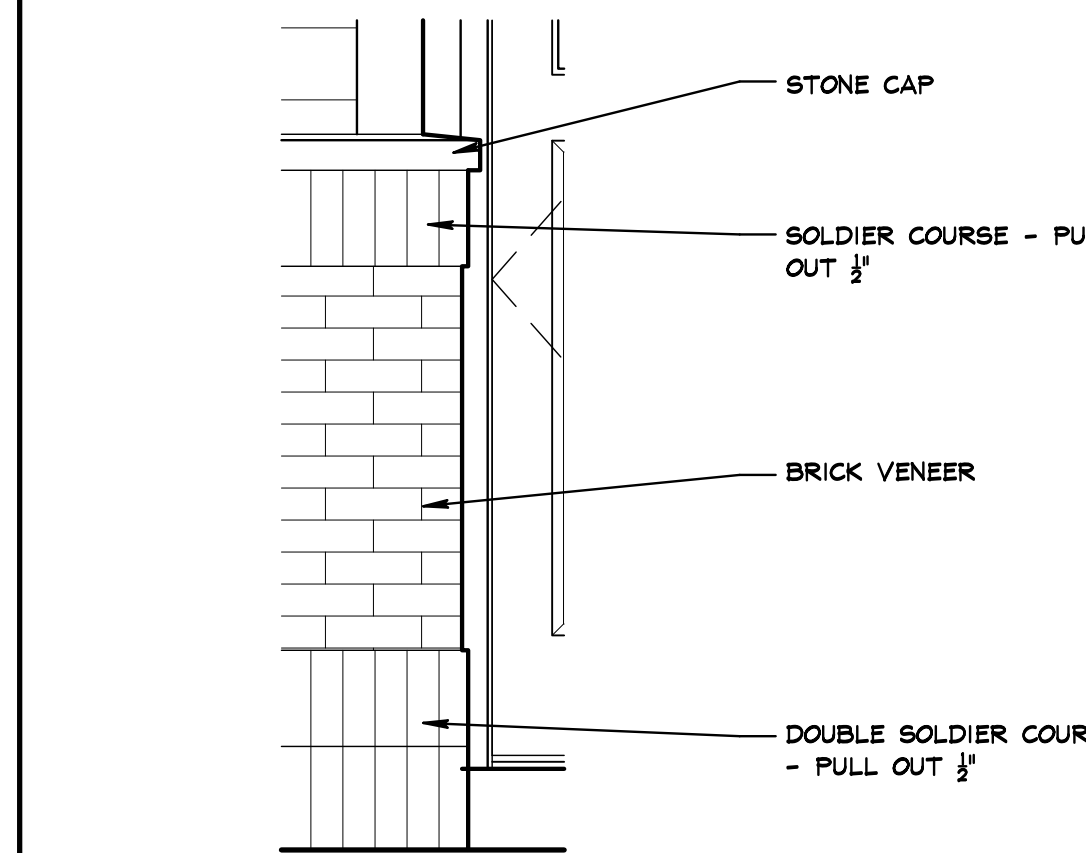
Job Number: 20,044

Sheet Number

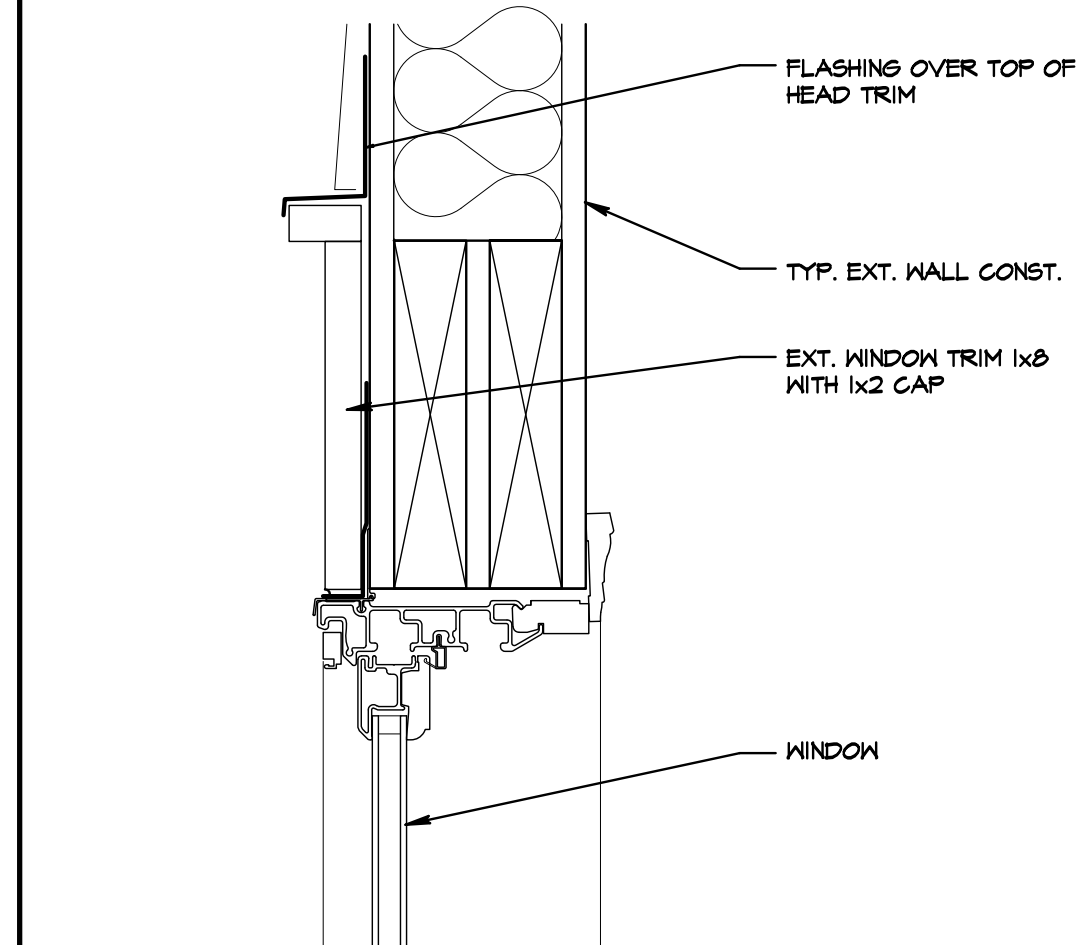
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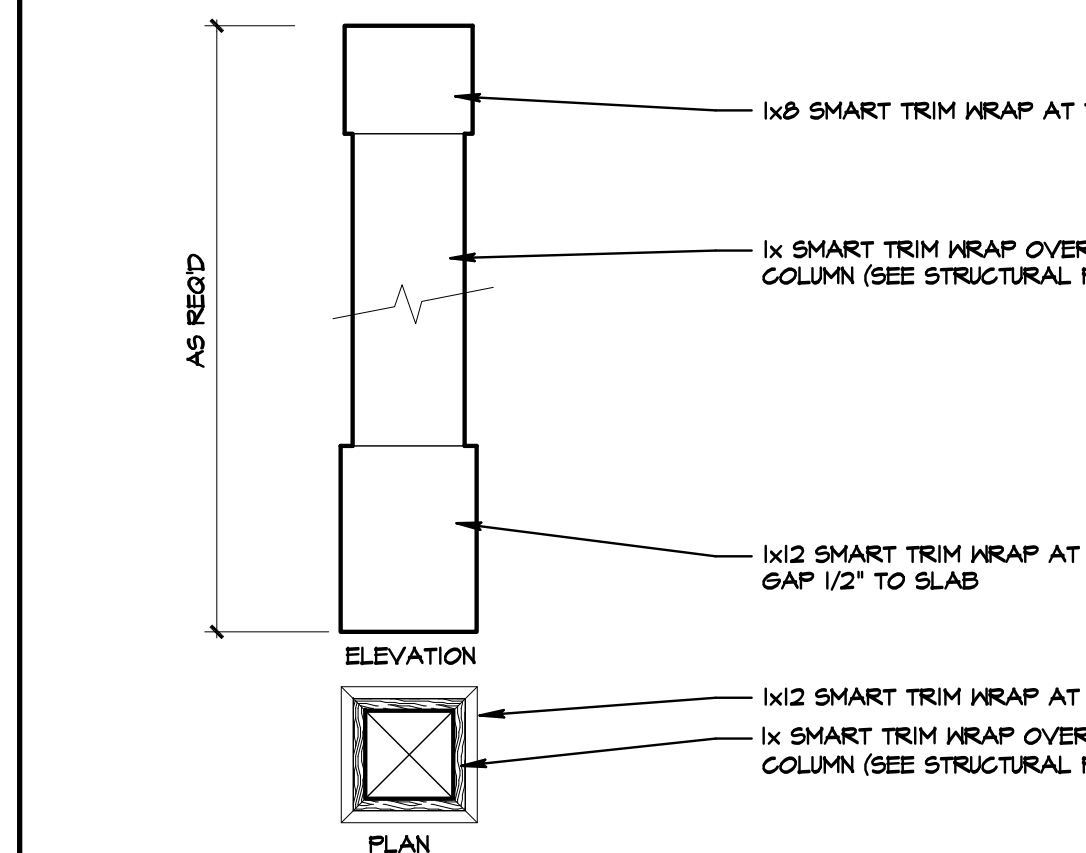
20 MASONRY CAP FLASHING
3/8" = 1'-0"



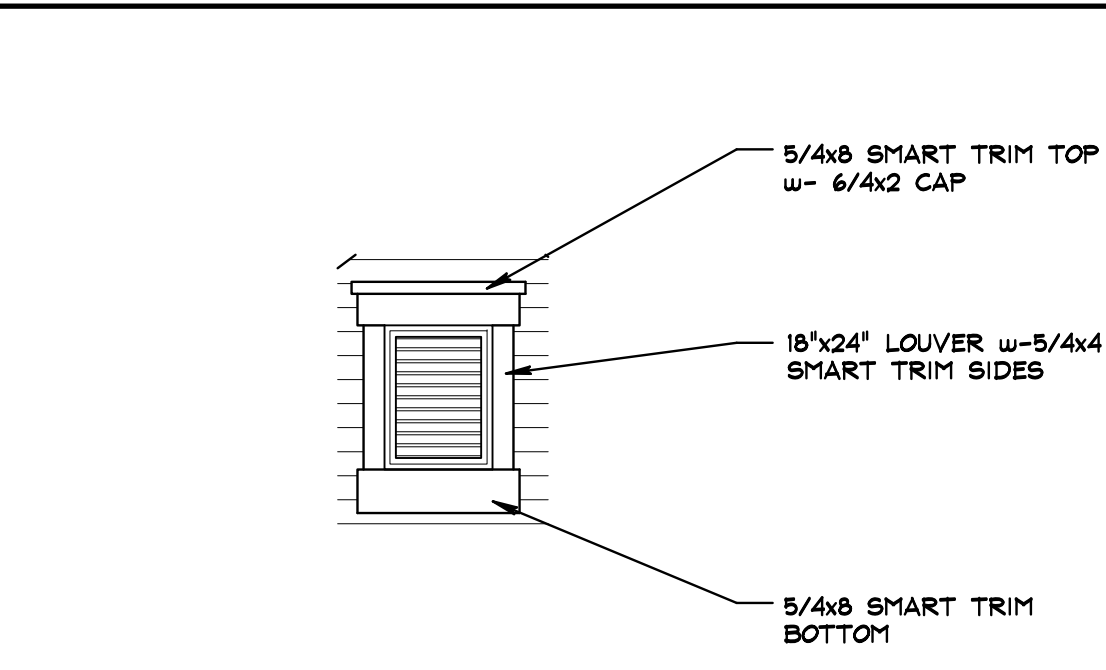
15 MASONRY DETAIL
3/4" = 1'-0"



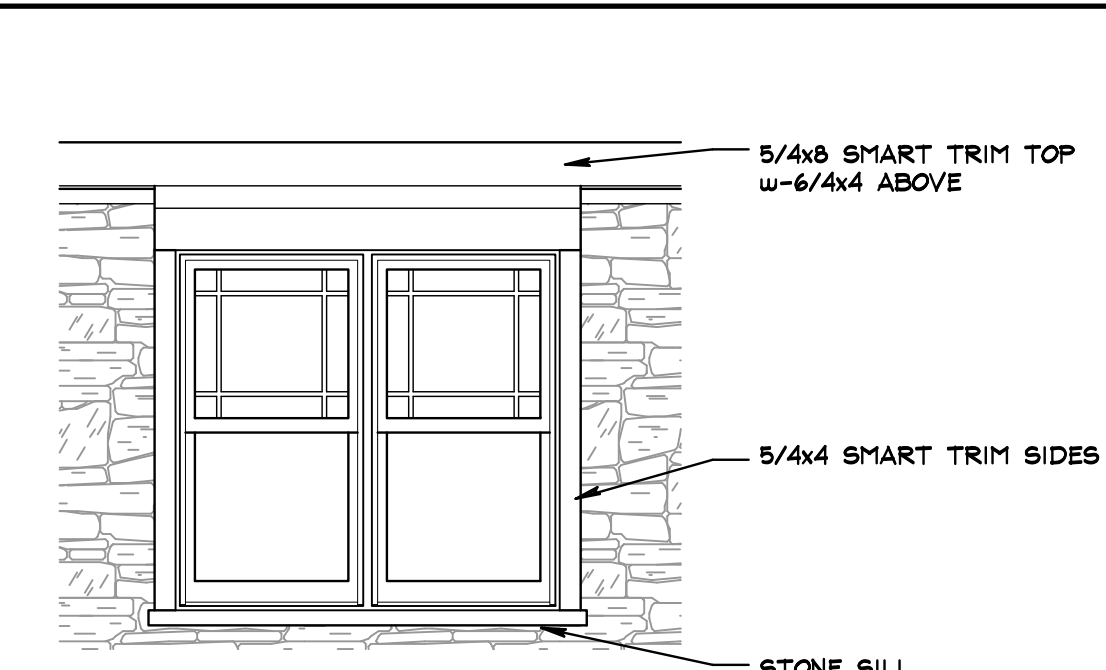
10 TYPICAL WINDOW HEAD TRIM
3/8" = 1'-0"



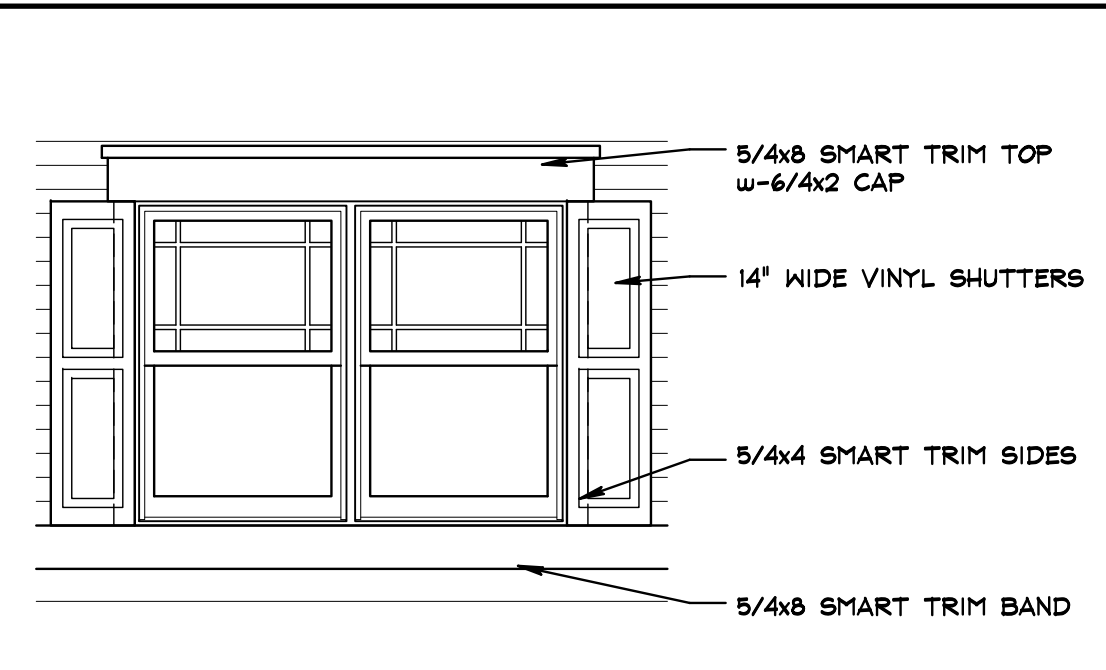
5 DECORATIVE COLUMN DETAIL
1" = 1'-0"



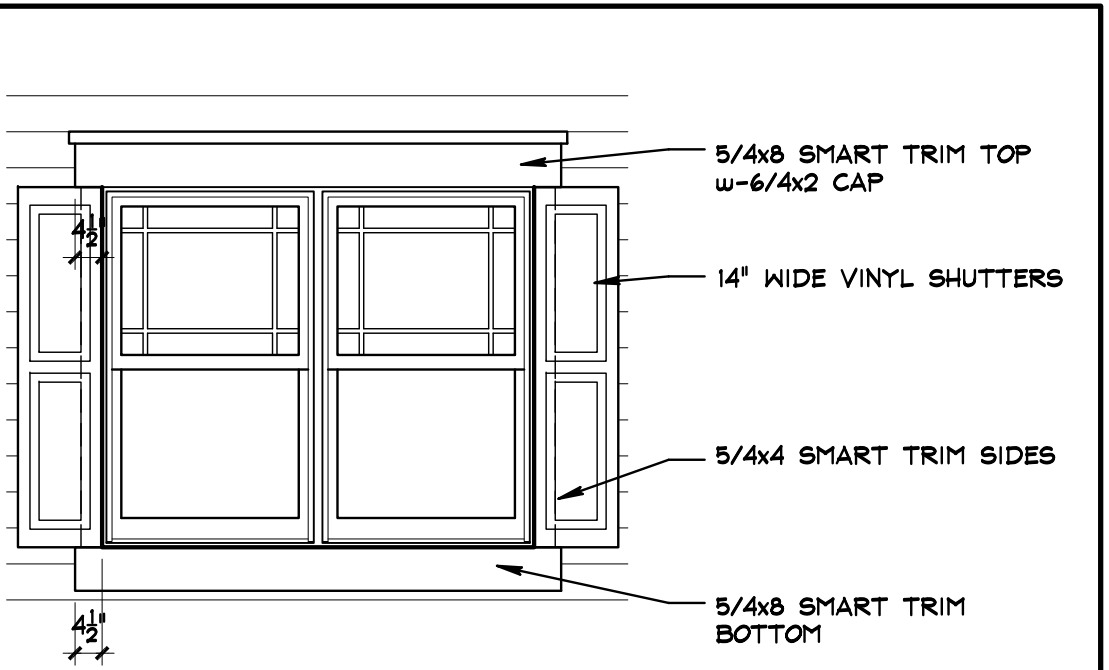
19 LOUVER TRIM DETAIL
3/8" = 1'-0"



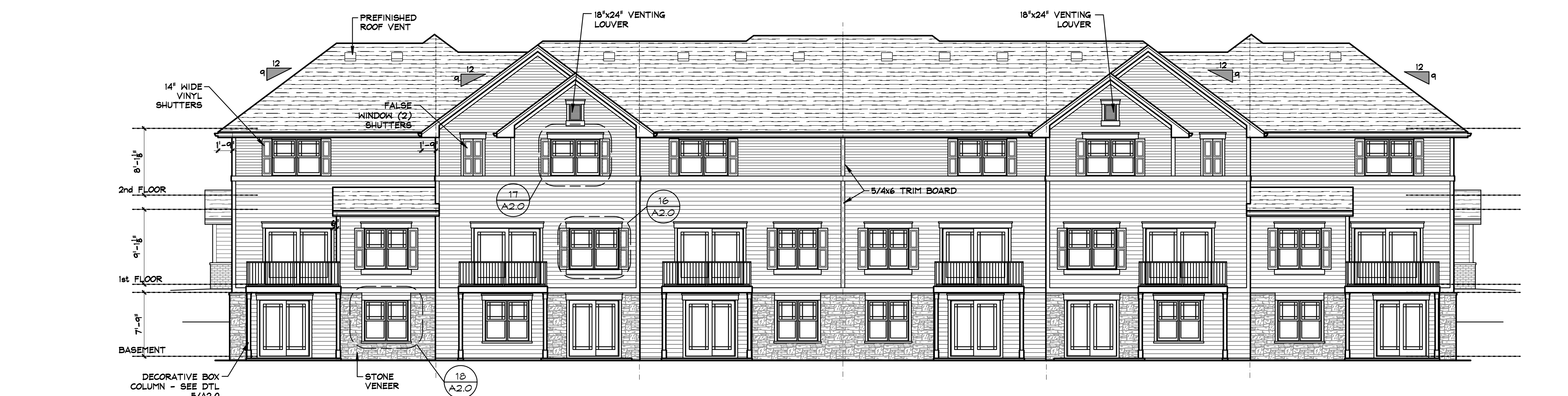
18 LOWER LEVEL WINDOW TRIM
3/8" = 1'-0"



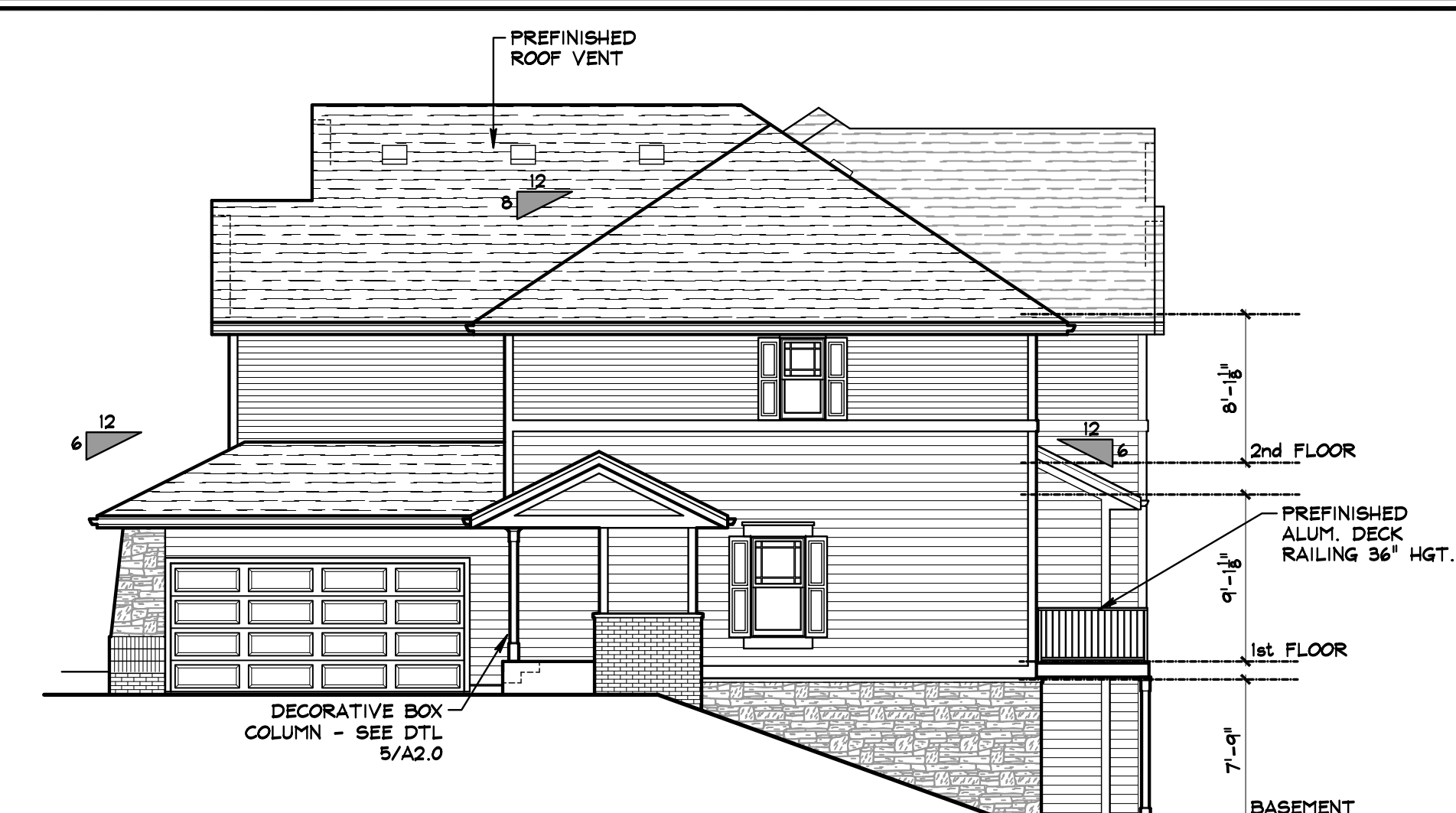
17 2nd FLOOR WINDOW TRIM
3/8" = 1'-0"



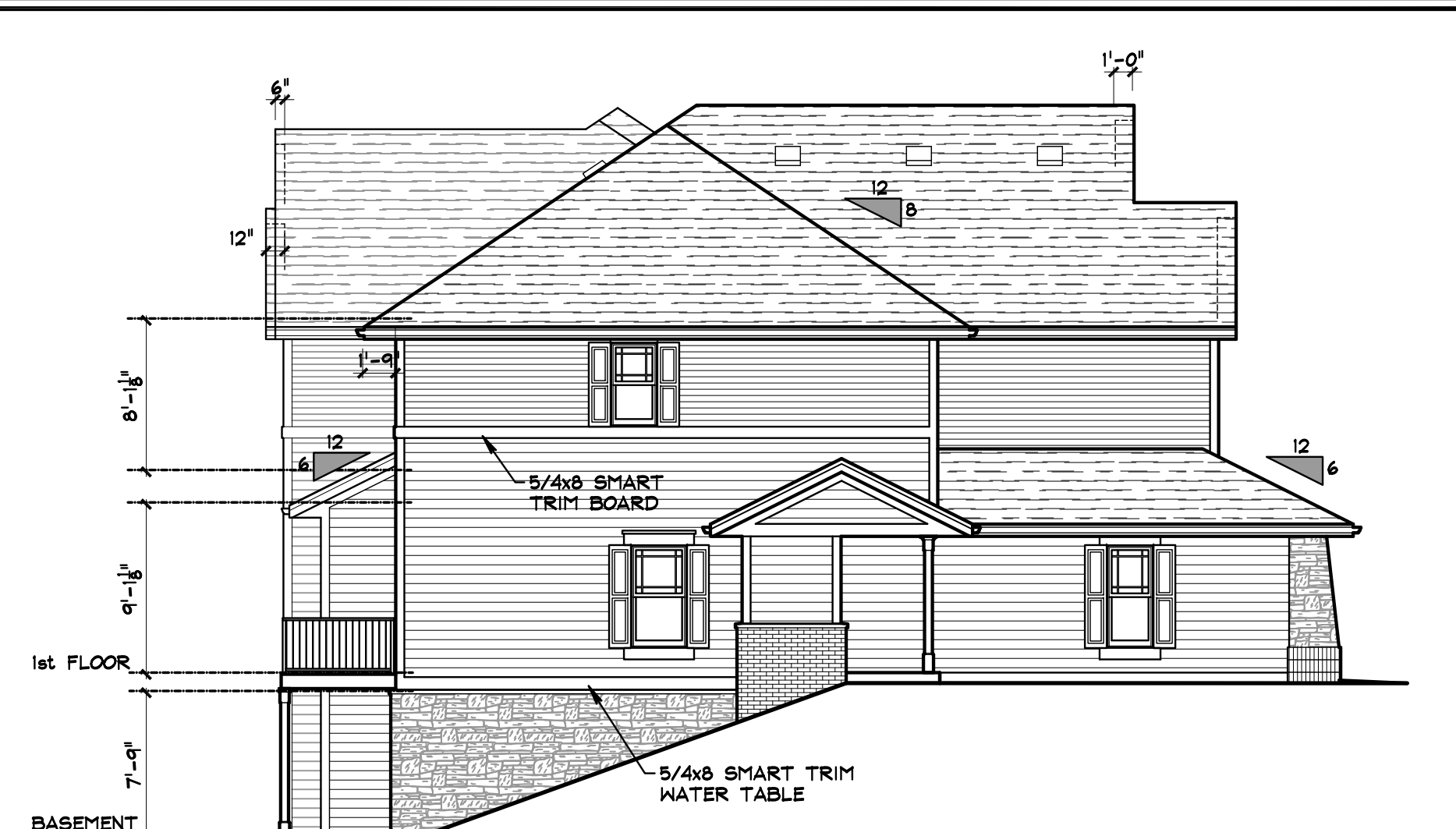
16 TYPICAL WINDOW TRIM
3/8" = 1'-0"



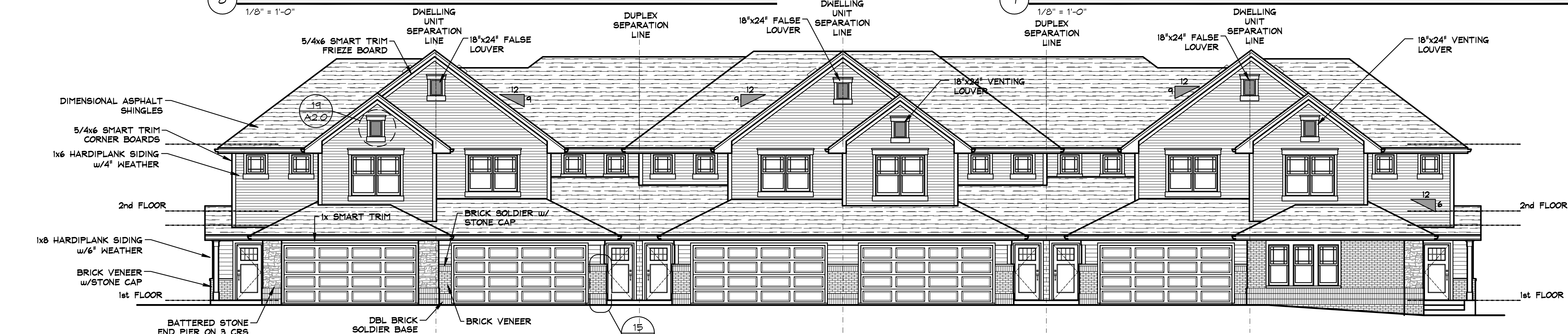
14 FRONT ELEVATION
1/8" = 1'-0"



8 SIDE ELEVATION
1/8" = 1'-0"



7 SIDE ELEVATION
1/8" = 1'-0"



4 FRONT ELEVATION
1/8" = 1'-0"

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Sheet Contents
ELEVATIONS
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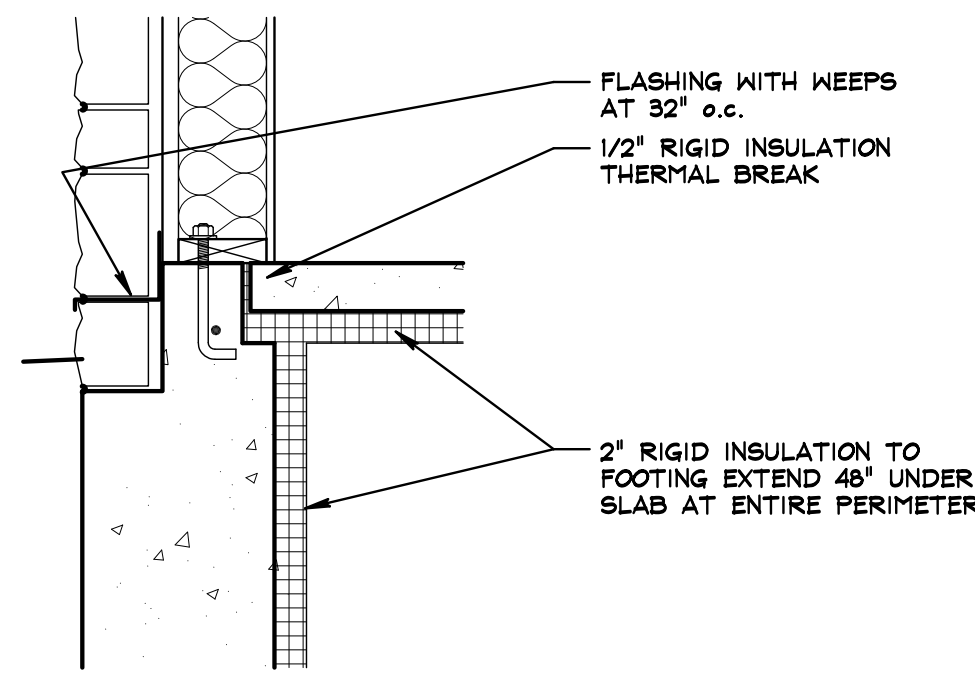
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Checked By: DG

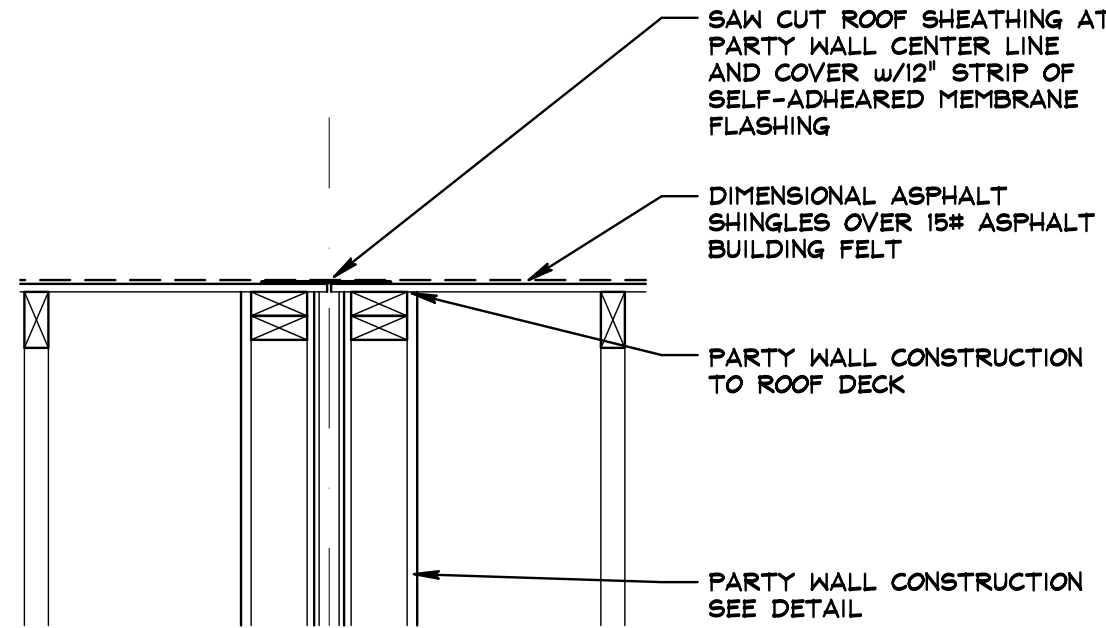
Date: 04 Dec. 2020
Job Number: 20,044

Sheet Number
A 2.0



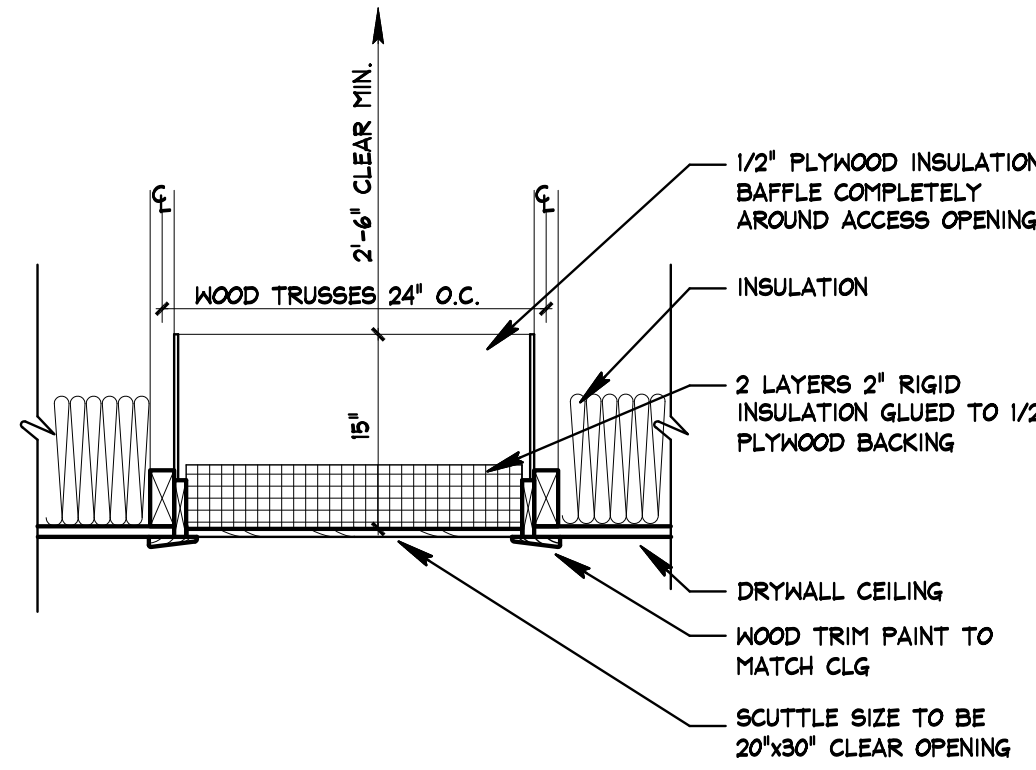
19 SILL DETAIL EXPOSURE

1" = 1'-0"



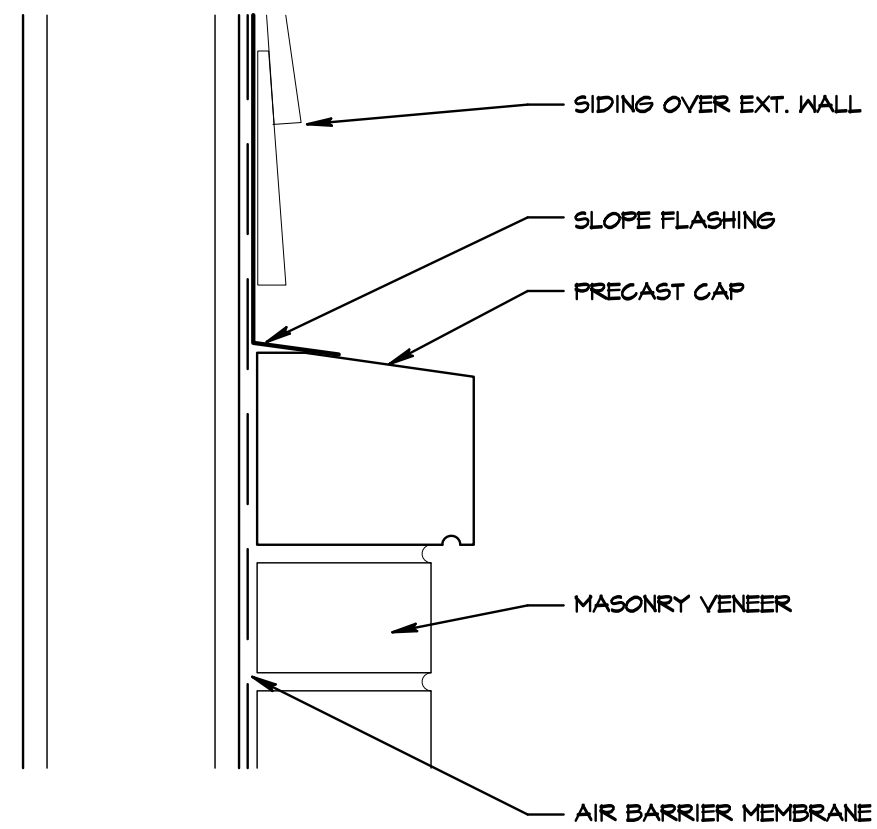
18 ROOF DETAIL

1" = 1'-0"



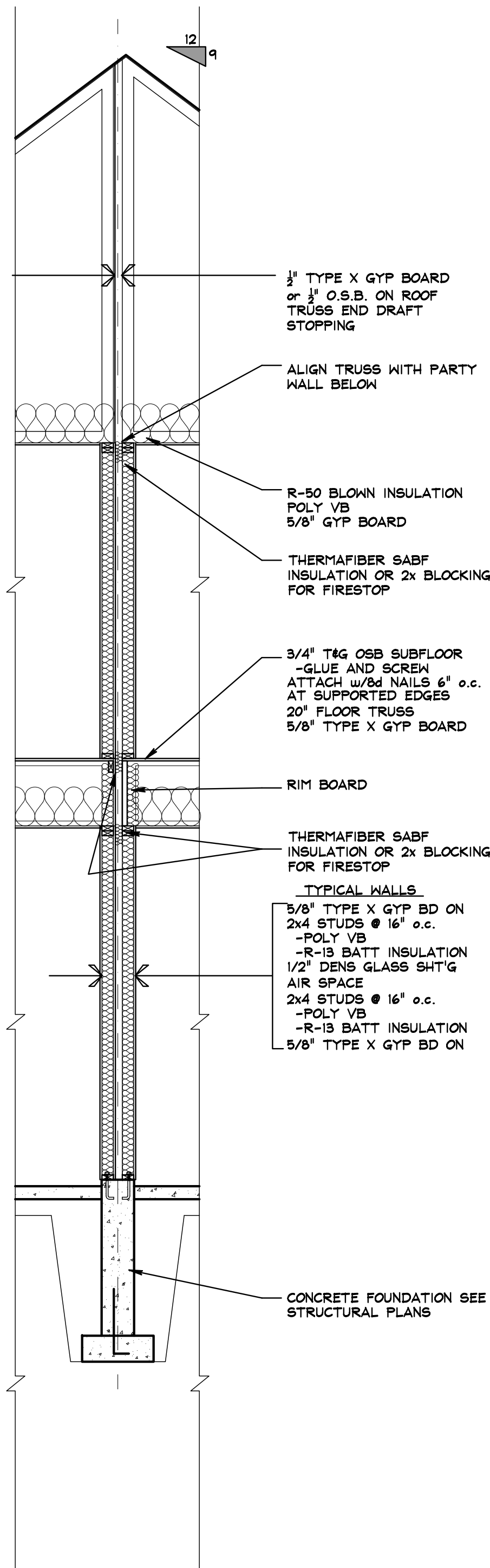
17 ATTIC SCUTTLE

1" = 1'-0"



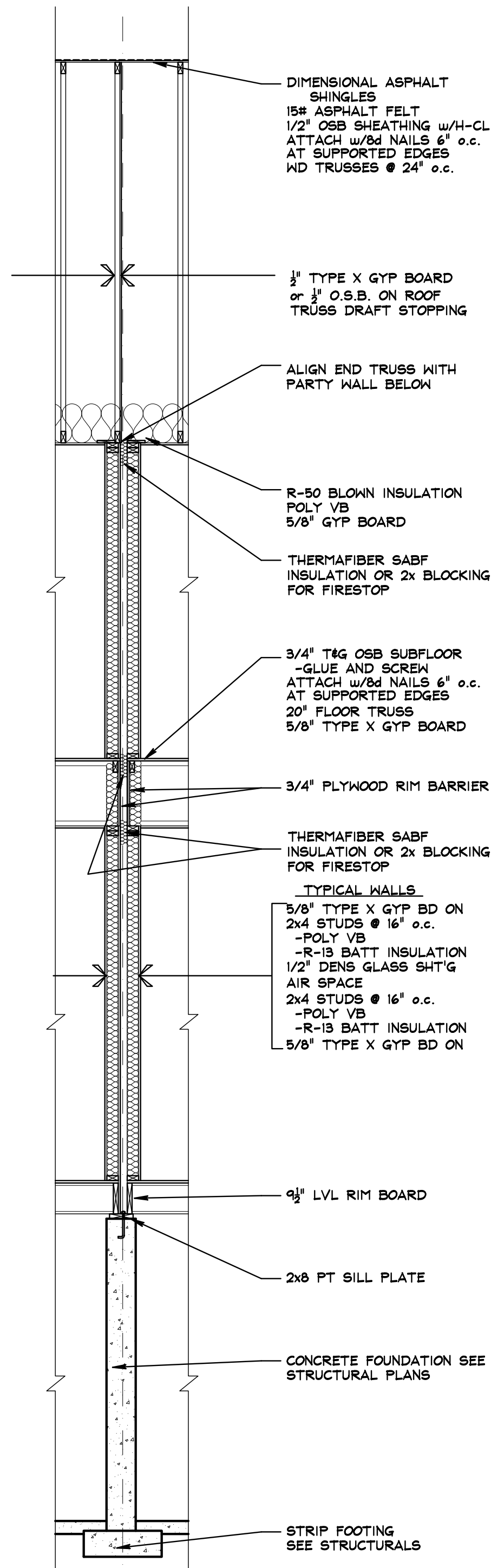
16 MASONRY CAP FLASHING

3" = 1'-0"



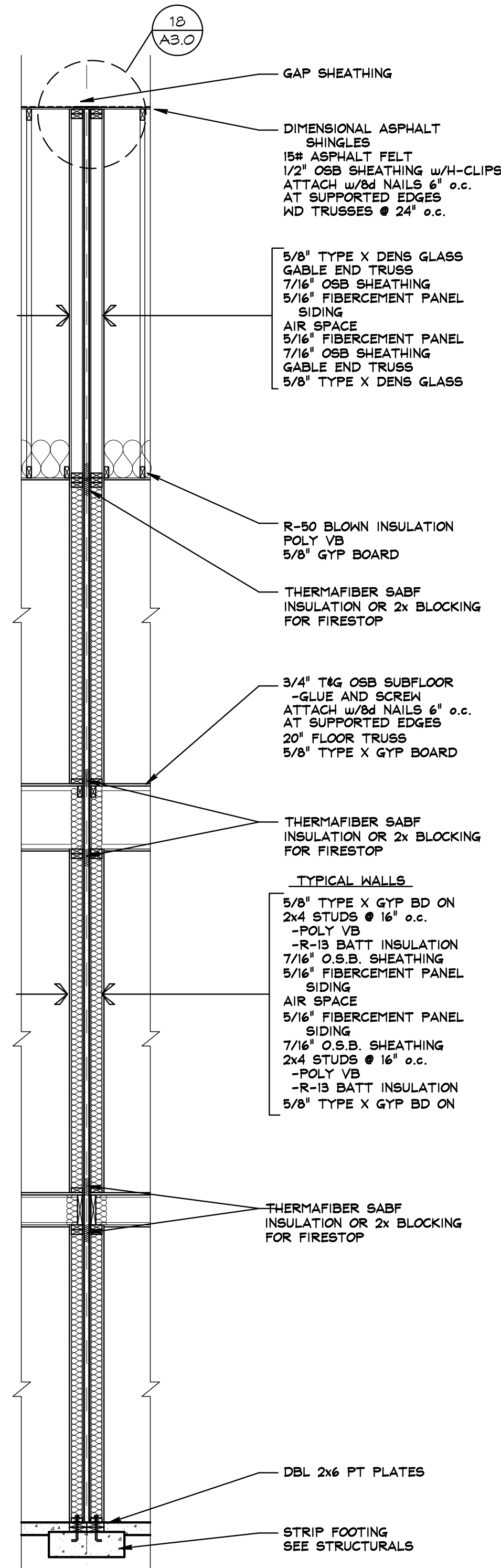
4 GARAGE PARTY WALL

3/8" = 1'-0"



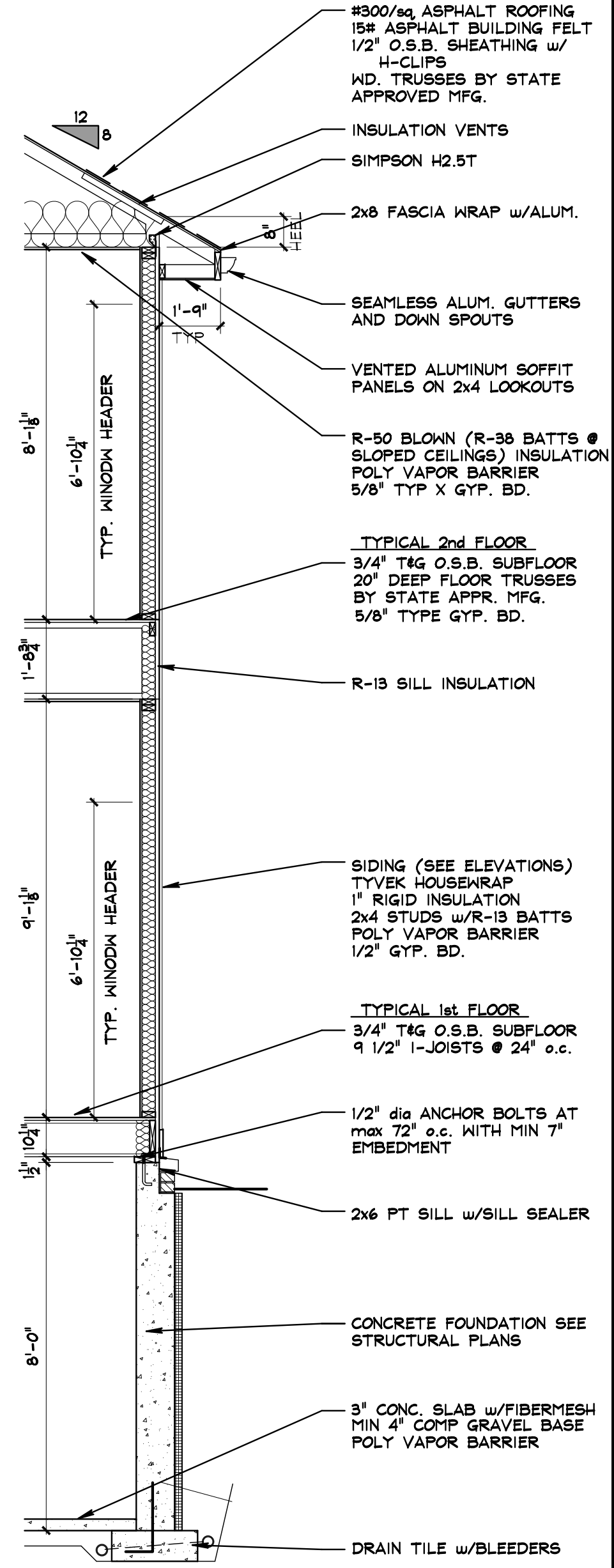
3 DUPLEX PARTY WALL

3/8" = 1'-0"



2 DUPLEX SEPARATION WALL

3/8" = 1'-0"



1 TYPICAL WALL SECTION

3/8" = 1'-0"

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Sheet Contents

SECTIONS

Issued For: Date:

Prelim 5	19 Jan, 2021
Prelim 6	27 Jan, 2021
Prelim 7	01 Feb, 2021
Prelim 8	14 Feb, 2021
75% Set	19 Feb, 2021
45% Set	19 Feb, 2021
For Construction	19 March, 2021
Rev 1	23 April, 2021
Rev 2	28 May, 2021
Rev 3	21 Nov, 2023
Bld Set	06 Dec, 2023

Drawn By: DG

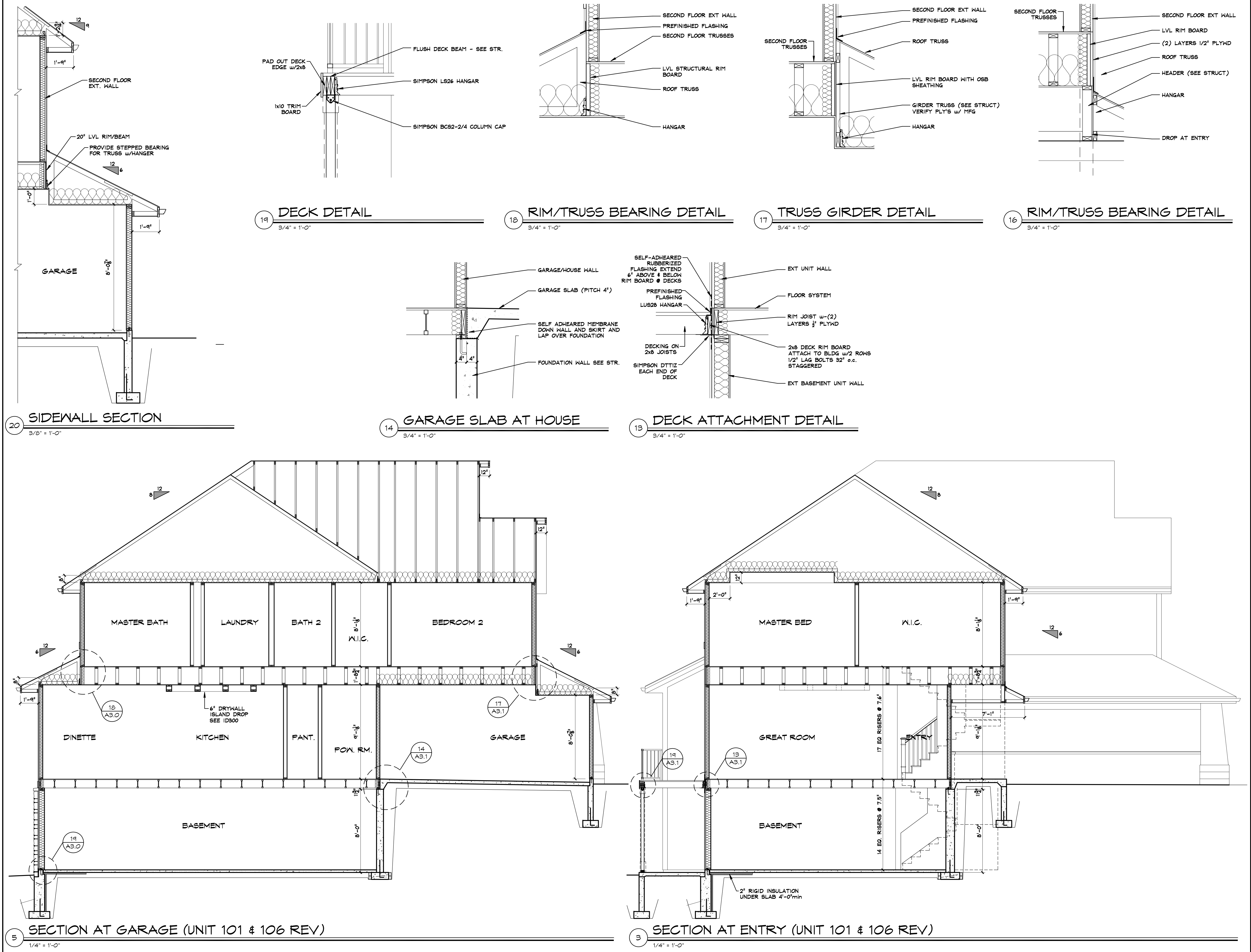
Checked By: DG

Date: 04 Dec, 2020

Job Number: 20,044

Sheet Number

A 3.0



THE
CUSTOM
HOUSE LLC

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RESIDENTIAL
COMMERCIAL
1506 S. 58th STREET
WEST ALLIS, WI 53214
PHONE (414) 617-0352

Eagles Nest
Condominiums
165 Aerie Circle - Bldg #9
Brookfield, WI 53045
Job # 2302J

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Sheet Contents

SECTIONS - UNIT A	
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5	5

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Checked By: DG

Date: 04 Dec, 2020

Job Number: 20,044

Sheet Number

A 3.1

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Sheet Contents

SECTIONS - UNIT C

Issued For: Date:

Prelim 5	19 Jan, 2021
Prelim 6	27 Jan, 2021
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Prelim 8	14 Feb, 2021
75% Set	19 Feb, 2021
45% Set	19 Feb, 2021
For Construction	19 March, 2021
Rev 1	29 April, 2021
Rev 2	29 May, 2021
Rev 3	27 Nov, 2023
Bld Set	06 Dec, 2023

Drawn By: DG

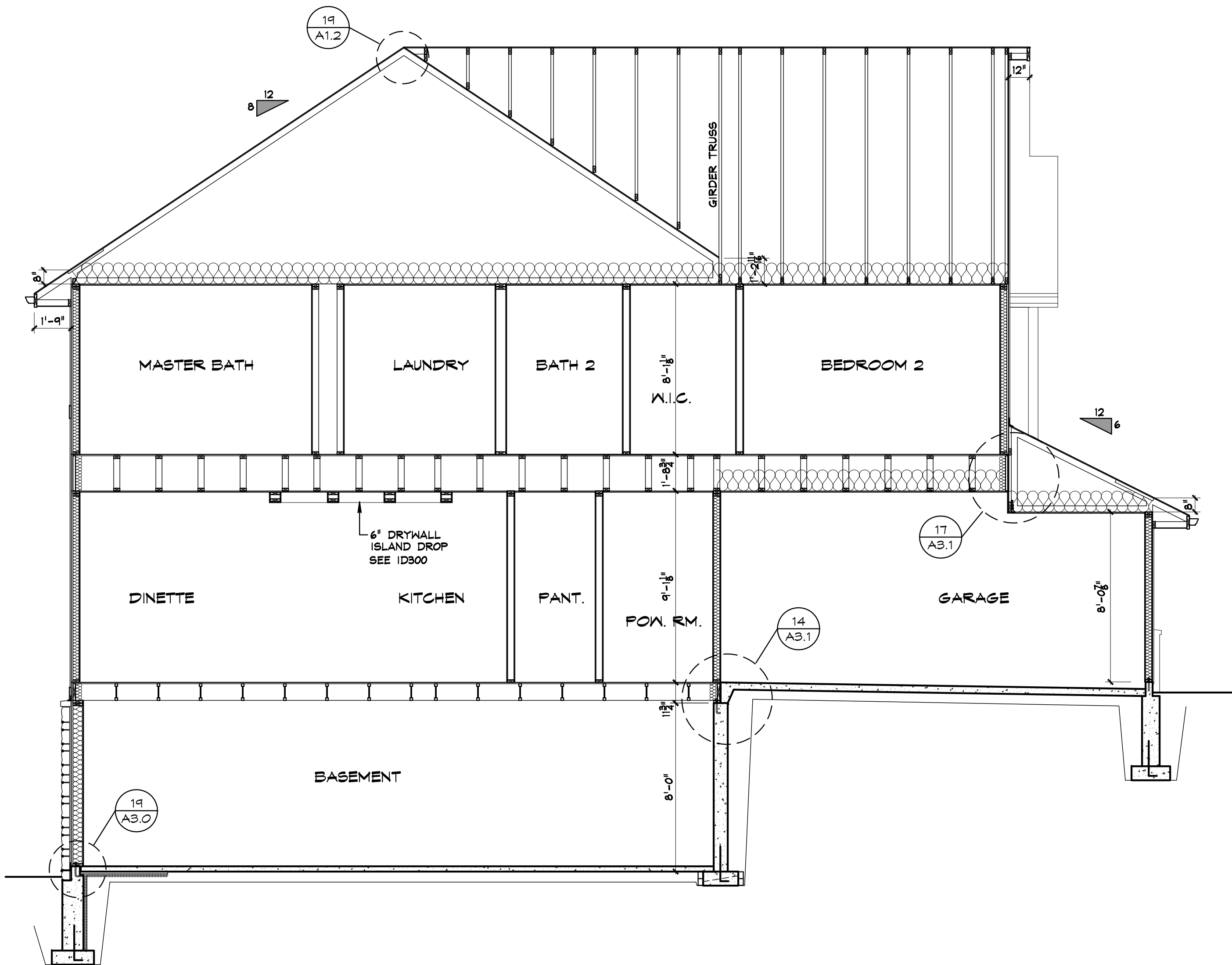
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Date: 04 Dec, 2020

Job Number: 20,044

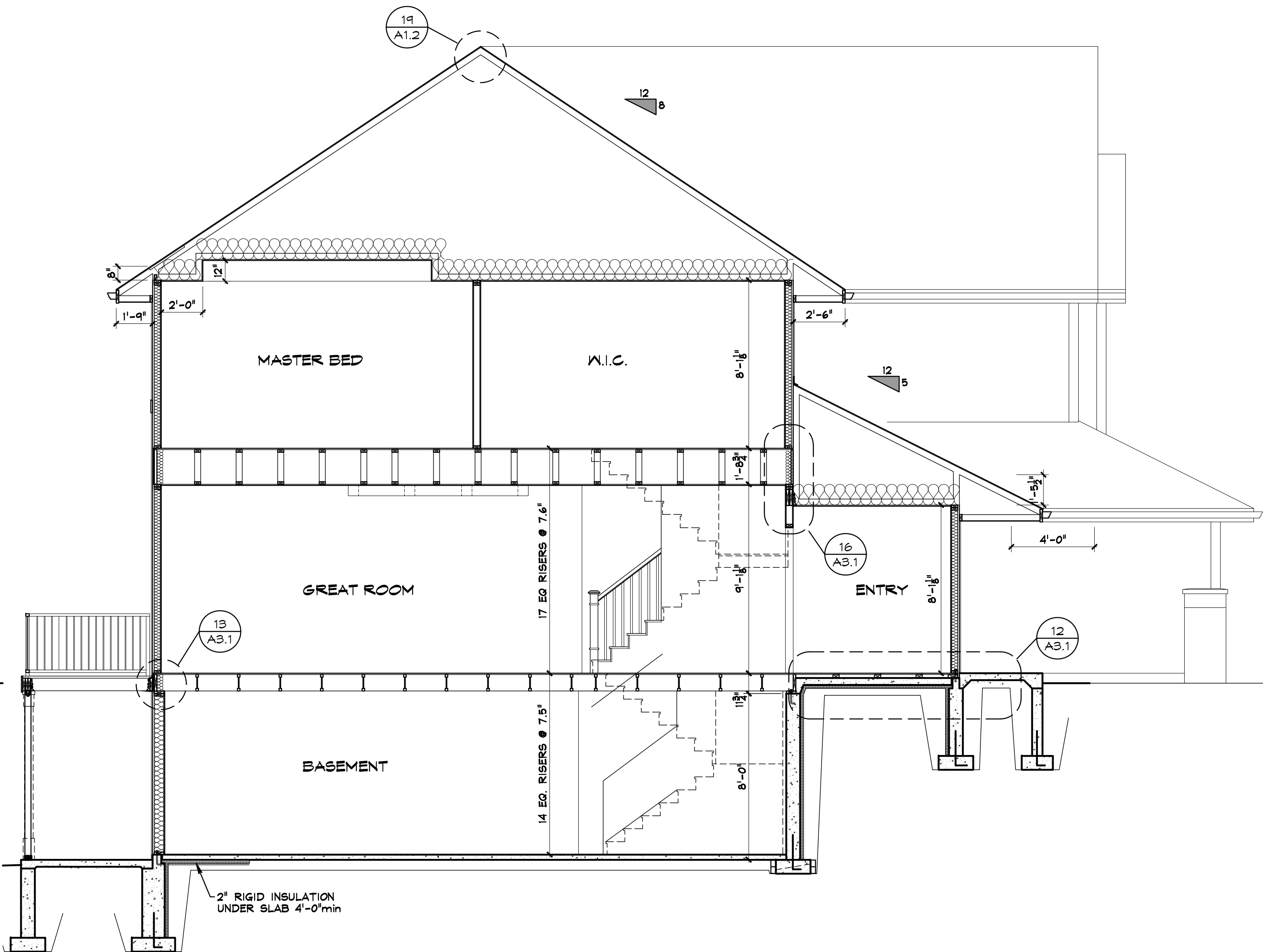
Sheet Number

A 3.2



SECTION AT GARAGE (UNIT 103 & 104 REV)

1/4" = 1'-0"



SECTION AT ENTRY (UNIT 103 & 104 REV)

1/4" = 1'-0"

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Sheet Contents

ELECTRIC PLANS

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Issued For: Date:
Prelim 1 10 Dec, 2020
Prelim 2 21 Dec, 2020

Prelim 4 13 Jan, 2021
Prelim 5 14 Jan, 2021
Prelim 6 27 Jan, 2021
Prelim 7 01 Feb, 2021
Prelim 8 14 Feb, 2021
75% Set 14 Feb, 2021
45% Set 14 Feb, 2021
For Construction 14 March, 2021
Rev 1 23 April, 2021
Rev 2 26 May, 2021
Rev 3 21 Nov, 2023
Bld Set 06 Dec, 2023

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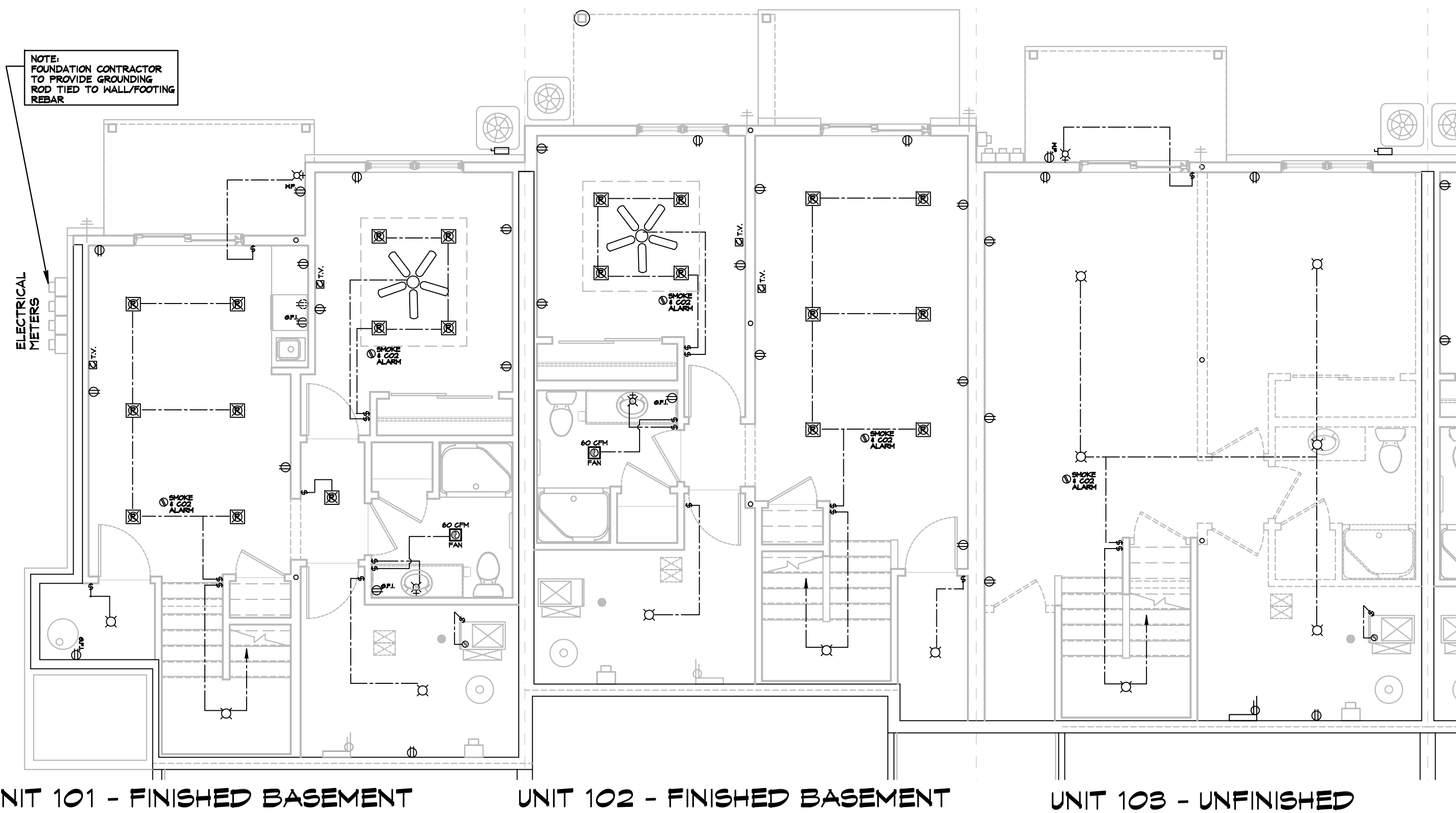
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Date: 04 Dec, 2020

Job Number: 20,044

Sheet Number

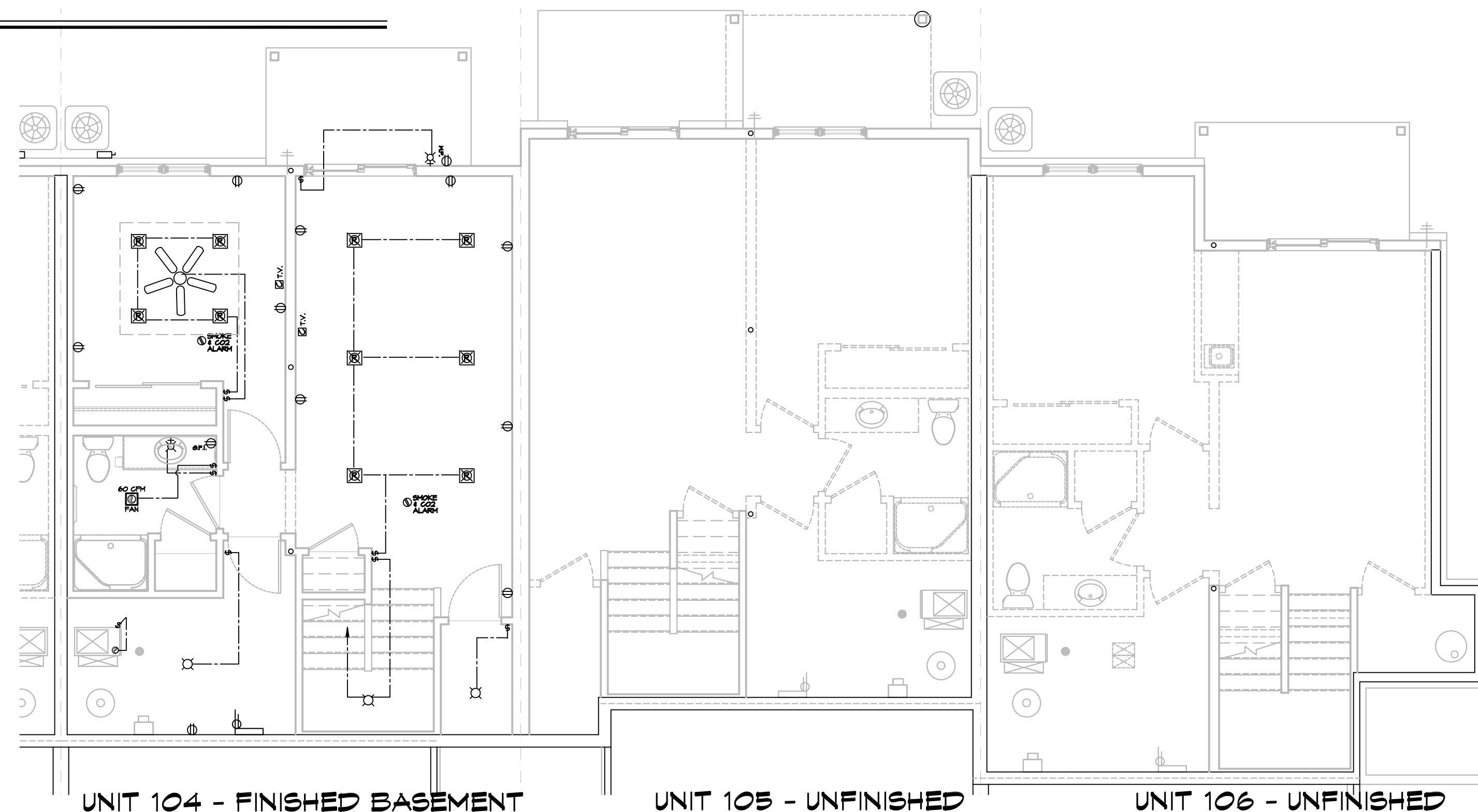
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PARTIAL BASEMENT LEVEL ELECTRIC PLAN

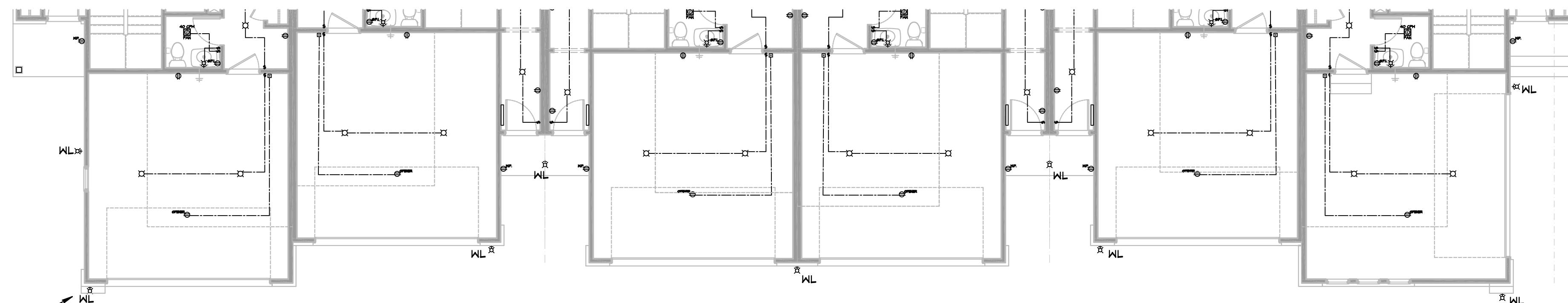
3/16" = 1'-0"

ELECTRICAL KEY	
	CEILING MOUNT BATH FAN
	CEILING MOUNT BATH FAN/LIGHT
	CEILING FAN BOX LOCATION
	CEILING LIGHT
	PULL CHAIN
	DUPLX RECEPTACLE
	SWITCHED DUPLX RECEPTACLE
	220 VOLT RECEPTACLE
	WEATHERPROOF RECEPTACLE
	QUAD RECEPTACLE
	GROUND FAULT RECEPTACLE
	DUPLX FLOOR RECEPTACLE
	DISCONNECT
	RECESSED LIGHT (SHALLOW STYLE - NO BONNETT)
	INTERCONNECTED SMOKE BRK
	CO2 ALARM
	SWITCH
	DIMMER SWITCH
	JAMB SWITCH
	WALL LIGHT
	PHONE/CABLE
	PHONE
	CABLE T.V. JACK
	SPEAKER JACK
	DOORBELL CHIME
	THERMOSTAT
	WALL SCONCE
	SERVICE PANEL WALL MT.
	SERVICE PANEL RECESSED
	MOTOR



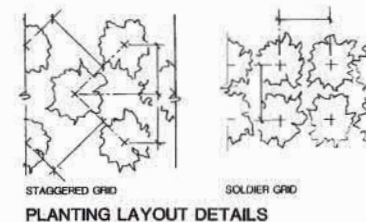
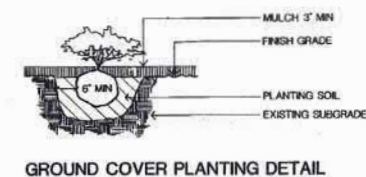
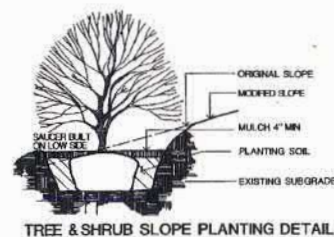
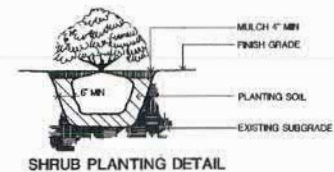
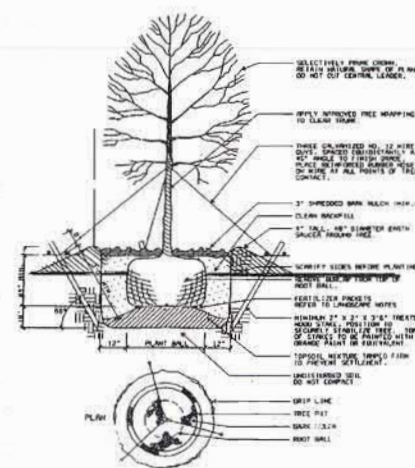
PARTIAL BASEMENT LEVEL ELECTRIC PLAN

3/16" = 1'-0"



EXTERIOR PUBLIC ELECTRIC PLAN

1/8" = 1'-0"



- JOB SPECIFICATIONS**
1. All nursery stock is to be locally grown and planted in new organic blend topsoil. All stock is guaranteed for a period of one year after acceptance date.
 2. All planting beds in the lawn areas will receive Valley View Edging, commercial grade.
 3. All plant beds will receive three to four inches of shredded hardwood mulch, treated with Trellon Pre-Emergent both below and on top of the mulch.
 4. All sod is to be a grade A, Kentucky Blue Grass, and is to be staked on all slopes of 4 to 1 or greater.
 5. All other turf areas are to be seeded with 17% Arcadia Kentucky Bluegrass, 17% Cynthia Kentucky Bluegrass, 16% Kenblue Kentucky Bluegrass, 30% Improved Perennial Rye, and 20% Creeping Fescue at 7-8 pounds per 1,000 square feet.
 6. Seeded areas are to be covered with a clean oat straw, and all swales and drainage slopes will receive Curlex Blankets to help prevent wind and water erosion.
 7. Fertilize all seed areas with 10/10/10 at twenty-five pounds per 1,000 square feet.
 8. All large trees and evergreens are to be guyed and staked.

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
SHADE TREES					
ABM	18	Autumn Blaze Maple	Acer freemanii	2 1/2-3"	B. B.
SL	13	Skyline Locust	Gleditsia triacanthos	2 1/2-3"	B. B.
LLL	7	Little Leaf Linden	Tilia cordata	2 1/2-3"	B. B.
WA	12	White Ash	Fraxinus americana	2 1/2-3"	B. B.
ORNAMENTAL TREES					
PFC	18	Prairie Fire Flowering Crab	Malus 'prairie fire'	2-2 1/2"	B. B.
DWC	11	Donald Wyman Flowering Crab	Malus 'donald wyman'	2-2 1/2"	B. B.
PSFC	4	Pinkspire Flowering Crab	Malus 'pinkspire'	2-2 1/2"	B. B.
CSP	26	Cleveland Select Pear	Pyrus calleryana	2 1/2-3"	B. B.
JTL	8	Japanese Tree Lilac	Syringa petersilis	2-2 1/2"	B. B.
EVERGREEN TREES					
BS	23	Blue Spruce	Picea pungens glauca	7-8"	B. B.
GS	5	Green Spruce	Picea pungens	7-8"	B. B.
BHS	10	Blackhill Spruce	Picea glauca densata	7-8"	B. B.
TA	34	Techney Arborvitae	Thuja occidentalis 'Techney'	7-8"	B. B.
AP	23	Austrian Pine	Pinus nigra	7-8"	B. B.
SHRUBS AND PERENNIALS					
KJ	9	Kalley Juniper	Juniperus chinensis	24"	B. B.
CSR	10	Champlain Shrub Rose	Rosa meidland	16"	B. B.



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(a division of J.B.J. Companies, Inc.)

W178 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
Phone: (262) 255-1800
Fax: (262) 255-2234
E-mail: www.jbjcompanies.com

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**EAGLES NEST
CONDOMINIUMS**
Job #2302
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI

SITE LANDSCAPE PLAN

REVISIONS: 7-17-04, 12-23-04

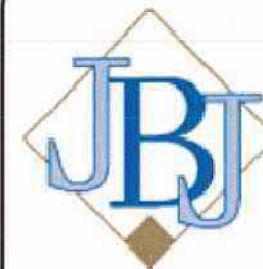
DRAWN BY: D.K.N.

Project: _____
Date: 6-23-04
Scale: 1"=40' 0"

L1



Project	Sheet L2
Date 6-23-04	
Scale 1"=40' 0"	



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**EAGLES NEST
CONDOMINIUMS**
Job #2302
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI

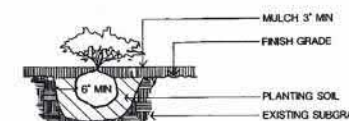
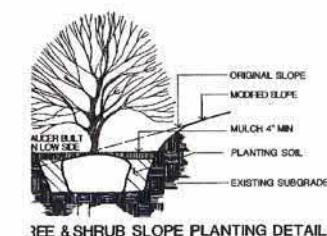
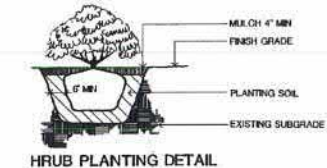
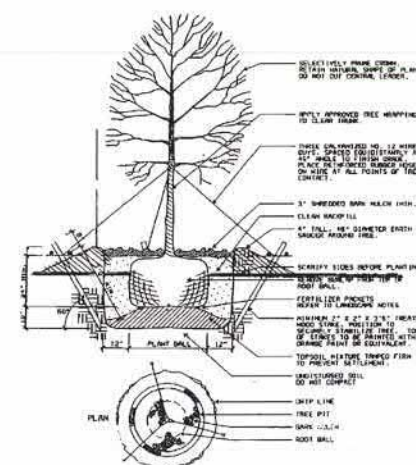
**BUILDING 2 FOUNDATION
PLANTINGS**

REVISIONS: 7-17-04, 12-23-04

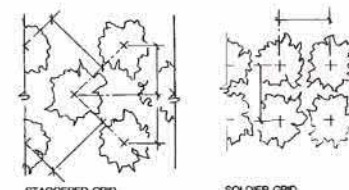
DRAWN BY: D.K.N.

Project
Date 6-23-04
Scale 1"=10' 0"

L4



GROUND COVER PLANTING DETAIL



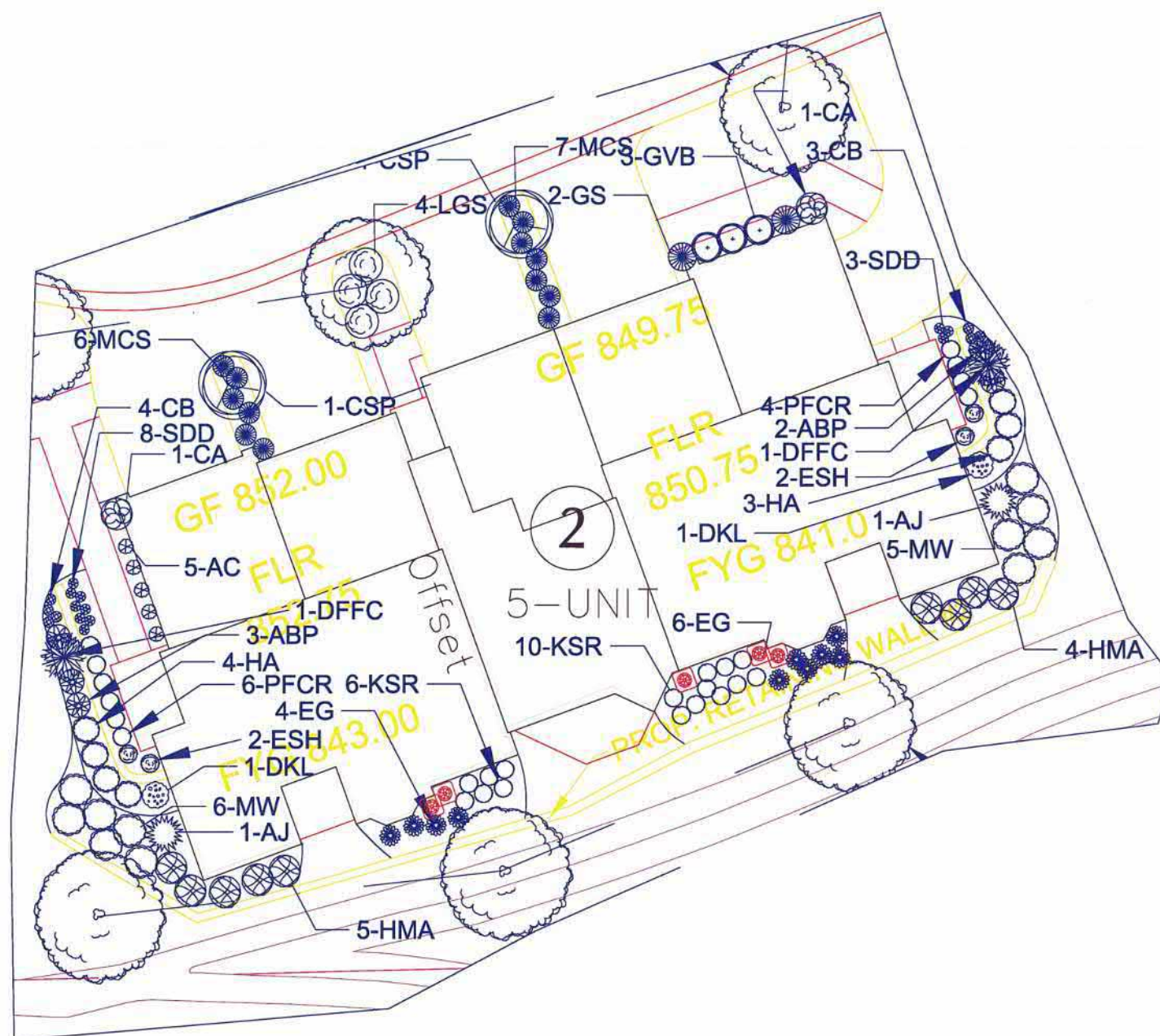
PLANTING LAYOUT DETAILS

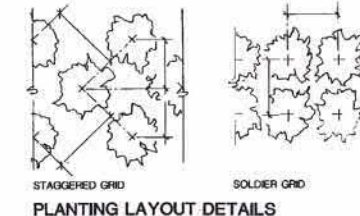
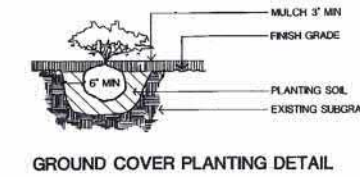
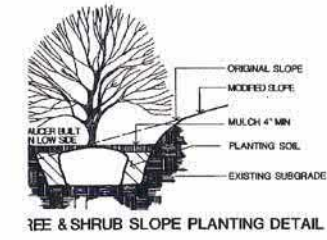
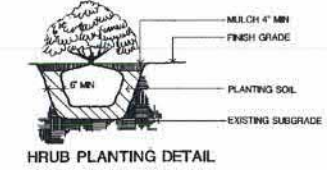
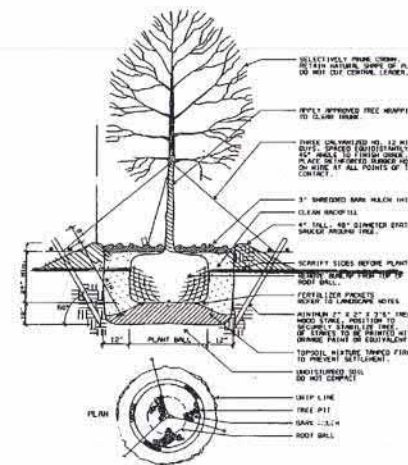
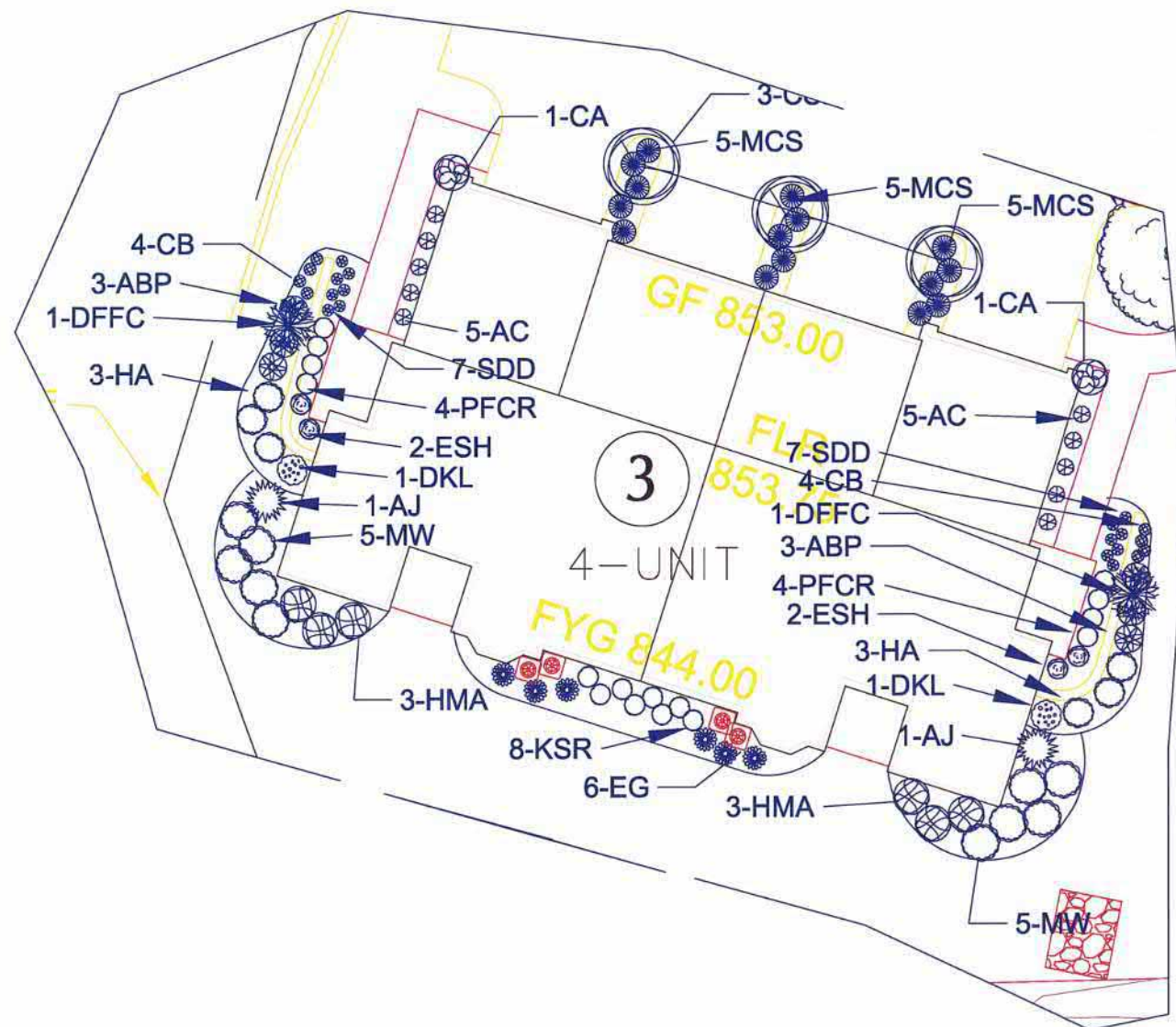
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- All large trees and evergreens are to be guyed and staked.

LANDSCAPE PLANT DATA

LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
HA	7	Holmstrup Arborvitae	Thuja occidentalis holmstrup	4-5'	B. B.
AJ	2	Arcadia Juniper	Juniperus chinensis	24-30"	B. B.
HMA	9	Hetz Midget Arborvitae	Thuja occidentalis hetz	18"	B. B.
GVB	3	Green Velvet Boxwood	Buxus green velvet	24"	B. B.
EG	10	Euonymus Galety	Euonymus fortunei	18"	B. B.
DFFC	2	Dwarf Firebird Flowering Crab	Malus	1 3/4-2"	B. B.
CA	2	Compact Alatus	Euonymus alata	30-36"	B. B.
DKL	2	Dwarf Korean Lilac	Syringa meyeri	36-42"	B. B.
ABP	5	Abbotswood Potentilla	Potentilla fruticosa	18-24"	B. B.
GS	2	Goldmound Spirea	Spiraea bumalda	18-24"	B. B.
LGS	4	Low Grow Sumac	Rhus aromatica	18-24"	B. B.
MCS	13	Magic Carpet Spirea	Spiraea japonica	15-18"	B. B.
AC	5	Alpine Currant	Ribes alpinum	18-24"	B. B.
MW	11	Minuet Weigela	Weigela florida 'trigela'	18"	B. B.
KSR	16	Knockout Shrub Rose	Rosa knockout	2-3'	B. B.
ESH	4	Endless Summer Hydrangea	Hydrangea macrophylla	18"	B. B.
PFCR	10	Pink Flower Carpet Rose	Rosa flower carpet	18"	B. B.
SDD	11	Stella D' Ora Daylily	Hemerocallis	1 gal.	pots
CB	7	Coral Bell	Heuchera micrantha	1 gal.	pots





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LABEL	QUANTITY	COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT
HA	6	Holmstrup Arborvitae	Thuja occidentalis holmstrup	4-5'	B. B.
AJ	2	Arcadia Juniper	Juniperus chinensis	24-30"	B. B.
HMA	6	Hetz Midget Arborvitae	Thuja occidentalis hetz	18"	B. B.
GVB	0	Green Velvet Boxwood	Buxus green velvet	24"	B. B.
EG	6	Euonymus Gaety	Euonymus fortunei	18"	B. B.
DFFC	2	Dwarf Firebird Flowering Crab	Malus	1 3/4-2"	B. B.
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ABP	6	Abbotswood Potentilla	Potentilla fruticosa	18-24"	B. B.
GS	0	Goldmound Spirea	Spiraea bumalda	18-24"	B. B.
LGS	0	Low Grow Sumac	Rhus aromatica	18-24"	B. B.
MCS	15	Magic Carpet Spirea	Spiraea japonica	15-18"	B. B.
AC	10	Alpine Currant	Ribes alpinum	18-24"	B. B.
MW	10	Minuet Weigela	Weigela florida 'brigela'	18"	B. B.
KSR	8	Knockout Shrub Rose	Rosa knockout	2-3'	B. B.
ESH	4	Endless Summer Hydrangea	Hydrangea macrophylla	18"	B. B.
PFCR	8	Pink Flower Carpet Rose	Rosa flower carpet	18"	B. B.
SDD	14	Stella D'Or Daylily	Hemerocallis	1 gal.	pots
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**EAGLES NEST
CONDOMINIUMS**
Job #2302
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI

**BUILDING 3 FOUNDATION
PLANTINGS**
REVISIONS: 7-17-04, 12-23-04
DRAWN BY: D.K.N.

Project: _____ Sheet: _____
Date: 6-23-04
Scale: 1"=10' 0"
L5



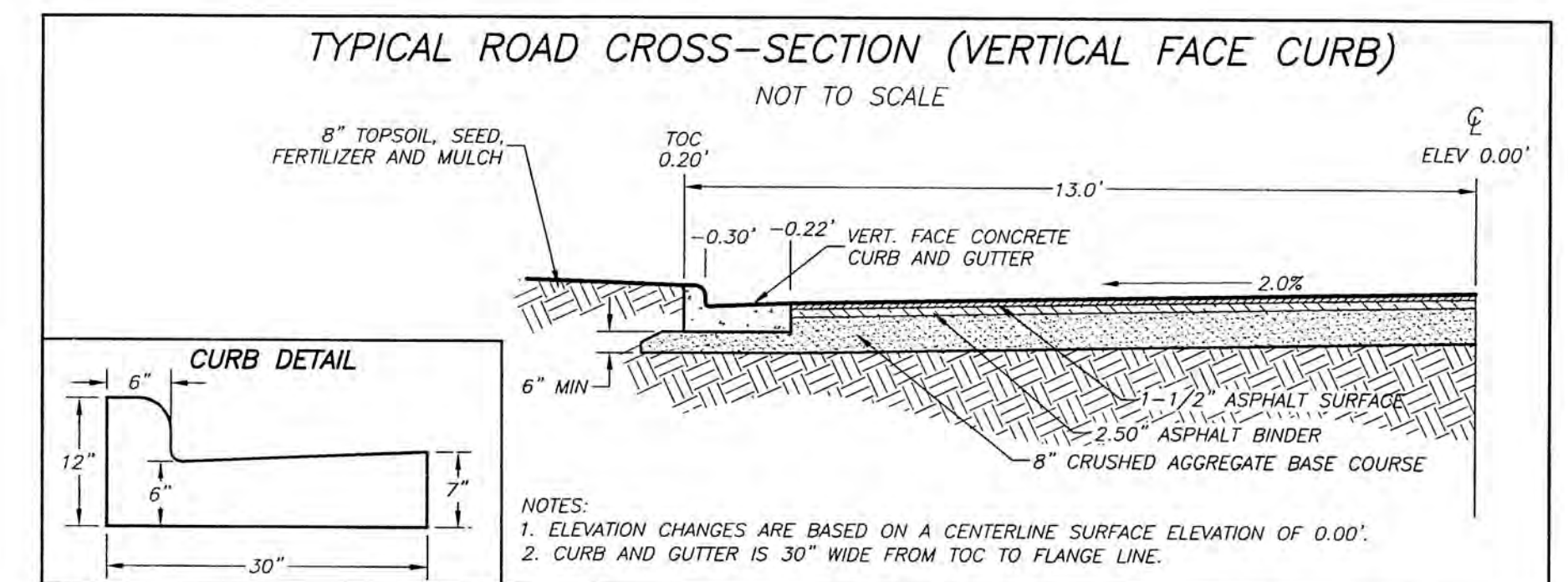
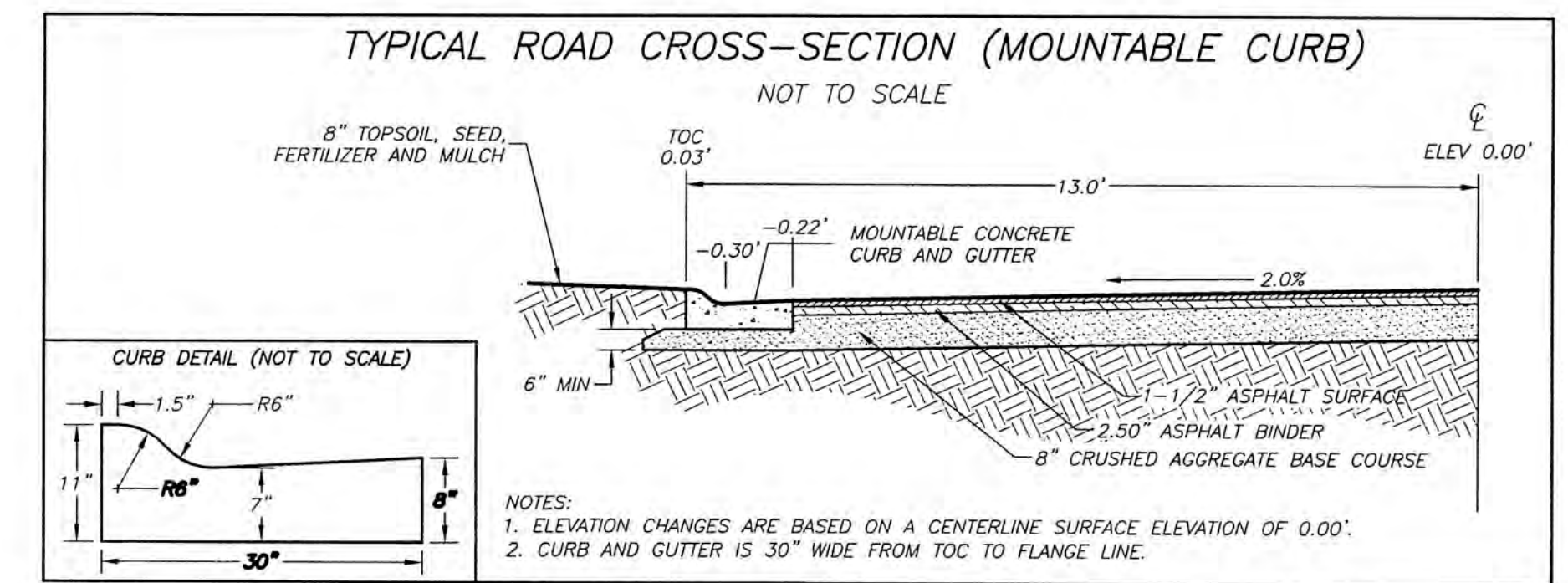


EAGLES NEST CONDOMINIUMS

Being a part of the Southeast 1/4 of the Southeast 1/4 of Section 29, Township 7 North, Range 20 East,
in the Town of Brookfield, Waukesha County, Wisconsin.

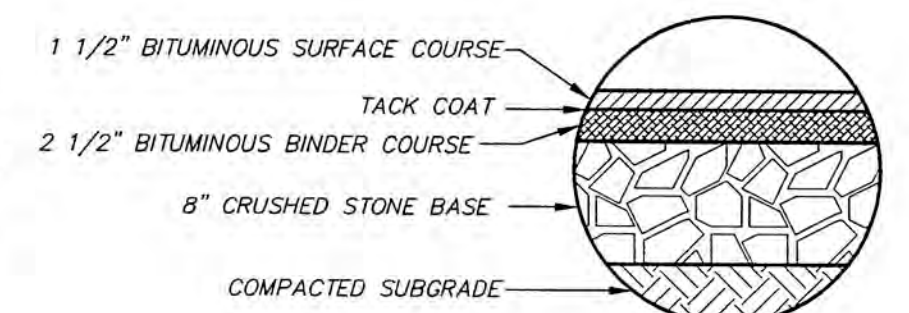
SHEET INDEX

- C1 SITE PLAN / TITLE SHEET
- C2 GRADING PLAN
- C3 EROSION CONTROL PLAN
- C4 ROAD PROFILE
- C5 OVERALL UTILITY PLAN
- C6 SANITARY SEWER PLAN
- C7 SANITARY SEWER & WATERMAIN PROFILE
- C8 WATERMAIN PLAN
- C9 WATERMAIN PROFILE (NORTH)
- C10 STORM SEWER PLAN
- C11 STORM SEWER PROFILE
- C12 SURVEY, DEMOLITION & TREE REMOVAL PLAN
- C13 SITE LIGHTING PLAN
- C14 ENTRANCE SIGN PLAN



NOTES:

1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.



BITUMINOUS PAVEMENT SECTION
AT ALL DRIVEWAY LOCATIONS

SEQUENCE OF CONSTRUCTION

1. PLACE SILT FENCE AND TRACKING MAT AS SHOWN ON THE GRADING AND EROSION CONTROL PLAN.
2. CONSTRUCT RETENTION POND AND BERMS.
3. STRIP TOPSOIL IN ROADS AND FILL AREAS. STOCKPILE TOPSOIL FOR REUSE IN ROAD DITCHES, CURB BACKFILL, AND TO COVER DISTURBED SLOPES. SURROUND THE DOWNHILL SIDE OF THIS PILE WITH SILT FENCE.
4. ROUGH GRADE THE REMAINDER OF ROAD AND DITCHES TO WITHIN $\pm 0.5'$ OF SUBGRADE.
5. CONSTRUCT DRAINAGE STRUCTURES.
6. FINE GRADE ALL DITCHES AND ROAD SUBBASE TO WITHIN $\pm 0.10'$ BEING SURE TO LEAVE DITCHES AND DISTURBED AREAS LOW ENOUGH TO ACCEPT 4" (MIN.) OF TOPSOIL.
7. INSTALL UNDERGROUND CABLE UTILITIES.
8. RESPREAD TOPSOIL TO A DEPTH OF 8" (MIN.) ON ALL DISTURBED AREAS, SOD OR SEED, FERTILIZE AND MAT AS SPECIFIED. RESTORE UTILITY TRENCHES AFTER UTILITY INSTALLATION.
- 8a. IF SOD CANNOT BE PLACED AS REQUIRED DUE TO WEATHER OR TIME OF YEAR, THEN SOD AREAS MUST BE SEEDDED AND MATTED THEN SODDED IN THE SPRING.
9. PLACE STONE SUBBASE IN ROAD AREAS AND UNDER CURB AREA.
10. PAVE CURB AND BEGIN PAVING ASPHALT.
11. SEVEN DAYS AFTER CURB PAVING, BACKFILL CURBS WITH TOPSOIL AND IMMEDIATELY TOPSOIL, SEED, FERTILIZE AND COVER WITH TACKIFIED MULCH.
12. UPON STABILIZATION OF 90% OF DISTURBED AREAS A CLOSURE REPORT WILL BE FILED WITH THE WI DNR AND WHEN APPROVED, ACCUMULATED SEDIMENT MUST BE REMOVED FROM SILTATION BASINS AND REMOVE EROSION CONTROLS. SILTATION BASINS WILL REMAIN TO FUNCTION AS PERMANENT WATER QUALITY PONDS.

Floor System = 1.20

DIGGERS HOTLINE

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12/15/04

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INFO@LANDCRAFTSE.COM

DESIGNED BY: CVH/ 6/24/04

CHECKED BY: MPD 11/8/04

APPROVED BY:

TOWN/CITY ENGINEER DATE

PROJECT NO.-REVISION: 030642 - 12/15/04

SCALE: 1"=40'

J.B.J. Construction
(a division of J.B.J. Companies, Inc.)
W178 N9812 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
www.jbjcompanies.com
Job No. 2302

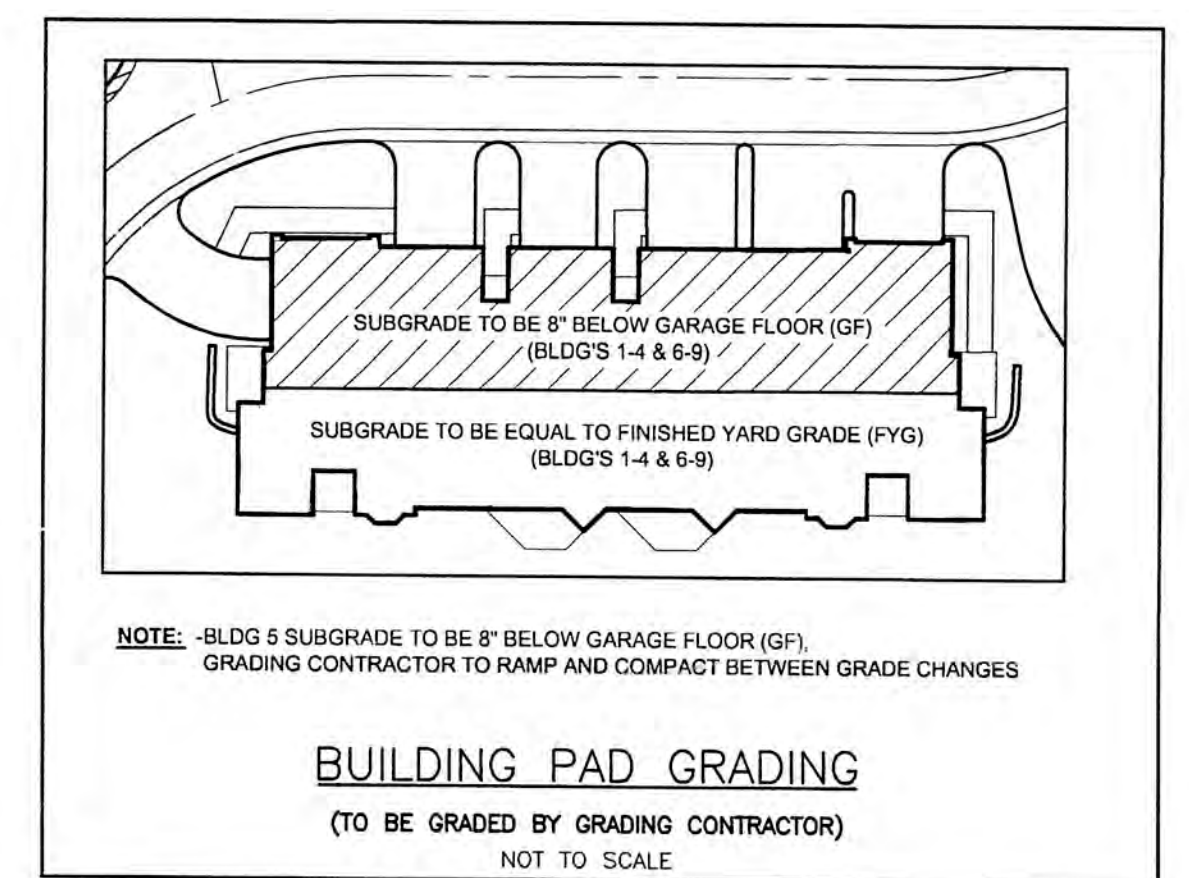
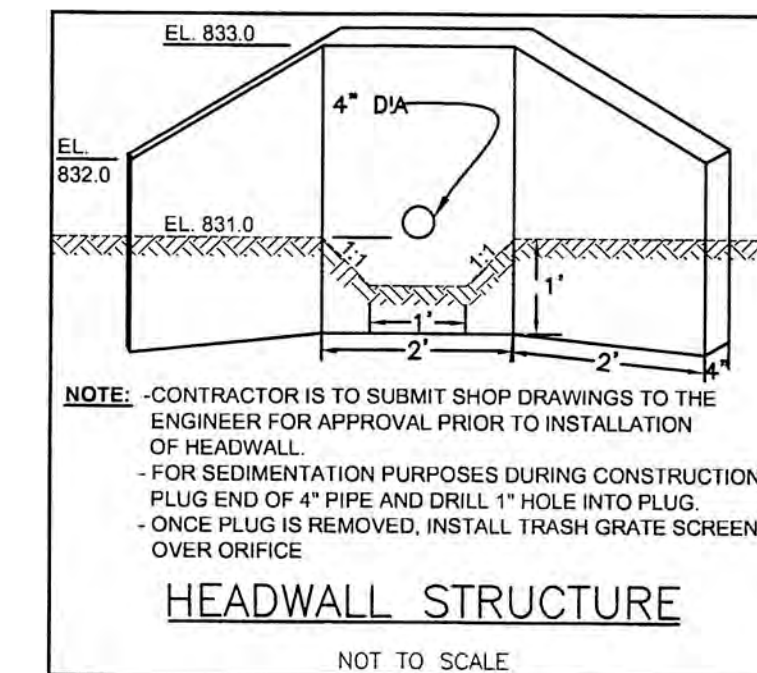
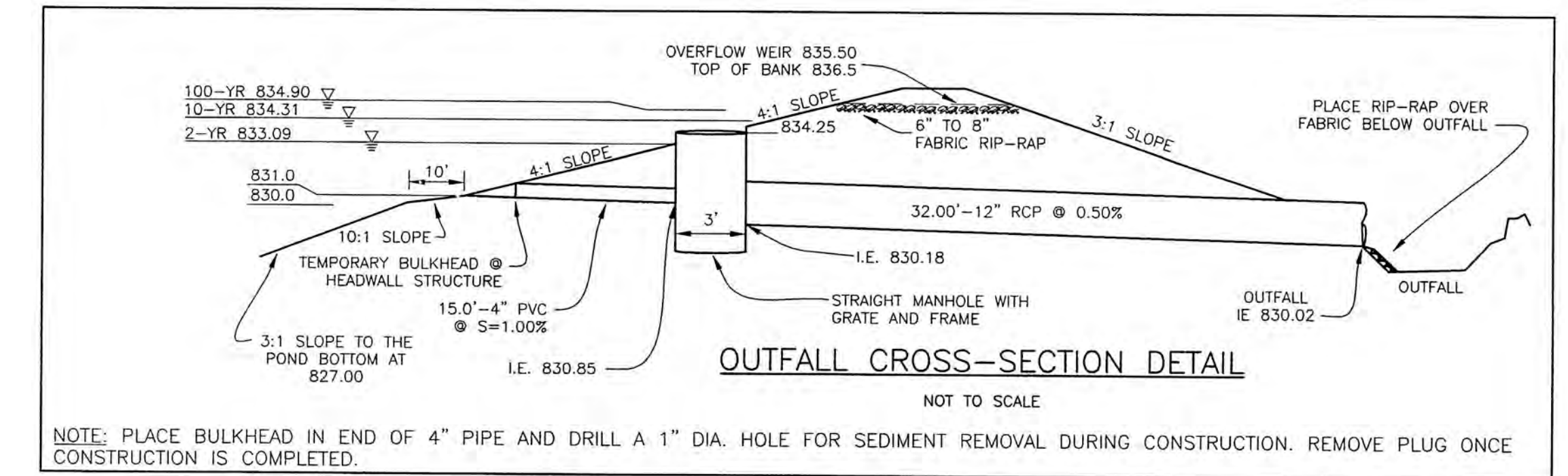
EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
SITE PLAN / TITLE SHEET
C1



GRADING CONTRACTOR
TO RESTORE EASEMENT AREA
AS REQUIRED IMMEDIATELY AFTER
GRADING OF AREA IS COMPLETE
-SEED & EROSION MAT AS REQUIRED

EXISTING 15" CULVERT TO BE
REMOVED AND REPLACED W/
NEW 15" CULVERT. GRADE
DITCH AS REQUIRED.

EXISTING DRIVE TO
REMAIN FOR POND
ACCESS ONLY.



NOTES:
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

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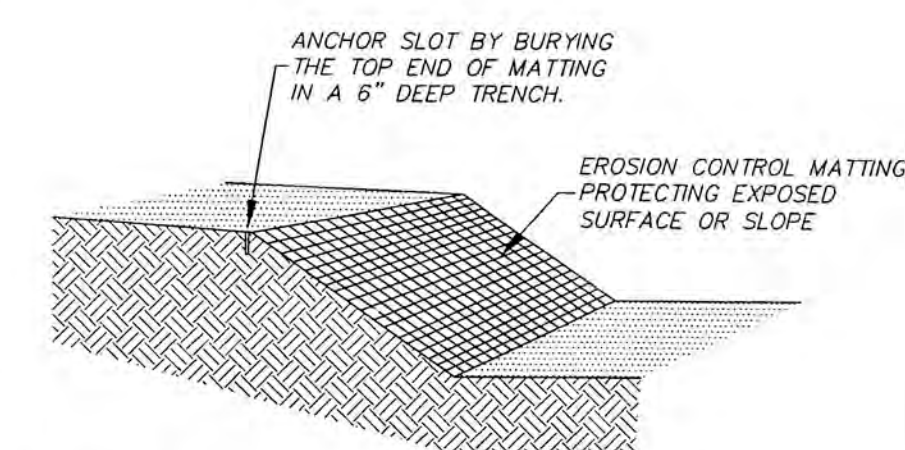
WISCONSIN
MICHAEL P. DOBLE
E-32585
WAUKESHA
WIS.
Professional Engineer
M.P. Doble
12/15/04

LANDSCAPE SURVEY AND ENGINEERING, INC.
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INFO@LANDSCAPTESE.COM

DESIGNED BY: CWH 6/24/04
CHECKED BY: MPD 11/8/04
APPROVED BY: _____
TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 12/15/04
SCALE: 1"=40'

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www.jbjcompanies.com
Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
GRADING PLAN
C2



1. PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, CIRT DLOTS, STUMPS, ROOTS, TRASH AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MATTING FROM MAKING DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED.
2. THE MATTING SHALL BE ANCHORED ALONG ITS ENTIRE PERIMETER WITH A 1/2" X 1/2" X 1/2" GALVANIZED STEEL MATTING IS LAID IN TRENCH, BACKFILL AND COMPACT WITH SOIL OR GRAVEL.
3. THE MATTING SHALL BE STAPLED TO THE GROUND USING GALVANIZED STEEL STAPLES 6" IN LENGTH BY 1" WIDE WITH A COVERAGE NOT LESS THAN 1 STAPLE PER EVERY 4 SQUARE FEET OF MATTING.
4. INSTALLATIONS SHALL BE MADE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED GUIDELINES.
5. EROSION CONTROL MATTING SHALL BE ONE OF THE FOLLOWING:
 - A. JUTE MAT COMPOSED OF A JUTE YARN WEAVE IN A BASIC MANNER AND FREE OF ANY DYED AND HAVING A MINIMUM UNIT WEIGHT OF 2.7 LBS. PER SQ. YARD.
 - B. COB WEBBER MAT COMPOSED OF A COB WEAVE MAT IN A NETTING MADE OF NYLON, COTTON OR SIMILAR MATERIAL AND HAVING A MINIMUM UNIT WEIGHT OF 2.7 LBS. PER SQ. YARD.
 - C. SYNTHETIC WEBBING MAT MADE OF POLYVINYL CHLORIDE POLYPROPYLENE MONOFILAMENTS HAVING A MINIMUM UNIT WEIGHT OF 1.1 OUNCES PER SQ. YARD AND A MINIMUM TENSILE STRENGTH OF 15 LBS. IN ALL DIRECTIONS. (ASTM D-1682.64)
6. MATTED AREAS MUST BE INSPECTED ON A WEEKLY BASIS. AFTER 14 DAYS, IF ANY OF THE FOLLOWING ARE BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND/OR RE-ANCHORED.
7. MATTING SHALL BE REMOVED FROM THE GROUND UNDER THE THREAT OF PROLONGED STAY PASSES LESS THAN PERMANENT VEGETATION HAS BEEN ESTABLISHED.

A cross-sectional diagram of a U-trench. The trench is filled with "FILL MATERIAL" and lined with "FILTER FABRIC". An arrow labeled "FLOW" indicates water entering from the left. A "2"x2" WOODEN STAKE" is shown on the right side of the trench. Dimensions are indicated: a vertical dimension of "19" MIN." and "36" MAX." for the trench depth, and a horizontal dimension of "42" MIN." for the trench width. A "U-TRENCH" label points to the bottom of the trench.

EROSION CONTROL CONTRACTOR SHALL DO WHATEVER IS NECESSARY TO PREVENT EROSION OR SILTING. ADDITIONAL EROSION CONTROL METHODS SUCH AS SILT FENCE, HAY BALE CHECKS, EROSION MAT, ETC. (ABOVE AND BEYOND THE QUANTITIES LISTED ON THE BID PROPOSAL) SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT TO PREVENT WASHOUTS OR SILT TRANSFER PROBLEMS WITHIN THE CONSTRUCTION SITE OR DOWNSTREAM.

NOTE:
CONTRACTOR TO INSTALL SILT FENCE
AT ALL TOPSOIL AND SOIL STOCKPILES

The diagram illustrates the installation of a tracking mat on a subgrade. The top section shows a cross-section of the mat being placed over an existing pavement surface. Labels include 'TRACKING MAT', 'PUBLIC RIGHT-OF-WAY', and 'EXIST. PAVEMENT'. A note points to the mat's edge: 'STRIP TOPSOIL & SET TO PLAN SUBGRADE'. The bottom section shows a plan view of the mat, with dimensions '20" MIN. WIDTH' and '80'' indicated.

- NOTES:
1. USE #2 STONE. MINIMUM#8" LENGTH OR AS SHOWN ON PLAN. MINIMUM 20" WIDTH. MINIMUM 12" THICK.
 2. FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. THE FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - A. GRAB STRENGTH: 220 LBS. (ASTM D-1682)
 - B. MULLEN BURST: 430 PSI MIN. (ASTM D-3786)
 - C. EQUIVALENT OPENING SIZE: 40-50 (U.S. STD. SIEVE)
 - D. ELONGATION AT BREAK: 60% (ASTM D-1682)
 - E. PUNCTURE STRENGTH: 125 LBS. (ASTM D-751)
 3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING AND FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRED PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND/OR REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 4. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS DONE, IT SHALL BE DONE IN AN AREA STABILIZED WITH STONE AND WHICH DRAINS TO AN APPROVED SEDIMENT TRAPPING DEVICE.
 5. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO A PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 6. ACCESS PERMIT FOR PUBLIC ROADS MUST BE OBTAINED PRIOR TO CONSTRUCTION.

EROSION MATTING

= 8" TOPSOIL, SEED & EROSION MATTING

A vertical cross-section diagram of a pile of bales. The pile is composed of several layers of bales, each secured with horizontal wood stakes. Labels include:

- A**: Points to the top and bottom of the stake layers.
- DIRECTION OF FLOW**: Indicated by an arrow pointing upwards.
- Q OF DITCH**: A horizontal line representing the water level.
- 2"x2"x30" WOOD STAKES MINIMUM 2 PER BALE**: Points to the horizontal stakes within the bales.
- EMBEDDED BALE**: Points to the bottom-most bale.
- DIRECTION OF FLOW**: Indicated by an arrow pointing downwards at the bottom of the pile.

- NOTES:
1. INSTALL BALES BY DIGGING A 4" DEEP TRENCH WIDE ENOUGH FOR BALE. EMBED BALE IN TRENCH AND SECURE WITH STAKES.
 2. BALES SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PERIODS OF PROLONGED RAIN. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY.
 3. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT OR WHEN DEPOSITS REACH ONE HALF THE HEIGHT OF THE BARRIER.
 4. BALES SHALL BE REMOVED ONLY WHEN THE THREAT OF EROSION HAS PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.

MIN. 6" OF FILTER FABRIC ON EACH SIDE.

A

INLET GRATE

SECTION A-A

FILTER FABRIC

POSSIBLE REINFORCEMENT MATERIAL

- NOTES:
1. REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6" BEYOND THE INLET OPENING. A REINFORCING MATERIAL MAY BE REQUIRED TO PREVENT SAGGING.
 2. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR AT A DEPTH OF 1". EXTREME CARE SHALL BE TAKEN NOT TO SPILL ACCUMULATED SEDIMENT INTO INLET, WHEN CLEANING OR REPLACING FILTER FABRIC.
 3. FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - A. GRAB STRENGTH: 100 LBS. (ASTM D-1682)
 - B. MULLEN BURST: 200 PSI MIN. (ASTM D-3786)
 - C. EQUIVALENT OPENING SIZE:
 - BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15 PERCENT BY WEIGHT PASSING A NO. 200 SIEVE.
 - D. WATER FLOW RATE OF 10 GAL./MIN./SQ. FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
 - E. ULTRA VIOLET RADIATION STABILITY OF 90%
 - F. IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT.

NOTES:

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2. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

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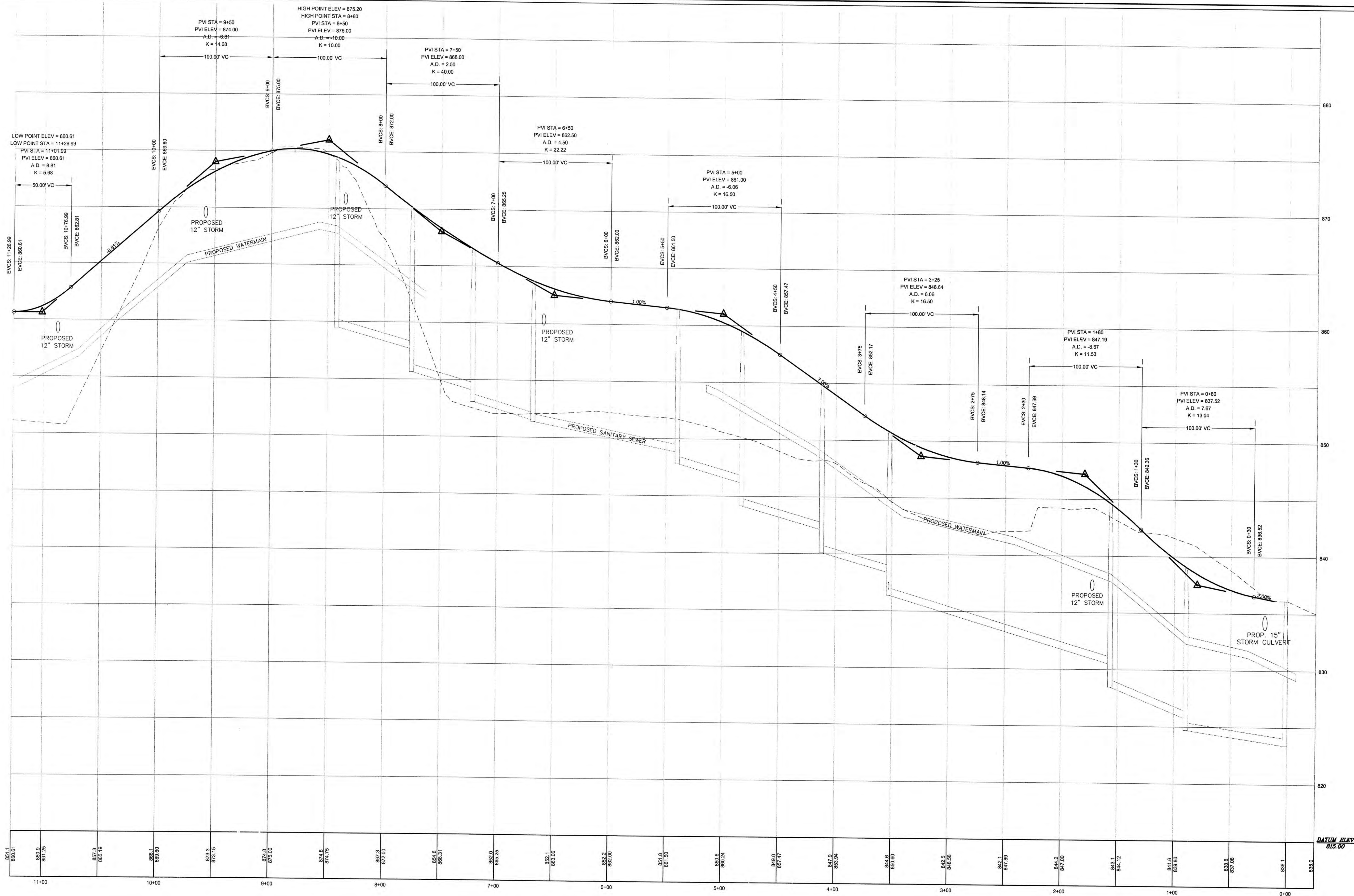
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INFO@LANDCRAFTSE.COM

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CHECKED BY: MPD 11/8/04
APPROVED BY:
TOWN/CITY ENGINEER
PROJECT NO.-REVISION: 030642 - 12/15/04
SCALE: 1"=40'

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Germantown, WI 53022-4645
www.jbjcompanies.com
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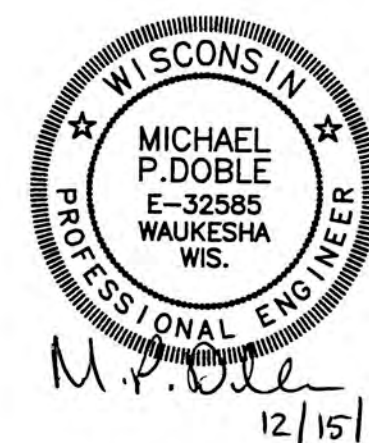
JOB NO. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
EROSION CONTROL PLAN
C3



NOTES:

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 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04
 CHECKED BY: MPD 9/27/04
 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE
 PROJECT NO.-REVISION: 030642 - 12/15/04
 SCALE: 1"=40' HORZ. 1"=4' VERT.

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 Germantown, WI 53022-4645
 www.jbjcompanies.com
 Job No. 2302

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
 ROAD PROFILE
 C4



- NOTES:**
1. EXISTING SANITARY SEWER LATERALS SHALL BE ABANDONED AT THE RIGHT-OF-WAY BY CAPPING OR OTHER METHOD APPROVED BY THE SANITARY DISTRICT. PROVIDE PROOF BY TELEVISION THAT THE LATERAL PIPES TO REMAIN IN THE RIGHT-OF-WAY ARE NOT LEAKING, OR GROUT THE LATERAL AT THE CONNECTION TO THE MAIN LINE.
 2. EXISTING WATER SERVICES SHALL BE ABANDONED AT THE CORPORATION STOP.
 3. PUBLIC WATERMAIN, INCLUDING VALVES AND HYDRANTS, MUST BE INSTALLED, PRESSURE TESTED, AND A SAFE WATER SAMPLE OBTAINED PRIOR TO TAPPING INTO EXISTING WATERMANS IN BROOKFIELD ROAD.
 4. CONNECTION TO THE EXISTING WATERMAIN IN BROOKFIELD ROAD AT THE INTERSECTION OF FOLLETT ROAD SHALL BE LOCATED A MINIMUM DISTANCE OF 5 FEET FROM THE EXISTING FOLLETT ROAD WATERMAIN TEE.
 5. CONTRACTOR MUST FOLLOW THE SANITARY DISTRICT NO. 4, TOWN OF BROOKFIELD SPECIFICATIONS FOR BURIED PIPE LINES, FEBRUARY 2004 REVISION DATE.
 6. A NON DESCRIPTIVE ACCESS EASEMENT TO BE GRANTED FOR USE OF PAVED SURFACES TO ACCESS AND MAINTAIN THE WATERMAIN AND SANITARY SEWER.

GENERAL NOTES:

1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

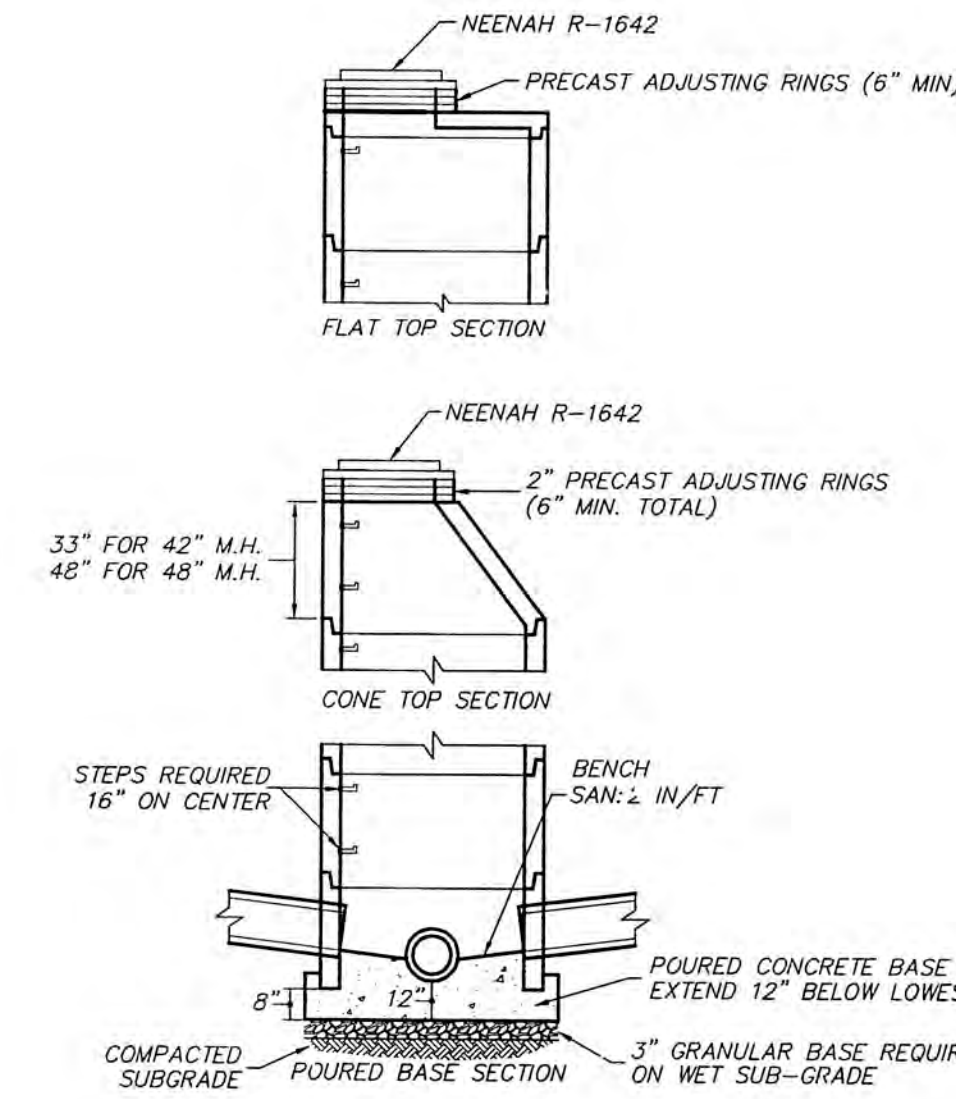
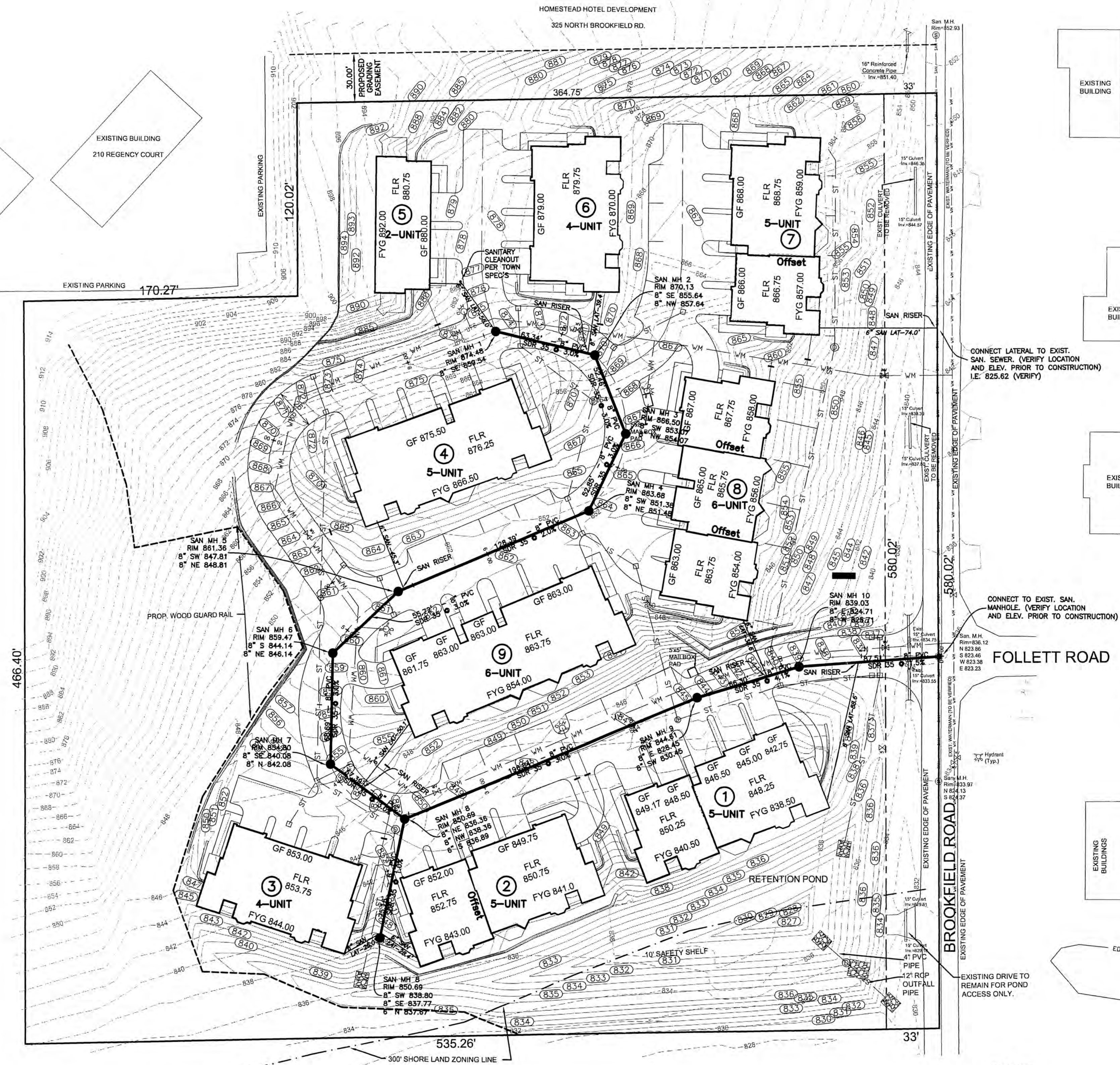
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 CHECKED BY: MPD 11/8/04
 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE
 PROJECT NO.-REVISION: 030642 - 12/15/04
 SCALE: 1"=40'

EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
 UTILITY PLAN
 C5



PRECAST MANHOLE DETAIL

- NOTES:
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ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

NOTE:
SEE SHEET C7 FOR SANITARY SEWER RISER INFORMATION. FOR SERVICES WITHOUT RISERS WYES ARE REQUIRED.

DIGGERS HOTLINE

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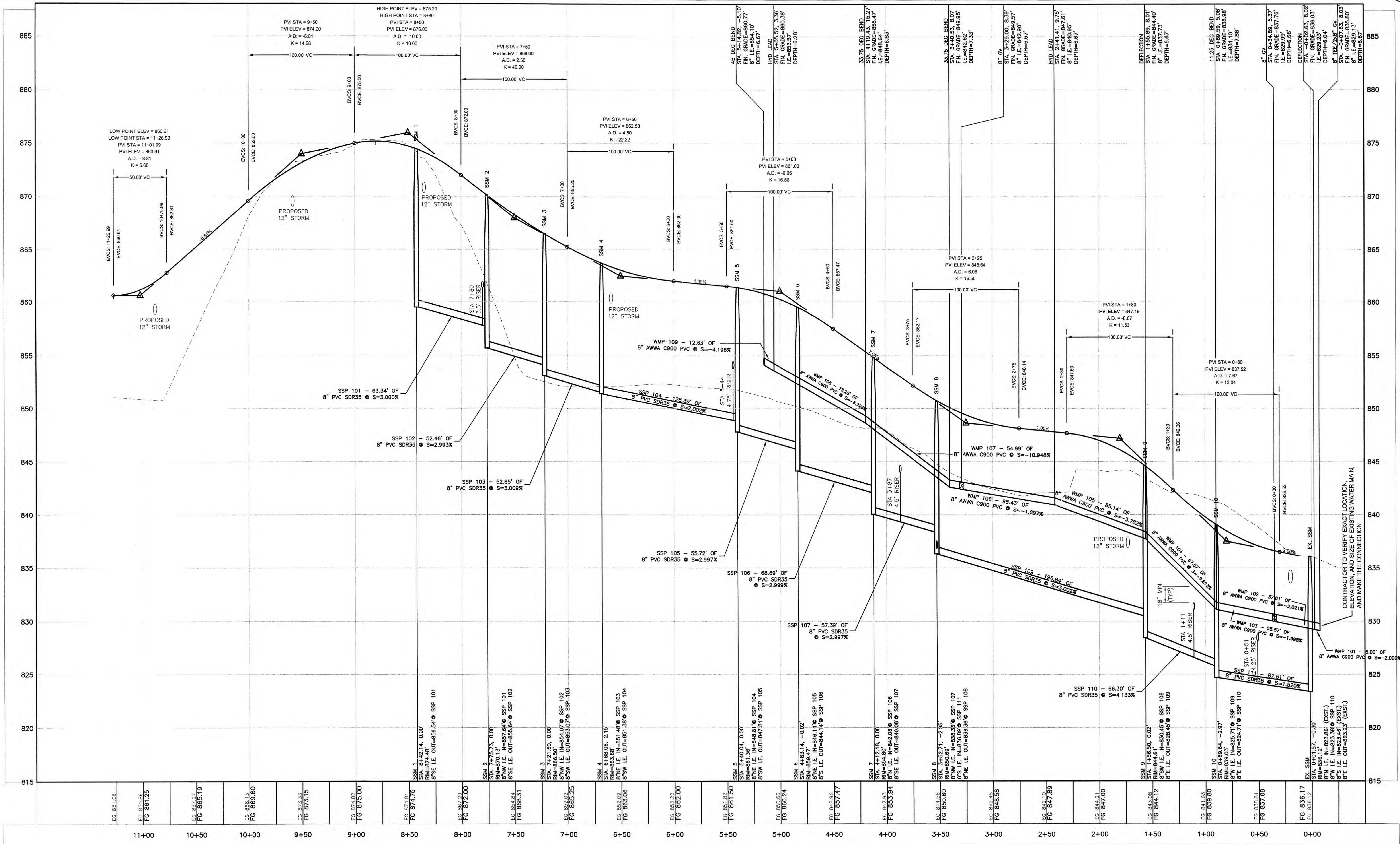


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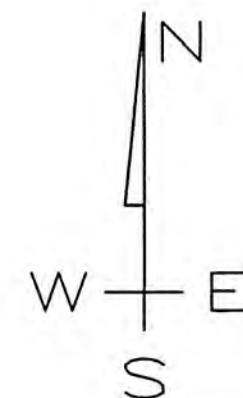
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Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
SANITARY SEWER PLAN
C6

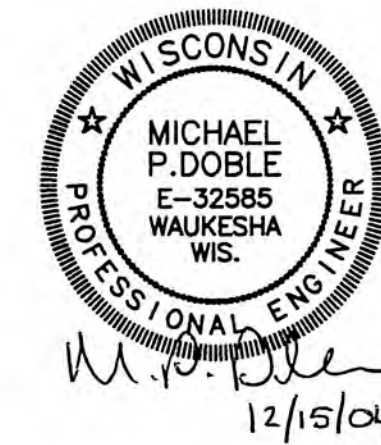


NOTES:
1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE-TO-NODE (I.E. CENTER-TO-CENTER OF MANHOLES).
2. SEE SHEET 1 OF THIS SET FOR DETAILS.
3. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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ABBREVIATIONS
STP - STORM SEWER PIPE
SSM - SANITARY SEWER MANHOLE
SSP - SANITARY SEWER PIPE
HYD - HYDRANT
GV - GATE VALVE
WM - WATERMAIN
AV - AIR RELIEF VALVE AND BOX
WMP - WATERMAIN PIPE



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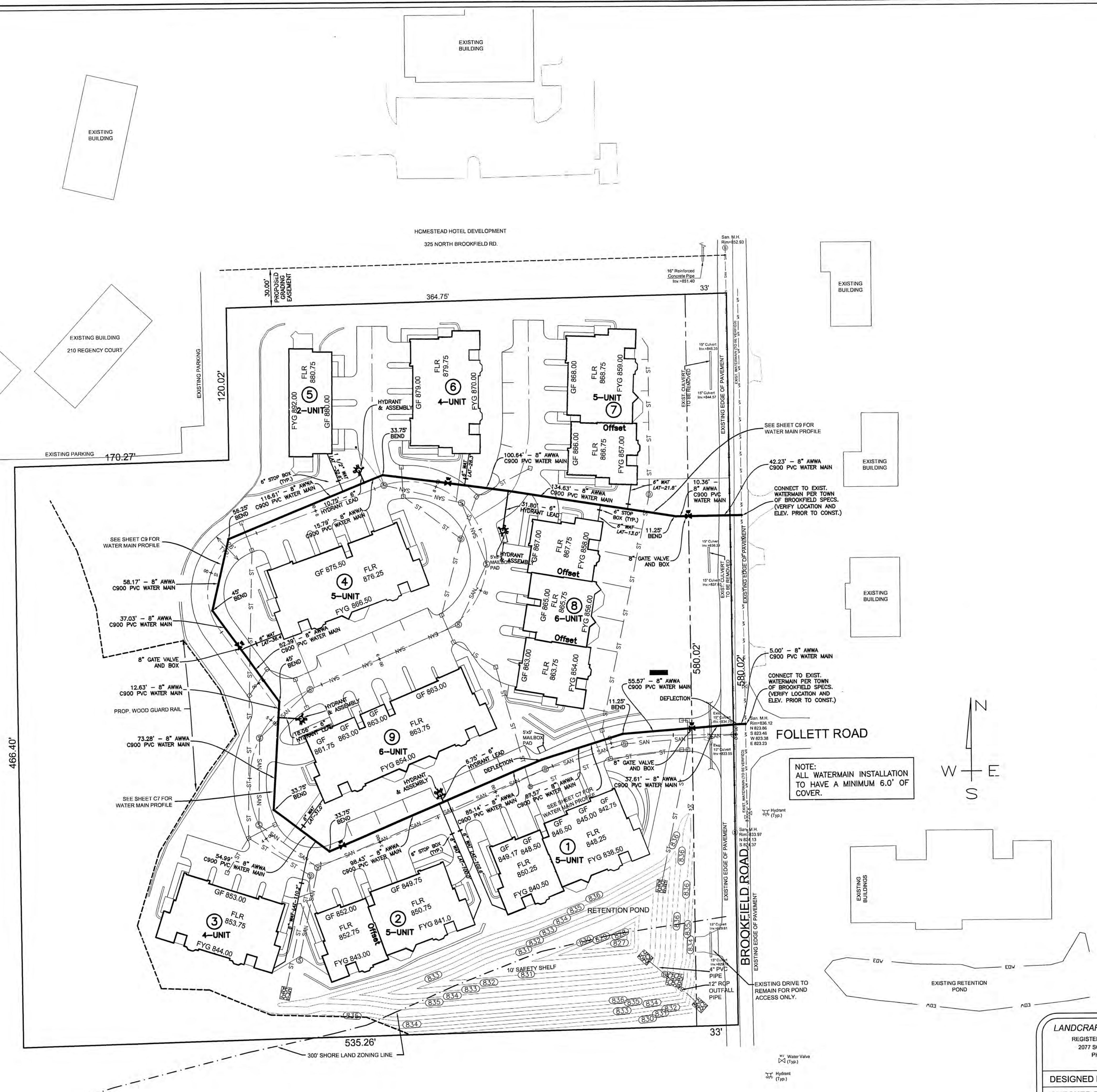


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APPROVED BY: _____
TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 12/15/04
HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'

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Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
SANITARY SEWER & WATERMAIN PROFILE
C7



NOTE:
WATER LATERAL CURB STOPS LOCATED WITHIN
PAVED AREAS SHALL BE LOCATED WITHIN A
VALVE BOX ENCLOSURE.

NOTES:
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES
SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY,
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HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION
CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND
SHALL BE MAINTAINED DURING CONSTRUCTION.

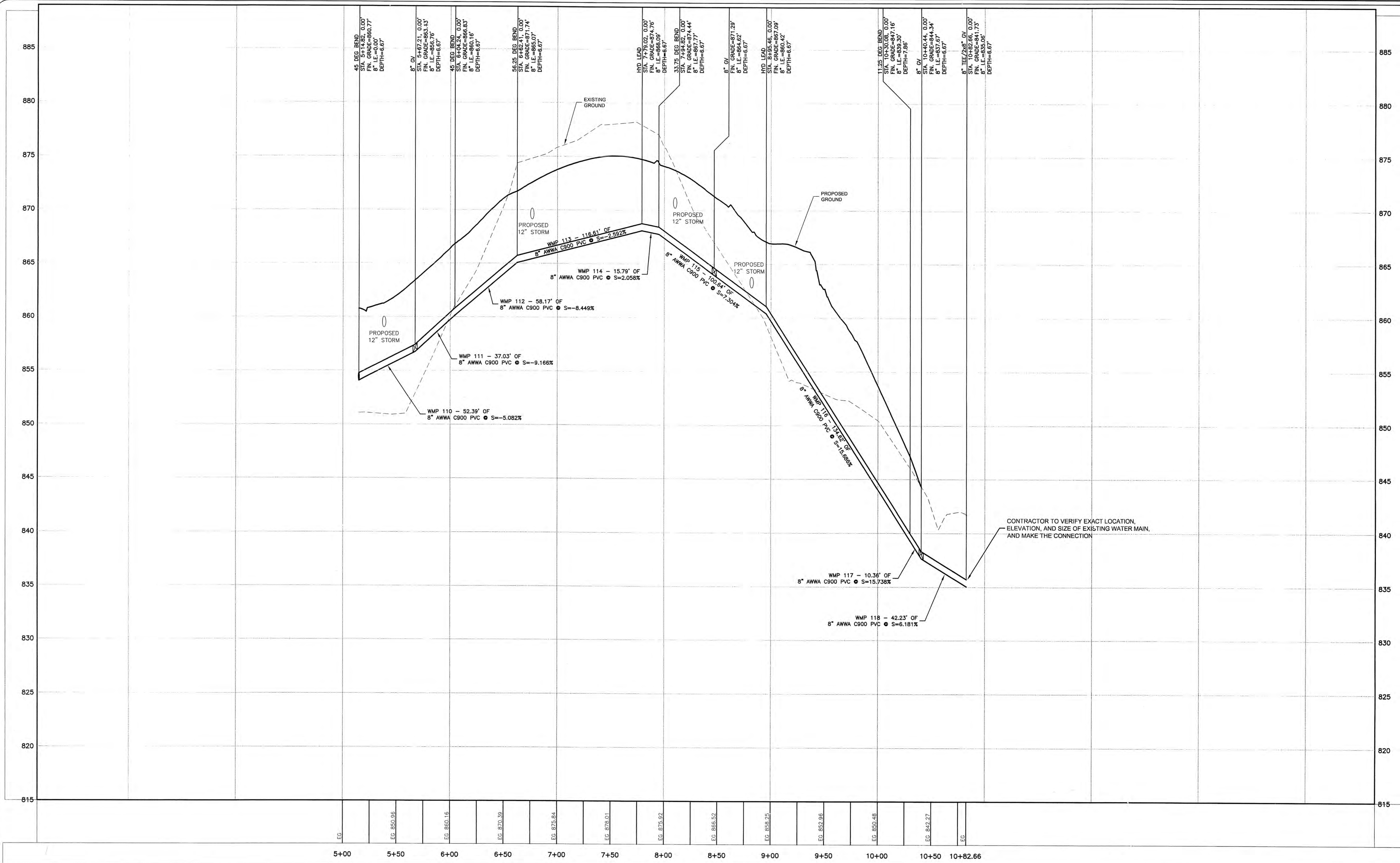
ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND
LOCAL CODES.

DIGGERS HOTLINE
WISCONSIN STATE STATUTE 182.0175 REQUIRES
THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
CALL DIGGERS HOTLINE 1-800-242-8511



LANDCRAFT SURVEY AND ENGINEERING, INC. <small>REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS 2077 SOUTH 116TH STREET, WEST ALIS, WI 53227 PH. (414) 694-0674 FAX (414) 694-0677 INFO@LANDCRAFTSE.COM</small>	
DESIGNED BY: CWH	6/24/04
CHECKED BY: MPD	11/8/04
APPROVED BY:	TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 12/15/04	
SCALE: 1"=40'	

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
WATER MAIN PLAN
C8

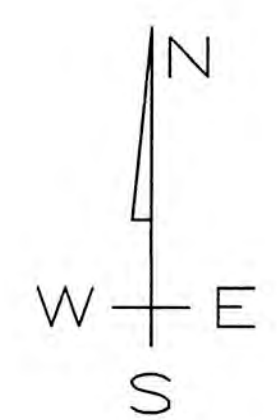


NOTES:

1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE-TO-NODE (I.E. CENTER-TO-CENTER OF MANHOLES).
2. SEE SHEET 1 OF THIS SET FOR DETAILS.
3. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
4. ALL SITE GRADING ACTIVITY AND EROSION CONTROL MEASURES SHALL COMPLY WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK (DNR PUBLICATION WR-222, 1993 REV. OR NEWER). ALL EROSION CONTROL MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED DURING CONSTRUCTION.

ABBREVIATIONS

STP - STORM SEWER PIPE
SSM - SANITARY SEWER MANHOLE
SSP - SANITARY SEWER PIPE
HYD - HYDRANT
GV - GATE VALVE
WM - WATERMAIN
AV - AIR RELIEF VALVE AND BOX
WMP - WATERMAIN PIPE



DIGGERS HOTLINE

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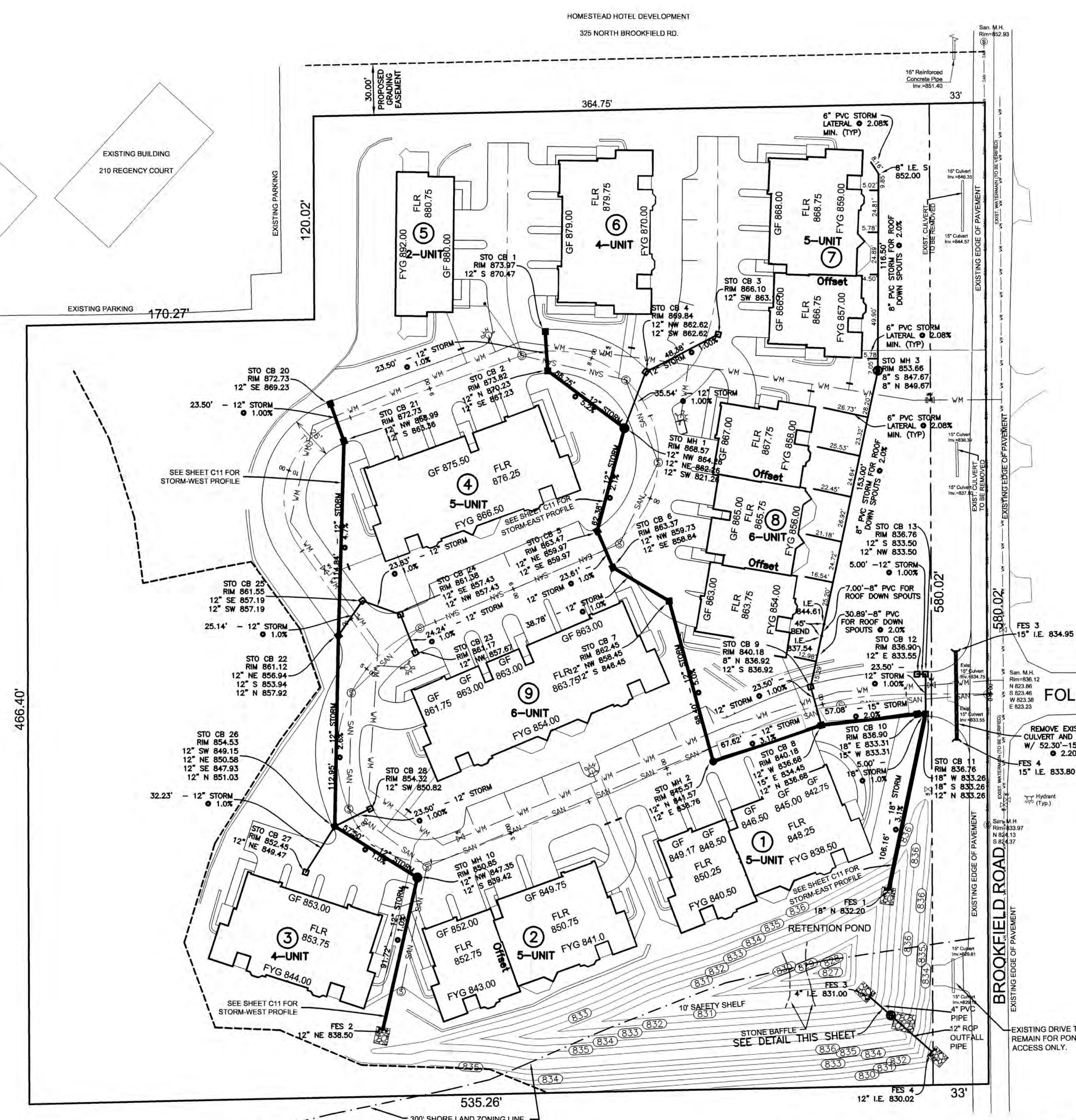


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PH. (414) 604-0674 FAX (414) 604-0677
INFO@LANDCRAFTSE.COM

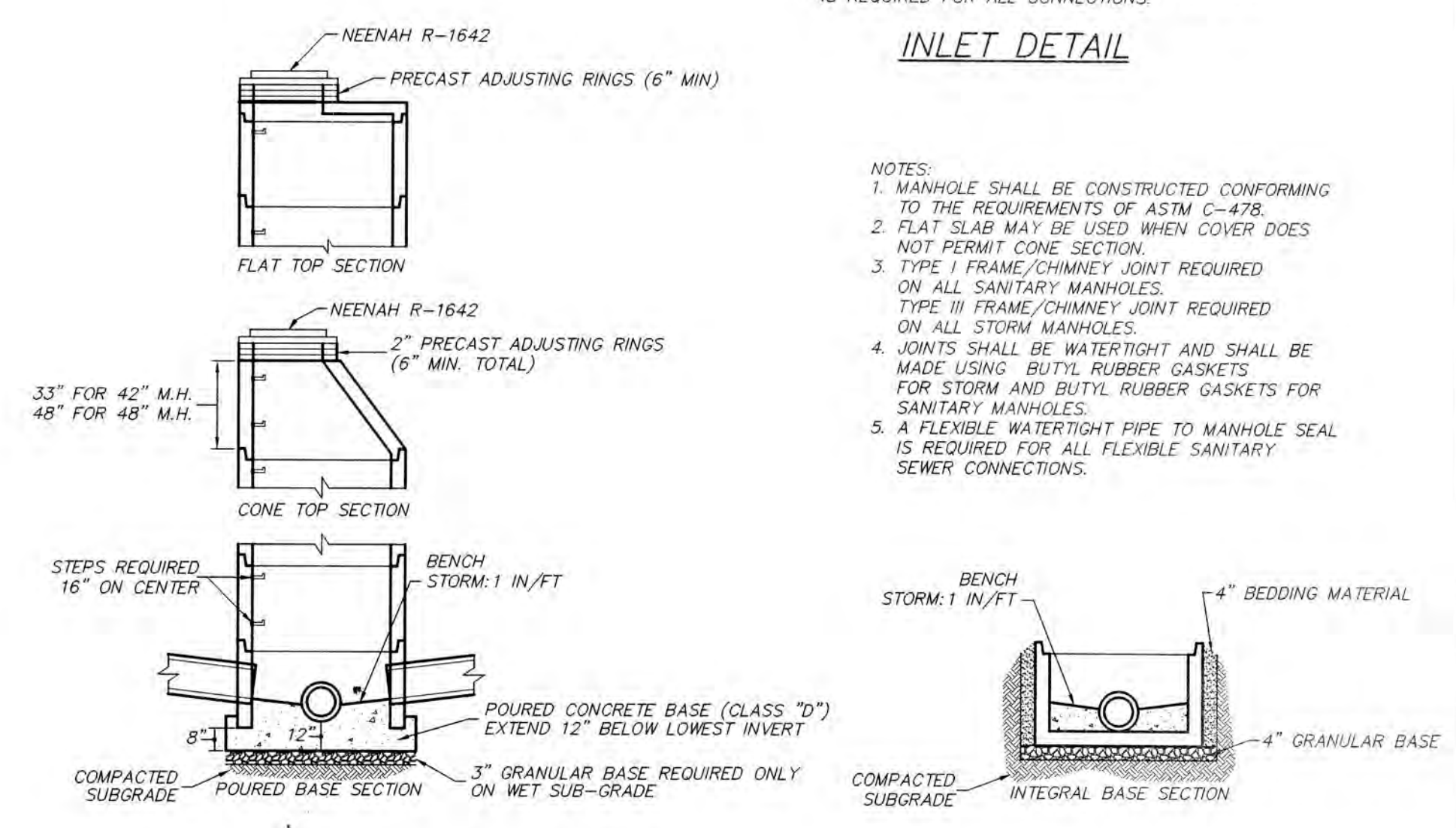
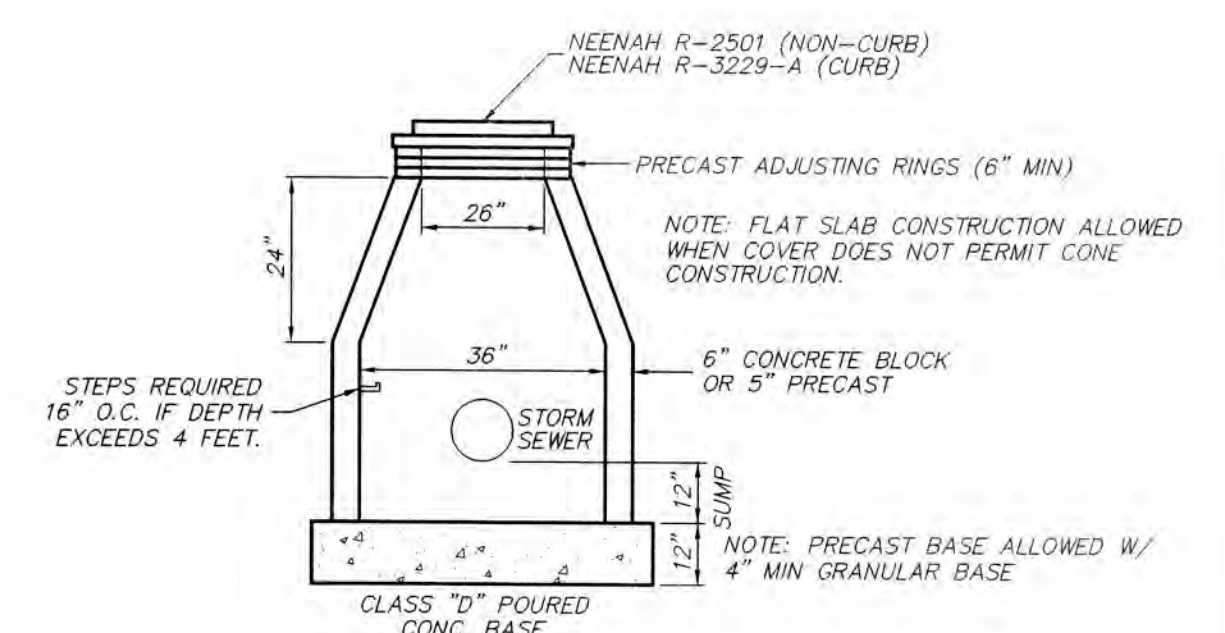
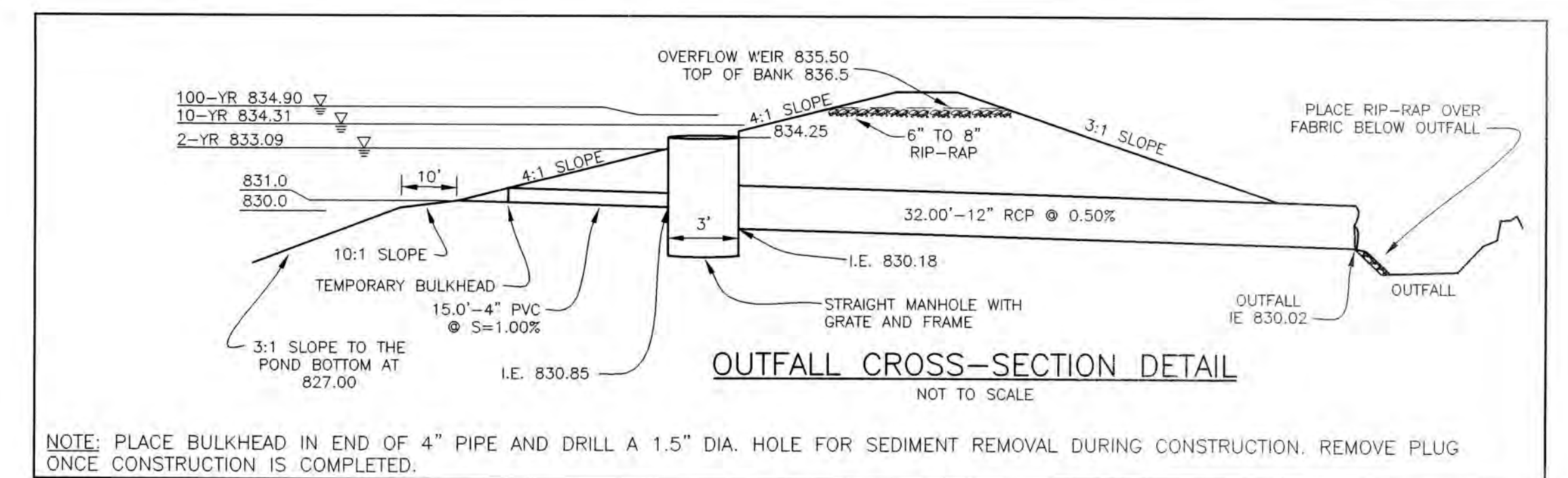
DESIGNED BY: CWH 9/1/04
CHECKED BY: MPD 9/27/04
APPROVED BY: _____
TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 12/15/04
HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'

J.B.J. Construction
(a division of J.B.J. Companies, Inc.)
W178 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4845
www.jbjcompanies.com
Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
WATERMAIN PROFILE (NORTH)
C9



NOTE:
ALL STORM SEWER PIPE IS
RCP UNLESS NOTED OTHERWISE.



NOTES:
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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ALL UTILITY CONSTRUCTION TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES.

DIGGERS HOTLINE
WISCONSIN STATE STATUTE 182.0175 REQUIRES
THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
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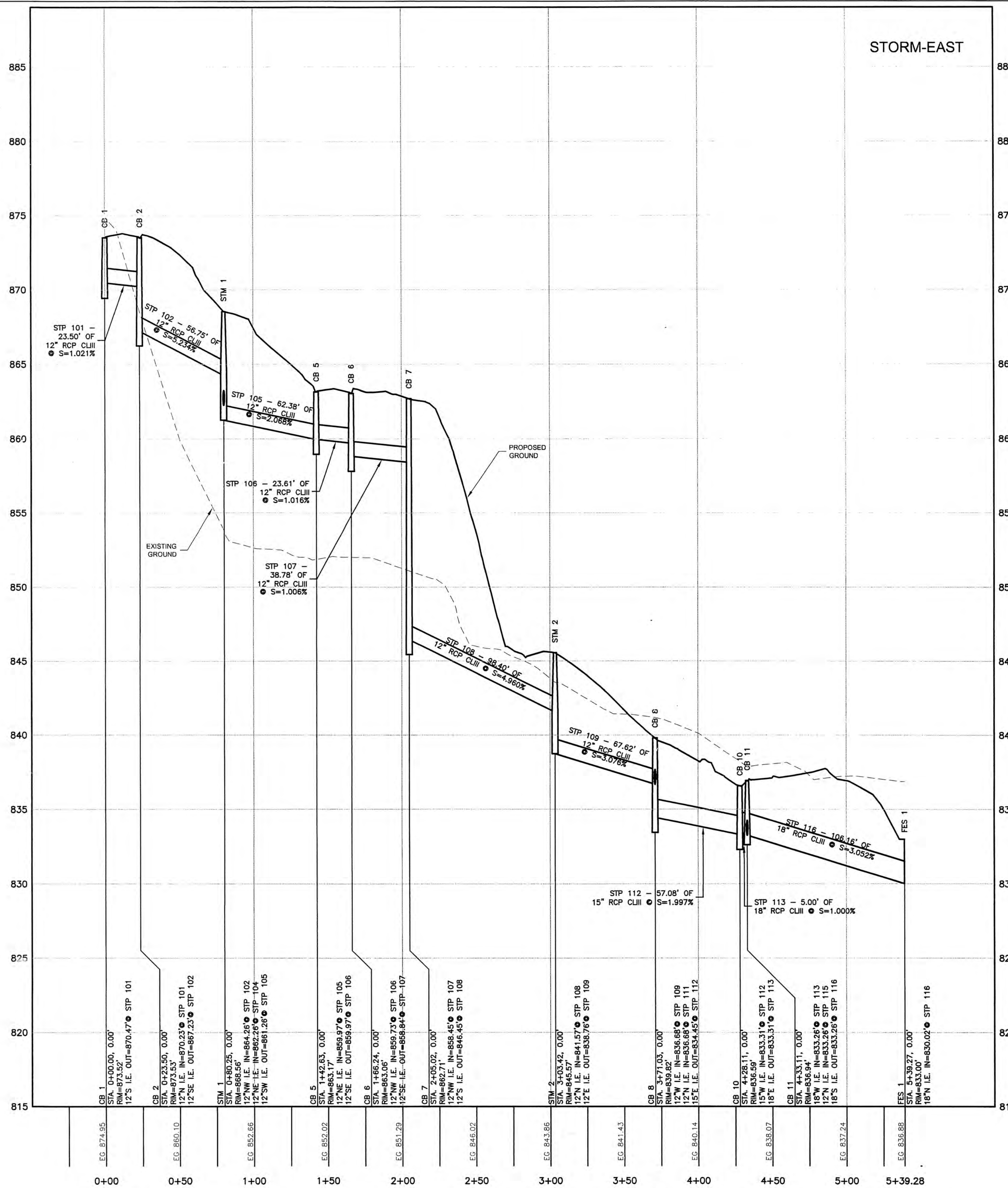
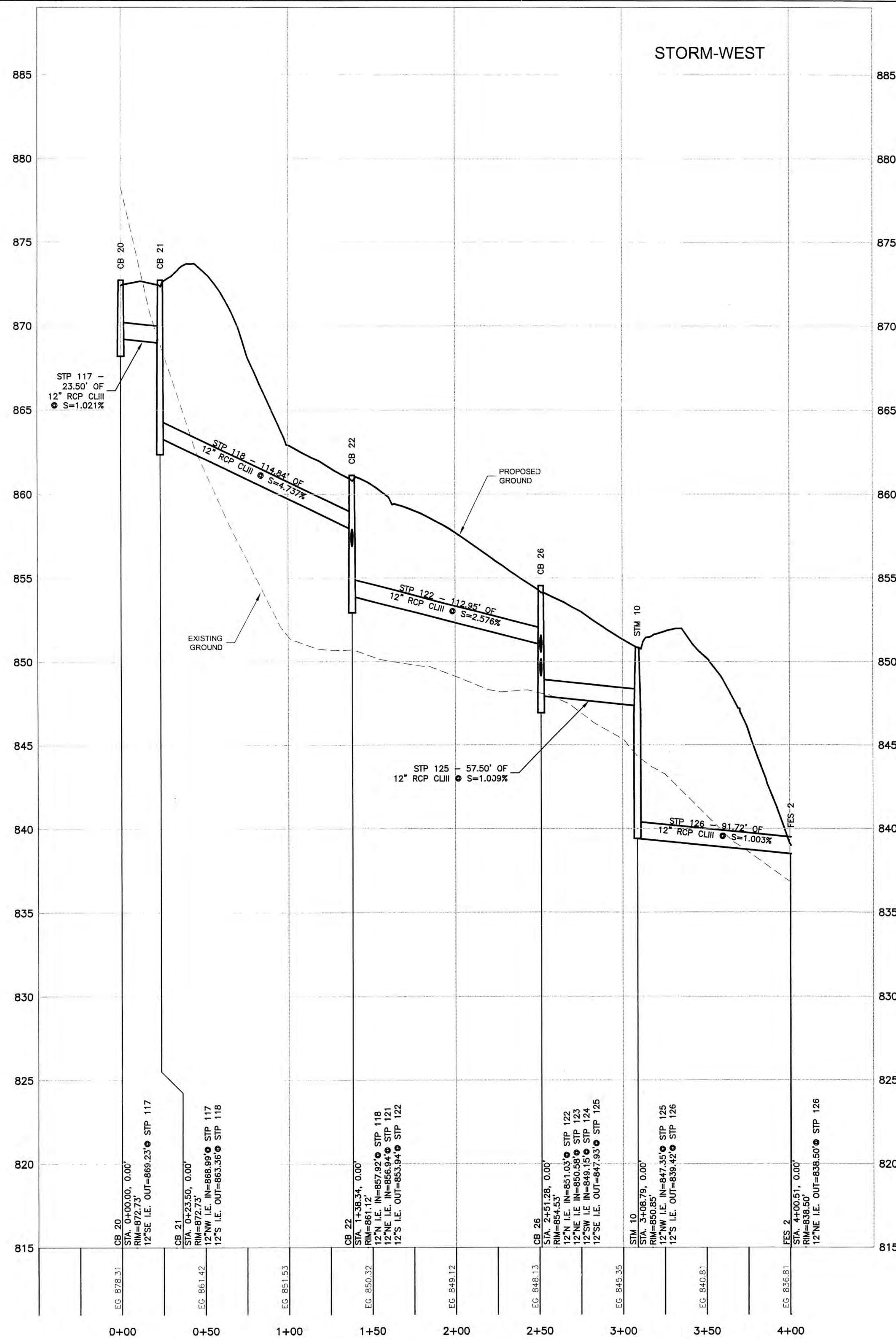


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2077 SOUTH 118TH STREET, WEST ALLIS, WI 53227
PH. (414) 864-0874 FAX (414) 864-0877
INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04
CHECKED BY: MPD 12/15/04
APPROVED BY: _____
TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 2/23/05
SCALE: 1"=40'

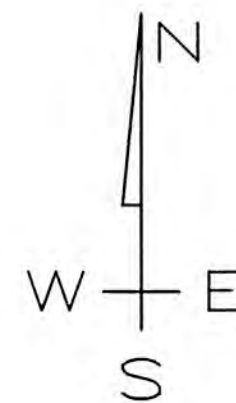
J.B.J. Construction
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Germantown, WI 53022-4645
www.jbjcompanies.com
Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
STORM SEWER PLAN
C10

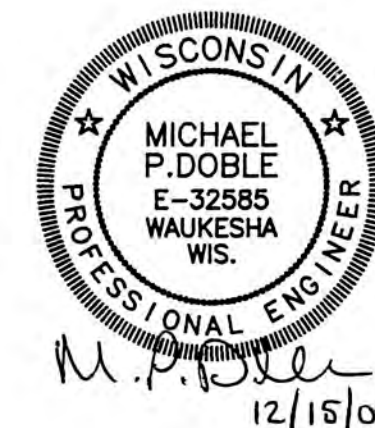


NOTES:
 1. PIPE RUN LENGTHS AS SHOWN ON THIS PLAN ARE MEASURED NODE-TO-NODE (I.E. CENTER-TO-CENTER OF MANHOLES).
 2. SEE SHEET 1 OF THIS SET FOR DETAILS.
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DIGGERS HOTLINE
 WISCONSIN STATE STATUTE 182.0175 REQUIRES
 THREE WORK DAYS NOTICE BEFORE YOU EXCAVATE
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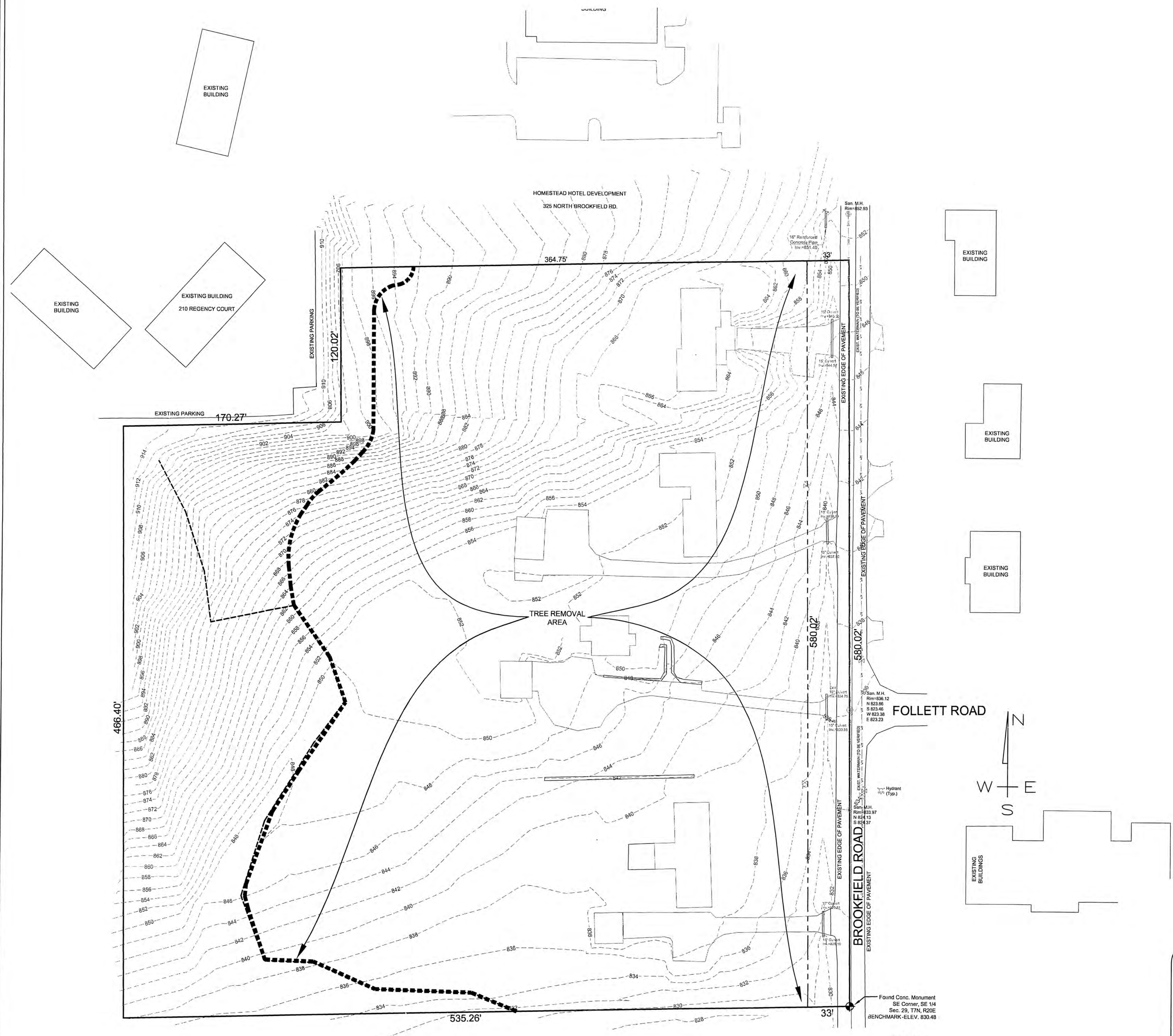
LANDCRAFT SURVEY AND ENGINEERING, INC.
 REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS
 2077 SOUTH 118th STREET, WEST ALLIS, WI 53227
 PH: (414) 804-0674 FAX: (414) 804-0677
 INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 9/1/04
 CHECKED BY: MPD 9/27/04
 APPROVED BY: _____
 TOWN/CITY ENGINEER DATE
 PROJECT NO.-REVISION: 030642 - 12/15/04
 HOR. SCALE: 1"= 40', VER. SCALE: 1"= 4'

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 (a division of J.B.J. Companies, Inc.)
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 Germantown, WI 53022-4645
 www.jbjcompanies.com
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EAGLES NEST CONDOMINIUMS
 BROOKFIELD ROAD
 TOWN OF BROOKFIELD, WI
STORM SEWER PROFILE
C11

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NOTE:
TREE REMOVAL CONTRACTOR TO MEET WITH OWNER REGARDING THE TREES TO BE SAVED AND TRIMMED ALONG BROOKFIELD ROAD, AND The South property line.

NOTES:
1. THE LOCATION AND SIZE OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREON HAVE BEEN LOCATED TO A REASONABLE DEGREE OF ACCURACY, BUT THE ENGINEER DOES NOT GUARANTEE THEIR EXACT LOCATION OR THE LOCATION OF OTHERS NOT SHOWN. CONTACT DIGGERS HOTLINE.
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2077 SOUTH 116TH STREET, WEST ALLIS, WI 53227
PH. (414) 604-0674 FAX (414) 604-0677
INFO@LANDCRAFTSE.COM

DESIGNED BY: CWH 6/24/04
CHECKED BY: MPD 6/24/04
APPROVED BY: _____
TOWN/CITY ENGINEER DATE
PROJECT NO.-REVISION: 030642 - 9/27/04
SCALE: 1"=40'

J.B.J. Construction
(a division of J.B.J. Companies, Inc.)
W178 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
www.jbjcompanies.com
Job No. 2302

EAGLES NEST CONDOMINIUMS
BROOKFIELD ROAD
TOWN OF BROOKFIELD, WI
SURVEY, DEMOLITION &
TREE REMOVAL PLAN C12

EAGLES NEST CONDOMINIUMS

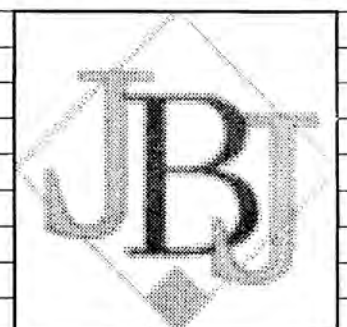
Town of Brookfield, Wisconsin

Job # 2302

CONSTRUCTION MANAGER:

BJ CONSTRUCTION
(a division of J.B.J. Companies, Inc.)

W78 N9912 Rivercrest Drive, Suite 101
Germantown, WI 53022-4645
Phone: (262) 255-1800
Fax: (262) 255-2234
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PROJECT NO. 0326.01

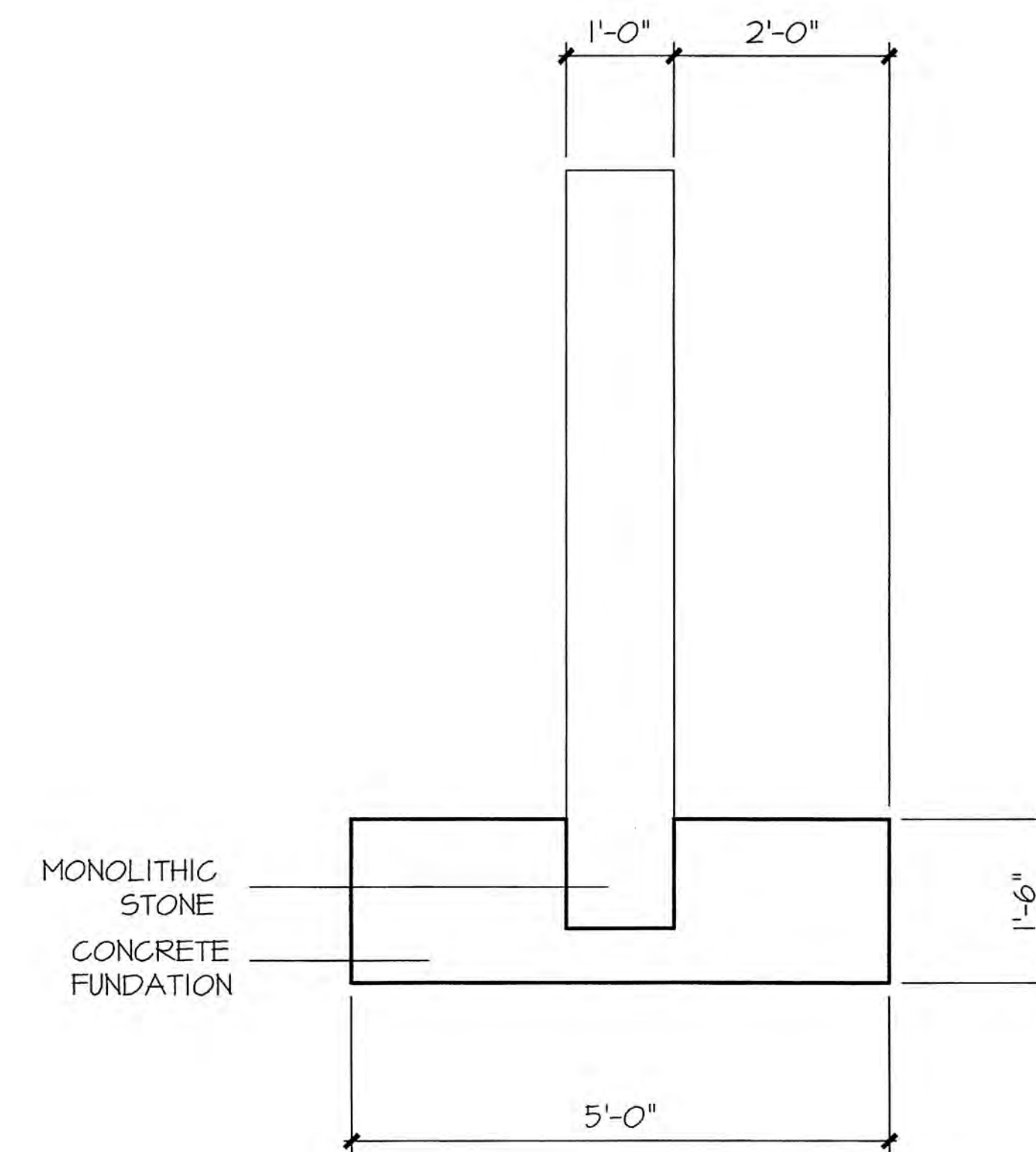
DRAWING

SIGN

DRAWN BY: ISSUE DATE: 25 JUNE 2004
02 SEP 2004
REVIEWED BY: JBS REVISED:

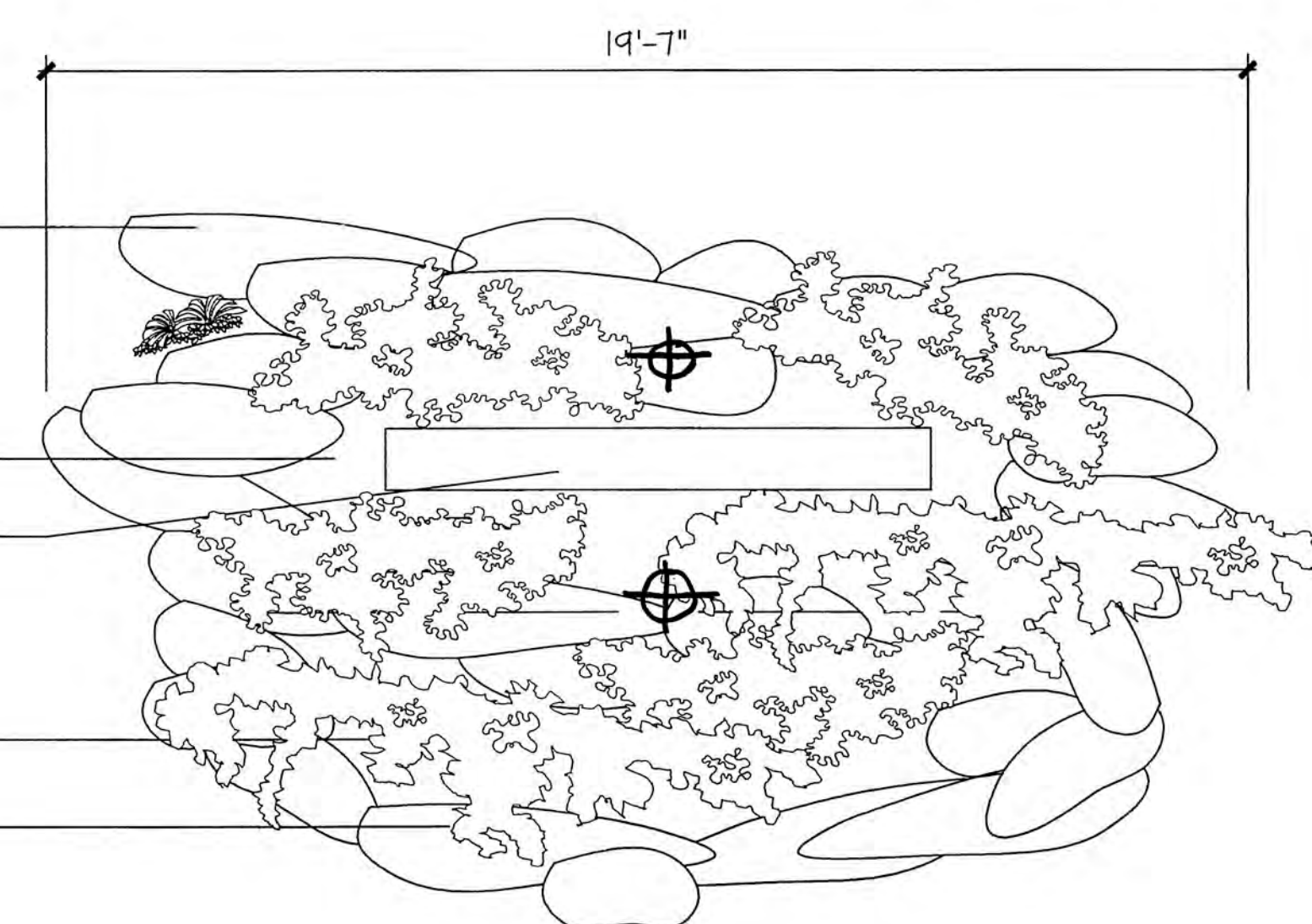
C14

3/4" ENTRANCE SIGN

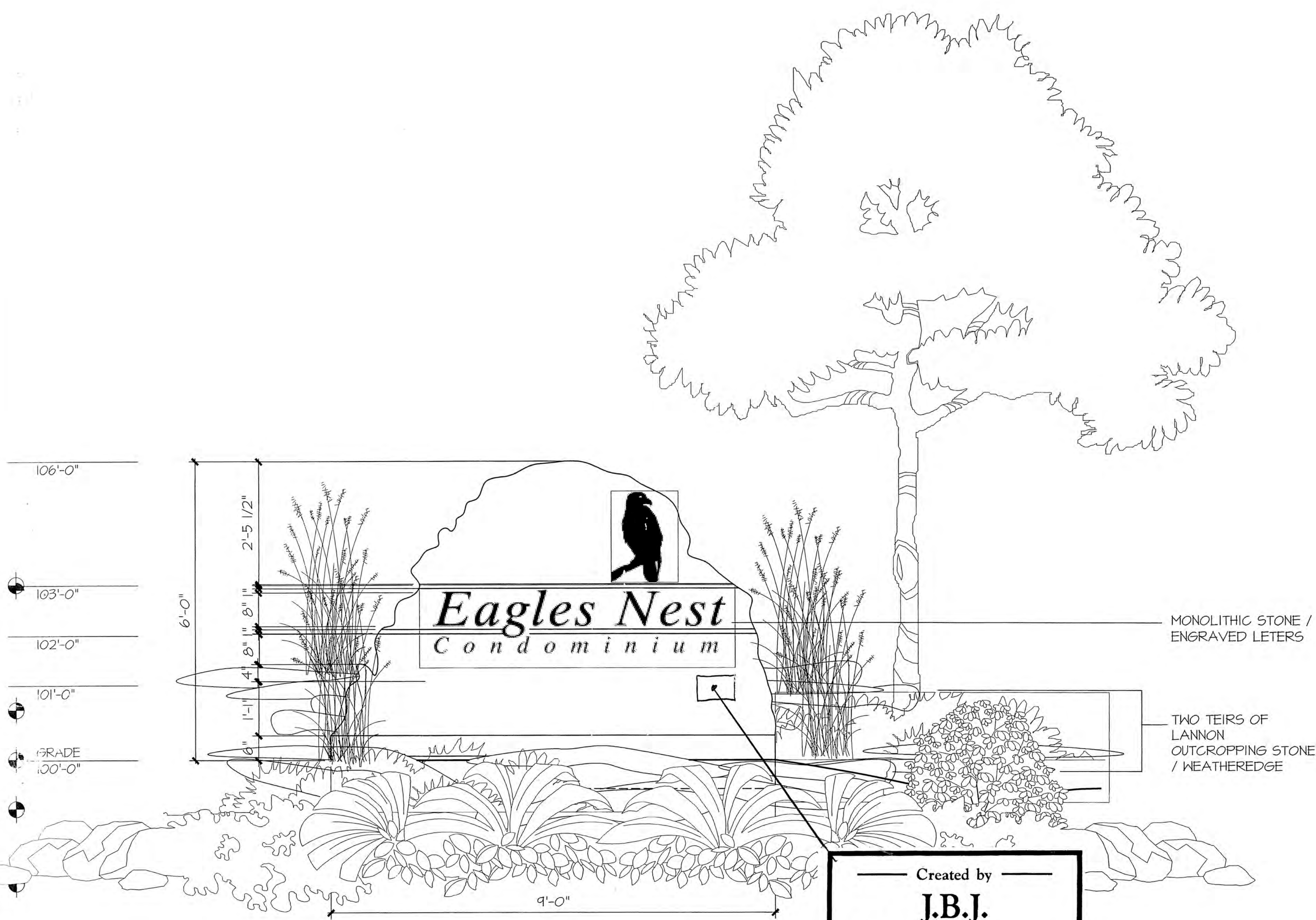


SIGN SECTION
3/4" = 1'-0"

⊕ = Light
Rudd or Equal
MODEL: NS6407-D
SPEC: POST MOUNT,
BRONZE FINISH, CLEAR
TEMPERED AND ANNEALED
GLASS LENS
9 3/4" WIDE, 6 1/4" HIGH,
4 3/4" DEEP
1 - 70W MH LAMP
MONUMENT SIGN FLOOD
SUPPLIED WITH DB-9 DEEP
BAFFLE.

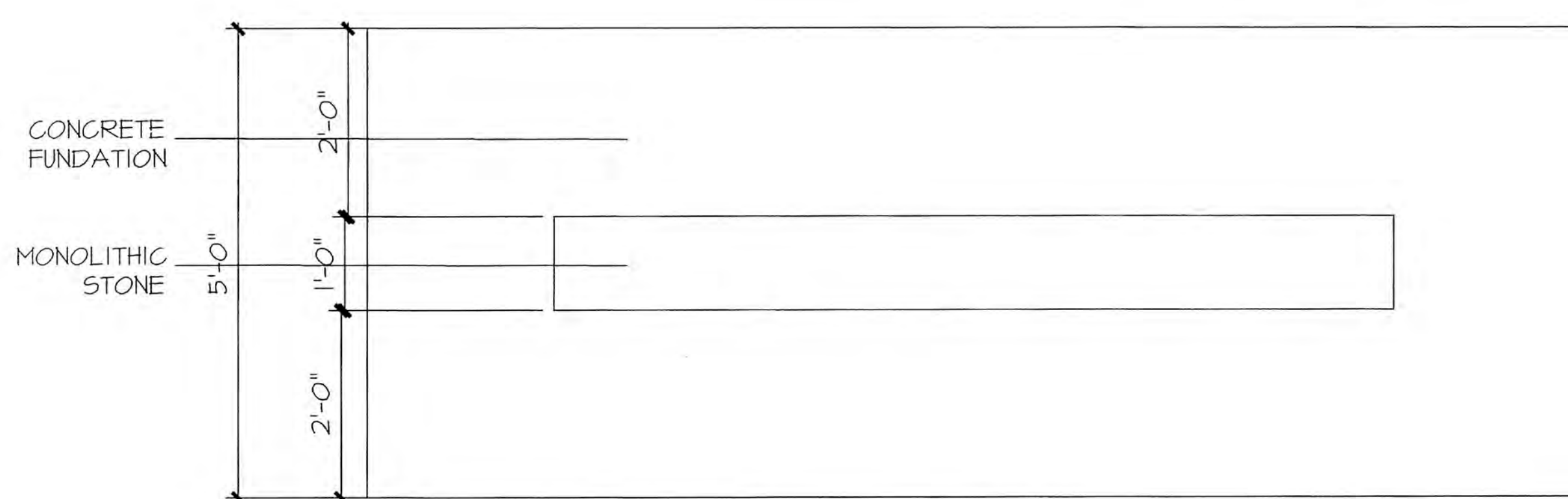


PLAN VIEW SIGN & FOUNTAIN



SIGN & FOUNTAIN ELEVATION
3/4" = 1'-0"

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J.B.J.
Development
2005 A.D.
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PLAN VIEW SIGN
3/4" = 1'-0"