

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
(P) 262-796-3788
(F) 262-796-0339



MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Gnant Room
645 N. Janacek Road, Brookfield, WI

Wednesday, May 8, 2024

Architectural Review Committee

6:00 p.m

AGENDA

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
 - a. April 10, 2024 Meeting Minutes
- 5) Old Business:
 - a. None.
- 6) New Business:
 - a. Reggie Peters (Lemberg Electric), representing Magnolia Soap & Bath, is requesting permanent signage approval for a wall sign and a sign face change on the existing freestanding multi-tenant sign, located at 18000 West Bluemound Road.
 - b. Reggie Peters (Lemberg Electric), representing Talbot's, is requesting permanent signage approval for a wall sign and a sign face change on the existing freestanding multi-tenant sign, located at 18000 West Bluemound Road.
 - c. Peter Antonopoulos, representing Bullwinkles at the Galleria, to request approval of exterior alterations to allow lighting along the roof and windows (LED Lights), located 18900 West Bluemound Road, Suite 100.
 - d. Keith Hueffner, representing Master Spa Warehouse, for review and recommendation of final approval for a new warehouse building for the property located at 21675 Doral Rd.
- 7) Communication and Announcements.
- 8) Adjourn.

Posted this 2nd day of May, 2024

*Bryce Hembrook
Town Planner*

TOWN OF BROOKFIELD
ARCHITECTURAL REVIEW COMMITTEE MINUTES
APRIL 10, 2024

The regular meeting of the Architectural Review Committee was held in the Erich Gnant Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER.

Chairman Dean Pearson called the meeting to order at 6:00 p.m. with the following people present: Town Planner Bryce Hembrook; Town Supervisor Steve Kohlmann; Committee members Alan Lee, and Matt Paris. Supervisor John Charlier and Committee member Richard Diercksmeier were absent and excused.

2) MEETING NOTICES.

Planner Hembrook reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA.

Motion by Supervisor Kohlmann to approve the agenda.

Seconded by Mr. Paris.

Motion carried unanimously.

4) APPROVAL OF MINUTES.

Motion by Supervisor Kohlmann to approve the minutes of the March 13, 2024 minutes with the following changes:

- Item b for Galleria West sign, change Mr. Paris' comment to "preferring newer, updated sign";
- Vote for item b was corrected to carrying 4-1, with Chairman Pearson dissenting.

Seconded by Mr. Lee.

Motion carried unanimously.

5) Old Business:

- a. None.

6) New Business:

- a. Keith Hueffner, representing Master Spa Warehouse, for review and recommendation of preliminary approval for a new warehouse building for the property located at 21675 Doral Road.

Planner Hembrook detailed the proposed warehouse site plan and use, and specifics are in the staff report that is included in the ARC packet. There are two street frontages, one facing I-94, and the other facing Doral Road. Hembrook reported that the Plan Commission recommended a sign on the north façade, specifically the northeast portion of the building. Hembrook noted that there is not a lighting or landscape plan included for tonight's review. There was a misunderstanding as to when those elements are required in the approval process. Hembrook added that the town engineer would review and make recommendations regarding those elements, before final approval. Kelly Sperl, (Architectural and Construction Services) was present and pointed out that there will be 2-5 employees in each space, since this is a warehouse and not a retail store. The building is proposed to have three separate areas; two for different storage capabilities, and the third is not yet determined and may be leased out. Mr. Sperl clarified that the color of the building is proposed to be blue, with white trim. The block will be a gray, sealed, split-faced material. Supervisor Kohlmann asked if a palette of colors and materials would be provided. Mr. Sperl responded that he would get samples. It was also clarified that the proposal would come back to ARC at a later date for final approval. There will be an overhang where the materials change from masonry to metal. The parking lot will be scraped, and the building will drop two feet from the previous building that was in that location. Kohlmann reiterated the need to see a palette of colors and materials.

Motion by Supervisor Kohlmann to recommend preliminary approval for a new warehouse building for the property located at 21675 Doral Road.

Seconded by Mr. Paris.

Motion carried unanimously.

- b. Scott Bence (JBJ Develop, L.P.) is requesting a recommendation for preliminary and final approval of the continuation of the Eagles Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016).

Planner Hembrook described the proposal, as outlined in the staff report included in the packet for tonight's meeting. The applicant is planning to start building with building pad 9, which allows for six condominium units. Planner Hembrook noted that at a previous Plan Commission meeting, the property owner directly to the south of this development attended, and reported that drainage from the development was running onto his property and would wash out a driveway. The applicant and the town engineer looked into it and determined that it was likely because there was supposed to be another building, but was not built at the original time of development, so that area was not graded according to plans. Once these buildings are completed, it should drain to the stormwater pond. Each unit will have their own two-car garage, and there is additional parallel parking for visitors. Landscaping and lighting plans are proposed to remain the same. The Fire Department and utilities have no concerns. Mr. Paris asked if the approval is for every structure of just for this first stage. Hembrook responded that the applicant intent is to build each unit as soon as possible, but to avoid having to go through multiple approvals (since code indicates that if a building is not started within 12 months of approval, the approval expires) options may be considered to possibly extend the approval. Mr. Paris also mentioned that the units on the northwest corner appeared to be slightly different from the rest. A representative for Mr. Bence responded that is because it is a four-unit building, so the two end units are put together, and the middle is taken out. For the exterior materials, the brick and stone are the same. Some materials were discontinued, so a similar color and material as the existing buildings. The plan is to start with building 9, then pull the next permit for subsequent buildings. Mr. Hembrook clarified that the town attorney will address language dealing with the approval process in the Developer's Agreement to continue the building permit process. Paris indicated that he is comfortable with recommending preliminary and final approval. Kohlmann stated that it is important to have a palette of materials to be sure it is conducive to the existing buildings.

Motion by Mr. Paris to recommend preliminary and final approval of the continuation of the Eagles Nest Condominium Project with updated building plans, located at Eagle Drive and Aerie Circle, off of Brookfield Road (BKFT1124974016), pending submission of a palette of materials (examples) to the town planner.

Seconded by Supervisor Kohlmann.

Motion carried unanimously.

7) COMMUNICATION AND ANNOUNCEMENTS.

8) ADJOURN.

Motion by Mr. Lee to adjourn at 6:32pm.

Seconded by Supervisor Kohlmann.

Motion carried unanimously.

Respectfully submitted,
Bryce Hembrook, Town Planner



Building a Better World
for All of Us®

TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Bryce Hembrook, AICP
Town Planner

REPORT DATE: May 2, 2024

ACC MEETING DATE: May 8, 2024

RE: ARC Staff Report – May Agenda Items

Magnolia Soap & Bath – Sign Review

Applicant: Reggie Peters, Lemberg Electric – Representing Magnolia Soap & Bath

Location: 18000 W Bluemound Rd – Harvard Square

Request: Approval of Permanent Signage and Monument Sign Insert Replacement

- Wall Mounted Sign
 - Requesting to add an internally illuminated wall mounted sign above their storefront.
 - Proposed sign is approximately 30 square feet in size, which does not meet the 28 square feet allowed by the Town’s code (occupant has 35 lineal feet – per applicant - of storefront).
 - Area calculations:
 - “Magnolia Soap”: 9’ x 3’ +/- = 27 sqft
 - “& BATH CO”: 6.0’ x 0.5’ +/- = 3 sqft
 - Proposed sign will extend 5” from the building, which meets the Town’s code.
 - Proposed sign appears proportional to existing adjacent signs.
 - Applicant has provided night renderings of the proposed sign.

- Monument Sign Insert Replacement
 - Requesting to replace an existing monument sign insert.
 - Proposed sign has a black background with “Magnolia Soap (in hand script) & BATH CO (in arial script)” printed in white.
 - Applicant has provided night renderings of the proposed sign.
 - The replacement size and design are consistent with the existing inserts.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351
SEH is 100% employee-owned | sehinc.com | 262.646.6855 | 888.908.8166 fax

Talbots – Sign Review

Applicant: Reggie Peters, Lemberg Electric – Representing Talbots

Location: 18000 W Bluemound Rd – Harvard Square

Request: Approval of Permanent Sign for a wall sign and a sign face change

- Wall Mounted Sign
 - Requesting to replace an existing sign on the south wall of their building facing Bluemound Rd with an internally illuminated wall mounted.
 - Proposed sign is approximately 27.5 square feet in size, which does meet the 100 square feet maximum allowed by the Town’s code (occupant has 145 lineal feet of storefront).
 - Proposed sign will extend 6” from the building, which meets the Town’s code.
 - Proposed sign is proportional to the existing sign it will replace.
 - Applicant has provided night renderings of the proposed sign.

- Monument Sign Insert Replacement
 - Requesting to replace an existing monument sign insert.
 - Proposed sign has a black background with “TALBOTS” printed in white.
 - Applicant has provided night renderings of the proposed sign.
 - The replacement size and design are consistent with the existing inserts.

Bullwinkles at the Galleria – Exterior Lighting

Applicant: Peter Antonopoulos - Representing Bullwinkle’s

Location: 18000 W Bluemound Rd – Harvard Square

Request: Approval of Permanent Sign for a wall sign and a sign face change

- The applicant installed exterior Led lighting along the roofline and gable over their restaurant business. This lighting faces the customer parking area and Brookfield Road.
- Exterior alterations are reviewed and approved by the ARC, so the applicant is attempting to comply with the alterations. Lighting regulations are specified in Section 17.02(6)(a)15.
- Photometric plans were not submitted, but could be required as a condition of approval.

Master Spa Warehouse – Preliminary Approval

Applicant: Keith Hueffner

Location: 21675 Doral Rd

Request: Final Approval for a New Warehouse Building

- The subject property experienced a fire a few years ago that resulted in the western building being razed. The applicant is proposing to construct a new warehouse building in the same location and this building is intended to be used for Master Spa Warehouse. There is an existing building on the east side of the property.
- Proposed Size = 53,173 square feet including mezzanine.
- Zoning District = M-1 Limited Manufacturing District
- Lot size = 3.6 acres.
- Proposed Use = Warehousing.
- Proposed setbacks:
 - Street (Doral Rd) = 130’
 - Street (I-94) = 52’

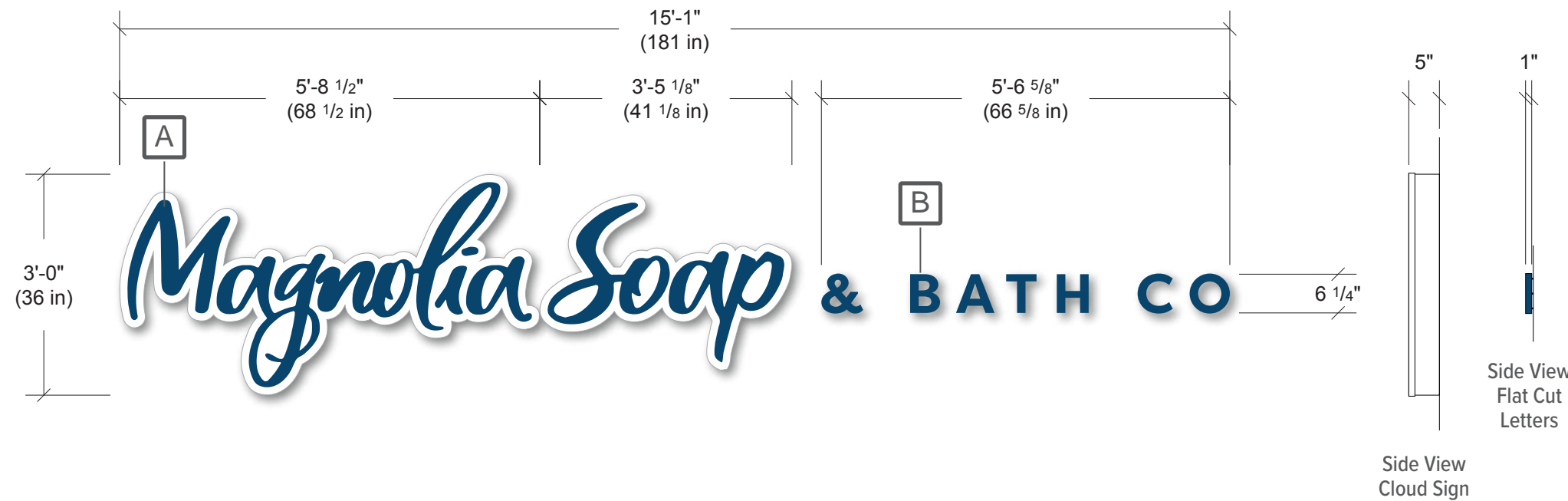
- Side (west) = 10'
- Side (east) = 240'
- Building separation from east building = 69'
- All building setbacks will meet code requirements.
- Sum total of floor area
 - Proposed = 46.4% of lot area for both buildings.
 - Required = Sum total of the floor area of the principal building and all accessory buildings shall be not less than 8,000 square feet or 20% of the lot area, whichever is less. Also, sum total of the floor area of the principal building and all accessory buildings shall not exceed 50% of the lot area.
 - Requirement is met.
- Parking
 - Code requirement: 1 space per employee for the work shift with the largest number of employees, plus 1 space per 5,000 square feet of gross floor area.
 - Proposed: 30 new parking spaces. Sheet C 2.0 lists 39 parking stalls.
 - Sheet C 2.0 mentions that there will be approximately 15 employees.
- Architectural requirements for manufacturing districts
 - The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. Fifty percent of a facade facing a street shall be finished with brick, decorative masonry, glass panel, or other appropriate finished facade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 20 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.
- Number of Structures
 - The Plan Commission may permit more than one structure per lot in other districts where more than one structure is needed for the orderly development of the parcel. Where additional structures are permitted, the Plan Commission may impose additional yard requirements, landscaping requirements, or parking requirements, or require a minimum separation distance between principal structures.
- Lighting
 - There was a lighting sheet provided in the plan set, but a detailed photometric plan. The Town Engineer's review letter states the typical requirements for the photometric plan.
- Landscaping
 - Included in packet. Town Engineer reviewed the landscaping plans and believes there is adequate landscaping proposed.

The development review team has reviewed the plans and any comments are mentioned in the Town Engineer's review letter.

Final Approval

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas

within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.



Channel Letter Cloud Sign Specifications

One (1) Set of Face-Lit Channel Letters / Cloud Sign, Individually Mounted.
 Illuminated / Single Sided / UL approved fabrication
 Photocell for Automatic On & Off Lighting Control
 Remote Located Power Supplies (120 / 277v Universal)
 45 Sq'

(A) Channel Letters Cloud Sign
 5" deep aluminum returns (white) / 1" trim cap (white) / White Acrylic faces, decorated with 3M translucent vinyl graphics (standard colors) / Internal white LED illumination (standard white). Letters are individually mounted through letter backs with appropriate fasteners for wall type, and set up with Paige Wall Busters (98P0014 (14")). Letters to have 3/8" mounting holes (NO RIVNUTS).

(B) Flat Cut Letters
 1" thick flat cut Acrylic letters, stud mounted to fascia with 1/2" spacers.

Colors

Paint
 ■ (P-1) TBD ?

Vinyl Graphics
 ■ (V-1) TBD ?

Specialized Products
 □ (S-1) White Acrylic ✓



4085 North 128th Street
 Brookfield, WI 53005
 p. 262-781-1500
 www.LembergElectric.com

Client: Magnolia Soap and Bath Co.
 Location: 18000 W Bluemound Rd.
 City: Brookfield, WI 53045

Sales Representative: Jeff White
 Project Manager: TBD
 Designer: Eric Bailey

Scale: 1/2"=1'
 Paper Size: 11x17
 Signature / Date:

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status Date:
 MagnoliaSoap_CS_v01_r01_CA 03-30-24

Magnolia Soap & BATH CO

Proposed Location

Magnolia Soap & BATH CO

Illumination



SIGNS

4085 North 128th Street
Brookfield, WI 53005
p. 262-781-1500
www.LembergElectric.com

Client: Magnolia Soap and Bath Co.

Sales Representative: Jeff White

Scale: NTS

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status

MagnoliaSoap_CS(NR)_v01_r01_CA

Date:

03-30-24

Location: 18000 W Bluemound Rd.

Project Manager: TBD

Paper Size: 11x17

City: Brookfield, WI 53045

Designer: Eric Bailey

Signature / Date:

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Tenant Panels Specifications

Two (2) (Double Sided) New Tenant Panels for Existing Pylon Sign.

Illuminated / Double Sided

(A) Tenant Panel

1/8" aluminum panel with routed copy, backed with white Acrylic. Paint face to match existing.

Colors

Paint

█ (P-2) TBD ?

Vinyl Graphics

-

Specialized Products

█ (S-1) White Acrylic ✓



SIGNS

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Scale: 1/2"=1'

Paper Size: 11x17

Signature / Date:

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status

MagnoliaSoap_TP_v01_r01_CA

Date:

03-30-24



Legend

- Municipal Boundary_2K
- Parcel_Dimension_2K
- Note_Text_2K
- Lots_2K
 - Lot
 - Unit
 - General Common Element
 - Outlot
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
 - Subdivision
- Cartoline_2K
 - EA-Easement_Line
 - PL-DA
 - PL-Extended_Tie_line
 - PL-Meander_Line
 - PL-Note
 - PL-Tie
 - PL-Tie_Line
 - <all other values>
- Railroad_2K

0 68.06 Feet

The information and depictions herein are for informational purposes and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein, or for use which ignores this warning.

Notes:

Printed: 4/29/2024



#S1 - Option A Wall Sign Specifications

One (1) Wall Sign.
 Illuminated / Single Sided / UL approved fabrication
 Photocell for Automatic On & Off Lighting Control
 Remote Located Power Supplies (120 / 277v Universal)
 27.5 Sq'

(A) Pan Face
 3" +/- deep fabricated aluminum pan face with raised border. 1" thick flat cut Acrylic border. Pan faces conceals wiring of channel letters.

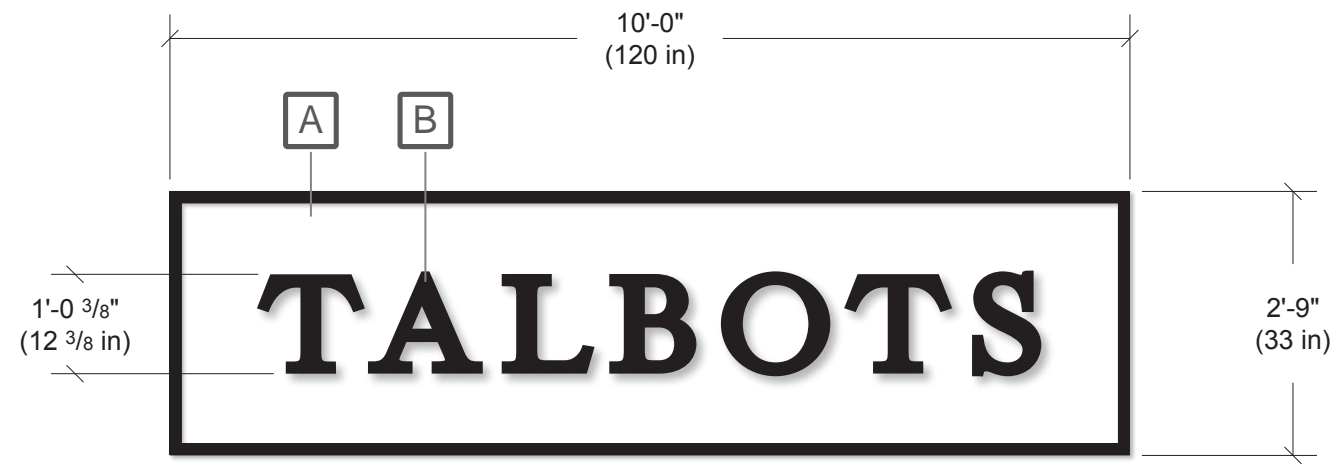
(B) Channel Letters
 3" deep aluminum returns (black) / 1" trim cap (black) / White Acrylic faces, decorated with 3M Dual-Color 3635-222 Film (Black (Black During the Day / White when Illuminated). Internal white LED illumination (standard white). Letters are individually mounted to pan face.

(C) Mounting
 Aluminum angle top & bottom. Power supply location TBD.

Colors
 Paint
 (P-1) MP White !
 (P-2) MP Black !

Vinyl Graphics
 (V-1) 3M Dual-Color, Black (3635-222) !

Specialized Products
 (S-1) White Acrylic !
 (S-2) Black Returns !
 (S-3) Black Trim Cap!



Illumination



4085 North 128th Street
 Brookfield, WI 53005
 p. 262-781-1500
 www.LembergElectric.com

Client: Talbots - Harvard Square, Brookfield, WI

Location: 18000 W Bluemound Rd

City: Brookfield, WI 53045

Sales Representative: Jeff White

Project Manager: TBD

Designer: Eric Bailey / Mark Mayzik

Scale: 1/2"=1'

Paper Size: 11x17

Signature / Date:

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status Date:
 Talbots_BRF_WS_v01_r01_CA 3-29-24



TALBOTS

CLOTHES MENTOR



SIGNS

4085 North 128th Street
Brookfield, WI 53005
p. 262-781-1500
www.LembergElectric.com

Client: Talbots - Harvard Square, Brookfield, WI

Location: 18000 W Bluemound Rd

City: Brookfield, WI 53045

Sales Representative: Jeff White

Project Manager: TBD

Designer: Eric Bailey

Scale: NTS

Paper Size: 11x17

Signature / Date:

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status

Talbots_BRF_WS(PR)_v01_r01_CA

Date:

3-29-24

#S2 - Option A Tenant Panels Specifications

Two (2) (Double Sided) New Tenant Panels for Existing Pylon Sign.

Illuminated / Double Sided

(A) Tenant Panel
1/8" aluminum panel with routed copy, backed with white Acrylic. Paint face to match existing.

Colors

Paint

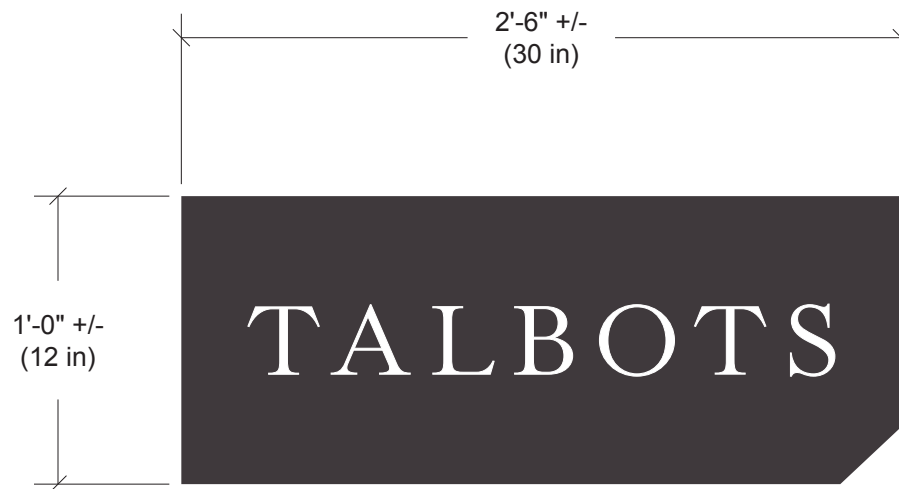
█ (P-2) TBD ?

Vinyl Graphics

-

Specialized Products

█ (S-1) White Acrylic ✓



Client: Talbots - Harvard Square, Brookfield, WI

Sales Representative: Jeff White

Scale: 1 1/2"=1'

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status

Talbots_BRF_TP_v01_r01_CA

Date:

3-29-24

Location: 18000 W Bluemound Rd

Project Manager: TBD

Paper Size: 11x17

City: Brookfield, WI 53045

Designer: Eric Bailey

Signature / Date:



SIGNS

4085 North 128th Street
Brookfield, WI 53005
p. 262-781-1500
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Legend

- Municipal Boundary_2K
- Parcel_Dimension_2K
- Note_Text_2K
- Lots_2K
 - Lot
 - Unit
 - General Common Element
 - Outlot
- SimultaneousConveyance
 - Assessor Plat
 - CSM
 - Condominium
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- Cartoline_2K
 - EA-Easement_Line
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 - PL-Note
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 - PL-Tie_Line
 - <all other values>
- Railroad_2K

0 68.06 Feet

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Notes:

Printed: 4/29/2024



PROPOSED



EXISTING



SIGNS

4085 North 128th Street
Brookfield, WI 53005
p. 262-781-1500
www.LembergElectric.com

Client: Talbots - Harvard Square, Brookfield, WI

Location: 18000 W Bluemound Rd

City: Brookfield, WI 53045

Sales Representative: Jeff White

Project Manager: TBD

Designer: Eric Bailey

Scale: NTS

Paper Size: 11x17

Signature / Date:

Client / Location or Project / Sign Classification / Version# or Sheet / Revision# / Drawing Status

Talbots_BRF_WS(PR)_v01_r01_CA

Date:

3-29-24



edible

Allen Edmonds

SHOE BASKET

PRIME CIGAR

B

BULLWINKLES



PRIME
CIGAR



BULLWINKLES







WINKLES







PRIME
CIGAR



BULLWINKLES

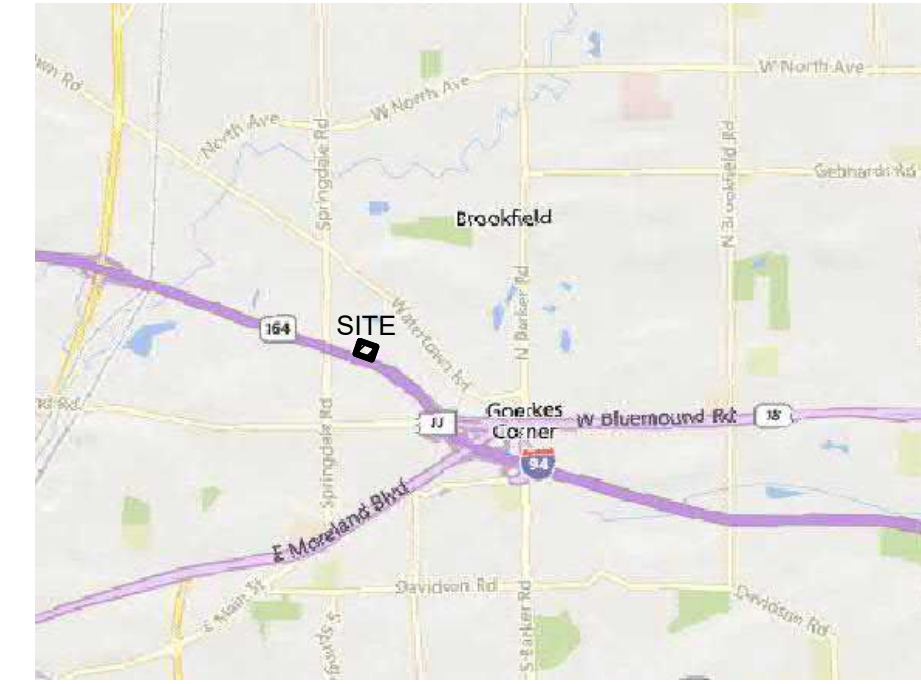


BULLWINKLES

COVER SHEET

LEGAL DESCRIPTION

LOT 4 & ELY 1/2 LOT 3 BLK A LILLIE INDUSTRIAL PARK PT NW 1/4 SEC 30 T7N R20E;
COM NE CORNR OF SAID LOT 3 BLK A AT A PNT ON S LINE DORAL ROAD; N69°47'W
ALN S LINE OF DORAL ROAD 150.00 FT; S20°13'W 350.00 FT; S69°47'E 150.00 FT;
N20°13'E ALNG E LINE OF SAID LOT 350.00 FT TO BGN.



LOCATION MAP

21675 DORAL ROAD
BROOKFIELD, WI 53186

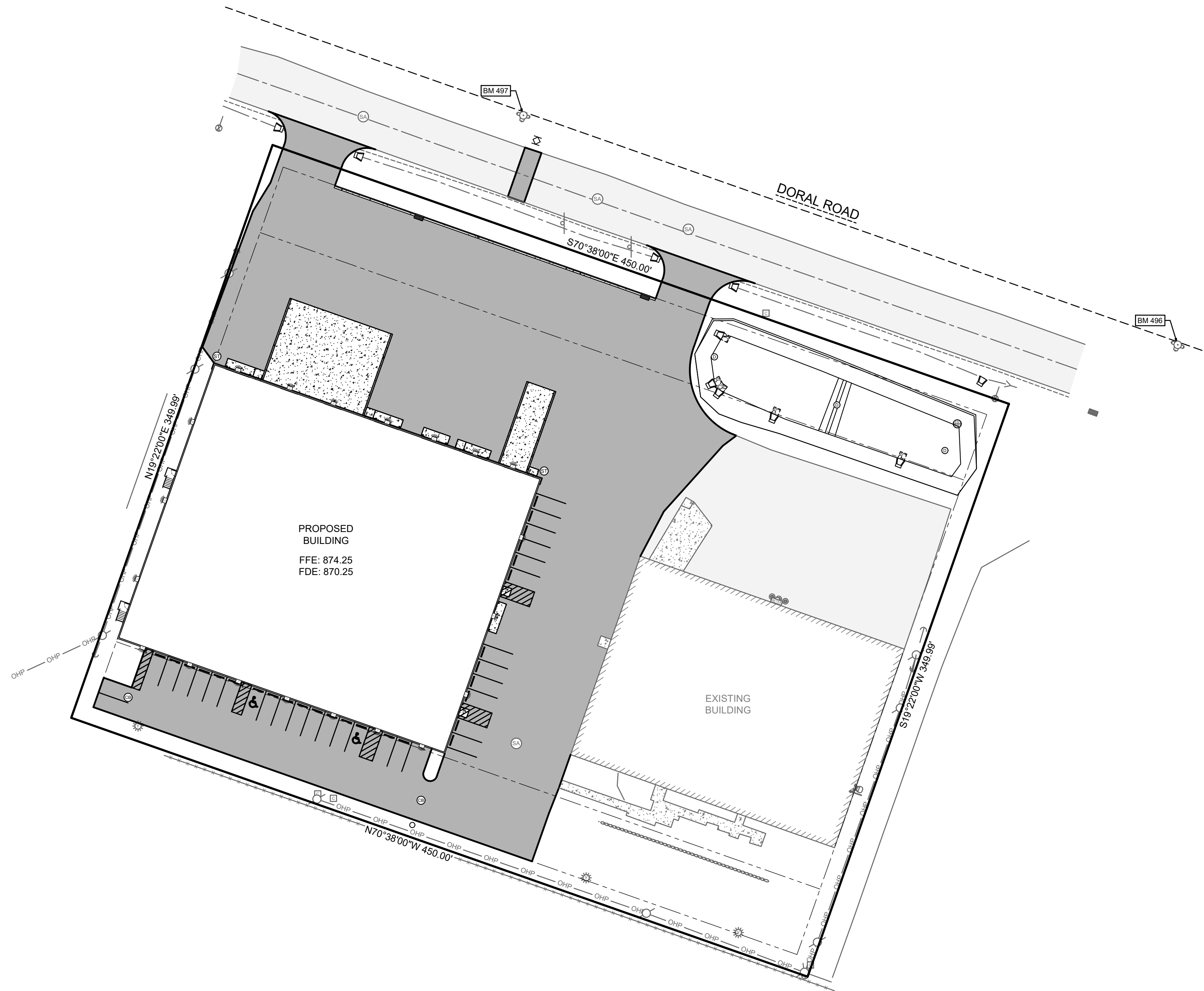
NOT TO SCALE

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- C6.1 UTILITY & GRADING DETAILS
- L1.0 LANDSCAPE PLAN

CIVIL GENERAL NOTES:

1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC JANUARY 11, 2024.
2. SURVEY VERTICAL DATUM IS NAVD88.
3. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
4. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
5. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
6. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
7. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
8. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
10. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
11. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
12. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
13. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
15. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
16. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
17. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
18. FOR NOTES SHOWN THUS, "C", SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.



CIVIL LEGEND

| EXISTING | PROPOSED | EXISTING | PROPOSED | EXISTING | PROPOSED |
|----------------------|----------|----------------------|----------|-----------------------|----------|
| CABLE PEDESTAL | | EVERGREEN SHRUB | | STANDARD DUTY ASPHALT | |
| ELECTRIC METER | | EVERGREEN TREE | | HEAVY DUTY ASPHALT | |
| ELECTRIC PEDESTAL | | TREE | | BUILDING | |
| GUY WIRE | | TREE SHRUB | | ASPHALT | |
| LIGHT POLE | | BUILDING OVERHANG | | CONCRETE | |
| POWER POLE | | UNDERGROUND CABLE | | GRAVEL | |
| GAS METER | | OVERHEAD WIRE | | LANDSCAPE WOOD MULCH | |
| GAS VALVE | | UNDERGROUND ELECTRIC | | LANDSCAPE STONE MULCH | |
| BOLLARD | | GAS | | | |
| HANDICAP PARKING | | LANDSCAPE | | | |
| SANITARY CLEANOUT | | FENCE | | | |
| SANITARY MANHOLE | | GUARDRAIL | | | |
| CATCH BASIN | | CENTERLINE | | | |
| CULVERT | | CURB | | | |
| DOWNSPOUT | | PARKING STRIPE | | | |
| INLET | | SANITARY SEWER | | | |
| INLET 2' X 2' | | CULVERT | | | |
| STORM CLEANOUT | | STORM SEWER | | | |
| STORM MANHOLE | | FIBER OPTIC | | | |
| FIBER OPTIC PEDESTAL | | WOOD LINE | | | |
| SIGN | | RETAINING WALL | | | |
| FIRE HYDRANT | | WATERMAIN | | | |
| WATER SHUT OFF | | CONTOUR MAJOR | | | |
| WATER VALVE | | CONTOUR MINOR | | | |

ABBREVIATIONS

| | | | |
|--------|--|--------|--|
| Ø | DIAMETER | MIN | MINIMUM |
| AC | ACRE | mm | MILLIMETER |
| AEW | APRON END WALL | N | NORTH |
| ASTM | AMERICAN SOCIETY FOR TESTING AND MATERIALS | NE | NORTHEAST |
| BM | BENCHMARK | OC | ON CENTER |
| C | CABLE | OD | OUTSIDE DIAMETER |
| CB | CATCH BASIN | OHP | OVER HEAD POWER |
| CI | CURB INLET | OL | OUTLOT |
| CMP | CORRUGATED METAL PIPE | PSI | POUNDS PER SQUARE INCH |
| CO | CLEAN OUT | PVC | POLYVINYL CHLORIDE |
| CSM | CERTIFIED SURVEY MAP | R | RADIUS |
| C.T.H | COUNTY TRUNK HIGHWAY | RAD | RADIUS |
| DIA | DIAMETER | RCP | REINFORCED CONCRETE PIPE |
| DOT | DEPARTMENT OF TRANSPORTATION | REQ | REQUIRED |
| E | EAST | S | SOUTH |
| E | ELECTRIC (BURIED) | SA | SANITARY |
| EL | ELEVATION | SAN | SANITARY |
| FDM | FACILITIES DEVELOPMENT MANUAL | SCHD | SCHEDULE |
| FFE | FIRST FLOOR ELEVATION | S.D. | SUMP DEPTH |
| FL | FLOW LINE | SQ | SQUARE |
| FO | FIBER OPTIC | ST | STORM |
| FT | FEET | S.T.H. | STATE TRUNK HIGHWAY |
| G | GAS | STM | STORM |
| G.F.E. | GROUND FLOOR ELEVATION | T | TELEPHONE |
| GR | GRADE | T/C | TOP OF CURB |
| HDPE | HIGH DENSITY POLYETHYLENE | U.S.H. | UNITED STATES HIGHWAY |
| INL | INLET | V | VARIES |
| INV | INVERT | W | WEST |
| M | METER | WAT | WATER |
| MAX | MAXIMUM | WI | WISCONSIN |
| MH | MANHOLE | WisDOT | WISCONSIN DEPARTMENT OF TRANSPORTATION |

SURVEY NOTE

AT TIME OF FIELD WORK THERE WAS APPROXIMATELY
10" - 12" OF SNOW ON THE GROUND

DIGGERS HOTLINE

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1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



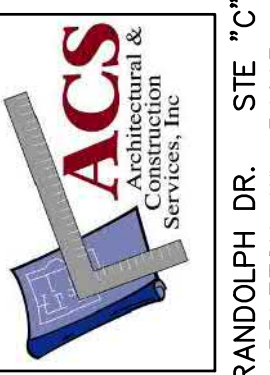
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ADDITION AND ALTERATIONS FOR,
21675 DORAL ROAD
TOWN OF BROOKFIELD,
WISCONSIN



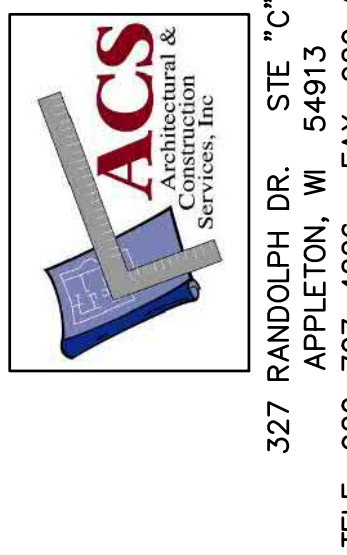
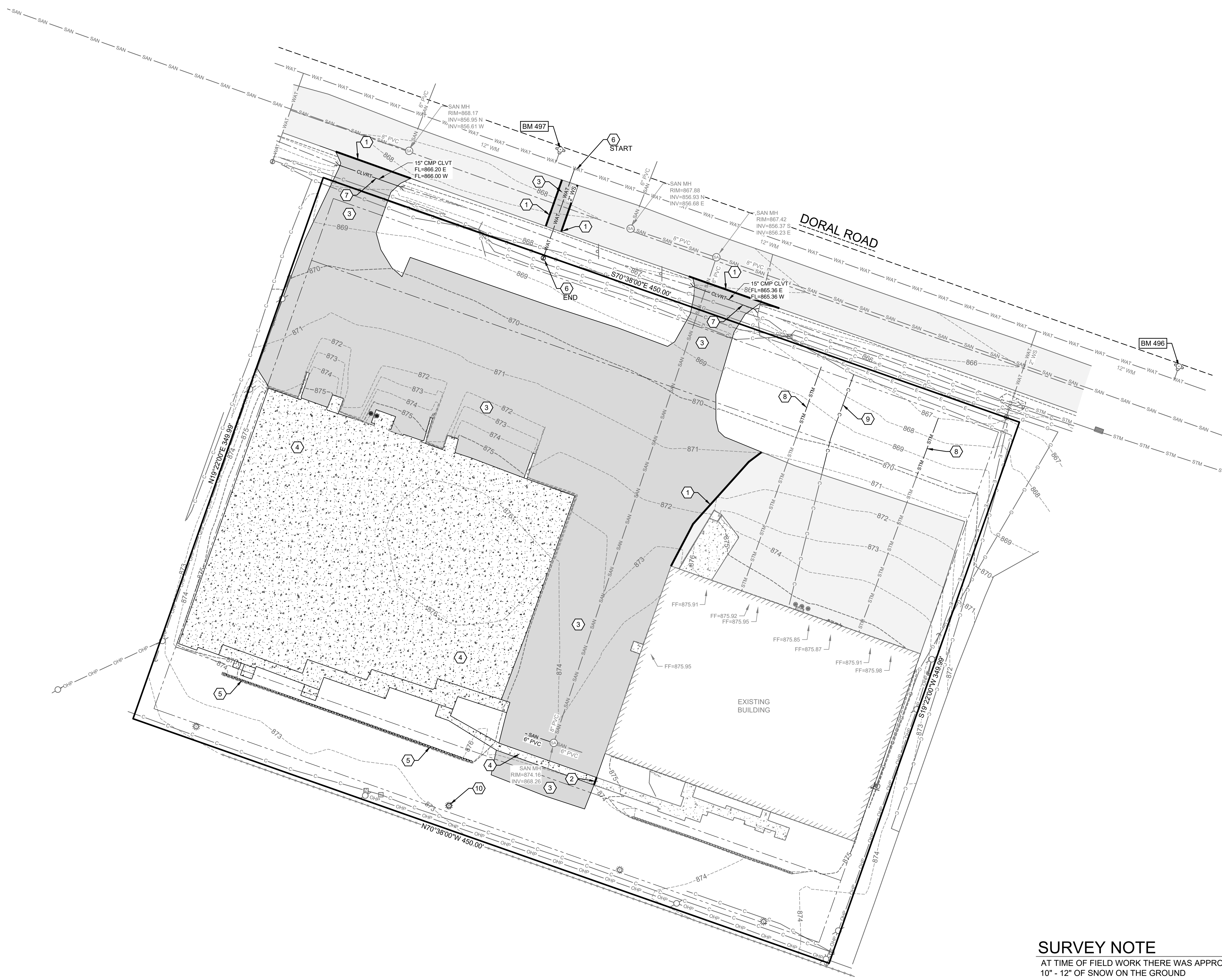
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DEMOLITION PLAN

| Benchmarks | | |
|------------|-----------|-------------------|
| Label | Elevation | Description |
| BM 496 | 866.74 | HYDRANT FLAG BOLT |
| BM 497 | 870.25 | HYDRANT FLAG BOLT |

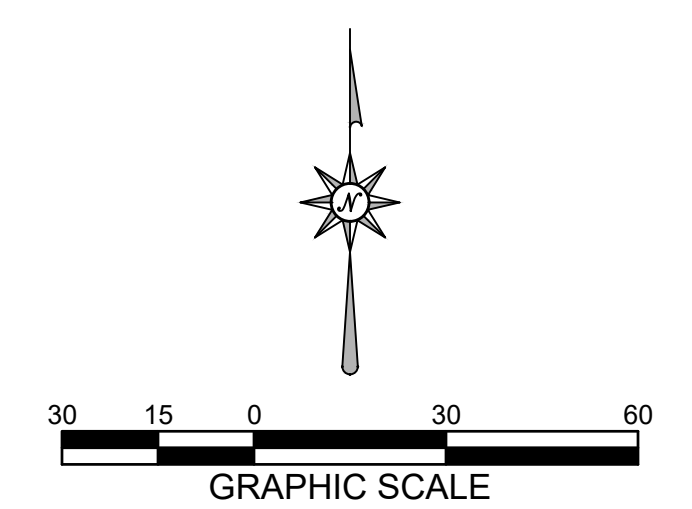
SHEET KEY NOTES:

- ① SAW CUT ASPHALT
- ② SAW CUT CONCRETE
- ③ REMOVE ASPHALT
- ④ REMOVE CONCRETE
- ⑤ REMOVE CONCRETE WALL AND FOUNDATION
- ⑥ REMOVE EX. 2" WATER SERVICE LINE AND SHUT OFF VALVE
- ⑦ REMOVE CULVERT
- ⑧ REMOVE STORM SEWER WITHIN THE BIOFILTER; REFER TO SHEET C4.0 FOR BIOFILTER
- ⑨ COORDINATE THE RELOCATION OF PRIVATE UTILITIES WITHIN BIOFILTER WITH UTILITY OWNER; REFER TO SHEET C4.0 FOR BIOFILTER
- ⑩ REMOVE AND RELOCATE EXISTING LIGHT; COORDINATE WITH ELECTRICAL DRAWINGS



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ADDITION AND ALTERATIONS FOR,
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SURVEY NOTE

AT TIME OF FIELD WORK THERE WAS APPROXIMATELY 10" - 12" OF SNOW ON THE GROUND



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SITE PLAN

OWNER

KH HOLDINGS DORAL, LLC
C/O KEITH HUEFFNER
2138 W. WISCONSIN AVENUE
APPLETON, WI 54914-3115

SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C6.0
- ② HEAVY DUTY ASPHALT; SEE DETAIL B SHEET C6.0
- ③ CONCRETE PAVEMENT; SEE DETAIL C SHEET C6.0
- ④ CONCRETE CURB & GUTTER; SEE DETAIL D SHEET C6.0
- ⑤ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- ⑥ LOADING DOCK RETAINING WALL; REFER TO ARCHITECTURAL DRAWINGS
- ⑦ ADA HANDICAP STALL, SYMBOL; SEE DETAIL E SHEET C6.0
- ⑧ ADA HANDICAP SIGN; SEE DETAIL F SHEET C6.0
- ⑨ BOLLARD; SEE DETAIL G SHEET C6.0
- ⑩ 4" WIDE PAINT STRIPE; COLOR BY OWNER
- ⑪ BIOFILTER CELL; SEE SHEET C4.0
- ⑫ REPLACE ASPHALT IN-KIND
- ⑬ PARKING BLOCK
- ⑭ WALL LIGHT; REFER TO ARCHITECTURAL PLANS
- ⑮ FREESTANDING EMC SIGN

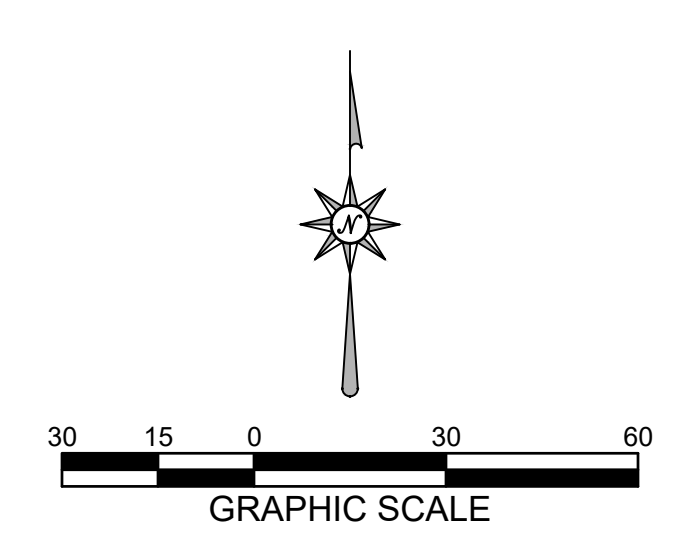
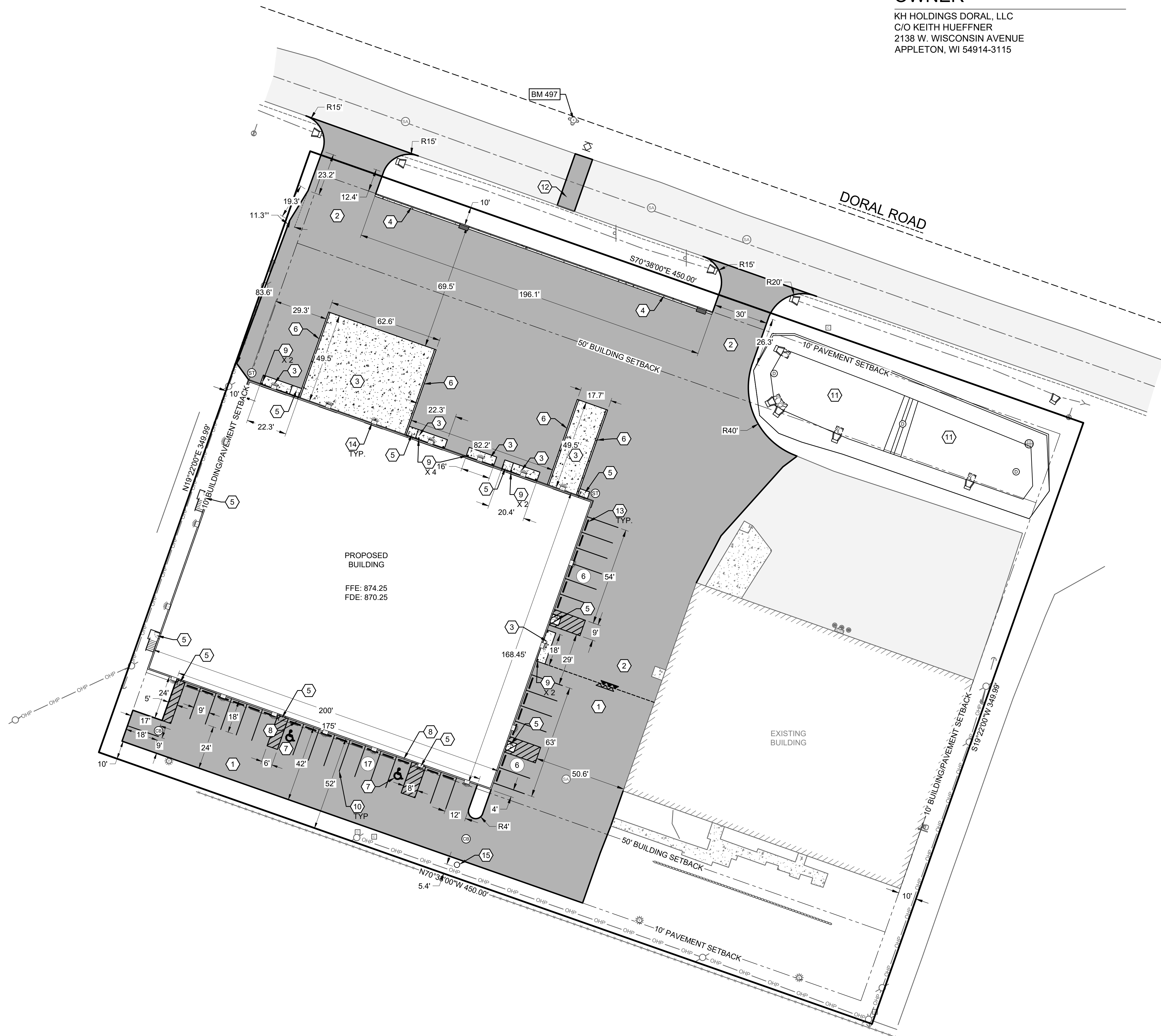
SITE STATISTICS

PARCEL ADDRESS: 21675 DORAL ROAD SUITE B
PARCEL NUMBER: BKFT1126004
PARCEL SIZE: 157,494 SF (3.62 AC)
ZONING: M-1: LIMITED MANUFACTURING DISTRICT

EXISTING SITE
GREEN SPACE: 49,813 SF (31.63%)
IMPERVIOUS AREA
BUILDING: 19,573 SF (12.43%)
PAVEMENT: 88,108 SF (55.94%)
TOTAL IMPERVIOUS: 107,681 SF (68.37%)

PROPOSED SITE
TOTAL DISTURBED AREA: 108,836 SF (2.499 AC)
GREEN SPACE PROVIDED: 34,145 SF (21.68%)
IMPERVIOUS AREA
BUILDING: 53,268 SF (33.82%)
PAVEMENT: 70,081 SF (44.50%)
TOTAL IMPERVIOUS: 123,349 SF (78.32%)

PARKING PROVIDED
PARKING SPACES REQ'D/CALCS: 1 PER EMPLOYEE + 1 PER 2,500 SF
15 EMPLOYEE + 53,268 SF / 2,500 SF = 15 + 22 STALLS = 37 STALLS
PARKING SPACES PROVIDED: 39 STALLS, INCLUDES 2 ADA HANDICP STALLS



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UTILITY PLAN

| Benchmarks | | |
|------------|-----------|-------------------|
| Label | Elevation | Description |
| BM 496 | 866.74 | HYDRANT FLAG BOLT |
| BM 497 | 870.25 | HYDRANT FLAG BOLT |

SHEET KEY NOTES:

- ① CONNECT TO EXISTING WATER MAIN WITH TAPPING SLEEVE AND VALVE; SEE DETAIL A SHEET C6.1
- ② COORDINATE CONNECTION TO BUILDING WITH PLUMBING AND ARCHITECTURAL PLANS
- ③ CONNECT SANITARY SEWER TO EXISTING MANHOLE
- ④ STORM INLET - 2'X3'; SEE DETAIL B SHEET C6.1
- ⑤ STORM INLET - 3' DIAMETER; SEE DETAIL C SHEET C6.1
- ⑥ STORM MANHOLE - 3' DIAMETER; SEE DETAIL D SHEET C6.1
- ⑦ STORM CLEANOUT; SEE DETAIL E SHEET C6.1. CLEANOUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- ⑧ APRON END WALL
- ⑨ BIOFILTER OUTLET STRUCTURE; SEE DETAIL F SHEET C6.1
- ⑩ BIOFILTER CELL; SEE SHEET C4.0
- ⑪ ROOF DRAIN COLLECTOR LINE; COORDINATE WITH PLUMBING AND ARCHITECTURAL PLANS
- ⑫ WALL LIGHT; REFER TO ARCHITECTURAL PLANS

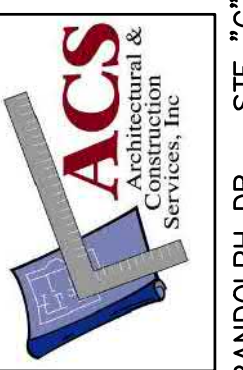
UTILITY NOTES:

1. SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
2. WATER SERVICE SHALL BE C900 PVC. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
3. ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
4. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
5. WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
6. STORM SEWER SHALL BE PVC SDR 35 (ASTMD-3034) OR SCH 40.
7. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
8. CONNECTIONS TO MUNICIPAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE MUNICIPALITY'S RESPECTIVE STANDARD SPECIFICATIONS.



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GRADING PLAN

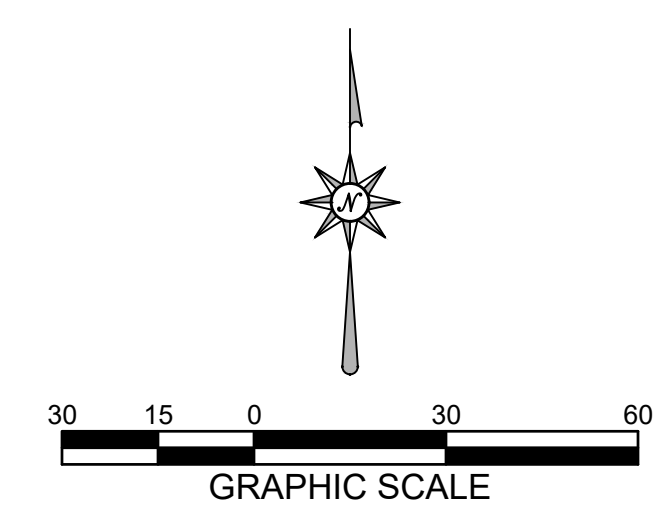
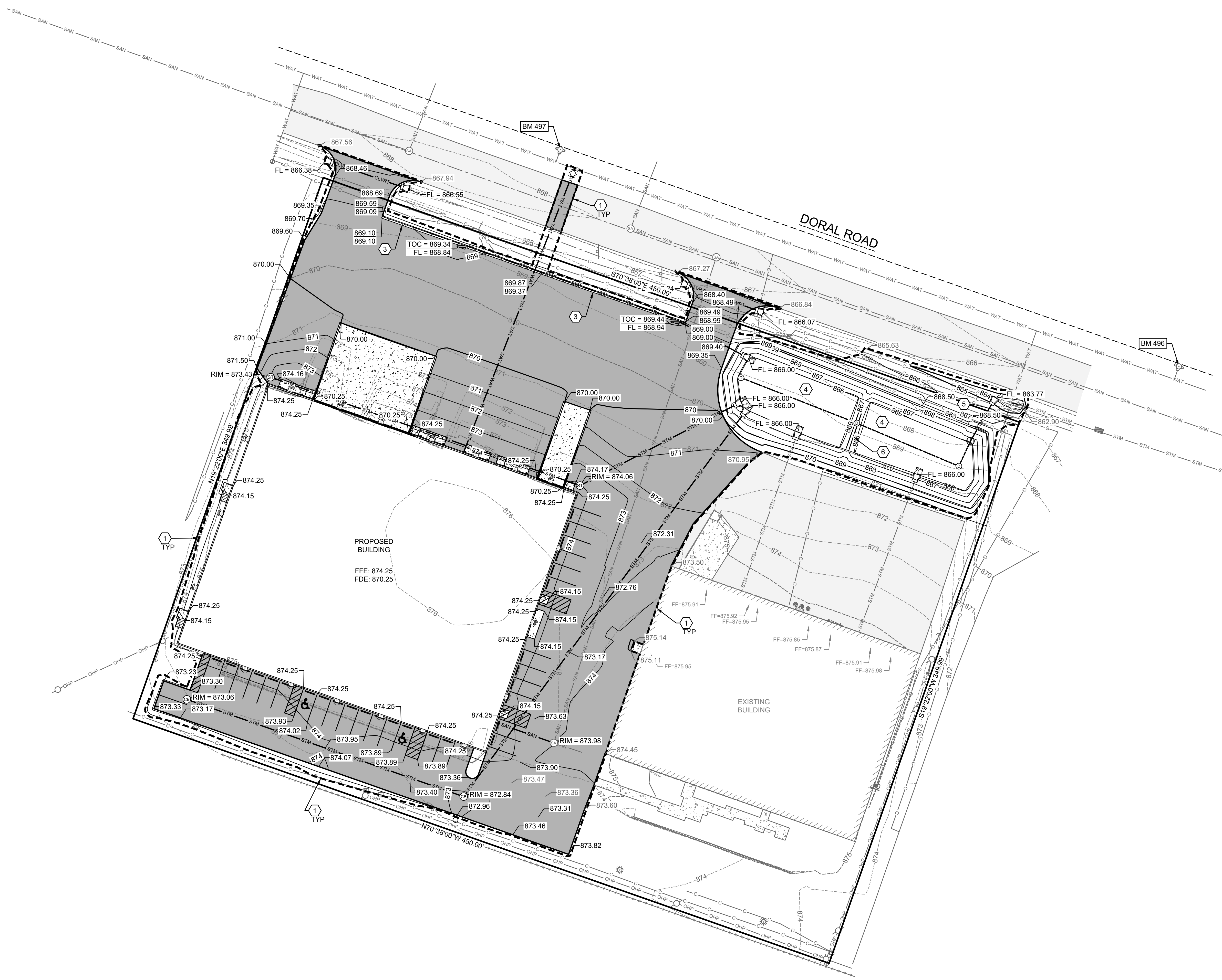
| Benchmarks | | |
|------------|-----------|-------------------|
| Label | Elevation | Description |
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| BM 497 | 870.25 | HYDRANT FLAG BOLT |

SHEET KEY NOTES:

- 1 CONSTRUCTION / GRADING LIMITS
- 2 SPOT GRADE; SEE DETAIL A THIS SHEET
- 3 STANDARD PAN CURB AND GUTTER; SEE DETAIL D SHEET C6.0
- 4 BIOFILTER CELL; SEE DETAIL G SHEET C6.1
- 5 BIOFILTER EMERGENCY OVERFLOW WEIR; SEE DETAIL H SHEET C6.1
- 6 BIOFILTER CELL SEPARATION WEIR BERM:
TOP ELEVATION: 897.00
TOP WIDTH: 2'
SLOPES: 3:1

| | |
|--------|------------------|
| 596.87 | TOP OF CURB/WALL |
| 569.37 | GUTTER/PAVEMENT |
| 870.00 | FINISHED GRADE |
| 866.84 | EXISTING GRADE |

(A) SPOT GRADE KEY



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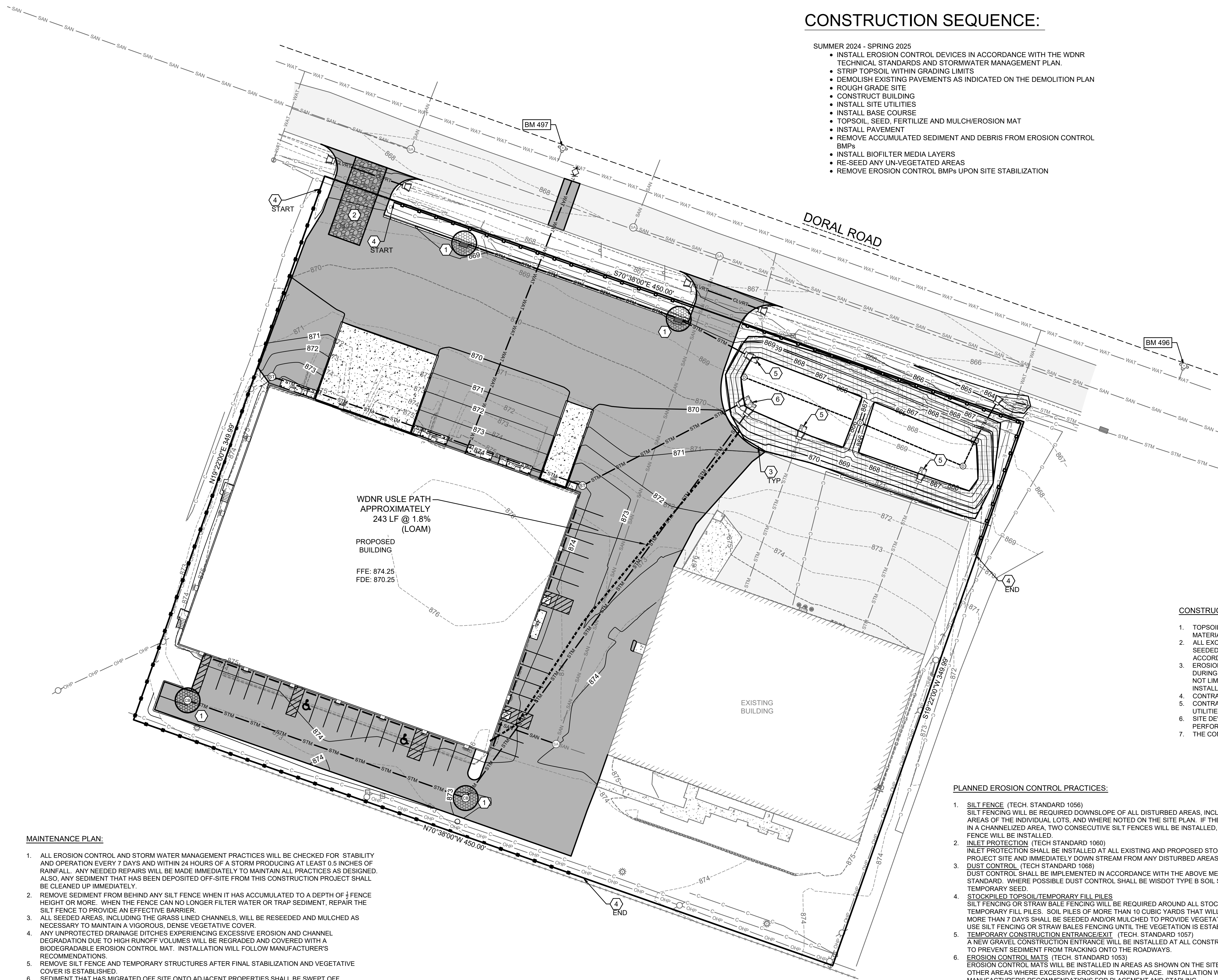
EROSION CONTROL PLAN

CONSTRUCTION SEQUENCE:

- SUMMER 2024 - SPRING 2025
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS AND STORMWATER MANAGEMENT PLAN.
 - STRIP TOPSOIL WITHIN GRADING LIMITS
 - DEMOLISH EXISTING PAVEMENTS AS INDICATED ON THE DEMOLITION PLAN
 - ROUGH GRADE SITE
 - CONSTRUCT BUILDING
 - INSTALL SITE UTILITIES
 - INSTALL BASE COURSE
 - TOPSOIL, SEED, FERTILIZE AND MULCH/EROSION MAT
 - INSTALL PAVEMENT
 - REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM EROSION CONTROL BMPs
 - INSTALL BIOFILTER MEDIA LAYERS
 - RE-SEED ANY UN-VEGETATED AREAS
 - REMOVE EROSION CONTROL BMPs UPON SITE STABILIZATION

SHEET KEY NOTES:

- 1 INLET PROTECTION; SEE DETAIL A SHEET C5.1
- 2 STONE TRACKING PAD; SEE DETAIL B SHEET C5.1
- 3 CLASS I URBAN, TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL C SHEET C5.1
- 4 SILT FENCE; SEE DETAIL D SHEET C5.1
- 5 ENERGY DISSIPATOR; SEE DETAIL E SHEET C5.1
- 6 ENERGY DISSIPATOR, 41 SF; REFER TO DETAIL E SHEET C5.1
- 7 TEMPORARILY CONSTRUCT BIOFILTER AS SEDIMENT TRAP; REFER TO DETAIL F SHEET C5.1



CONSTRUCTION NOTES:

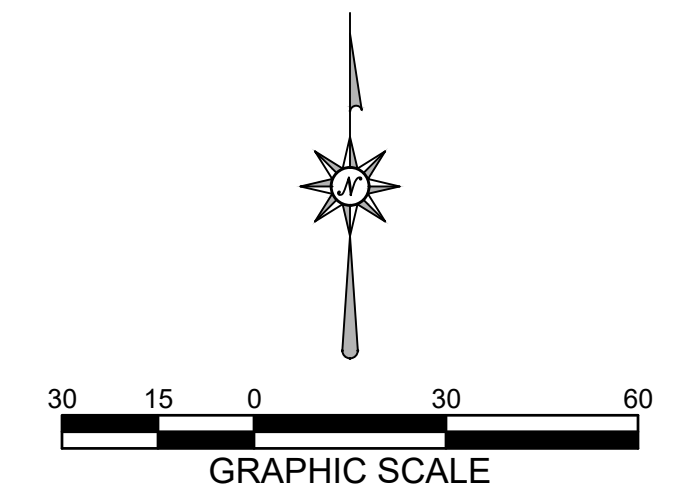
1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDED AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH WDNR TECH. STANDARD (1059).
3. EROSION CONTROL METHODS SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION, TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO HAY BALE DIKES AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DEWATERING IS NOT ANTICIPATED, HOWEVER SHOULD DEWATERING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

PLANNED EROSION CONTROL PRACTICES:

1. **SILT FENCE** (TECH. STANDARD 1056)
SILT FENCING WILL BE REQUIRED DOWNSLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELIZED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAW BALE FENCE WILL BE INSTALLED.
2. **INLET PROTECTION** (TECH STANDARD 1060)
INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. **DUST CONTROL** (TECH STANDARD 1068)
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE WISDOT TYPE B SOIL STABILIZER OR TEMPORARY SEED.
4. **STOCKPILED TOPSOIL/TEMPORARY FILL PILES**
SILT FENCING OR STRAW BALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEEDED AND/OR MULCHED TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAW BALES FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. **TEMPORARY CONSTRUCTION ENTRANCE/EXIT** (TECH. STANDARD 1057)
A NEW GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. **EROSION CONTROL MATS** (TECH. STANDARD 1053)
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR PLACEMENT AND STAPLING.
7. **DEWATERING** (TECH STANDARD 1061)
SHOULD DEWATERING BE REQUIRED FOR INSTALLATION OF PLANNED IMPROVEMENTS, SEDIMENT SHALL BE REMOVED FROM WATER GENERATED DURING DEWATERING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN DEPOSITED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1/2 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDED AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEEDING AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE REGRADED AND COVERED WITH A BIODEGRADABLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURER'S RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION & SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE, UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.



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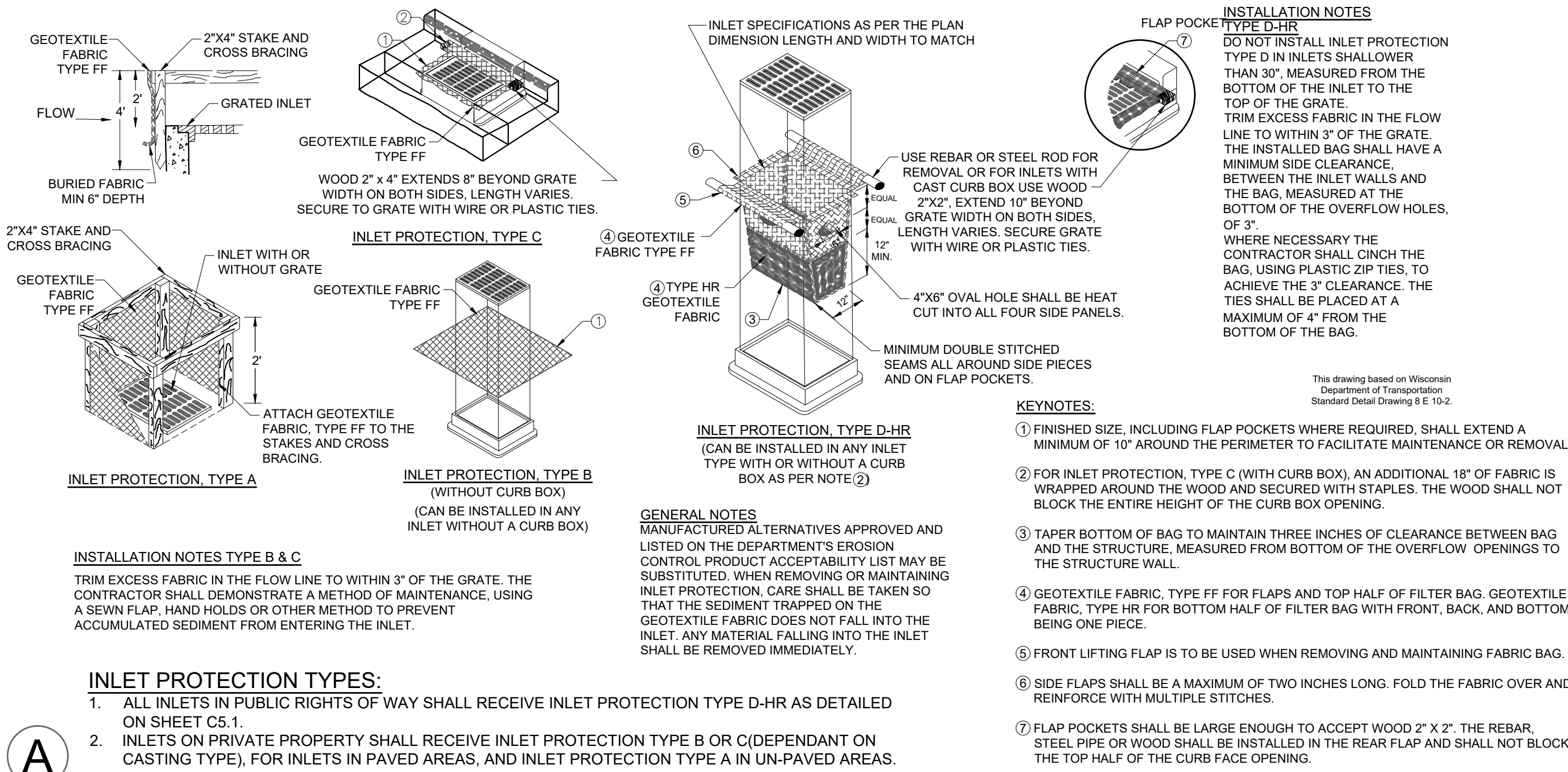
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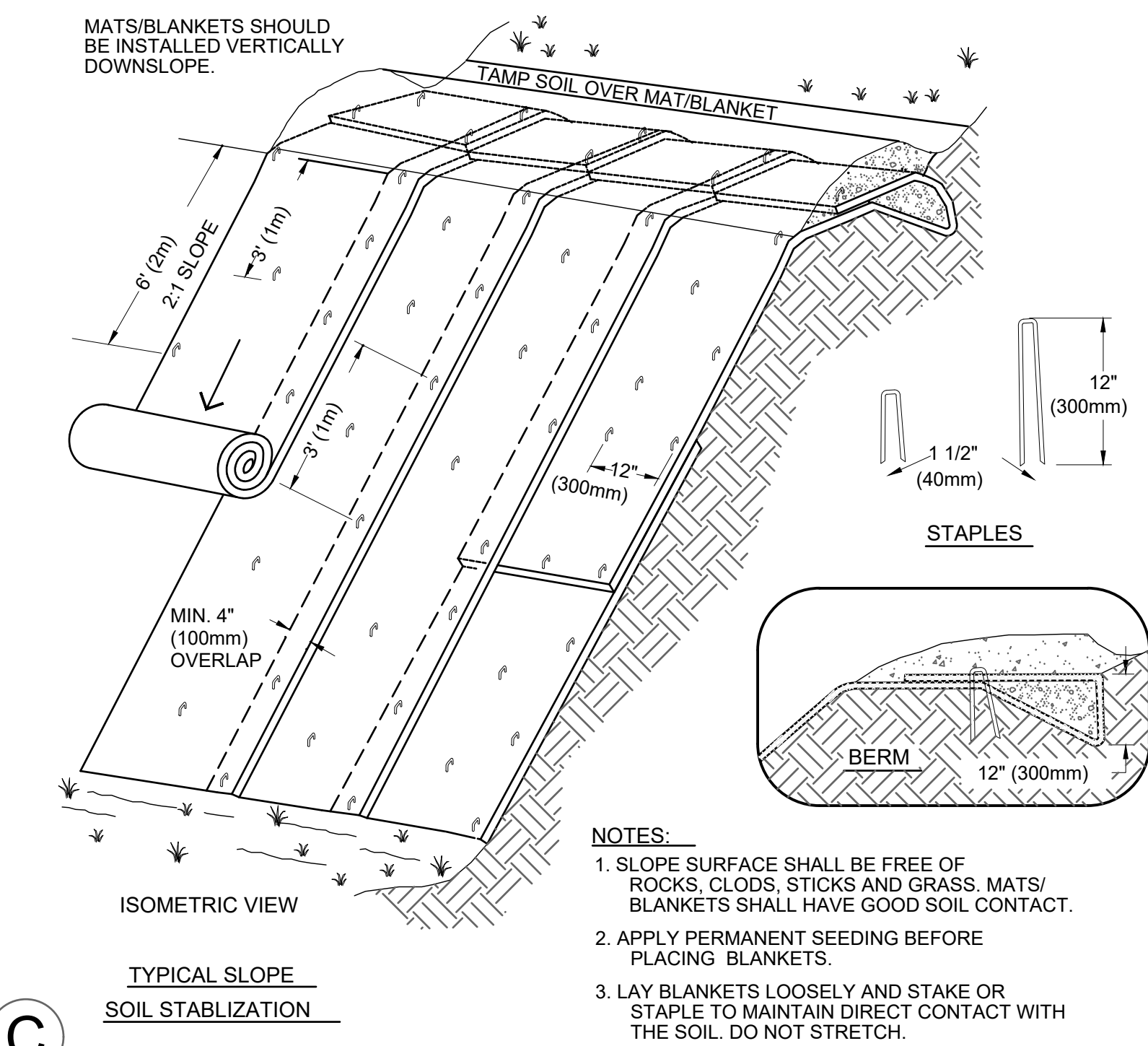
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EROSION CONTROL DETAILS

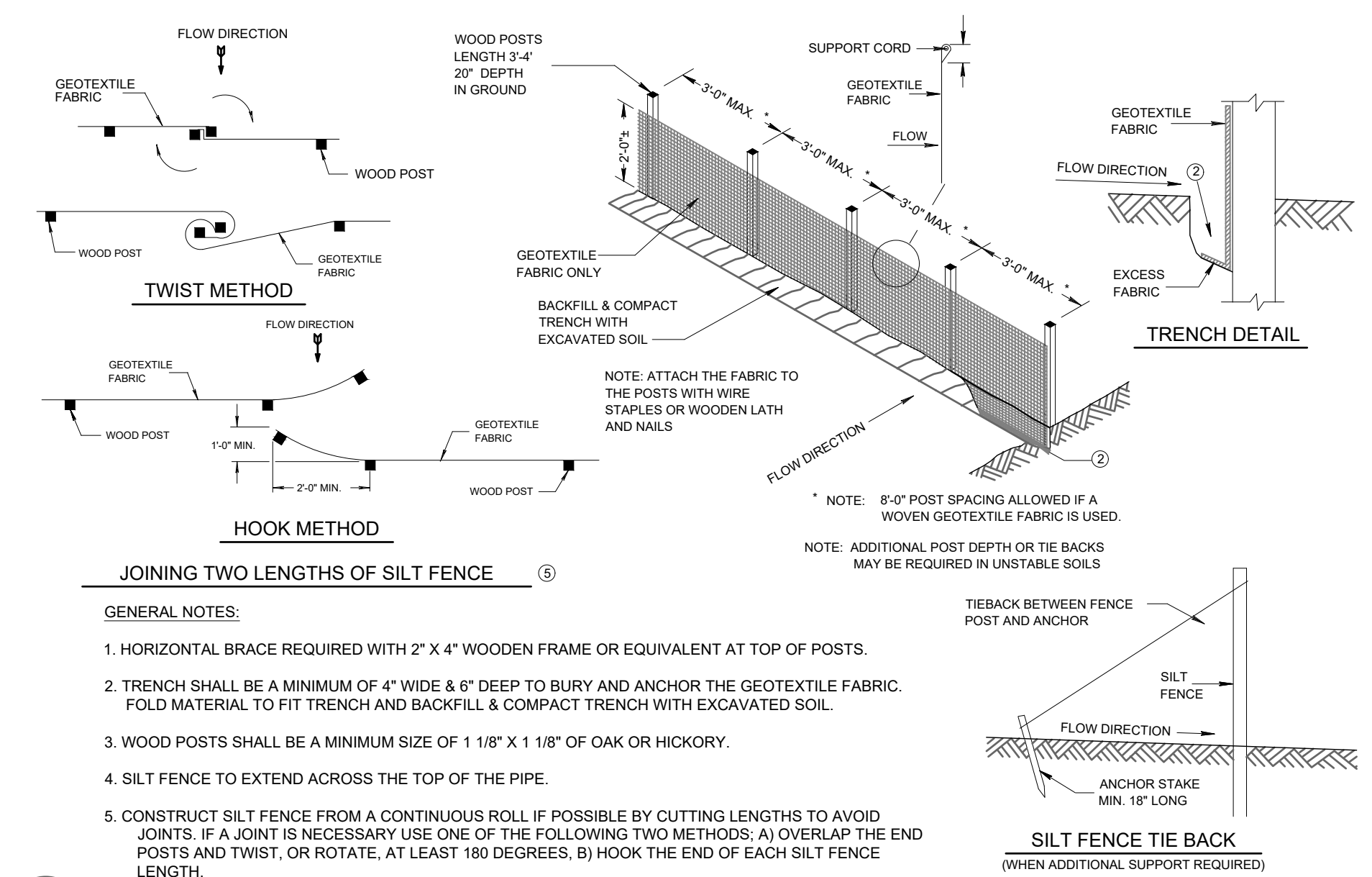


INLET PROTECTION

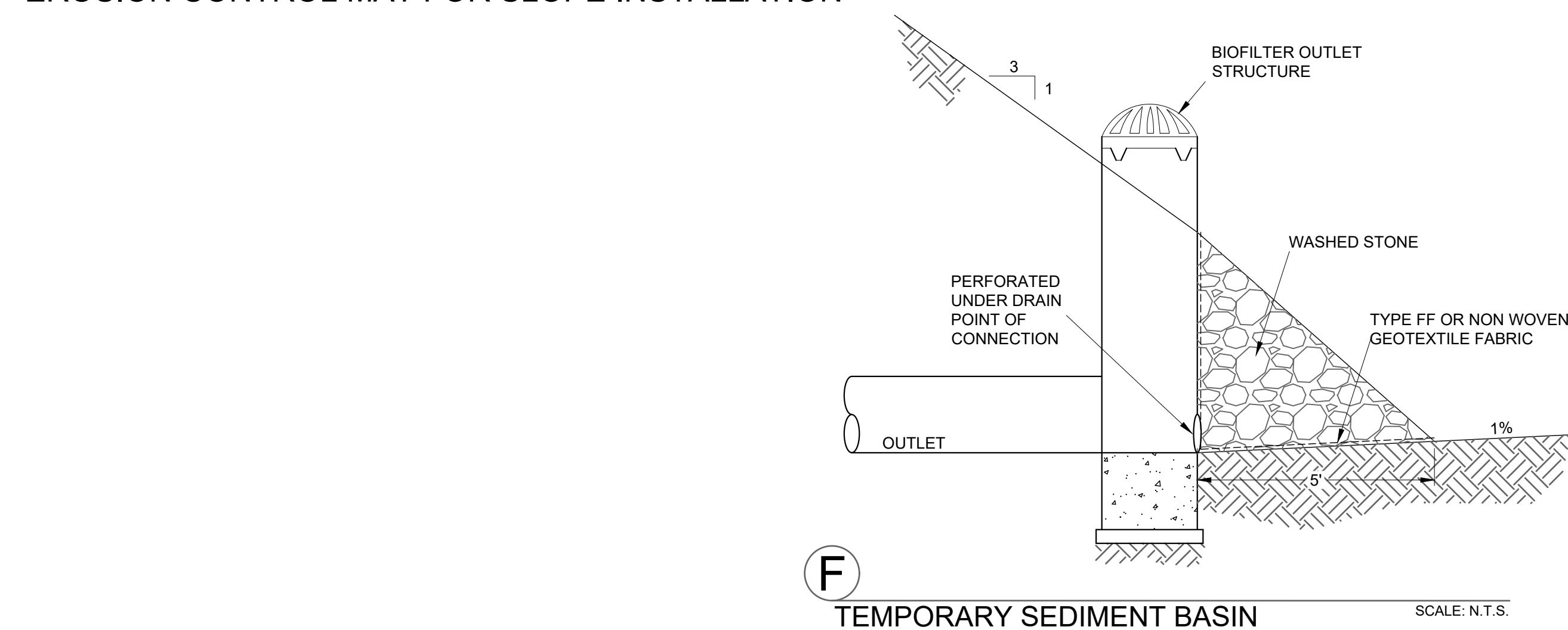
- INLET PROTECTION TYPES:**
- ALL INLETS IN PUBLIC RIGHTS OF WAY SHALL RECEIVE INLET PROTECTION TYPE D-HR AS DETAILED ON SHEET C5.1.
 - INLETS ON PRIVATE PROPERTY SHALL RECEIVE INLET PROTECTION TYPE B OR C (DEPENDANT ON CASTING TYPE), FOR INLETS IN PAVED AREAS, AND INLET PROTECTION TYPE A IN UN-PAVED AREAS.



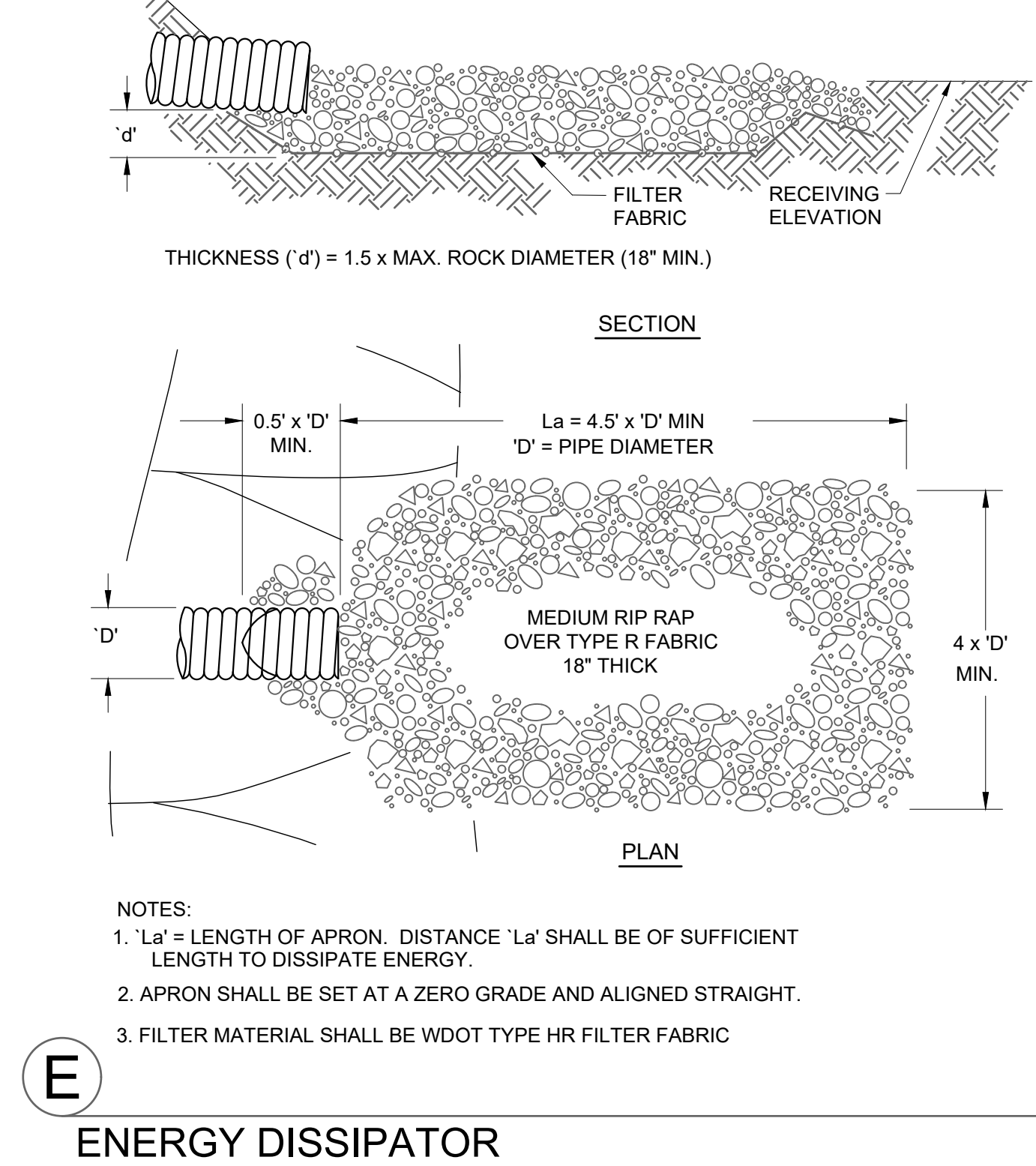
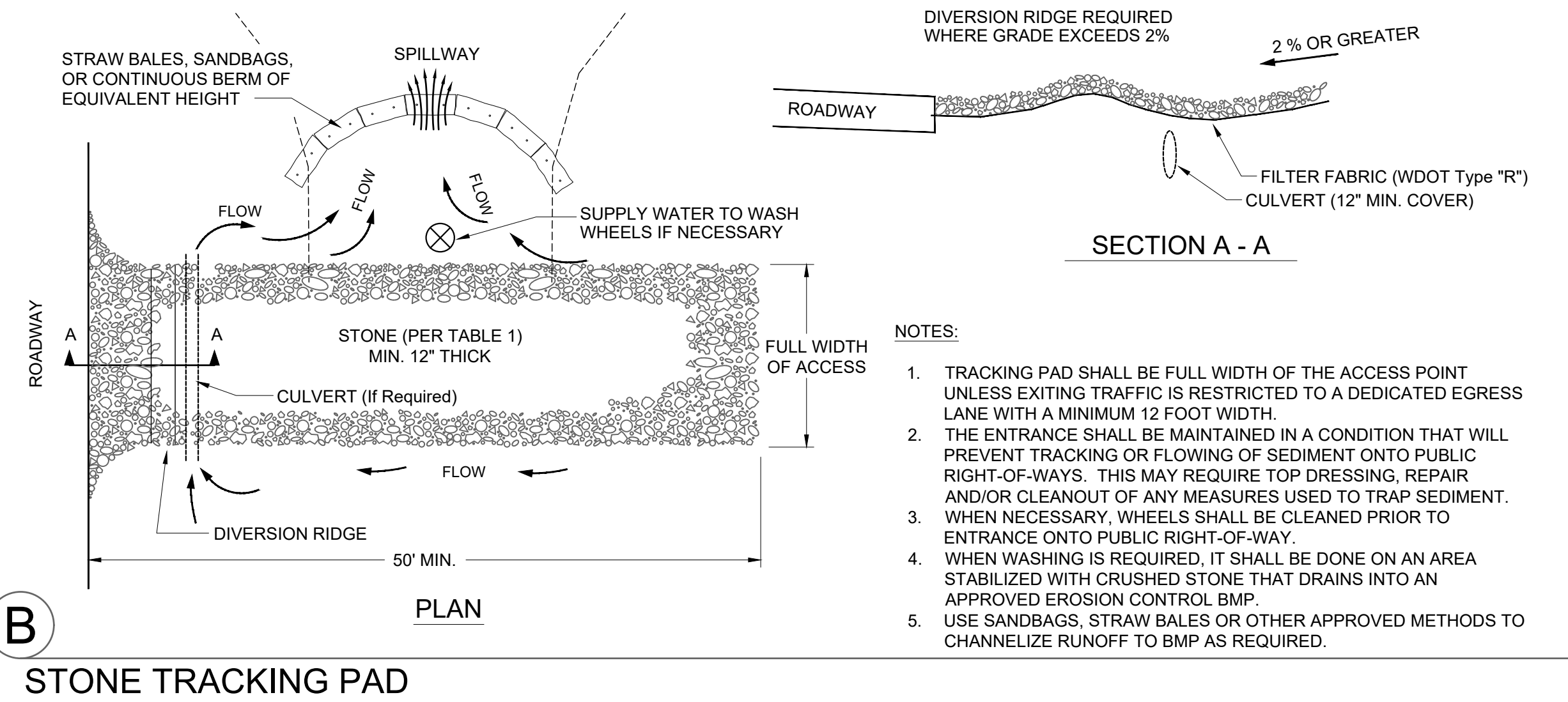
EROSION CONTROL MAT FOR SLOPE INSTALLATION



SILT FENCE



| SIEVE SIZE | % PASSING BY WEIGHT |
|------------|---------------------|
| 3" | 100 |
| 2 1/2" | 90-100 |
| 1 1/2" | 25-60 |
| 3/4" | 0-20 |
| 3/8" | 0-5 |



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ADDITION AND ALTERATIONS FOR,
21675 DORAL ROAD
TOWN OF BROOKFIELD, WISCONSIN

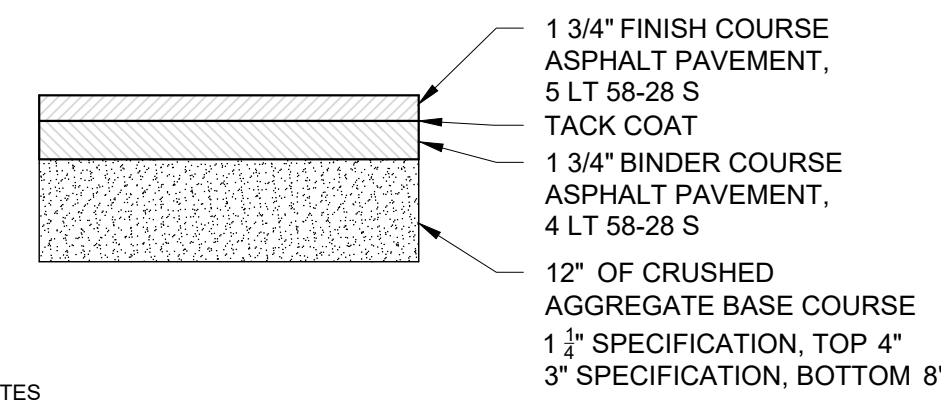
| | |
|--------|----------------|
| DATE: | APRIL 18, 2024 |
| ARCH: | |
| D. BY: | RPH |
| JOB: | 23-003 |
| REV: | |

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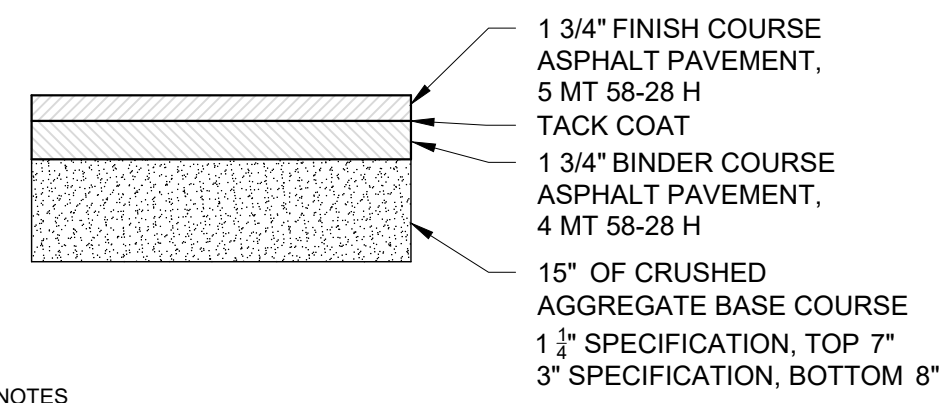
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SITE DETAILS



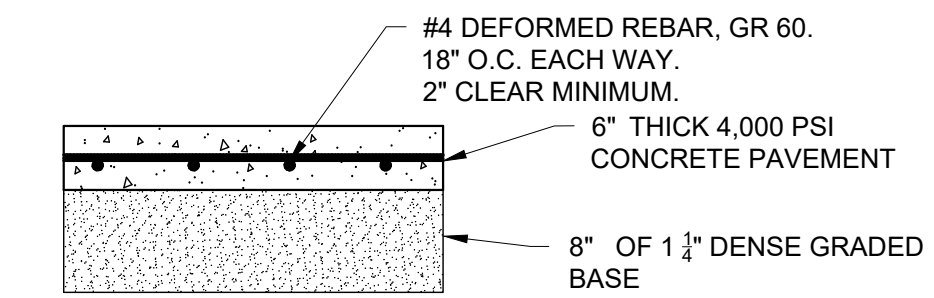
NOTES
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

A STANDARD DUTY ASPHALT PAVEMENT



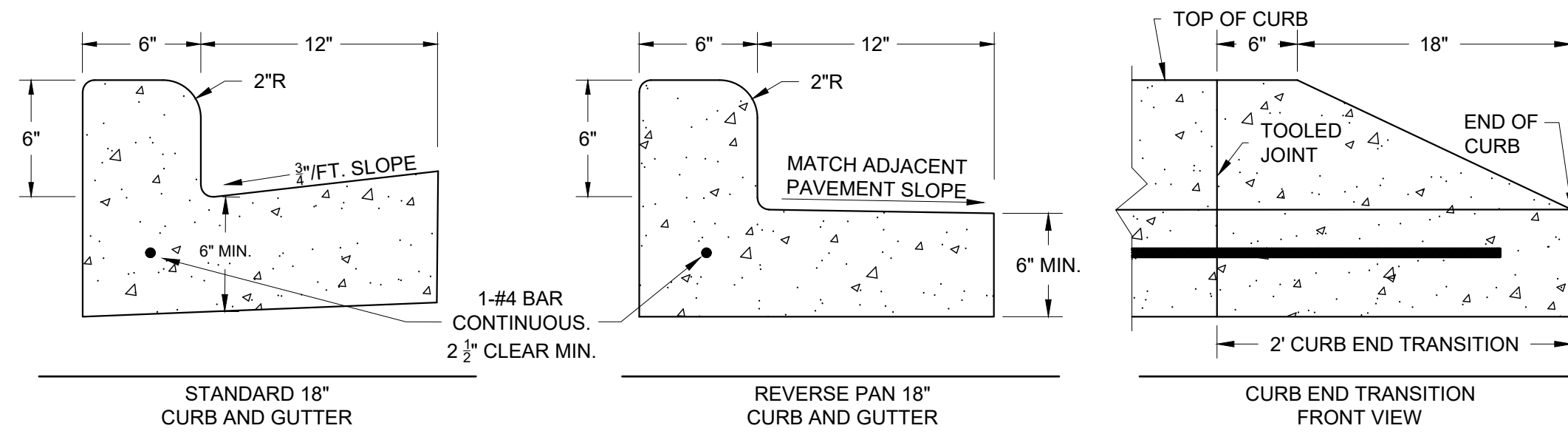
NOTES
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

B HEAVY DUTY ASPHALT PAVEMENT



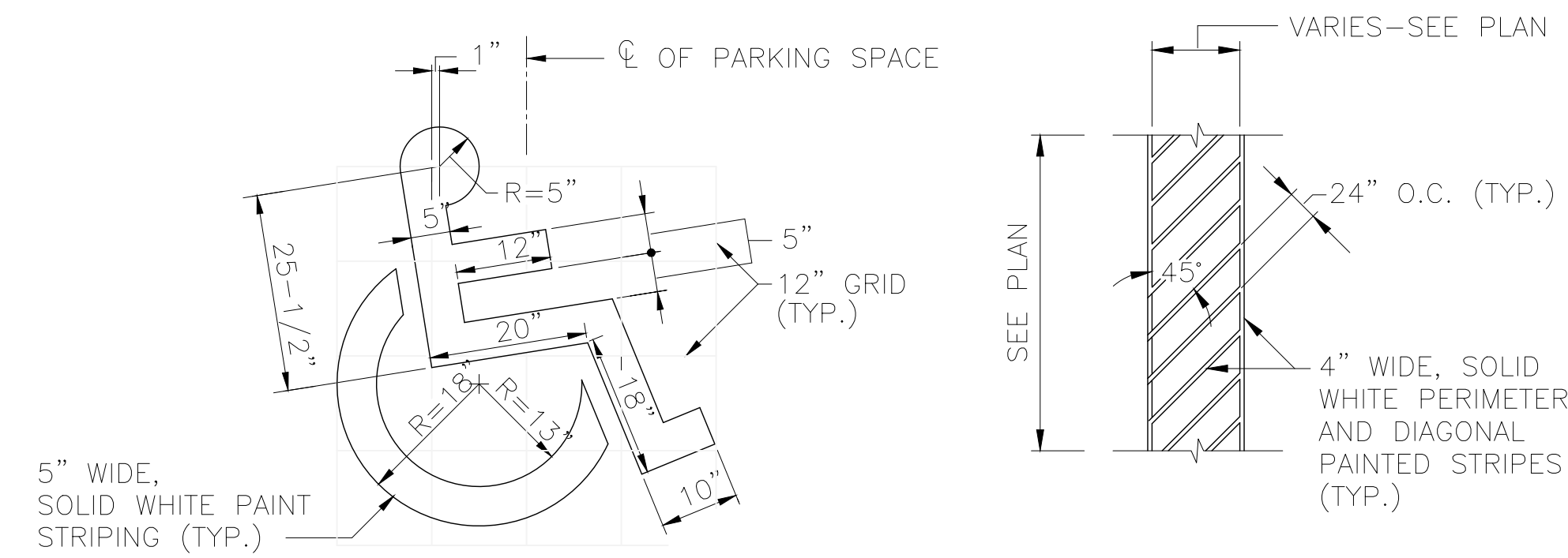
NOTES
1. CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT FDM.
2. CONCRETE SHALL RECEIVE A BROOMED FINISH.

C CONCRETE PAVEMENT/SLAB

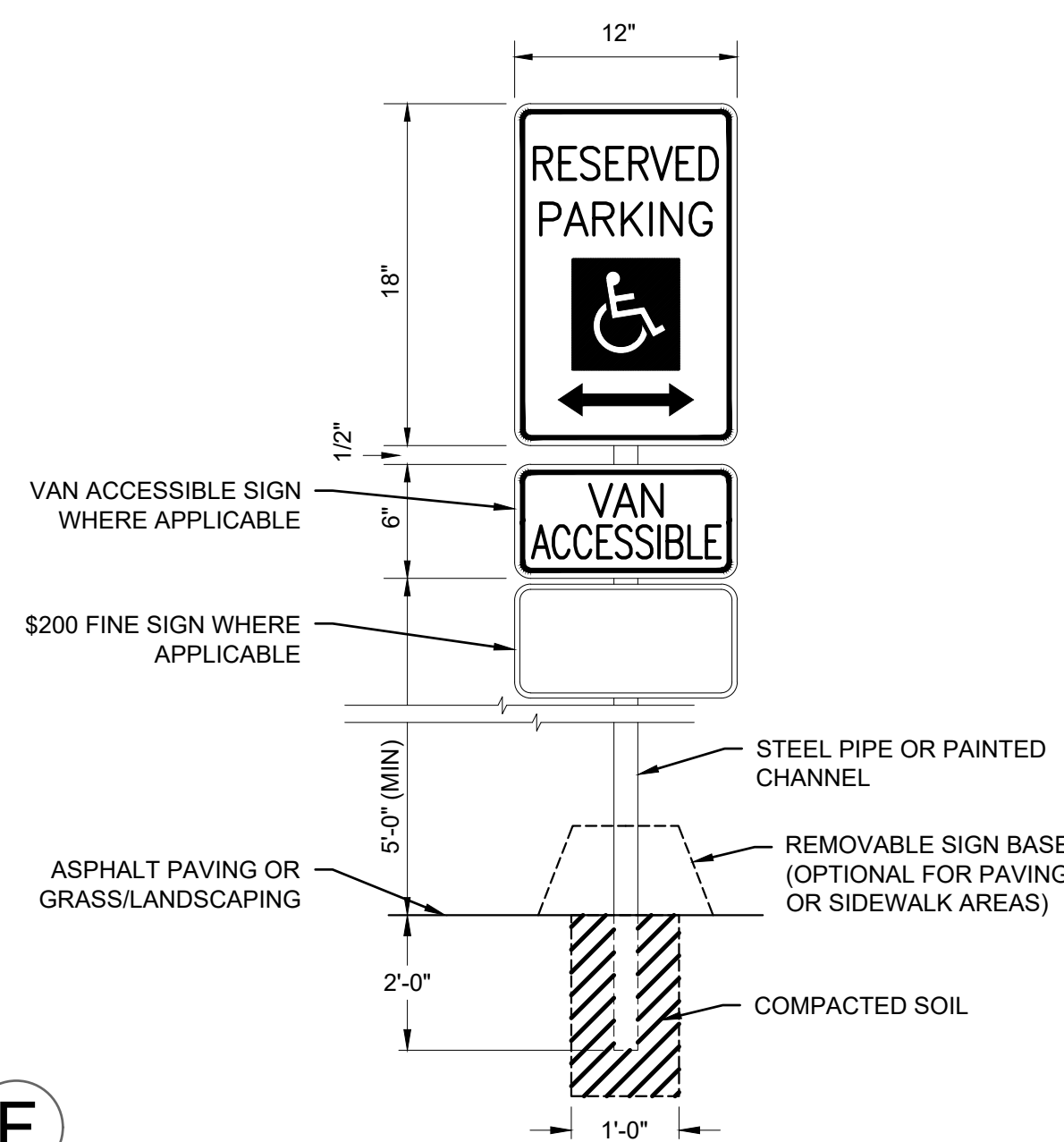


NOTES:
1. THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SUBGRADE.
2. LOCATION OF STANDARD AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWINGS.
3. CURB SHALL BE PLACED ON A MINIMUM OF 6" OF COMPACTED DENSE GRADED BASE.

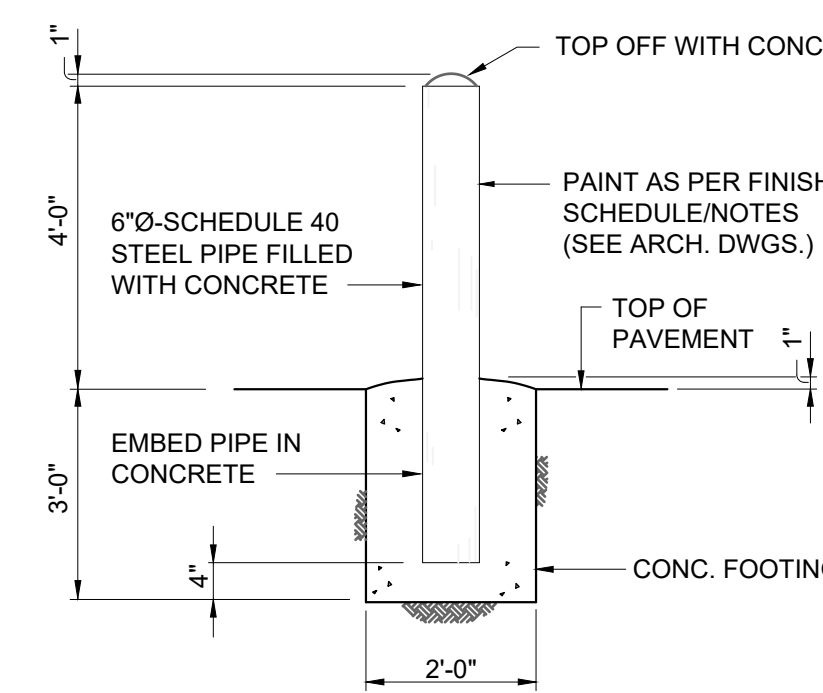
D 18" CONCRETE CURB AND GUTTER



E HANDICAP PAVEMENT MARKING DETAILS



F ADA HANDICAP SIGN



G PIPE BOLLARD - 6"

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DATE: APRIL 18, 2024
ARCH. _____
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REV. _____

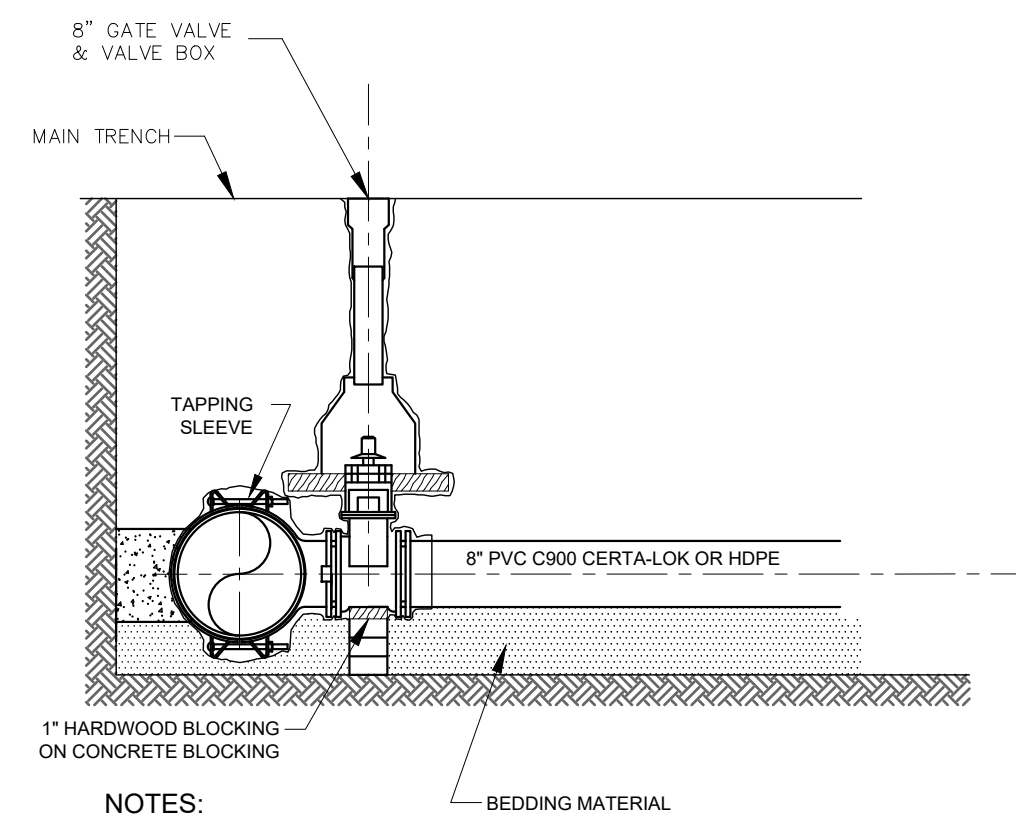
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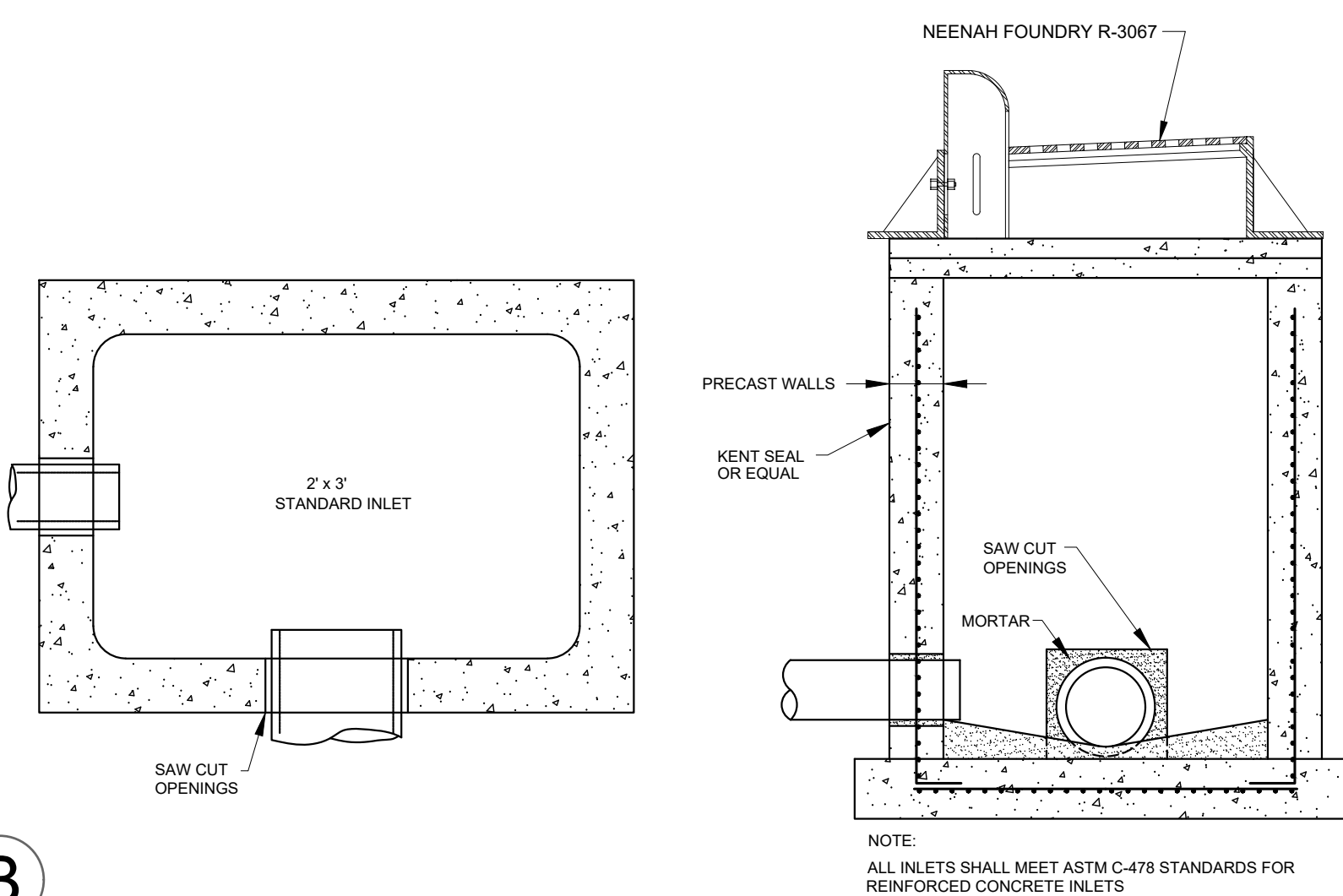
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UTILITY & GRADING DETAILS



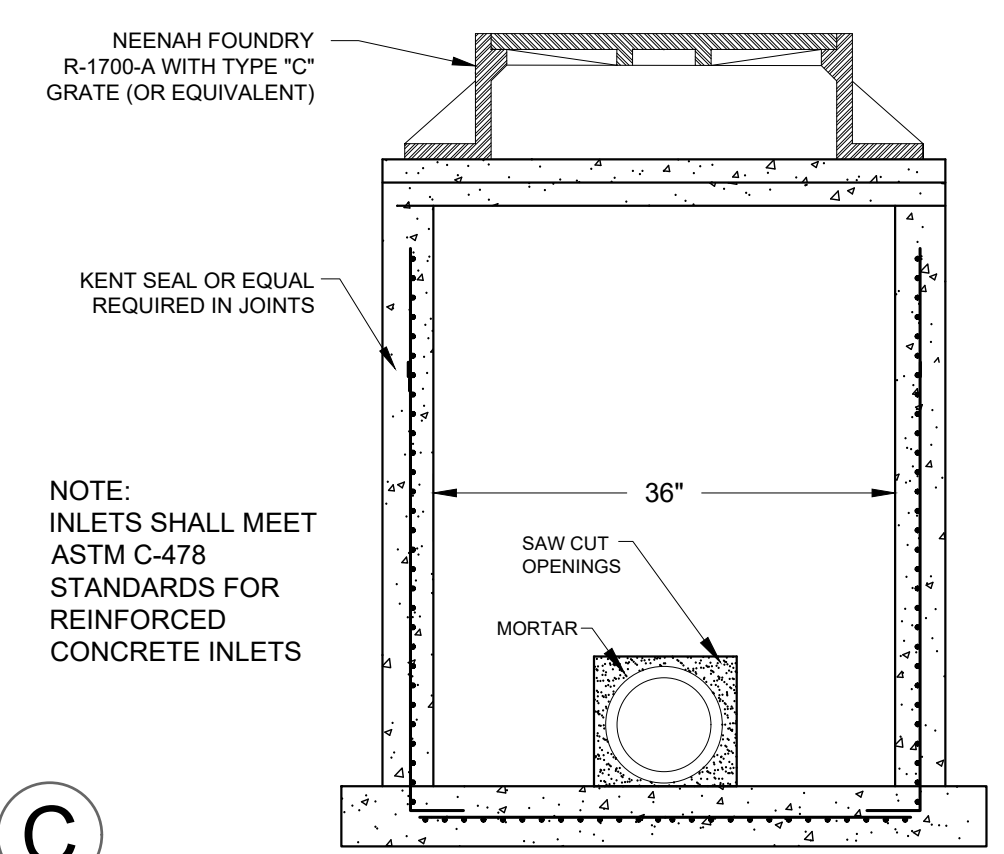
- NOTES:**
1. WATER SERVICE CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR SEWER & WATER CONSTRUCTION IN WISCONSIN.
 2. DISTANCE FROM CURB STOP TO RIGHT OF WAY LINE VARIES BY MUNICIPALITY. CONTRACTOR SHALL CONTACT LOCAL PUBLIC WORKS/WATER DEPARTMENT TO COORDINATE CURB STOP PROXIMITY TO RIGHT OF WAY LINE.
 3. PROVIDE FROST PROTECTION ON SERVICE BOX IN ACCORDANCE WITH STATE STANDARDS.
 4. PIPE MATERIAL SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARD.

A LARGE PIPE CONNECTION WITH TAPPING SLEEVE



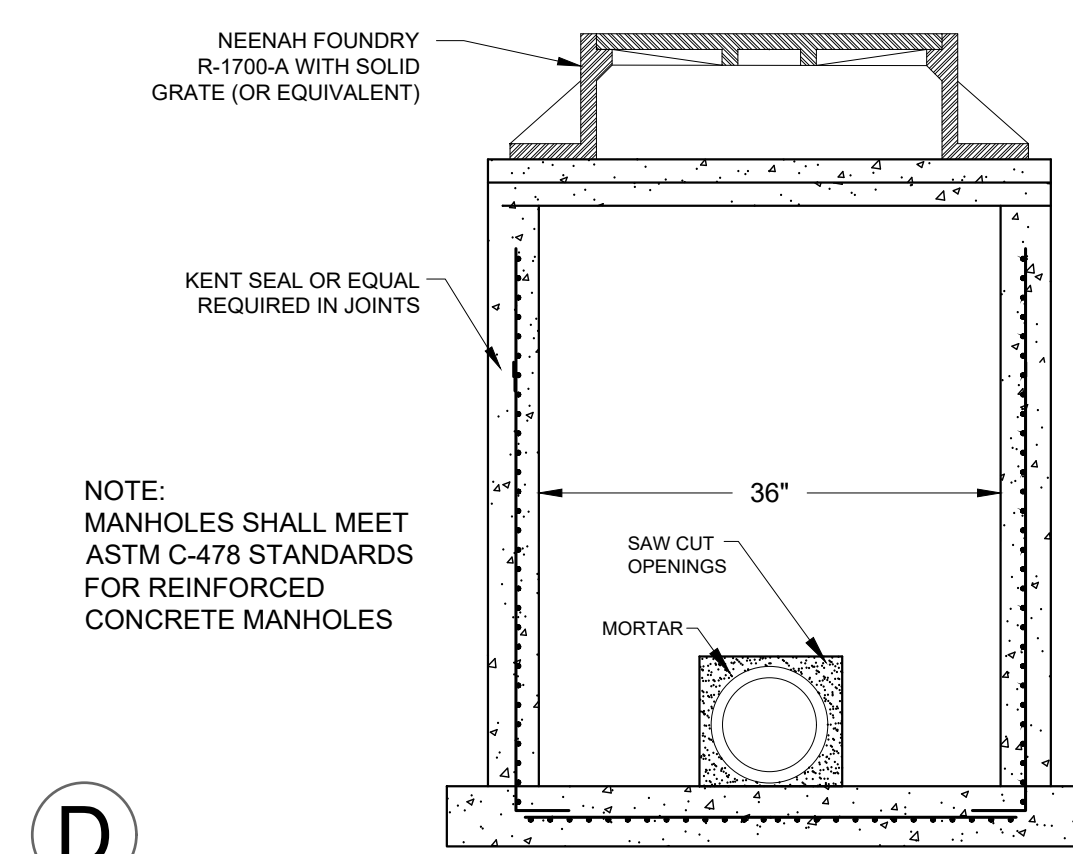
NOTE: ALL INLETS SHALL MEET ASTM C-478 STANDARDS FOR REINFORCED CONCRETE INLETS

B STORM SEWER INLET (24"x36")



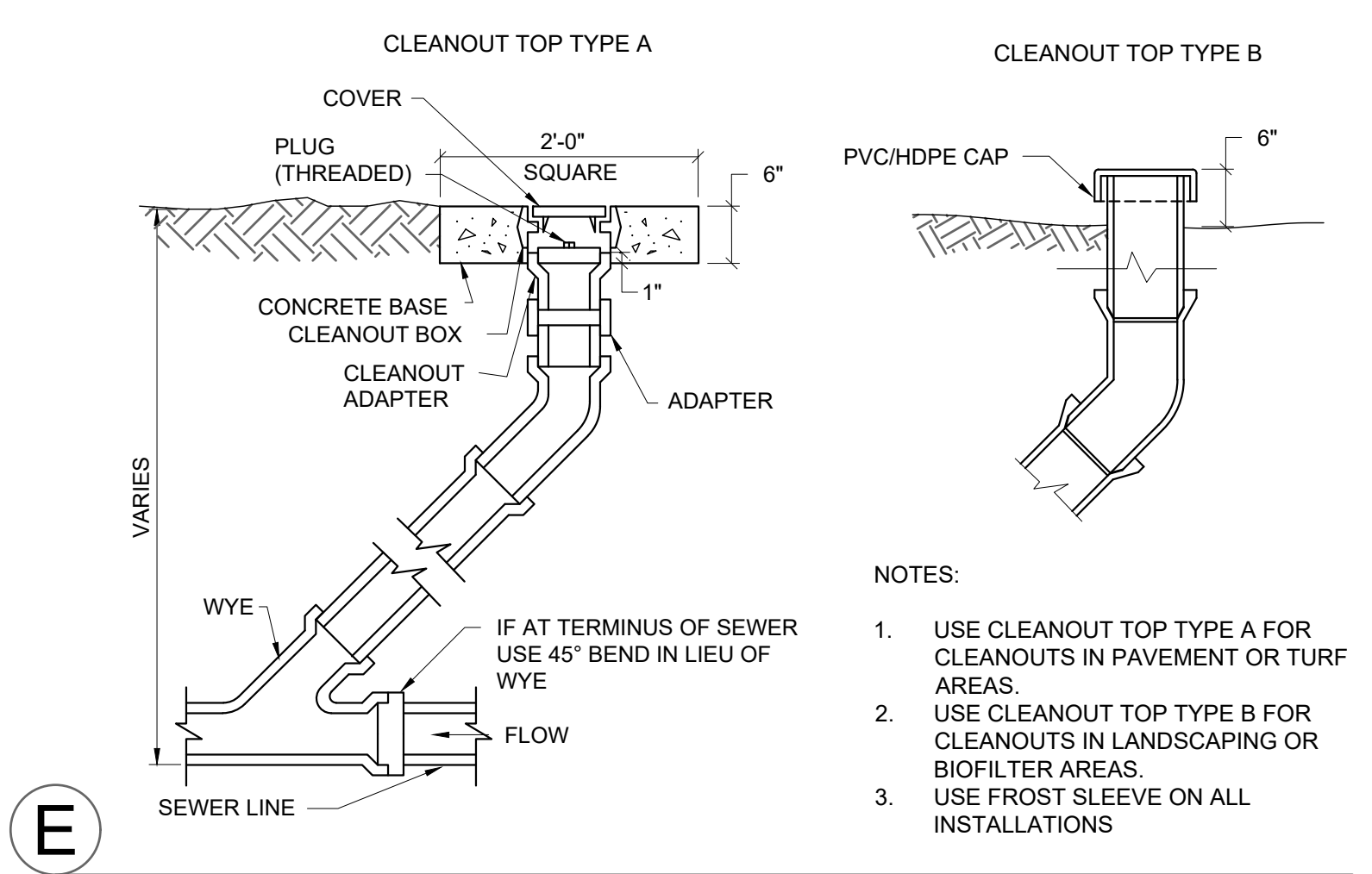
NOTE: INLETS SHALL MEET ASTM C-478 STANDARDS FOR REINFORCED CONCRETE INLETS

C STORM SEWER INLET (36" DIA.)



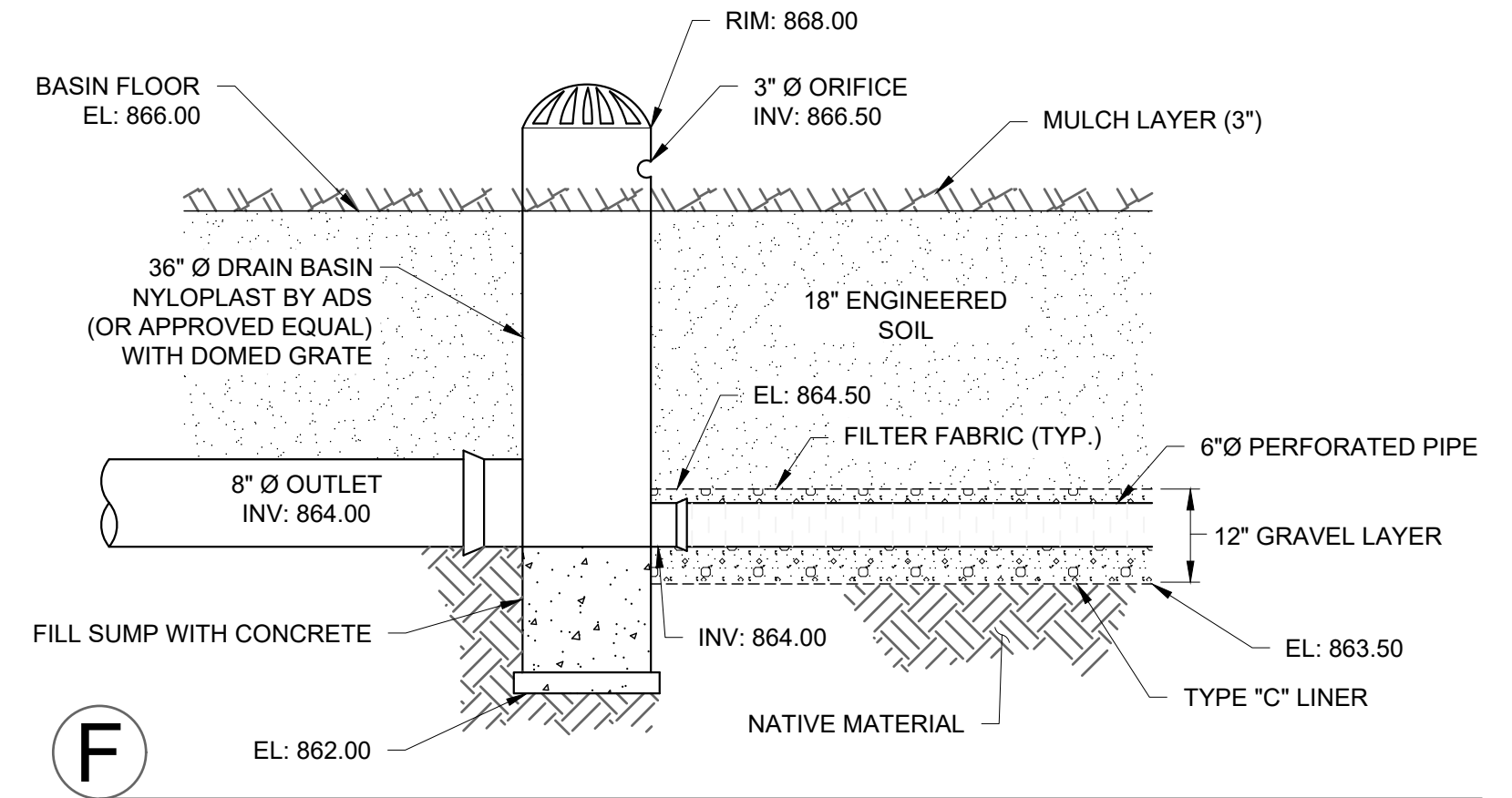
NOTE: MANHOLES SHALL MEET ASTM C-478 STANDARDS FOR REINFORCED CONCRETE MANHOLES

D STORM SEWER MANHOLE (36" DIA.)

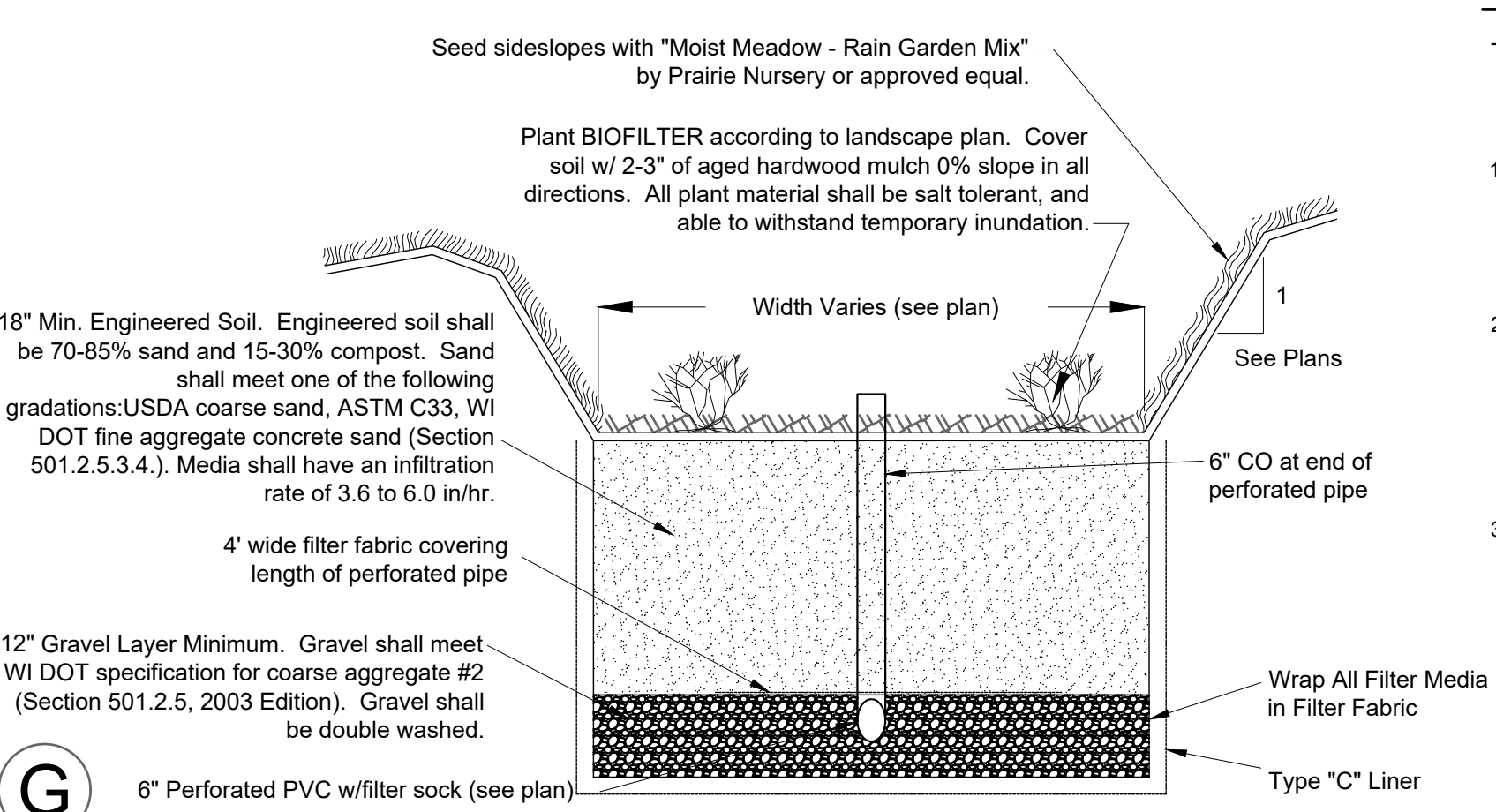


- NOTES:**
1. USE CLEANOUT TOP TYPE A FOR CLEANOUTS IN PAVEMENT OR TURF AREAS.
 2. USE CLEANOUT TOP TYPE B FOR CLEANOUTS IN LANDSCAPING OR BIOFILTER AREAS.
 3. USE FROST SLEEVE ON ALL INSTALLATIONS

E CLEANOUT



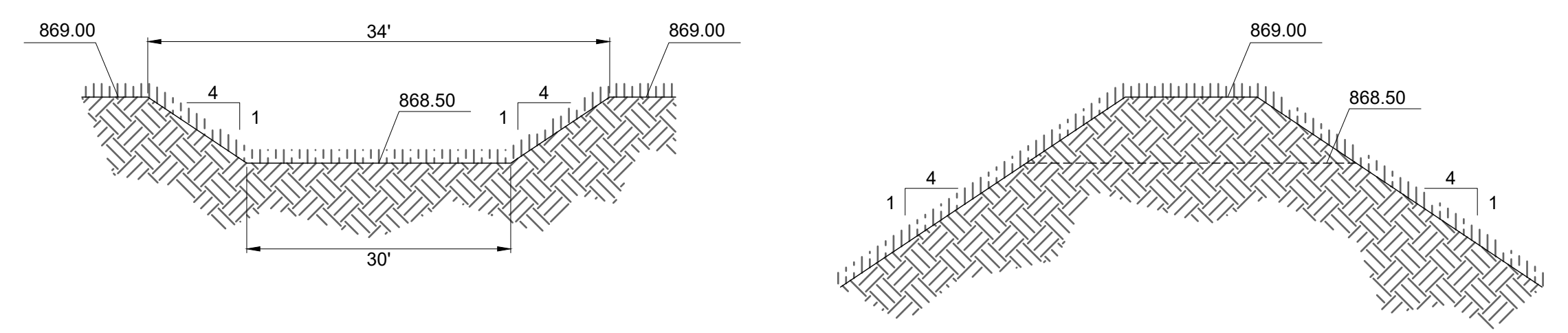
F BIOFILTER OUTLET STRUCTURE



G TYPICAL BIOFILTER CROSS SECTION

BIOFILTER CONSTRUCTION SEQUENCING AND OVERSIGHT

- A person trained and experienced in the construction, operation and maintenance of infiltration devices shall be responsible for construction of the device. The following apply:
 1. Construction Site Stabilization - Construction site runoff from disturbed areas shall not be allowed to enter the bioretention device. Runoff from pervious areas shall be diverted from the device until the pervious areas have undergone final stabilization.
 2. Suitable Weather - Construction shall be suspended during periods of rainfall or snowmelt. Construction shall remain suspended if ponded water is present or if residual soil moisture contributes significantly to the potential for soil smearing, clumping or other forms of compaction.
 3. Compaction Avoidance - Compaction and smearing of the soils beneath the floor and side slopes of the bioretention area, and compaction of the soils used for backfill in the soil planting bed, shall be minimized. During site development, the area dedicated to the bioretention device shall be cordoned off to prevent access by heavy equipment. Acceptable equipment for constructing the bioretention device includes excavation hoes, light equipment with turf type tires, marsh equipment or wide-track loaders.
 4. Compaction Remediation - If compaction occurs at the base of the bioretention device, the soil shall be reworked to a depth of at least 12 inches. If smearing occurs, the smeared areas of the interface shall be corrected by raking or rito-silling.
 5. Placement and Settling of Engineered Soil - The following apply:
 - a. Prior to placement in the bioretention device, the engineered soil shall be removed and the moisture content shall be low enough to prevent clumping and compaction during placement.
 - b. The engineered soil shall be placed in multiple lifts, each approximately 12 inches in depth.
 - c. Steps may be taken to induce mild settling of the engineered soil bed as needed to prepare a stable planting medium and to stabilize the ponding depth. Vibrating plate-style compactors shall not be used to induce settling.
 6. Planting - The entire soil planting bed shall be mulched prior to planting vegetation to help prevent compaction of the planting soil during the planting process. Mulch shall be pushed aside for the placement of each plant.



H BIOFILTER EMERGENCY OVERFLOW WEIR

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ADDITION AND ALTERATIONS FOR,
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TOWN OF BROOKFIELD, WISCONSIN

DATE: APRIL 18, 2024
ARCH. _____
D. BY: RPH
JOB: 23-003
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6.1

SHEET KEY NOTES:

LANDSCAPE PLAN

PLANT TABLE

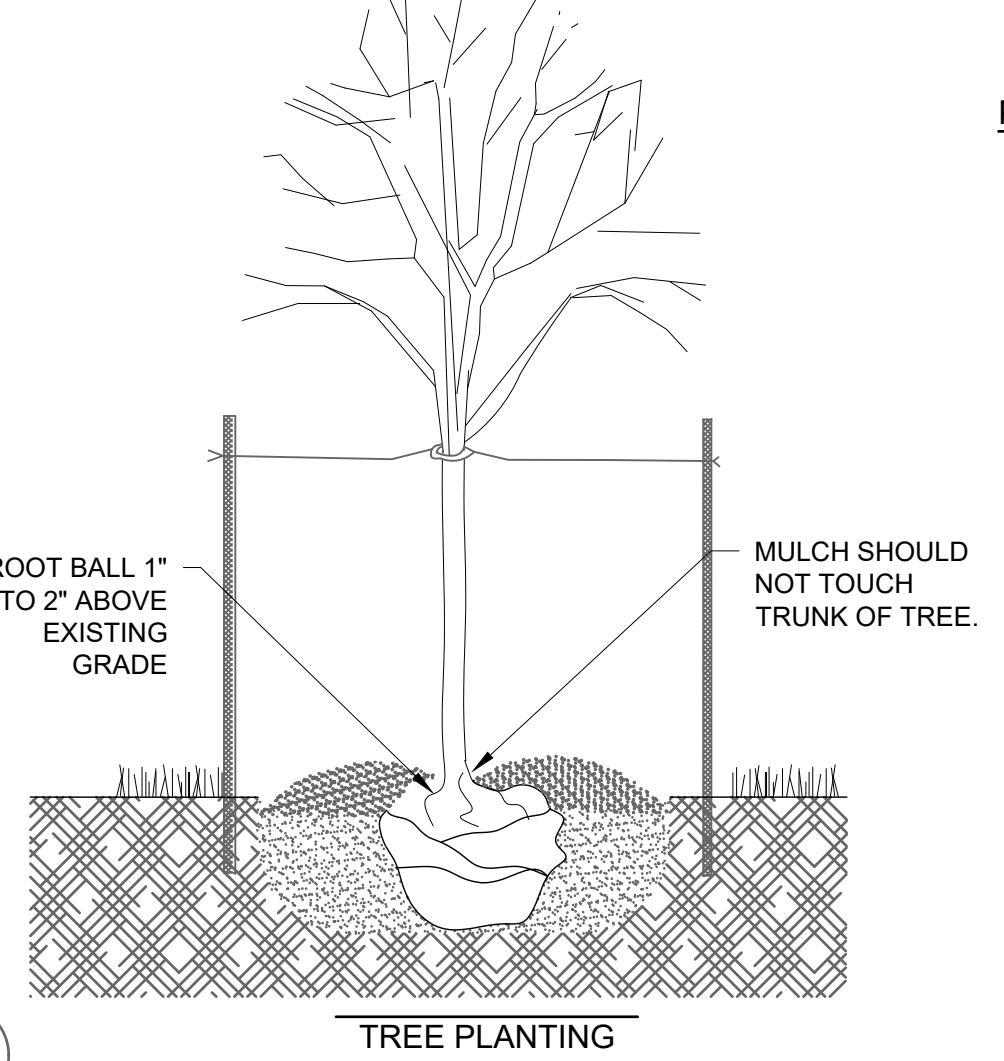
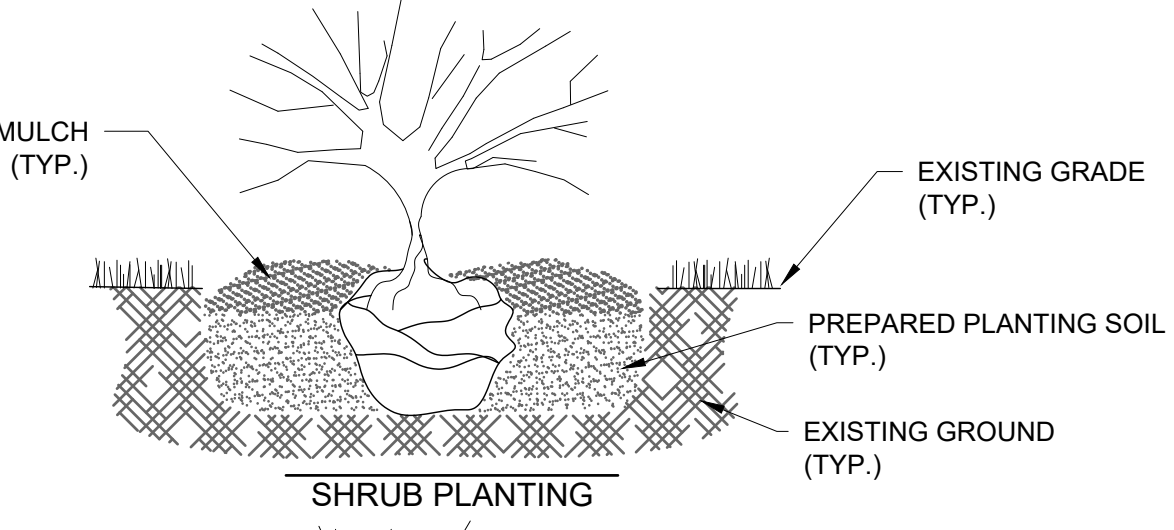
| SYMBOL | COMMON NAME | SCIENTIFIC NAME | QUANTITY | SIZE |
|--------|---------------------|---|----------|--------|
| ● | RED OSIER DOGWOOD | CORNUS SERICEA | 27 | 18" |
| ● | BALDCYPRESS | TAXODIUM DISTICHUM | 2 | 6' |
| ✱ | WALKERS LOW CATMINT | NEPETA X FAASSENII 'WALKER'S LOW' | 25 | 3 GAL. |
| ⊙ | RUSSIAN SAGE | PEROVSKIA ATRIPLICIFOLIA 'RUSSIAN SAGE' | 25 | 3 GAL. |

SHEET KEY NOTES:

- ① PROFESSIONAL GRADE EDGING
- ② 1/2" Ø RIVER STONE WITH WEED BARRIER FABRIC
- ③ VEGETATE REMAINING BIOFILTER BASIN FLOOR AND SIDE SLOPE AREAS ACCORDING TO THE SPACING DESCRIBED IN WDNR TECHNICAL STANDARD 1004 "BIORETENTION FOR INFILTRATION" WITH THE SPECIES LISTED IN THE BIOFILTER PLANT SCHEDULE; SEE DETAIL A THIS SHEET

| Common Name |
|------------------------|
| FOX SEDGE |
| WHITE TURTLEHEAD |
| SWEET BLACK EYED SUSAN |
| IRONWEED |
| GOLDEN ALEXANDERS |
| BIG BLUESTEM |
| NEW ENGLAND ASTER |
| BOTTLE GENTIAN |
| BLUE FLAG IRIS |
| MARSH BLAZINGSTAR |
| GREAT BLUE LOBELIA |

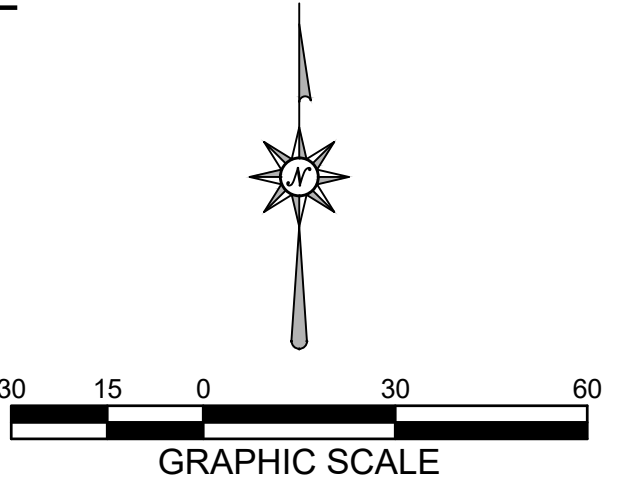
A BIOFILTER PLANT SCHEDULE



B PLANTING DETAIL

PLANTING NOTES:

1. PLANTING HOLE SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE ROOT BALL, AND EQUAL TO THE DEPTH OF THE ROOT BALL.
2. EXCAVATED SOIL FROM PLANTING HOLE SHALL BE MIXED WITH 1 PART POTTING SOIL TO 2 PARTS EXCAVATED SOIL.
3. PLANT SO THAT THE ROOT COLLAR WILL BE 1" TO 2" ABOVE EXISTING GRADE.
4. IF BALLED AND BURLAPED, PLACE PLANT IN HOLE, CUT THE BURLAP TWINE, AND PEEL BACK THE TOP TWO THIRDS OF BURLAP. IF POTTED REMOVE POT, AND PLACE PLANT INTO HOLE.
5. BACKFILL HOLE WITH PREPARED SOIL, AND MOUND SOIL 2" TO 3" HIGH IN A RING AT THE PERIMETER OF THE EXCAVATED HOLE. WATER AND SMOOTH RING PRIOR TO MULCHING.
6. MULCH WITH 3" OF SHREDDED HARDWOOD MULCH OR LANDSCAPE STONE (RIVER ROCK, NOT CRUSHED STONE)
7. IF STAKING IS REQUIRED FOR TREES TWO STAKES SHALL BE USED ONE ON THE PREVAILING WIND SIDE OF THE TREE, AND THE OTHER STAKE ON THE OPPOSITE SIDE. STAKES SHALL BE FASTENED TO THE TREE USING RUBBER TUBING, OR NYLON STRAPPING.



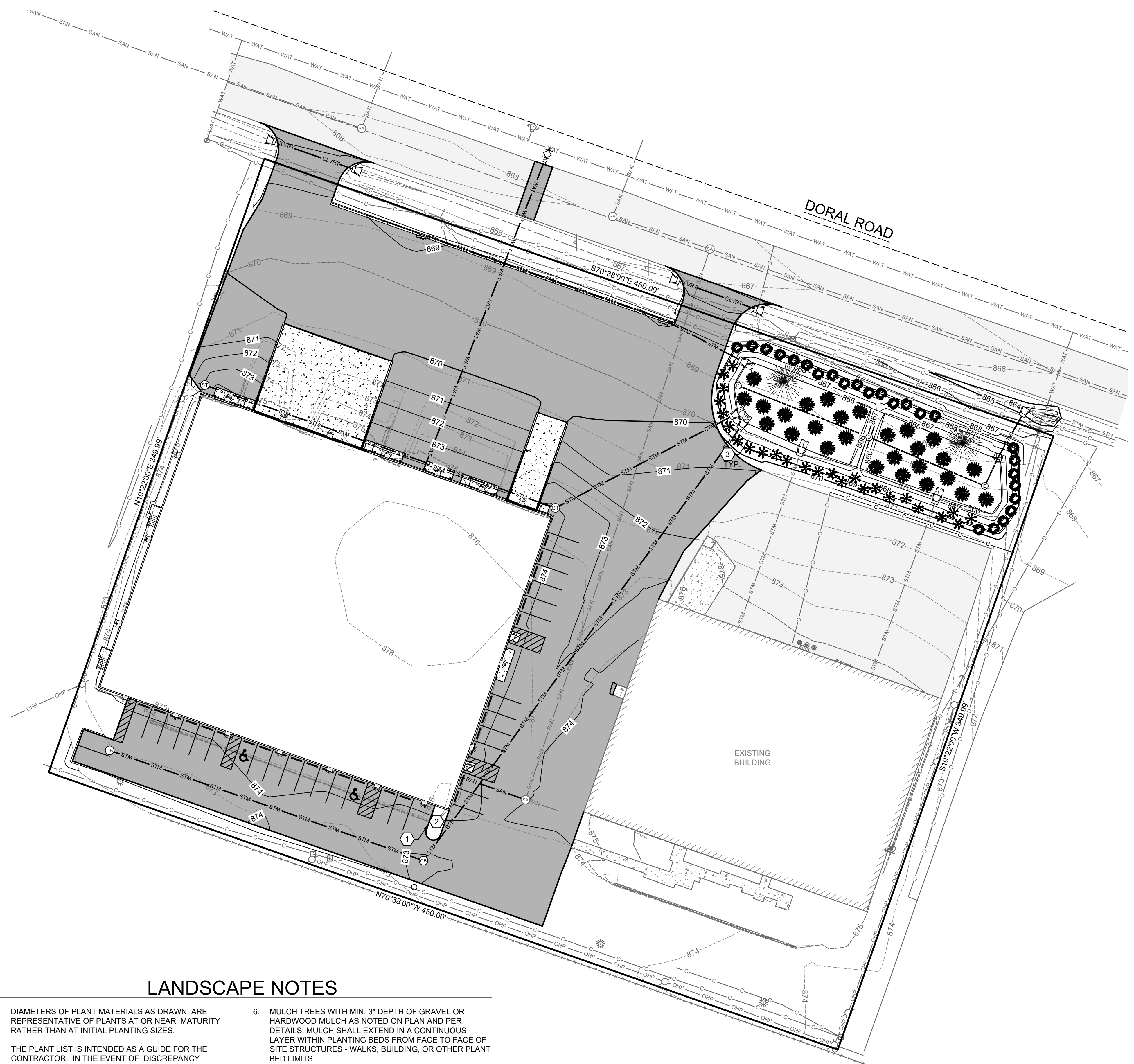
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ADDITION AND ALTERATIONS FOR,
21675 DORAL ROAD
 TOWN OF BROOKFIELD, WISCONSIN

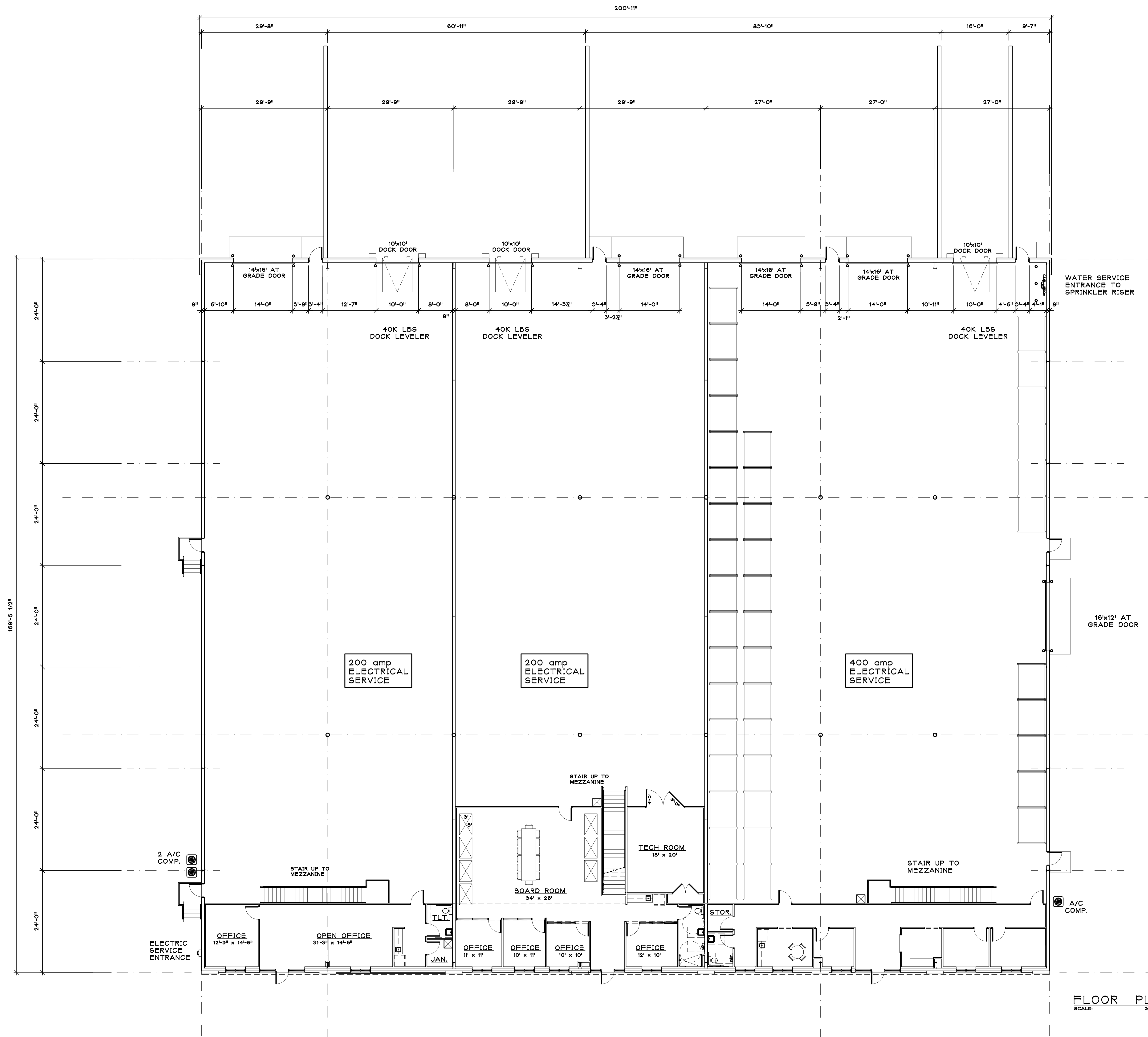
DATE: APRIL 18, 2024
 ARCH: _____
 D. BY: RPH
 JOB: 23-003
 REV: _____

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LANDSCAPE NOTES

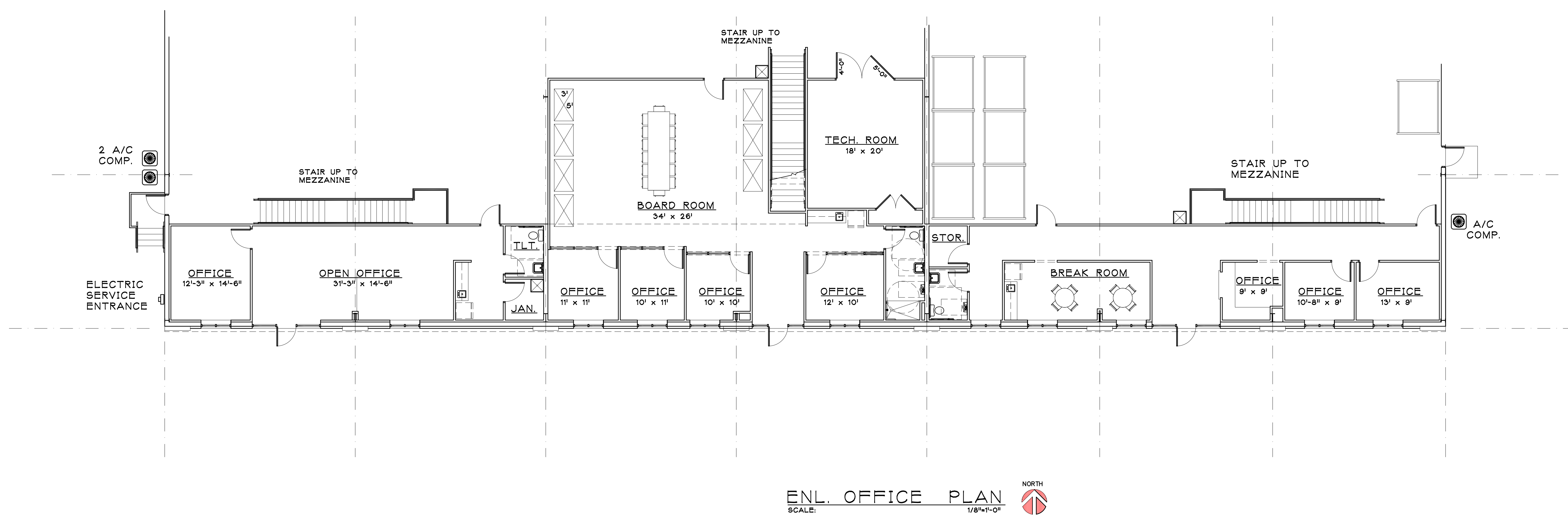
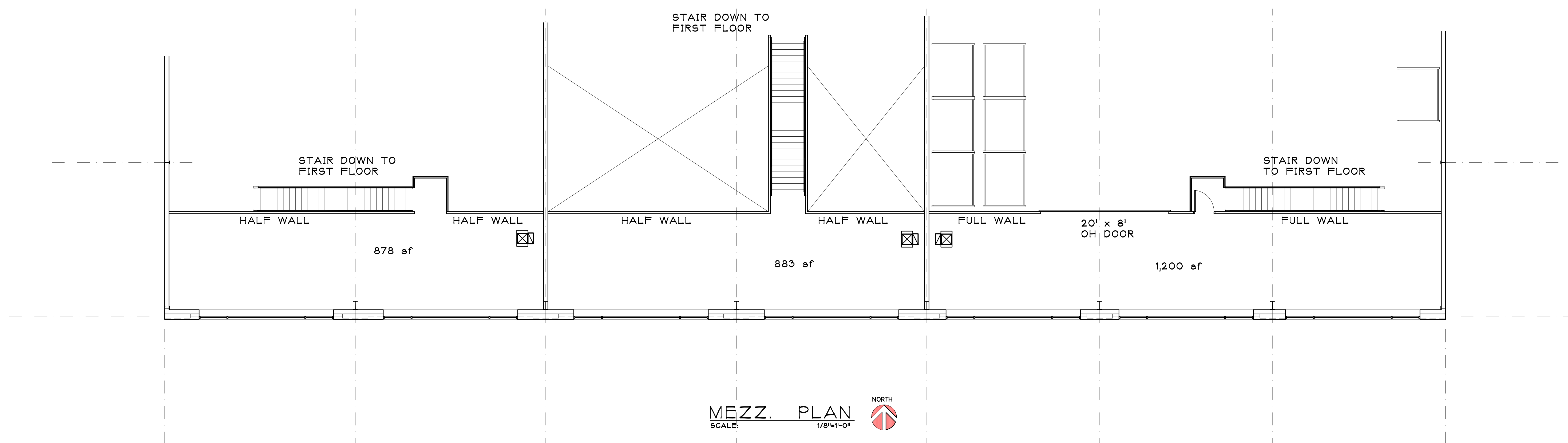
1. DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
2. THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
3. ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
4. ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUND COVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
5. A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
6. MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
7. PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
8. THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 90 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
9. THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
10. SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.



A PROPOSED NEW WAREHOUSE FACILITY FOR
MASTER SPAS
 TOWN OF BROOKFIELD, WISCONSIN

DATE: APRIL 24, 2024
 ARCH. K. SPERL
 D. BY: _____
 JOB: 23-087
 REV. _____

A
1.0





327 RANDOLPH DRIVE - SUITE C
 APPLETON, WI 54913
 TELE: 920-574-2657 FAX: 920-574-2660

A PROPOSED NEW WAREHOUSE FACILITY FOR

MASTER SPAS

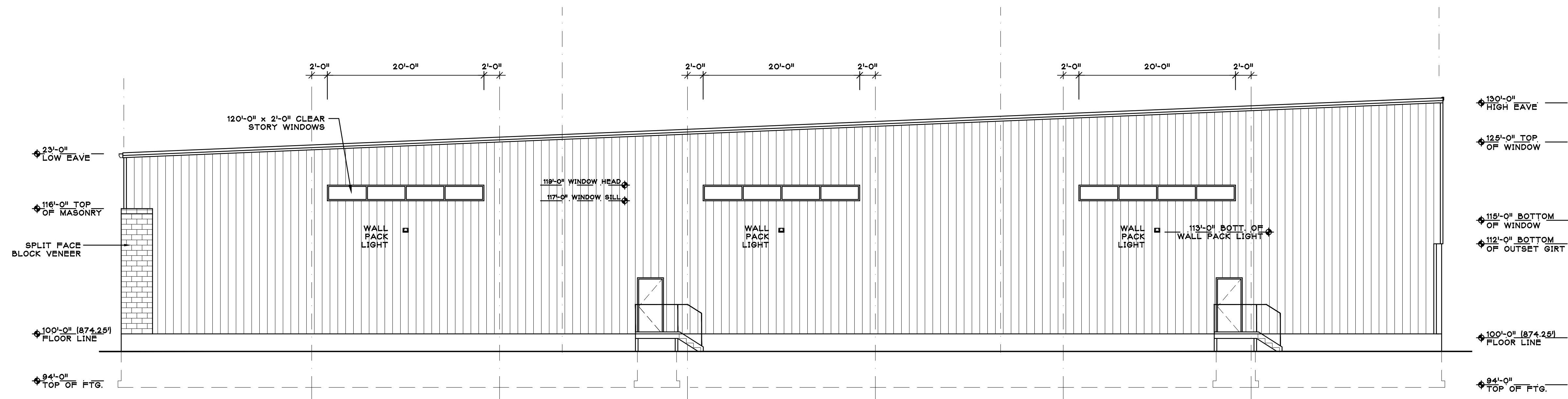
TOWN OF BROOKFIELD, WISCONSIN

DATE: APRIL 24, 2024
 ARCH. K. SPERL
 D. BY: _____
 JOB: 23-087
 REV. _____

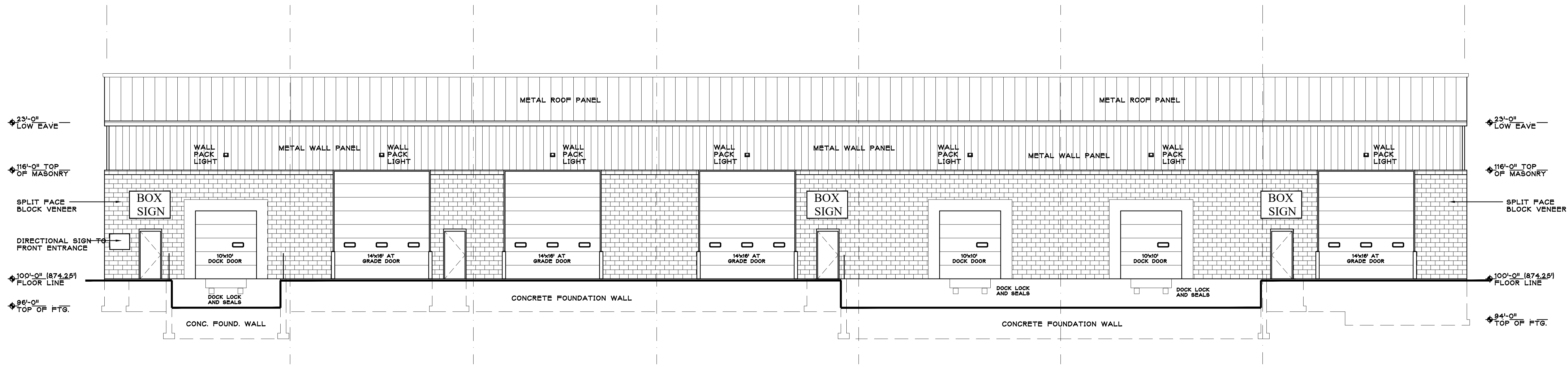
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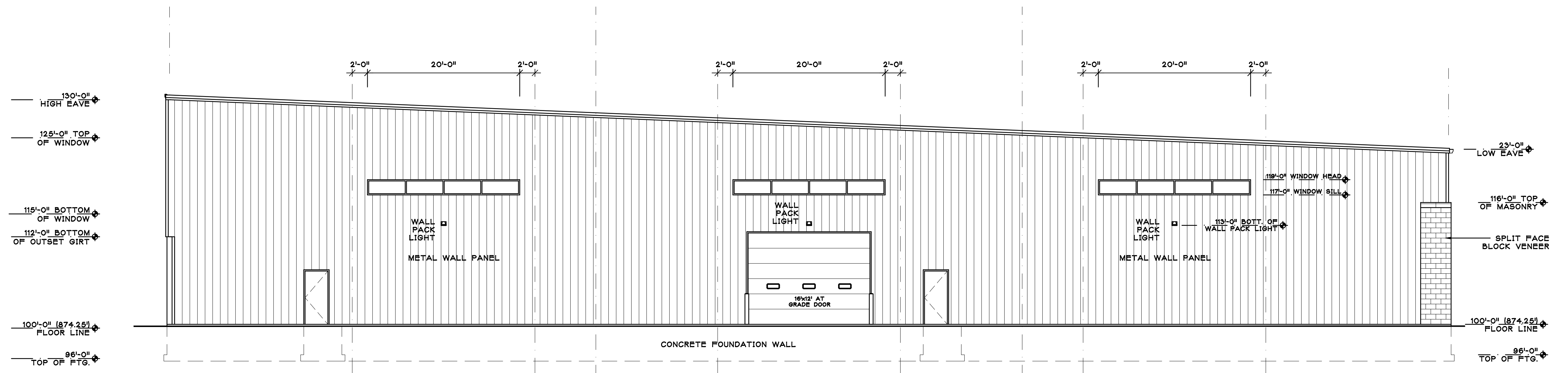
SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



WEST ELEVATION
 SCALE: 1/8"=1'-0"



NORTH ELEVATION
 SCALE: 1/8"=1'-0"



EAST ELEVATION
 SCALE: 1/8"=1'-0"



Proposed Building For:
Master Spas Waukesha Warehouse Building
 Waukesha, Wisconsin

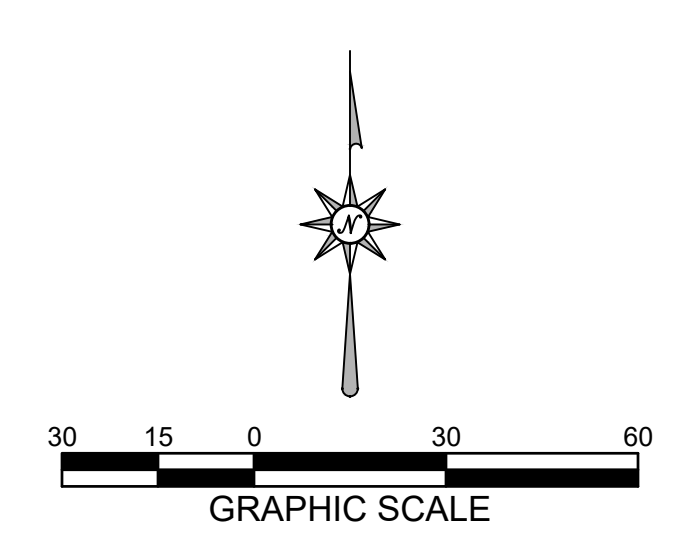
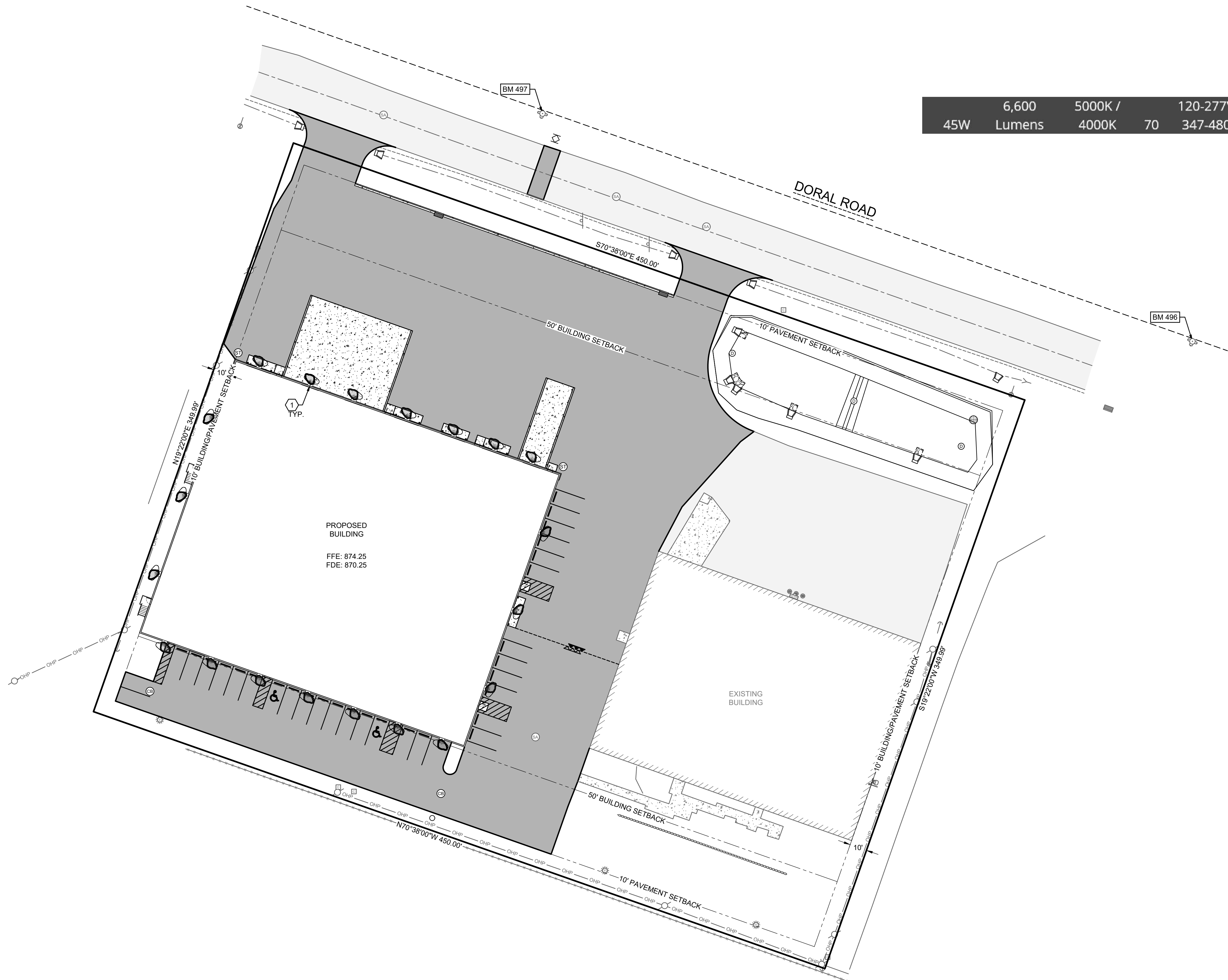
DATE: 03/06/24
 ARCH: K. SPERL
 D. BY: J. MILLER
 JOB: 22-025
 REV.

LIGHTING EXHIBIT

SHEET KEY NOTES:

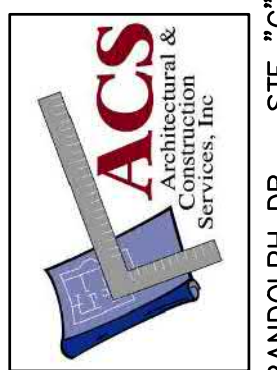
① WALL LIGHT; REFER TO ARCHITECTURAL PLANS

| | | | | | | | | |
|-----|--------------|---------------|----|---------------------|---------|---------------|---------|--------------|
| 45W | 6,600 Lumens | 5000K / 4000K | 70 | 120-277V / 347-480V | 175W MH | Wet Locations | Premium | PLB03LBIMBJ9 |
|-----|--------------|---------------|----|---------------------|---------|---------------|---------|--------------|



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ADDITION AND ALTERATIONS FOR,
21675 DORAL ROAD
TOWN OF BROOKFIELD,
WISCONSIN

DATE: APRIL 18, 2024
ARCH. _____
D. BY: RPH
JOB: 23-003
REV. _____

C
LGHT



May 1, 2024

Mr. Bryce Hembrook
Town of Brookfield
645 North Janacek Road
Brookfield, WI 53045

Re: Master Spa Redevelopment Engineering Review Letter No. 2
Town of Brookfield, Wisconsin (Town)

Dear Bryce,

Strand Associates, Inc.® (Strand) has finished its review of the plan package for the Avery and Birch Development that was received from ACS, Inc. on April 26, 2024, for conformance with the Town specifications and general engineering practices. Before construction may begin, the contractor shall submit all required permits for the development to the state, Wisconsin Department of Natural Resources, Town, and any other relevant agencies. New drawings and a letter describing the revisions should be returned to Strand after the following concerns have been addressed.

Stormwater Management Report

1. The time of concentration calculation for the existing conditions flow path contains a sheet flow length of 211 feet. It is recommended to use a maximum sheet flow length of 100 feet because of the tendency for flow to channelize beyond this distance.
2. Based on the Hydraflow input parameters for the bioretention basin outlet structure, it appears that the weir entered at elevation 868.00 is representing the 3-foot-diameter drain basin. It is not clear why a 6.28-foot weir was entered for the crest length.
3. The stormwater maintenance agreement will be reviewed by the Town attorney.

Stormwater Conveyance

1. Storm sewer sizing and inlet capacity calculations should be provided for the proposed storm sewers.

Site Plan–Sheet C 2.0

1. The distinct limits of the standard and heavy duty asphalt are not clear. It is recommended to use different hatchings or shadings for the different asphalt types.
2. Based on the architectural drawings, it appears there will be a railing on the loading dock retaining walls. It is recommended to add a detail for the railing showing the type with dimensions and installation notes and details.

Mr. Bryce Hembrook
Town of Brookfield
Page 2
May 1, 2024

3. A turning-moving exhibit should be provided to verify the largest vehicle (including any emergency vehicles) that will access the site can perform the required turning movements with the proposed layout.
4. It should be verified that the minimum dimensions for Americans with Disabilities Act (ADA)-compliant parking spaces provided for use by physically disabled persons shall be 12 by 18 feet (in accordance with Town Code 17.06(3)(c)4.).
5. It should be verified that the proposed ADA route into the building is ADA compliant.

Utility Plan–Sheet C 3.0

1. Evaluate that proper separation between water, storm, and sanitary sewer mains are meeting the requirements of Wisconsin Administrative Code (WAC) Section NR 811.74.
2. The water calculations and modification to the existing water service form were reviewed. The application is for an 8-inch service and the drawings show an 8-inch service; however, the calculations show only a 6-inch service is needed. With that being said, the demand of 18.8 gallons per minute (gpm) is small compared to a 6- or 8-inch service and either will meet the requirement. The service includes capacity for the fire protection system. The calculations sheet indicates no water meter, but there will need to be a water meter for the domestic supply. Based on 18.8 gpm and unknown anticipated headloss, it is recommended that a 3/4-inch ultrasonic meter for domestic is used.
3. It should be noted that, if the building requires a sprinkler system, a fire hydrant needs to be within 150 feet of a Fire Department Connection. Any water main leading to the hydrant would be considered public and utility easements will be needed.

Grading Plan–Sheet C4.0

1. It appears that the width of the berm for the biofilter (elevation equal to 869.00) is only 1 foot wide. It is recommended to make this wider for ease of construction and maintenance.
2. It is recommended to denote the top and bottom of wall elevations for the loading dock retaining walls or provide a construction detail for each wall.

Landscape Plan

1. The landscape plan was reviewed and appears to be adequate for the site.

Lighting Plan

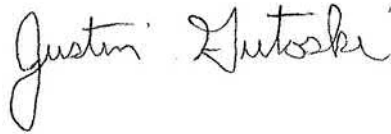
1. A photometric plan, including calculations for the average, minimum and maximum, and uniformity for the parking lot lighting, was reviewed. Photometrics must also be shown at the property lines on all sides. Light level shall not exceed 0.2 footcandles at the property line. A product data sheet for the proposed light fixture should also be submitted.

Mr. Bryce Hembrook
Town of Brookfield
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May 1, 2024

Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®

A handwritten signature in cursive script that reads "Justin J. Gutoski".

Justin J. Gutoski, P.E.

c: Tom Hagie, Town Administrator, Town of Brookfield
Tony Skof, Town of Brookfield Sanitary District No. 4
Scott Hartung, Department of Public Works Superintendent, Town of Brookfield