

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
(P) 262-796-3788
(F) 262-796-0339



MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Gnant Room
645 N. Janacek Road, Brookfield, WI

Wednesday, August 20, 2025

Public Hearing: Zoning Board of Appeals

6:00 p.m.

AGENDA

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Public hearing to consider a request made by 19000 HQ LLC (MLG Capital) for a variance from the Nonconforming Premises and Structures provisions (Section 17.09) of the Town of Brookfield Zoning Code to construct an addition to the existing building. The property is located at 19000 W. Bluemound Road.
- 5) Adjourn.

Zoning Board of Appeals

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) New Business:
 - a. Discussion and possible action regarding a request from 19000 HQ LLC (MLG Capital) for a variance from the Nonconforming Premises and Structures provisions (Section 17.09) of the Town of Brookfield Zoning Code to construct an addition to the existing building at 19000 W. Bluemound Road.
- 5) The members may adjourn into **CLOSED SESSION** according to Wis. Stat §19.85(1)(a) to deliberate their decision.
- 6) Adjourn into **OPEN SESSION** according to Wis. Stat. §19.85(2) for any necessary action resulting from Closed Session.
- 7) Adjourn.

Posted this 18th day of August, 2025
Rebekah Leto
Town Planner

Town Clerk's Office | Town of Brookfield
645 N. Janacek Road | Brookfield, WI 53045
Phone: (262)796-3788 | Fax: (262)796-0339



August 5, 2025

Notice of Public Hearing Town of Brookfield

NOTICE IS HEREBY GIVEN that the Town of Brookfield Zoning Board of Appeals will hold a Public Hearing in the Erich Gnant Room of the Town Hall, 645 N. Janacek Road, Brookfield, Wisconsin, on Wednesday, August 20, 2025 at 6:00 p.m. to consider a request made by 19000 HQ LLC (MLG Capital) for a variance from the Nonconforming Premises and Structures provisions (Section 17.09) of Town of Brookfield Zoning Code to construct an addition to the existing building. The property is located at 19000 W Bluemound Road, Suite A (Tax Key BKFT1124.999.003).

For information regarding this Public Hearing, please contact Town of Brookfield Town Planner, Rebekah Leto at (262)796-3760. All interested parties will be given an opportunity to be heard at said Public Hearing.

Published in the Freeman this 8th and 13th day of August, 2025

Posted this 5th day of August, 2025

Tom Hagie, Interim Clerk



TOWN OF BROOKFIELD ZONING BOARD OF APPEALS

TO: Zoning Board of Appeals
FROM: Rebekah Leto, AICP, Town Planner
MEETING DATE: August 20, 2025
RE: MLG Capital (19000 HQ LLC) Variance Request

Operator: MLG Capital
Applicant: Stephen Perry Smith Architects (Eric Nesseth)
Owner: 19000 HQ LLC (MLG Capital)
Location: 19000 W. Bluemound Road
Zoning: B-2 Limited General Business District
Request: Variance from Section 17.09 of the Zoning Code to allow an expansion to the existing nonconforming building.

Lot Configuration:

	Lot Width	Lot Depth	Lot Size
Existing	355 ft.	212.7 ft.	76,057 (1.73 ac)
Required	120 ft.	n/a	20,000 sq. ft.

Previous Board of Appeals Action on the Subject Property:

None.

Pending Actions:

The applicant received preliminary and final approval from the Architectural Review Committee on August 13, 2025 and are seeking Preliminary and Final approval from the Plan Commission and Town Board at forthcoming meetings.

Proposal and Staff Analysis

The subject property is 1.74 acres and is located on the north side of Bluemound Road and west of N. Brookfield Road. The site was formerly a Brennan's Market. MLG converted the site in 2018 for use as a real estate investment firm. The site includes the main building with an attached (former) greenhouse, patio facing Bluemound Road and a detached 1,753+/- sq. ft. carport on the west side of the property. The carport is located 11 feet from the property line.

The petitioner is proposing to remove the carport and construct a one-story “L”-shaped office addition on the west side of the building. The office space will generally be used by transient employees and includes open offices, six enclosed offices, a storage room, conference room and two new bathrooms. An existing and proposed site plan and building plans are enclosed.

The existing, proposed and required zoning provisions are as follows:

	Existing	Proposed (addition)	Required
Road Setback	54.9 ft.	56.1 ft.	50 ft. min.
Offset (North)	11 ft. (nonconforming)	47 ft.	15 ft. min.
Offset (East)	136.1 ft.	15 ft.	15 ft. min.
Offset (West)	49.8 ft.	283 ft.	15 ft. min.
Building Footprint	21,221 sq. ft.	25,782 sq. ft. (+4,561 sq. ft.) (33.8%)	11,408 sq. ft. (15% min.) 38,028 sq. ft. max (50%)
Height	26.2 ft.	15 ft.	45 ft. max.
Parking	86 spaces	90 spaces	103 spaces (1 per 250 sq. ft.)

The table above identifies that the structure is nonconforming to the north lot line. Section 17.09 of the Zoning Code states that existing substandard (nonconforming) structures may be continued to be utilized but may not be extended, enlarged, reconstructed, moved or structurally altered. As the petitioner is seeking to enlarge the structure, a variance is required from Section 17.09.

Petitioners' Comments:

The petitioner's comments are enclosed.

Staff Recommendation:

Staff recommends **approval** of the request for a variance from Section 17.09, Nonconforming Premises and Structures provisions of the Town of Brookfield Zoning Code, to allow an expansion of the existing building. This recommendation is based upon the analysis of the below tests for a variance, as described below.

1. **Unnecessary Hardship.** Exists when compliance would unreasonably prevent the Owner/Petitioner from using the Property for a permitted purpose (leaving the Property Owner/Petitioner without any use that is permitted for the Property) or would render conformity with such restrictions unnecessarily burdensome. The Board must consider the purpose of the zoning restriction, the zoning restriction's effect on the Property, and the short-term, long-term, and cumulative effects of a variance on the neighborhood, the community and on the public interests.

The existing building was constructed in the late 1980s and was conforming to the zoning ordinance at the time of construction. The proposed addition complies with all required setbacks and offsets and north portion of the building that is nonconforming to the offset requirement is not altered. The proposal would eliminate a nonconforming accessory structure from the property (carport) and create a simplified ingress and egress plan. The purpose of a zoning provision limiting the expansion of nonconforming structures is to eliminate such structures and bring properties into compliance over time. However, the existing structure was significantly remodeled

in 2018 to accommodate a new use and is not in such a state to where removal of the structure would be appropriate. Therefore, it would be unnecessarily burdensome to prohibit an expansion that conforms to the required setback and offsets of the zoning district. In addition, the proposed expansion would not appear to negatively affect the surrounding properties or community.

2. Unique Property Limitations. The Property contains unique limitations that create an unnecessary hardship, such as steep slopes or wetlands that prevent compliance with the ordinance. The circumstances of an Owner/Petitioner (growing family, need for a larger garage, financial concerns etc.) are not a factor. Property limitations common to other properties in the area are not unique.

The property is unique in that it is part of a highly developed shopping center, with shared parking and easement agreements with the property to the north that allow for better traffic flow. The existing building, which met the offset requirement at the time of construction, was pushed as far north as possible to presumably allow for more parking and aisle space to the south, which faces Bluemound Road, and to allow for better traffic flow within the shopping complex.

3. No Harm to the Public Interest. A variance may not be granted which results in harm to public interests. The Board should review the purpose of the ordinance and related statutes in order to identify public interests. The Board must consider the short-term and long-term impacts of the proposal and the cumulative impacts of similar projects on the interests of the neighbors and the community. The focus should focus be on the general public interest, rather than the narrow interests or impacts on neighbors, patrons or residents in the vicinity of the project.

The proposal will remove a nonconforming carport and eliminate the narrow traffic flow that currently exists on the site to access the carport. The proposal does not appear to have any impact to surrounding properties, the community or natural resources.

Enclosures: Civil and Landscape Plans, Building Plans, Petitioner Comments

Town of Brookfield

645 N. Janacek Road

Brookfield, WI 53045

(P) 262-796-3760

Email: planning@townofbrookfield.com



VARIANCES AND APPEALS TO THE TOWN OF BROOKFIELD ZONING BOARD OF APPEALS

Office Use Only: Fee Pd: (\$300) ____ ATF: Y____ N____ Receipt No. _____ Zoning Districts _____
Application is hereby made for a Variance and/or Appeal from the following sections:

Address of Subject Property 19000 W Bluemound Road

Tax Key Number(s) BKFT1124999003

Legal Description Parcel 2 of Certified Survey Map No. 5136

19000 HQ LLC (MLG Capital) 19000 W Bluemound Road Brookfield WI 53045 () 262-364-5534
Owner Mailing Address City State Zip Phone No.

Michael Jagodinski, CFO

Applicant Mailing Address City State Zip Phone No.
(if different from above) Email address mjagodinski@mlgcompanies.com

Describe the proposed construction/request and use in detail:

MLG would like to build a building addition however parts of the existing building encroach
into the rear setback. The new addition will not encroach any setback. There will be no use
change.

Complete the following sections.

A **Variance** may be sought where a modification to an ordinance provision may be required where the literal application of the provision would result in an unnecessary hardship to a property. The request must be justified by the applicant using **ALL** of the following criteria in accordance with the Town of Brookfield Zoning Code. The applicant is responsible for justifying each variance type requested. **Attach additional sheets if necessary.**

Describe how the proposal is consistent with the purpose and intent of the District regulations in which the development is located and how the granting of a variance would not allow for a use that is otherwise not a stated permitted, accessory or conditional use of the District.

The proposed variance is consistent with the purpose and intent of the regulations of the district that this development is located. More specifically, the existing Use is a permitted use and the variance is only necessitated by the fact that the current ordinance has been modified to require a greater setback than that required when the original Brennan's Market building was originally built.

Describe the exceptional, extraordinary or unusual circumstances or conditions that apply to the lot or parcel, structure, use or intended use that do not apply generally to other properties of uses in the same district.

There are exceptional circumstances to this particular lot/structure, given the modification to the current ordinance for setbacks within this district are now more restrictive than when the original building was constructed. As such, it would be technically considered a legal non-conforming structure due to it not falling within the current setback requirements.

Describe how the request being made is not due to economic hardship and/or is not a self-imposed hardship.

The variance is not predicated on economic hardship but rather a pre-existing condition that causes the existing building to no longer be in conformance with the current updated ordinance for building setbacks.

Describe how the granting of the variance will not adversely affect the general public interest/welfare or be detrimental to nearby properties/improvements or the natural resources in the area. Lack of local opposition does not mean a variance will not harm the public interest.

The proposed variance will not create a substantial detriment to adjacent property or materially impair or be contrary to the purpose or spirit of this chapter of public interest but should in fact, serve as a benefit to the adjacent properties as an enhancement and increased vitality to the district. The building encroachment is an existing condition and will not be made worsened granting the variance

ITEMS THAT MUST ACCOMPANY ALL VARIANCES:

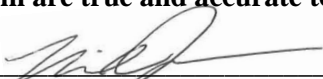
1. One electronic copy of an **accurate and scaled** Plat of Survey prepared by a Professional Land Surveyor showing all of the information required under S. 17.02(8) for a building permit. Building plans, grading plans, cost estimates, etc may also be required.
2. The required filing fee, payable to the Town of Brookfield, and a Professional Reimbursement Form signed by the property owner.
- Application must be **complete** upon submittal. Once the public notice has been sent, **no changes to the request may be made**. If any changes or deviations from the original application are desired after the public notice has been sent, a new application will be required.
- Submittal and subsequent review of this application may include a site inspection. Please advise the staff if dogs are not secured on the site and /or if dogs would be a problem during the inspection. By signing this form, the owner or his/her authorized agent is giving their consent for the Town of Brookfield or their designee to inspect the site as necessary and related to this application even if the property has been posted against trespassing pursuant to Wis. Stat.

ITEMS THAT MUST ACCOMPANY ALL APPEALS REGARDING ADMINISTRATIVE DECISIONS:

1. Documentation that the appeal has been made within thirty (30) days from the date of the decision of the building inspector, zoning administrator, or any administrative official.
2. Written explanation specifying the grounds of the appeal. Specific references to the staff's decision (including a copy of any written decision), applicable sections of the ordinance, and any relevant statutes and/or case law shall be included.

3. Name and address of the appellant or applicant and all abutting and opposite property owners of record.
4. A Plat of Survey prepared by a Professional Land Surveyor showing all of the information required under S.17.02(8) for a building permit.
5. Additional information required by the Town Plan Commission, Town Engineer, Zoning Board of Appeals or Building Inspector.
6. The required filing fee, payable to the Town of Brookfield, and a Professional Reimbursement Form signed by the property owner.


The undersigned owner hereby certifies that all of the above statements, information and attachments contained herein are true and accurate to the best of his or her knowledge and belief.



 Signature of the Owner- Michael J. Jagodinski CFO

8/5/2025

 Date



 Signature of the Applicant - Michael J. Jagodinski CFO

8/5/2025

 Date

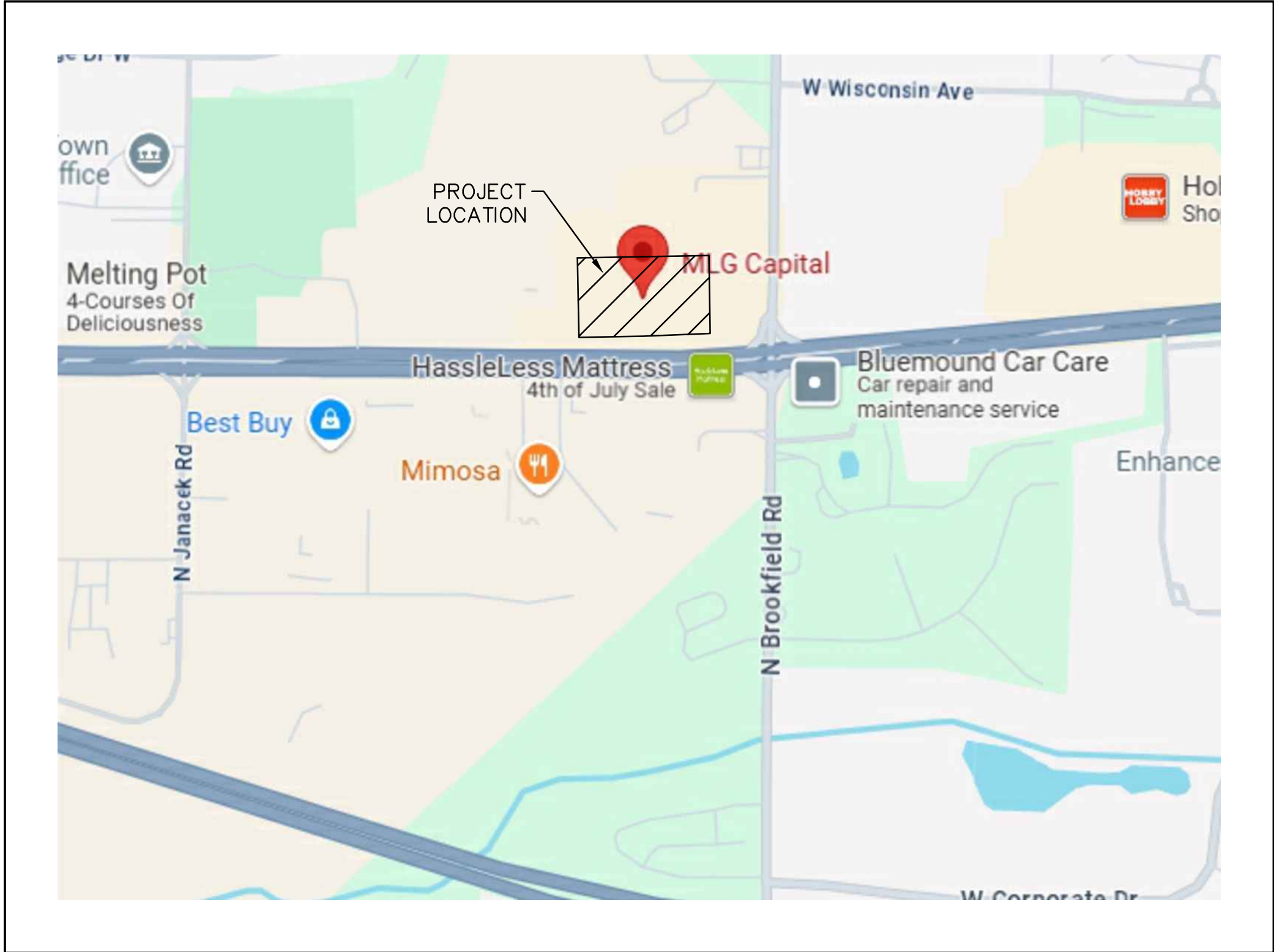
 Staff member receiving the application

 Date

NOTES:

SITE CIVIL AND LANDSCAPE PLANS
FOR
MLG CAPITAL ADDITION
19000 WEST BLUEMOUND ROAD, SUITE A
BROOKFIELD, WI

VICINITY MAP



PLAN INDEX	
SHEET NO.	DESCRIPTION
C000	TITLE SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C201	FIRE TRUCK ACCESS PLAN
C300	GRADING & UTILITY PLAN
C400	SITE DETAILS
C500	SPECIFICATIONS
L100	LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS

ENGINEER AND LANDSCAPE ARCHITECT:



CREATIVITY BEYOND ENGINEERING

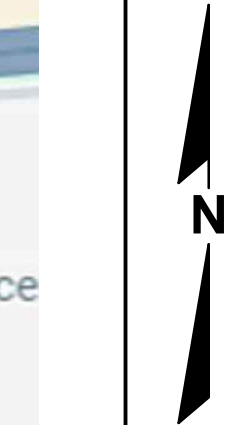
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CHRISTOPHER WHITE, P.E.
PROJECT MANAGER
PH.: (262)–317–3286
EMAIL: CHRISTOPHER.WHITE@RASMITH.COM

ROB WILLIAMS, PLA, ASLA
LANDSCAPE ARCHITECT
PH: (262) 317–3270
ROB.WILLIAMS@RASMITH.COM

DEVELOPER / OWNER:

MLG CAPITAL
19000 WEST BLUEMOUND ROAD, SUITE A
BROOKFIELD, WI 53045



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PLAN DATE: 07/23/2025

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

MLG CAPITAL BUILDING ADDITION
TOWN OF BROOKFIELD, WI

TITLE SHEET

**PRELIMINARY
NOT FOR
CONSTRUCTION**

© COPYRIGHT 2025
R.A. Smith, Inc.
DATE: 07/23/2025
SCALE: N.T.S.
JOB NO. 3250112
PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.
DESIGNED BY: MAF
CHECKED BY: CBW
SHEET NUMBER
C000

ALTA/NSPS LAND TITLE SURVEY

KNOWN AS: 19000 W. BLUEMOUND ROAD, BROOKFIELD, WISCONSIN

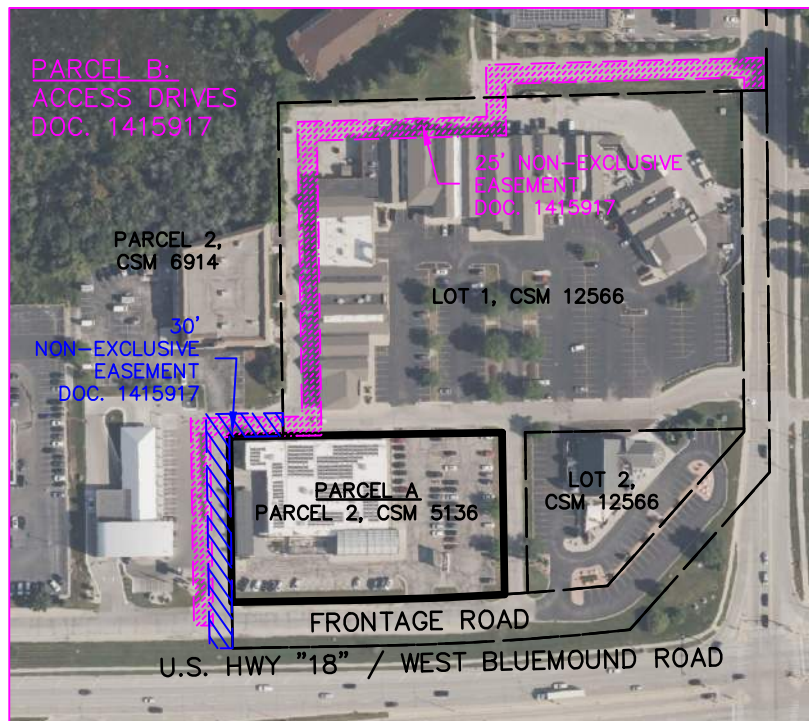
PARCEL A:

Parcel 2 of Certified Survey Map No. 5136, being a part of the Northeast 1/4 of the Southeast 1/4 of Section 29, in Township 7 North, Range 20 East, in the Town of Brookfield, County of Waukesha, State of Wisconsin, recorded in the Office of the Register of Deeds for Waukesha County on January 28, 1987 in Volume 42 of Certified Survey Maps on Pages 71 to 73 inclusive, as Document No. 1399947.

PARCEL B: (SHOWN IN DETAIL)

Non-exclusive easement for the benefit of Parcel A created by Restrictive Covenant and Easement Agreement, dated October 6, 1987 and recorded October 12, 1987 as Document No. 1451917, for ingress and egress as provided for therein.

Prepared for: MLG DEVELOPMENT
Survey No: 169793-KAC



A. Basis of Bearings

Bearings are based on the East line of the Southeast 1/4 of Section 29, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin, which bears South 00°26'01" East, as shown on Certified Survey Map No. 5136.

B. Title Commitment

This survey was prepared based on Chicago Title Insurance Company, title commitment number CO-6315, Revision D, commitment date September 26, 2017, which lists the following easements and/or restrictions from schedule B-II:

1-5, 9, and 19-30 - **NOT SURVEY RELATED.**

6-8, 31, and 32 - **VISIBLE EVIDENCE SHOWN, IF ANY.**

17 - **INTENTIONALLY DELETED FROM TITLE COMMITMENT.**

10. Sign Easement Agreement recorded on November 2, 2005, as Document No. 3333409. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

11. Utility Easement recorded on April 19, 1911 as Document No. 74955. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

12. Utility Easement recorded on December 9, 1921 in Volume 176 of Deeds at page 145, as Document No. 120139. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

13. Utility Easement recorded on December 23, 1927 as Document No.154949. - **DOCUMENT NOT PROVIDED.**

14. Utility Easement recorded on March 18, 1953 in Volume 597 of Deeds at page 67, as Document No. 377695. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

15. Access Restriction recorded on August 10, 1951 in Volume 553 of Deeds at page 275, as Document No. 354772. - **IT LIMITS ACCESS TO AN OTHERWISE ABUTTING RIGHT OF WAY - ITS LOCATION IS SHOWN.**

16. Access Authorization recorded on August 16, 1983 in Reel 560, Image 327, as Document No. 1225599. - **IT LIMITS ACCESS TO AN OTHERWISE ABUTTING RIGHT OF WAY - ITS LOCATION IS SHOWN.**

18. Restrictions, covenants, conditions and easements recorded on October 12, 1987 in Reel 946, Image 1247, as Document No. 1451917. but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

33. Rights of utility companies to maintain their facilities as referenced on the ALTA/NSPS Land Title Survey prepared by The Sigma Group under date of July 12, 2017 and last revised August 23, 2017 as Project No. 17013. - **DOCUMENT NOT PROVIDED.**

34. Consequences, if any, due to the location of the northern access drive along the West lot line which does not appear to comply with Section 3.4(b) of the Restrictive Covenant and Easement Agreement recorded as Document No. 1451917 and referenced on the ALTA/NSPS Land Title Survey prepared by The Sigma Group under date of July 12, 2017 and last revised August 23, 2017 as Project No. 17013. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

C. Flood Note

According to flood insurance rate map of the Waukesha County Unincorporated Areas, community panel number 55133C0217H, effective date of October 19, 2023, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain). Flood Hazard Impact is subject to map scale uncertainty.

D. Parking Spaces

There are 88 total parking spaces consisting of 86 regular and 2 handicapped parking spaces marked on this site.

E. Elevations

Elevations refer to NAVD88 Datum. Starting Benchmark: 871.26', Reference benchmark for East corner of Section 29-7-20 - Chiseled Cross on Hydrant Nozzle

F. Municipal Zoning

 (Information obtained by Surveyor)

The zoning information listed below is taken from Town of Brookfield- site is zoned B-2 Limited General Business District

Front setback = 50'

Side yard setbacks (offset) = 15'

Maximum height of principal building = 45'

G. Notes

As to Table A item 11

Surveyor's responsibility to coordinate markings shall be limited to one marking request to 811 (national "call before you dig" number) based on the property address, as provided by the client.

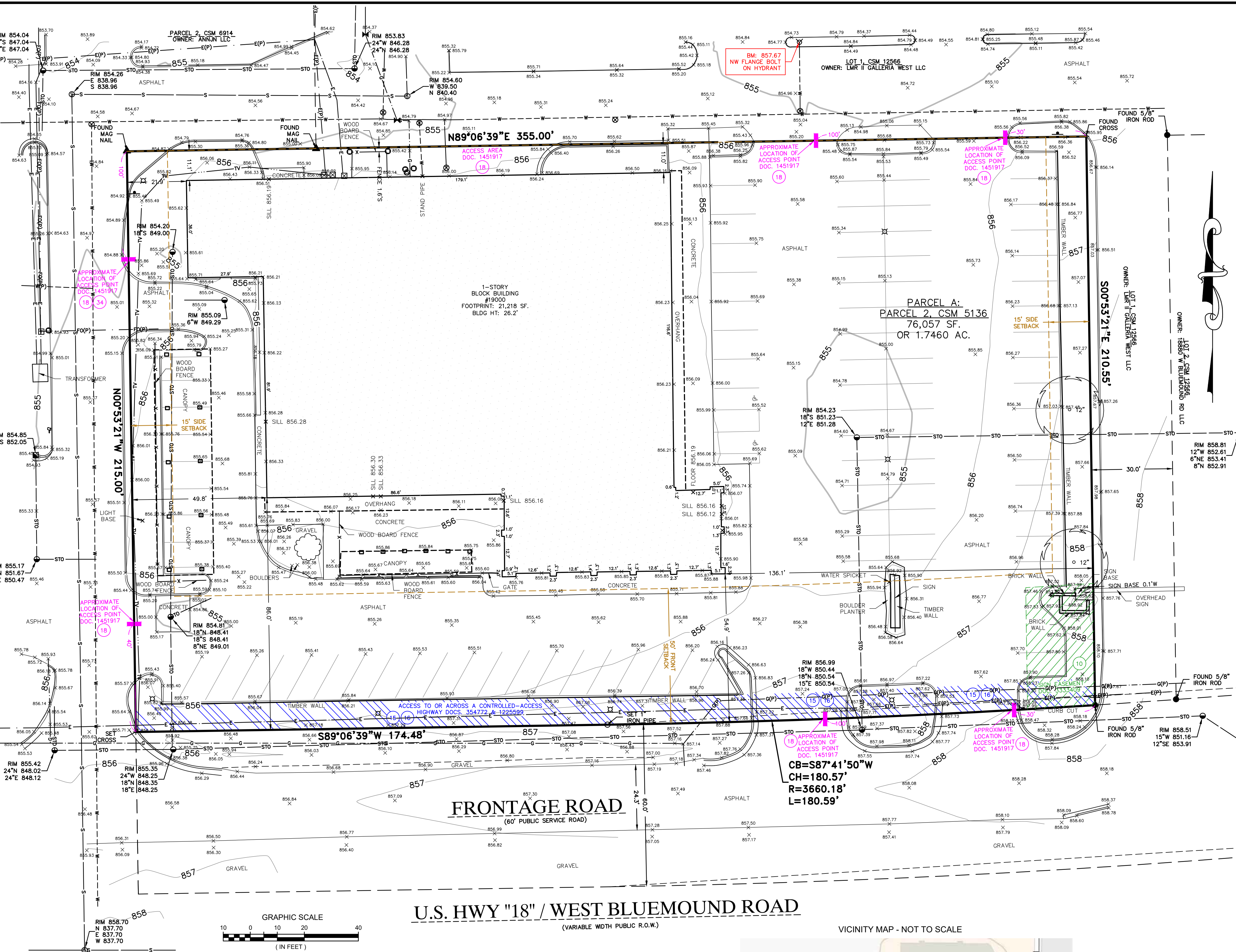
Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked within will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response.

As of the field date indicated below in certificate (most recent site visit/inspection), it appears some underground utilities were not marked. This affected the surveyor's assessment of the location of the utilities resulting in partial illustration and/or mapping per plan. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

There is no visible evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

There are no proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction or observed in the process of conducting the fieldwork.

There is no visible evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.



To: 19000 HQ, LLC, a Wisconsin limited liability company; Park Bank, its successors and/or assigns; Three B Land Company, a Wisconsin general partnership; and Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b), 13, 16, and 17 of Table A thereof. The fieldwork was completed on June 24, 2025.

Date of Plat or Map: June 25, 2025

I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.



Eric R. Sturm
Professional Land Surveyor
Registration Number S-2309
eric.sturm@rasmith.com

○ BOLLARD	○ SANITARY MANHOLE
+ SOL. BORING/MONITORING WELL	○ SANITARY CLEANOUT OR SEPTIC VENT
✱ MAIL BOX	○ SANITARY INTERCEPTOR MANHOLE
✱ SIGN	○ MISCELLANEOUS MANHOLE
✱ AIR CONDITIONER	○ WATER VALVE
✱ CONTROL BOX	○ WATER SERVICE CURB STOP
✱ TRAFFIC SIGNAL	○ WATER MANHOLE
✱ IRRIGATION CONTROL BOX	○ WELL
✱ CABLE PEDESTAL	○ WATER SURFACE
✱ POWER POLE	○ WETLANDS FLAG
✱ GUY POLE	○ MARSH
✱ LIGHT POLE	○ CONIFEROUS TREE
✱ SPOT/YARD/PEDESTAL LIGHT	○ SHRUB
○ HANDICAPPED PARKING	— EDGE OF TREES
○ PULL BOX	— SANITARY SEWER
○ ELECTRIC MANHOLE	— STORM SEWER
○ ELECTRIC PEDESTAL	— WATERMAIN
○ ELECTRIC METER	— MARKED GAS MAIN
○ ELECTRIC TRANSFORMER	— E-MARKED ELECTRIC
○ TELEPHONE MANHOLE	— OVERHEAD WIRES
○ TELEPHONE PEDESTAL	— BUREAU ELEC. SERV.
✱ GAS VALVE	— T-MARKED TELEPHONE
✱ GAS METER	— TV-MARKED CABLE TV LINE
○ GAS WARNING SIGN	— F-MARKED FIBER OPTIC
○ STORM MANHOLE	— UTILITY PER PLAN
○ ROUND INLET	— INDICATES EXISTING
○ SQUARE INLET	— INDICATES EXISTING
○ STORM SEWER END SECTION	— SPOT ELEVATION



DIGGERS HOTLINE TICKET NOS: 20252301795 & 1796

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

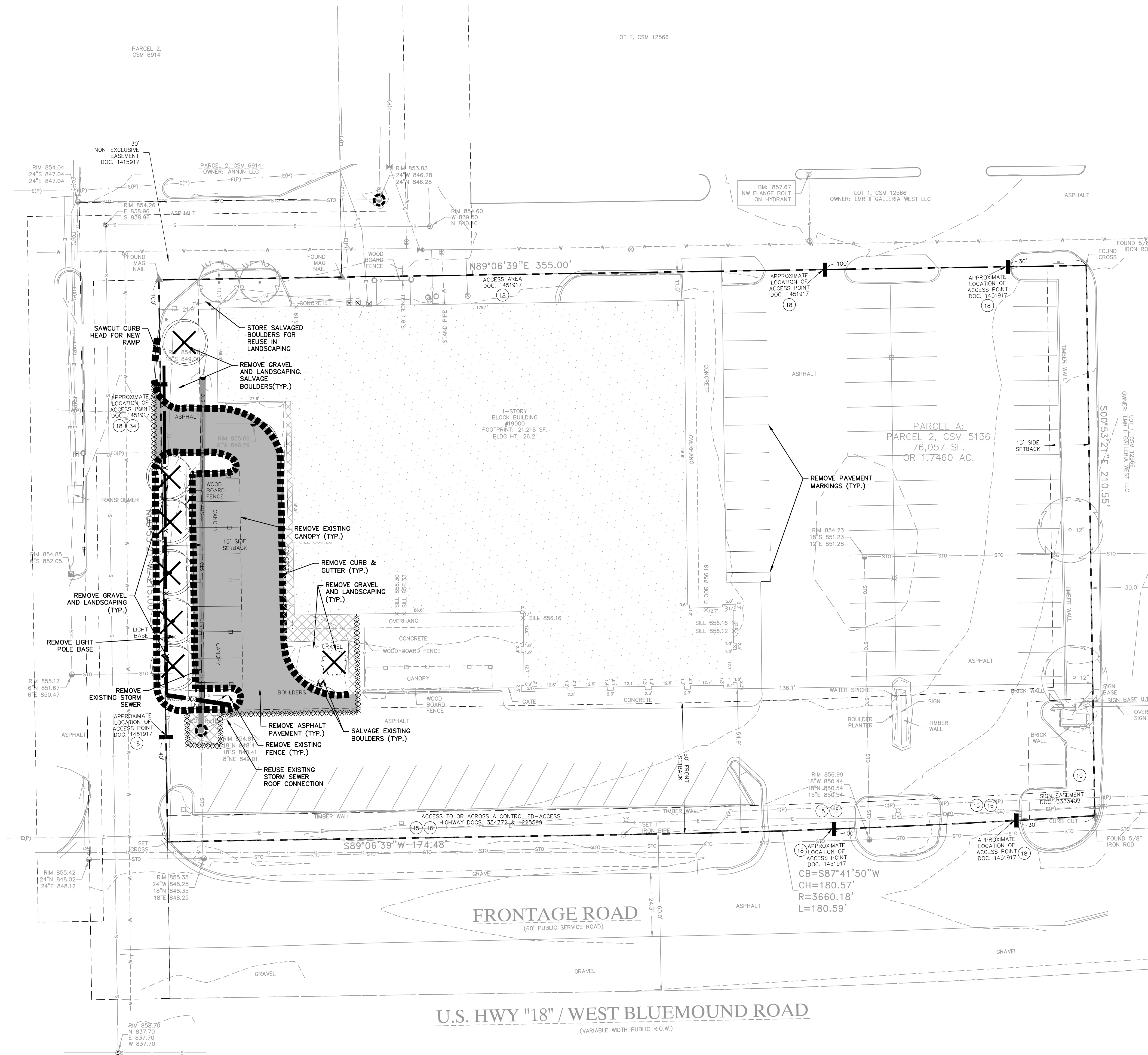
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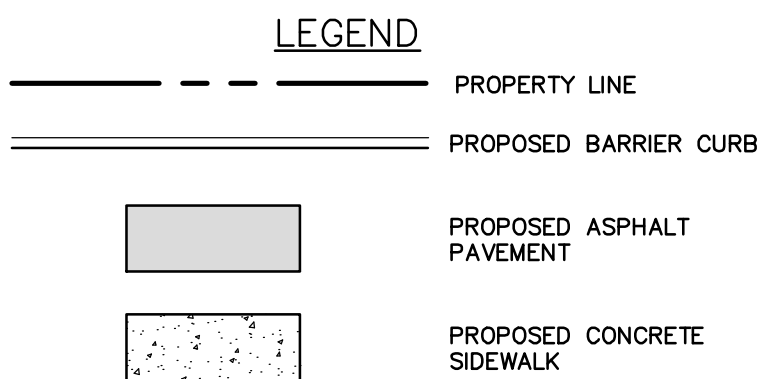
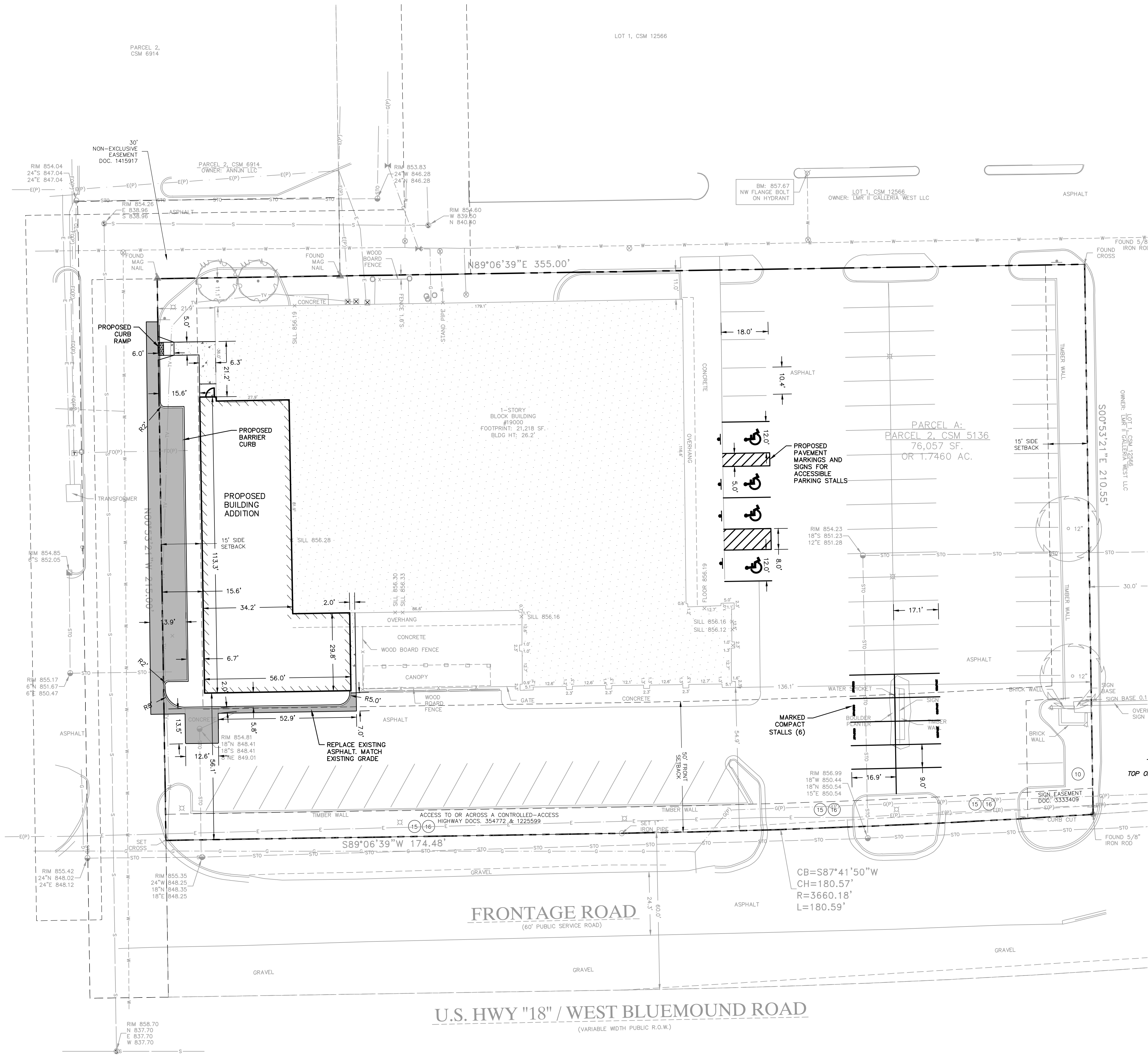
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raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

SHEET 1 OF 1





PARKING STATISTICS EXISTING CONDITIONS:

REGULAR STALLS	86
ADA STALLS	2
TOTAL	88

PARKING STATISTICS PROPOSED CONDITIONS:

REGULAR STALLS	86
ADA STALLS	4
TOTAL	90

EXISTING CONDITIONS

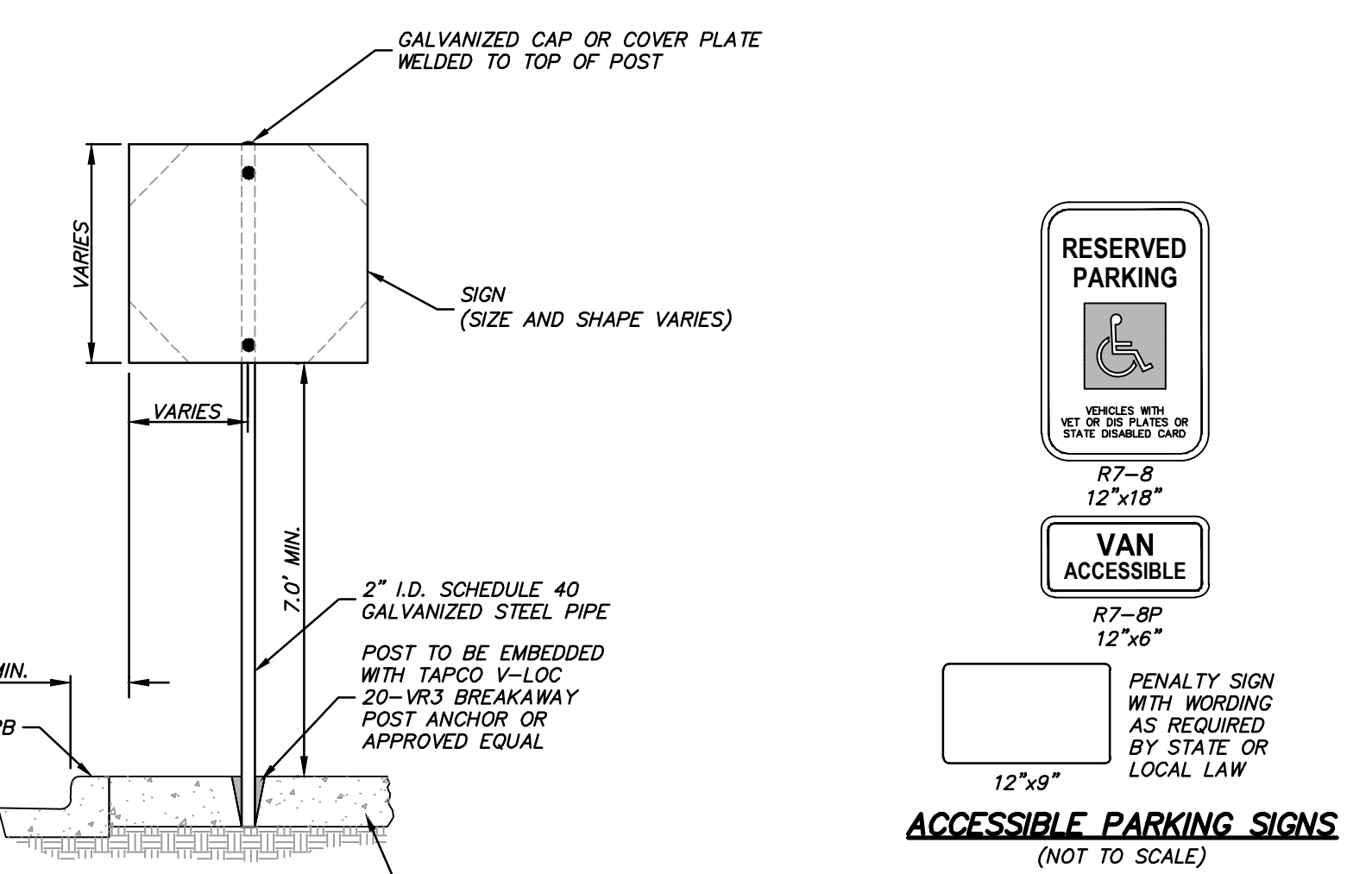
	SF	ACRES	COVERAGE
TOTAL SITE	76,057	1.74	
PERVIOUS SPACE	9,279	0.21	12.2%
IMPERVIOUS SPACE	66,778	1.53	87.8%

PROPOSED CONDITIONS

	SF	ACRES	COVERAGE
TOTAL SITE	76,057	1.74	
PERVIOUS SPACE	8,212	0.19	11.0%
IMPERVIOUS SPACE	67,845	1.55	89.0%

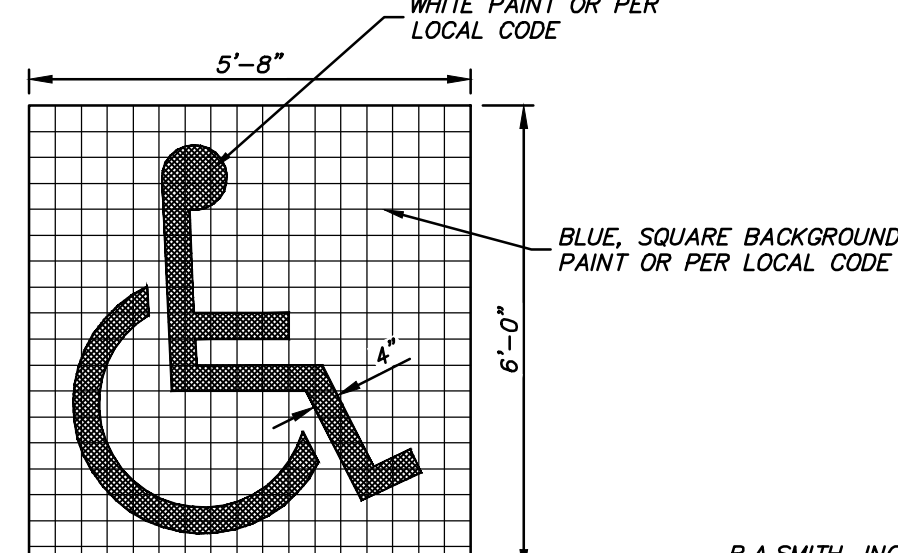
GENERAL NOTES:

- EXISTING TOPOGRAPHY OBTAINED BY raSmith JUNE 25, 2025.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF BROOKFIELD, WI EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PAVEMENT SECTIONS SHALL MATCH EXISTING PAVEMENT DESIGN OR APPROVED BY OWNER.



SIGN AND POST INSTALLATION - TYPE 1
FOR ALL SIGNS WITHIN THE CURB AROUND THE BUILDING (NOT TO SCALE)

- NOTES:**
- ALL SIGNS SHALL BE MOUNTED TO POSTS BY MEANS OF 5/16" BOLTS, HOLES 3/8" IN DIAMETER, DRILLED THROUGH BOTH SIDES OF POSTS PRIOR TO SIGN INSTALLATION.
 - ALL POST SHALL HAVE A GALVANIZED CAP OR COVER PLATE WELDED TO TOP OF POST.



ACCESSIBLE PAINTED SYMBOL DETAIL
(NOT TO SCALE)

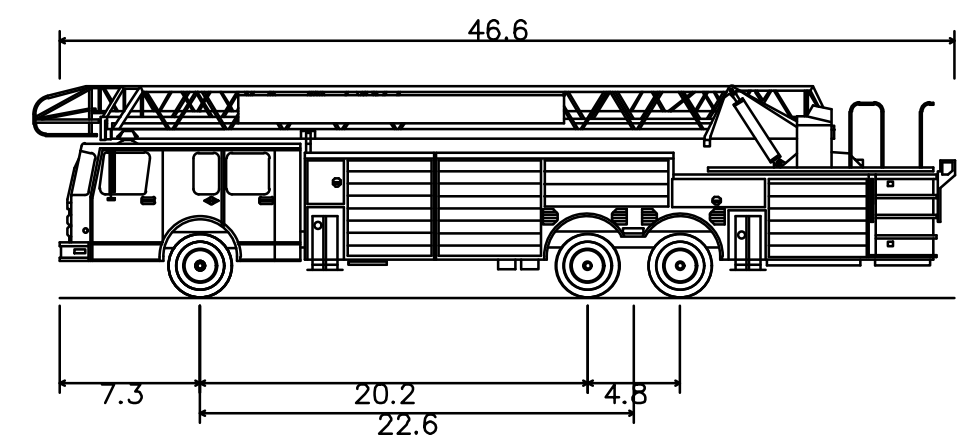
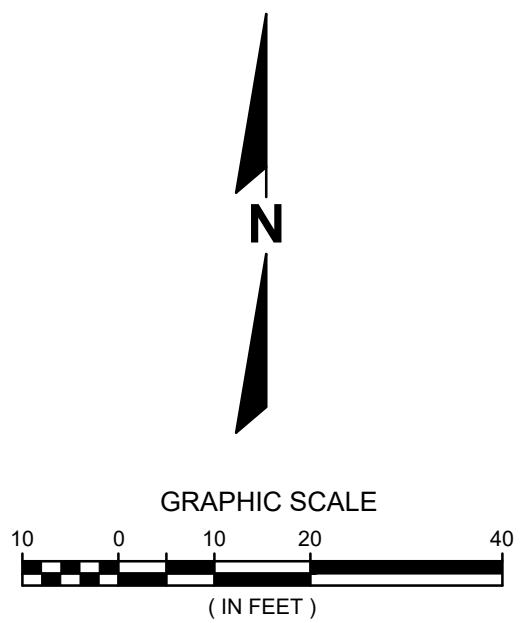
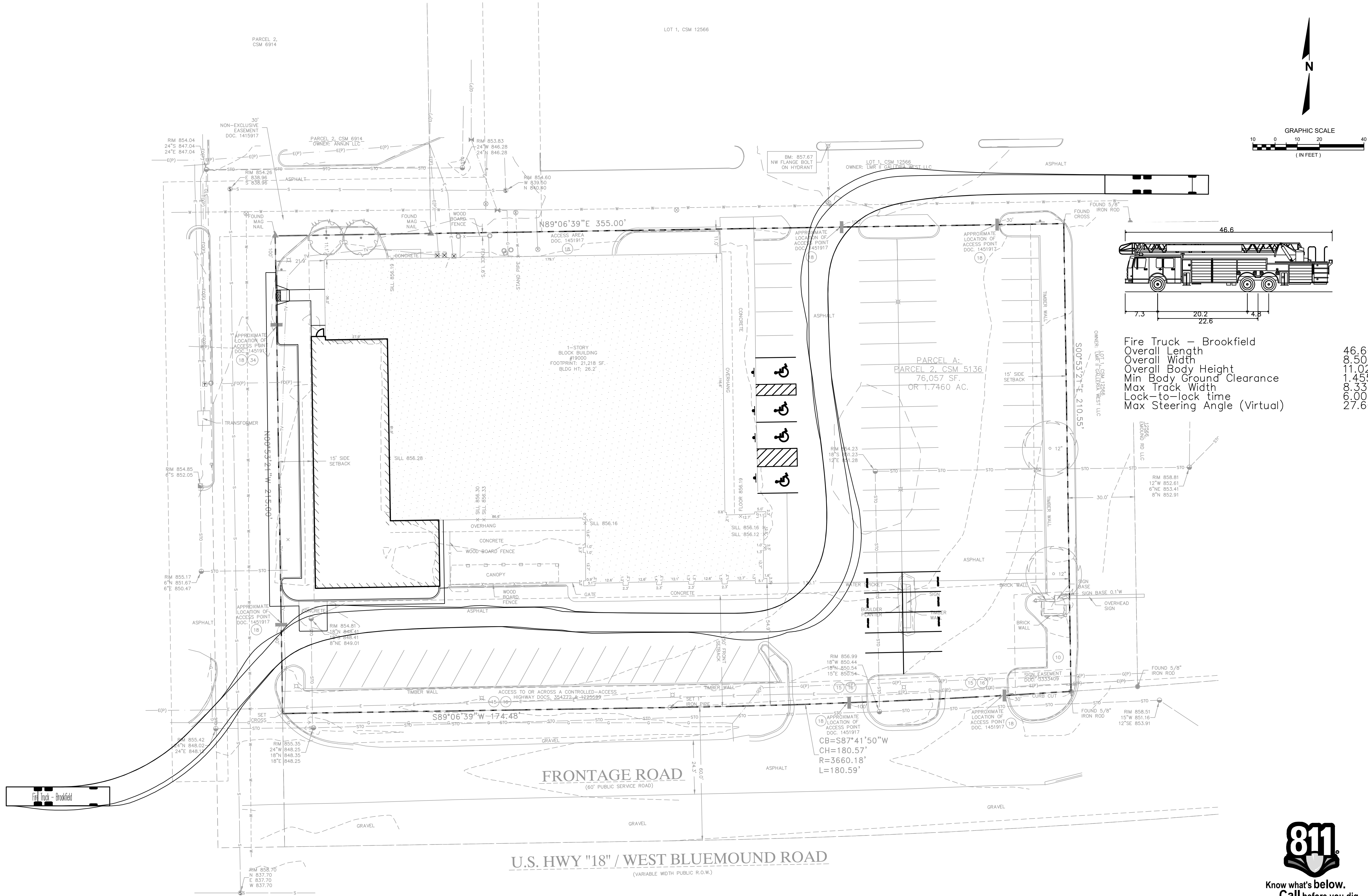


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DESCRIPTION	DATE	16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA
MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI		SITE PLAN	
PRELIMINARY NOT FOR CONSTRUCTION		© COPYRIGHT 2025 R.A. Smith, Inc. DATE: 07/23/2025 SCALE: 1" = 20' JOB NO. 3250112 PROJECT MANAGER: CHRISTOPHER WHITE, P.E. DESIGNED BY: MAF CHECKED BY: CBW	
SHEET NUMBER		C200	

P:\3250112\Draw\Sheets\3250112-T01.dwg, FIRE TRUCK ACCESS PLAN, 7/23/2025 9:16:08 AM, Cbw



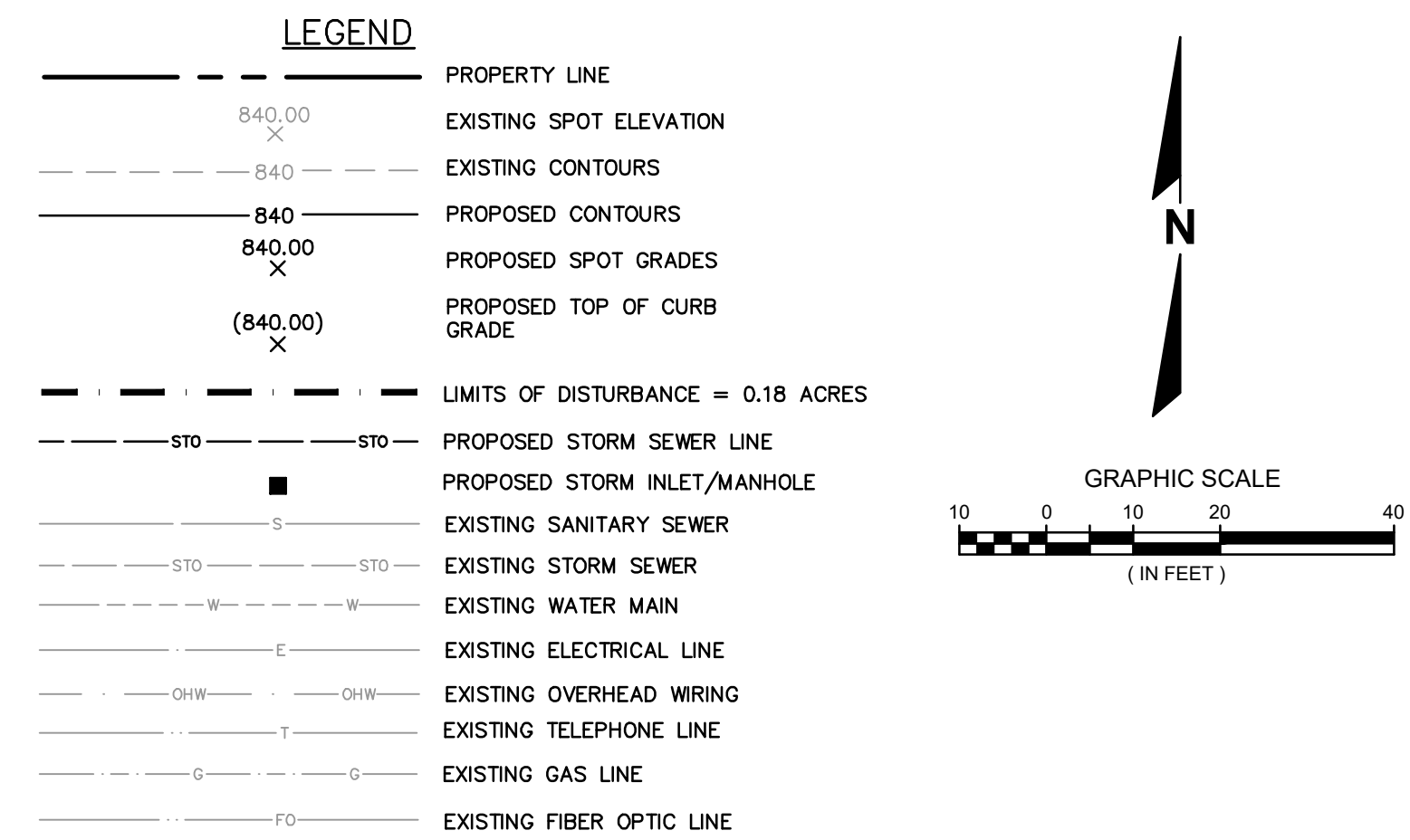
Fire Truck – Brookfield
Overall Length 46.600ft
Overall Width 8.500ft
Overall Body Height 11.025ft
Min Body Ground Clearance 1.455ft
Max Track Width 8.333ft
Lock-to-lock time 6.00s.
Max Steering Angle (Virtual) 27.60°



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raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI	
FIRE TRUCK ACCESS PLAN	
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JOB NO. 3250112	
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.	
DESIGNED BY: MAF	
CHECKED BY: CBW	
SHEET NUMBER	
C201	



- ## GENERAL GRADING NOTES:
1. ALL SIDEWALKS TO BE SLOPED AT LESS THAN 5.0% AND NO MORE THAN 2.0% CROSS SLOPE.
 2. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
 3. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
 4. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. SEE SHEET C100 FOR PLACEMENT OF EROSION CONTROL FACILITIES.
 5. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
 6. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PAD AND PAVEMENT AREAS, SCARPING AND FINAL COMPACTOR OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
 7. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
 8. CONTRACTOR TO VERIFY FIRST FLOOR ELEVATION AND CONTACT ENGINEER IF DISCREPANCIES ARE FOUND.

- ### GENERAL UTILITY NOTES:
1. CONTRACTOR TO MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER MAIN CROSSES ABOVE SEWER. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER SERVICE CROSSES BELOW SEWER.
 2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
 3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH SPECIFIED STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY.
 4. CONTRACTOR TO CONFIRM AND VERIFY SITE LIGHTING PLAN WITH ARCHITECTURAL PLANS AND/OR MEP PLANS.
 5. CONTRACTOR TO INSTALL INLET PROTECTION AS STORM SEWER IS SET.
 6. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE, AND THE TOWN SPECIFICATIONS.
 7. CONTRACTOR SHALL NOTIFY THE TOWN, SANITARY DISTRICT NO. 4, AND FIELD STAFF A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION.

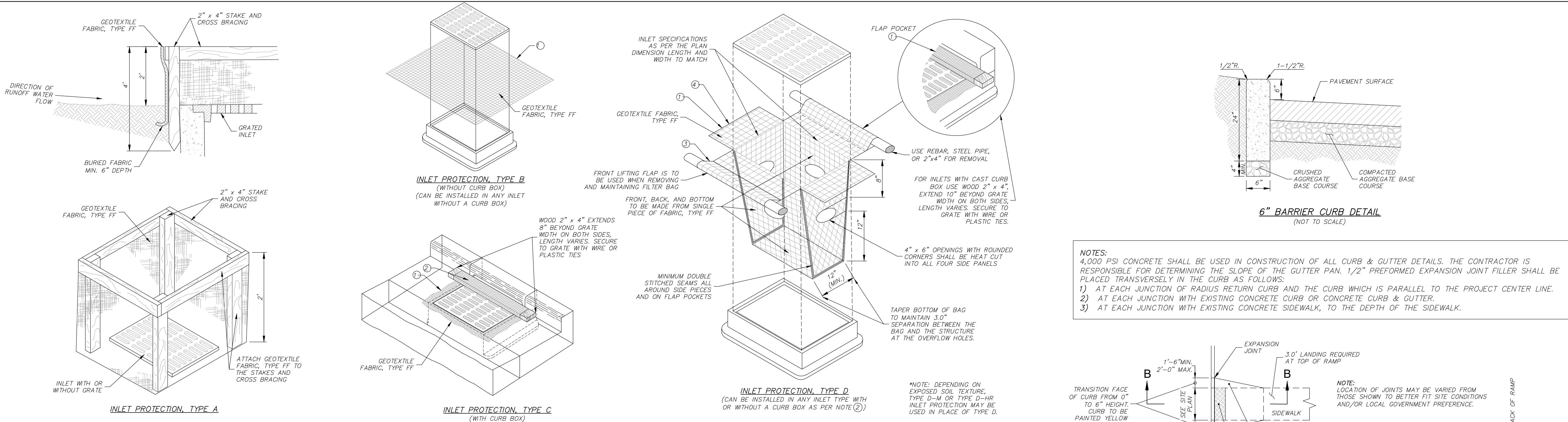


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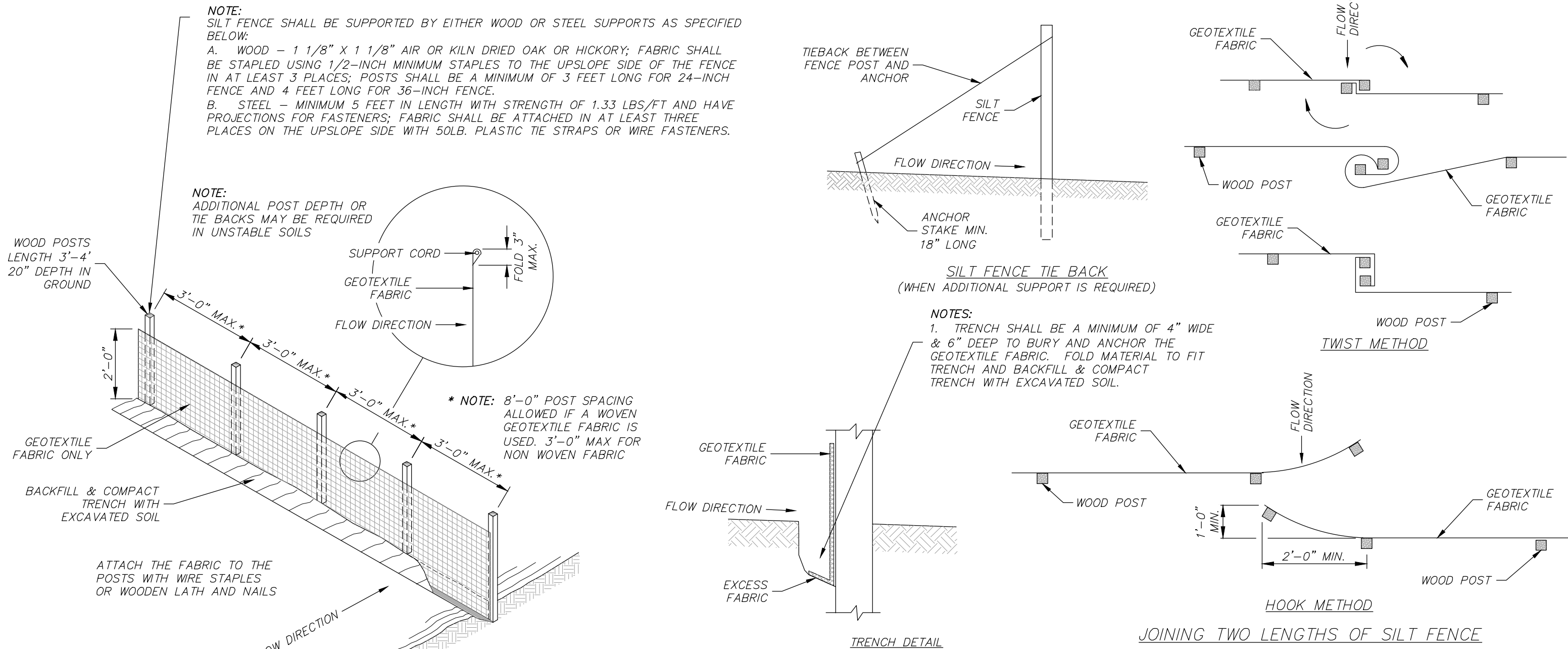
<p>MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI</p>		<p>raSmith CREATIVITY BEYOND ENGINEERING</p> <p>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</p> <p>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA</p>	DATE	DESCRIPTION
<p>GRADING & UTILITY PLAN</p>				
<p>PRELIMINARY NOT FOR CONSTRUCTION</p>				
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<p>DATE: 07/23/2025</p>				
<p>SCALE: 1" = 20'</p>				
<p>JOB NO. 3250112</p>				
<p>PROJECT MANAGER: CHRISTOPHER WHITE, P.E.</p>				
<p>DESIGNED BY: MAF</p>				
<p>CHECKED BY: CBW</p>				
<p>SHEET NUMBER</p>				
<p>C300</p>				



- GENERAL NOTES:**
- INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.
- TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.
- TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.
- TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN TYPE D INLET DEVICES CANNOT BE USED.
- TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS.
- TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET FILTERING IS NEEDED.
- TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
- GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.
- NOTES:**
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
 4. SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

- INSTALLATION NOTES:**
- TYPE B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP. HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINC THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.
- MAINTENANCE:**
- REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.
- INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.
- FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN STANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.
- REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- NOTES:**
1. SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
 2. SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 3. WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:
- | SLOPE | FENCE SPACING |
|-----------|---------------|
| < 2% | 100 FEET |
| 2 TO 5% | 75 FEET |
| 5 TO 10% | 50 FEET |
| 10 TO 33% | 25 FEET |
| > 33% | 20 FEET |
4. INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
 5. A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
 6. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
 7. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - A) TWIST METHOD—OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - B) HOOK METHOD—HOOK THE END OF EACH SILT FENCE LENGTH.
 8. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
 9. DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
 10. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
 11. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



MINIMAL COVER STORM INLET

USE NEENAH CASTING R-3067 WITH TYPE C GRATE AT ALL CURB INLET LOCATIONS.

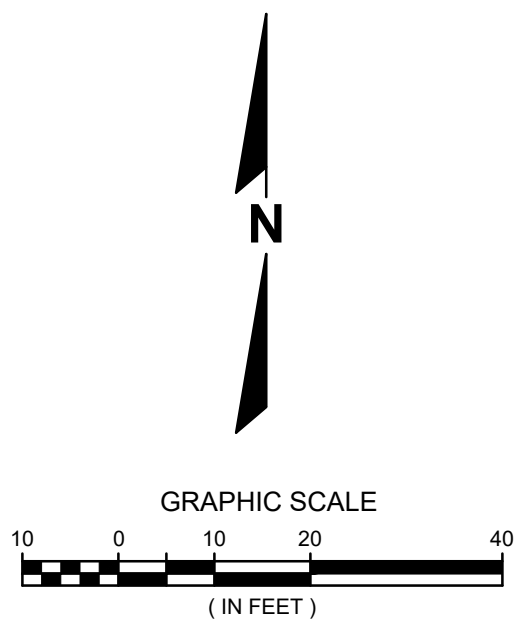
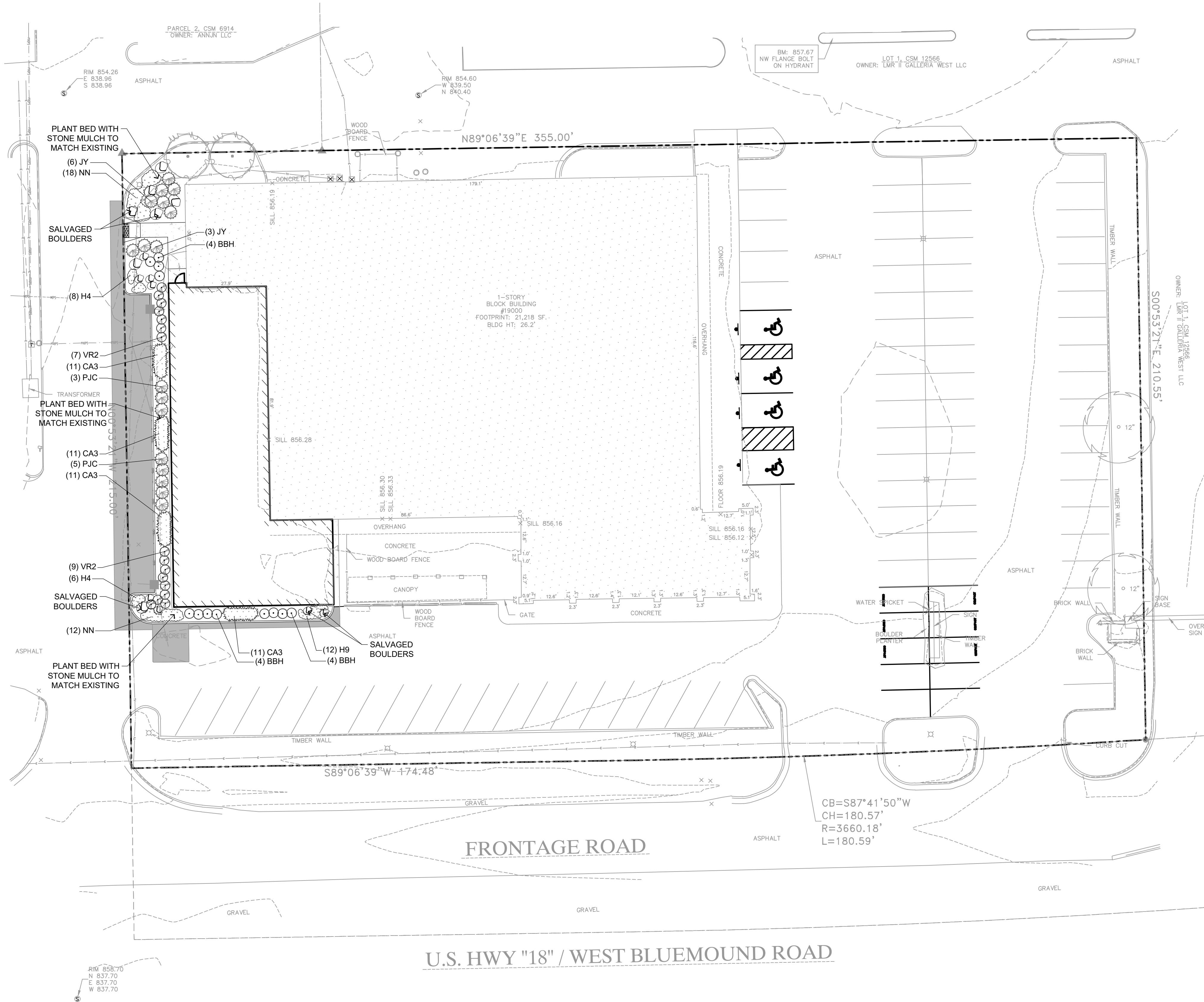
CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

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DATE					
<p>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</p> <p>raSmith CREATIVITY BEYOND ENGINEERING</p> <p>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA</p>					
<p>MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI</p> <p>SITE DETAILS</p>					
<p>PRELIMINARY NOT FOR CONSTRUCTION</p>					
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DIVISION 1 – GENERAL REQUIREMENTS		DIVISION 31 – EARTHWORK		DIVISION 32 – EXTERIOR IMPROVEMENTS		DIVISION 33 – UTILITIES			
01 41 00 – REGULATORY REQUIREMENTS		31 10 00 – SITE CLEARING & DEMOLITION		32 10 00 – WATER DISTRIBUTION		33 00 00 – SANITARY SEWERAGE			
<p>1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:</p> <p>a. WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS</p> <p>b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST</p> <p>c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)</p> <p>d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 381-387</p> <p>e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION</p> <p>f. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED PRODUCT LISTS (APL)</p> <p>g. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)</p> <p>h. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)</p> <p>i. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS</p> <p>j. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES</p> <p>k. MUNICIPALITY DEVELOPMENT STANDARDS</p> <p>l. COUNTY DEVELOPMENT STANDARDS</p>		<p>1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATTER INTERFERING WITH NEW CONSTRUCTION.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. CALL 811 TO NOTIFY UTILITY PROVIDERS, AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.</p> <p>4. CONDITION AND THESE REQUIREMENTS TO COMMENCING ANY CONSTRUCTION RELATED ACTIVITY.</p> <p>5. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.</p> <p>6. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.</p> <p>7. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.</p> <p>8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.</p> <p>9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.</p> <p>10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.</p> <p>11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.</p> <p>12. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER.</p> <p>13. VOIDS LEFT BY REMOVALS SHALL BE LEVELLED TO PREVENT PONDING OF WATER.</p> <p>14. REMOVE AND DEMOLISH MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE.</p> <p>RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.</p>		<p>1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPAIRING OF TOPSOIL.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND OBSERVATIONS.</p> <p>4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED AVOIDANCE OF WORK. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE.</p> <p>5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.</p> <p>6. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE. UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE WITHIN GREENSPACE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.</p> <p>7. EXCAVATION DEPTHS SHALL BE WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSISTENT IN ONE DIRECTION.</p> <p>8. DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDUM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING, SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING OF ADJACENT AREAS.</p> <p>11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SLOPE. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.</p> <p>12. TOPSOIL REPLACEMENT DEPTH SHALL NOT BE CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF SIX INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.</p> <p>13. TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 18" BY DRAINAGE DISTRICT. INSURE LONG TERM PLANT HEALTH. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.</p>		<p>1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALLS. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR GENERAL LOCATION AND DIMENSIONS SHOWN ON THIS PLAN. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR GENERAL LOCATION AND MATERIAL REFERENCE ONLY.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. THE CONTRACTOR SHALL PROCURE DETAILED DESIGN CALCULATIONS AND DRAWINGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED.</p> <p>4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.</p>		<p>1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 811, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>4. ALL PRIVATE WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW.</p> <p>6. DUCTILE IRON PIPE SHALL BE SDR 30, CLASS 150 CONFORMING TO AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.1.8.0 OF SSSWCW.</p> <p>7. POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO AWWA C901.</p> <p>8. COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO ASTM B88.</p> <p>9. BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.3.0.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B62.</p> <p>10. RATE VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.7.0 OF SSSWCW AND CONFORM TO AWWA C500.</p> <p>11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.8.0 OF SSSWCW AND CONFORM TO AWWA C504.</p> <p>12. VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.2.9.0 OF SSSWCW AND CONFORM TO ASTM A48. VALVE BOXES SHALL BE TYPE DD, SORREW TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.2.9.0 OF SSSWCW AND CONFORM TO ASTM A48.</p> <p>13. HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.2.6.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF TEE AND HAVE A GROUND WIRE TO CENTER DISTANCE OF 18 TO 21 INCHES.</p> <p>14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.2.2.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.</p> <p>15. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.</p> <p>16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.2.1.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS.</p> <p>17. TRENCH SECTION SHALL BE IN ACCORDANCE WITH SECTION 4.3.1.3 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.</p> <p>18. TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.</p> <p>19. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.</p> <p>20. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>21. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.</p> <p>22. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE, PRIVATE WATER MAIN PIPE, AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 400 FEET.</p> <p>23. PROPOSED WATER SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. CONNECTIONS TO EXISTING SANITARY SEWER MAINS SHALL BE MADE IN ACCORDANCE WITH SECTION 8.3.9.0 OF SSSWCW.</p> <p>24. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK.</p> <p>25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.15.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.16.0 OF SSSWCW AND CONFORM TO AWWA C851. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.</p>	
01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS		DIVISION 32 – EXTERIOR IMPROVEMENTS		33 10 00 – ASPHALT PAVING		33 30 00 – SANITARY SEWERAGE			
<p>1. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE WITH THIS PLAN.</p> <p>2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.</p> <p>3. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.</p> <p>5. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK.</p> <p>6. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE.</p> <p>7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.</p> <p>8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED.</p> <p>9. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.</p> <p>10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.</p> <p>11. REQUESTS FOR CLARIFICATION MUST BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES WILL BE ISSUED. OFFICIAL WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE.</p> <p>12. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS ISSUED.</p> <p>13. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS QUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.</p> <p>14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.</p>		<p>1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ASPHALT PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW SHALL BE FORMATTED USING WISDOT MIX DESIGN STANDARD DATA INPUT FORM/REPORT 249.</p> <p>4. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>5. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>6. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>7. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP. TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE.</p> <p>8. APPLICATION: TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION.</p> <p>9. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE. (NO MINUS).</p> <p>10. APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL./SQ.</p> <p>11. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED.</p> <p>12. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE.</p> <p>13. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p> <p>14. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p>		<p>1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>4. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS:</p> <p>a. SECTION 405 – CONCRETE PAVING</p> <p>b. SECTION 415 – CONCRETE PAVEMENT</p> <p>c. SECTION 416 – CONCRETE PAVEMENT REPAIR</p> <p>d. SECTION 601 – CONCRETE CURBING</p> <p>e. SECTION 602 – CONCRETE SIDEWALK AND PATIO PAVING</p> <p>5. CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS. WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.</p> <p>6. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>7. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M.</p> <p>8. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260.</p>		<p>1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 110, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>5. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.1.0.6 AND 8.4.1.4 OF SSSWCW.</p> <p>6. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.9.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.</p> <p>7. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.</p> <p>8. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.</p> <p>9. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.</p> <p>11. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR ALL BUILDING SANITARY SERVICE PIPES, UNLESS NOTED OTHERWISE.</p>			
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PROJECT MANAGER: CHRISTOPHER WHITE, P.E.		PROJECT MANAGER: CHRISTOPHER WHITE, P.E.		PROJECT MANAGER: CHRISTOPHER WHITE, P.E.		PROJECT MANAGER: CHRISTOPHER WHITE, P.E.			
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SHEET NUMBER		SHEET NUMBER		SHEET NUMBER		SHEET NUMBER			
C500		C500		C500		C500			



PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT
DECIDUOUS SHRUBS					
VR2	16	Kodak® Black Honeysuckle	Diervilla rivularis 'SMNDRSF'	15" HT	CONT
BBH	12	BoBo® Hydrangea	Hydrangea paniculata 'ILVOBO'	18" HT	CONT
EVERGREEN SHRUBS					
PJC	8	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallaye Compact'	18" SPD	CONT
JY	9	Youngstown Andorra Juniper	Juniperus horizontalis 'Youngstown'	18" SPD	CONT
ORNAMENTAL GRASSES					
CA3	44	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 GAL	CONT
PERENNIALS					
H9	12	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT
H4	14	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	1 GAL	POT
NN	30	Junior Walker™ Catmint	Nepeta x faassenii 'Novanepjun'	1 GAL	POT

DESCRIPTION

DATE

16745 W. Bluemound Road
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CREATIVITY BEYOND ENGINEERING

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MLG CAPITAL BUILDING ADDITION
TOWN OF BROOKFIELD, WI

SITE LANDSCAPE PLAN

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CONSTRUCTION

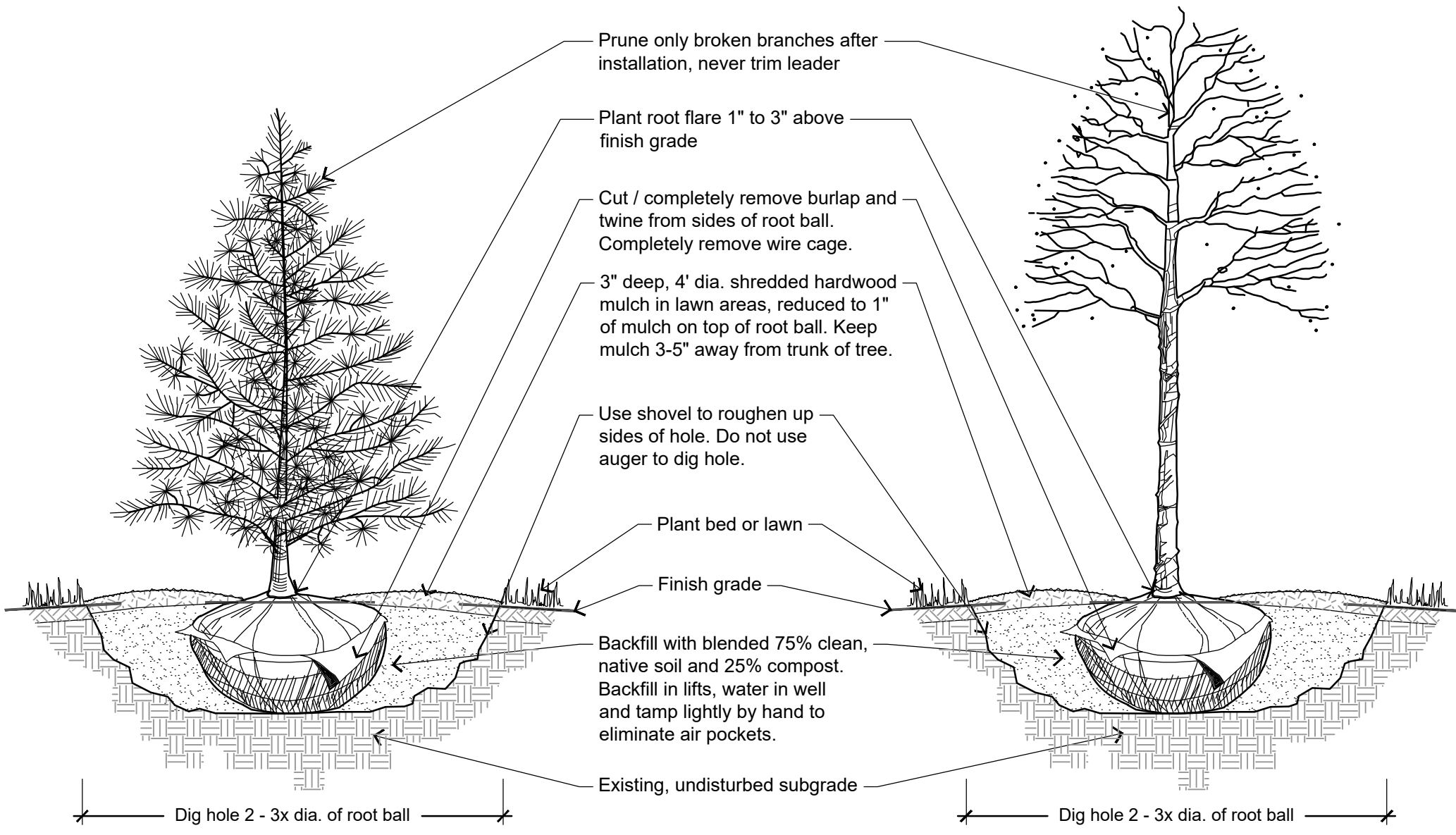
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SCALE: 1" = 20'
JOB NO. 3250112
PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.
DESIGNED BY: REW
CHECKED BY: REW

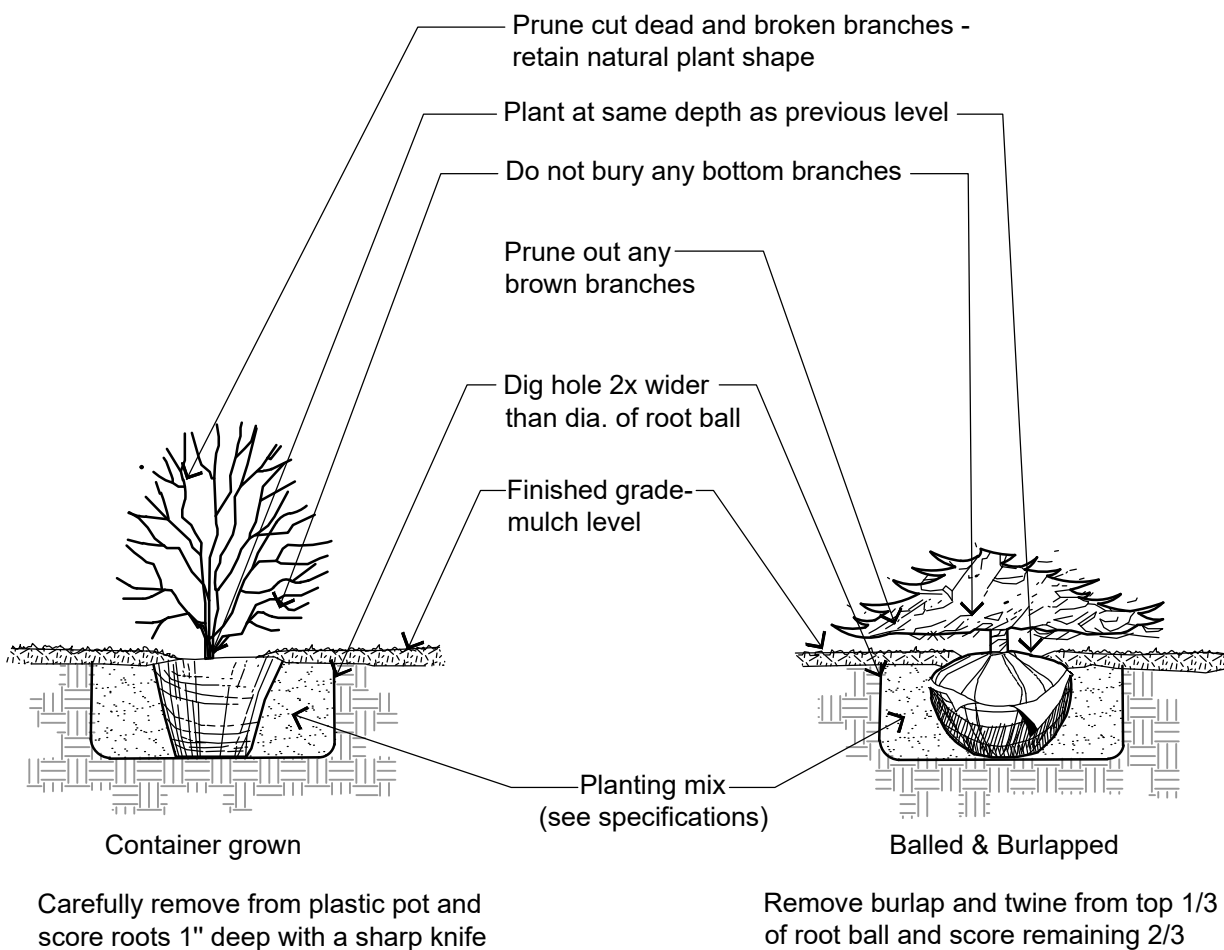
SHEET NUMBER
L100

PLANTING DETAILS

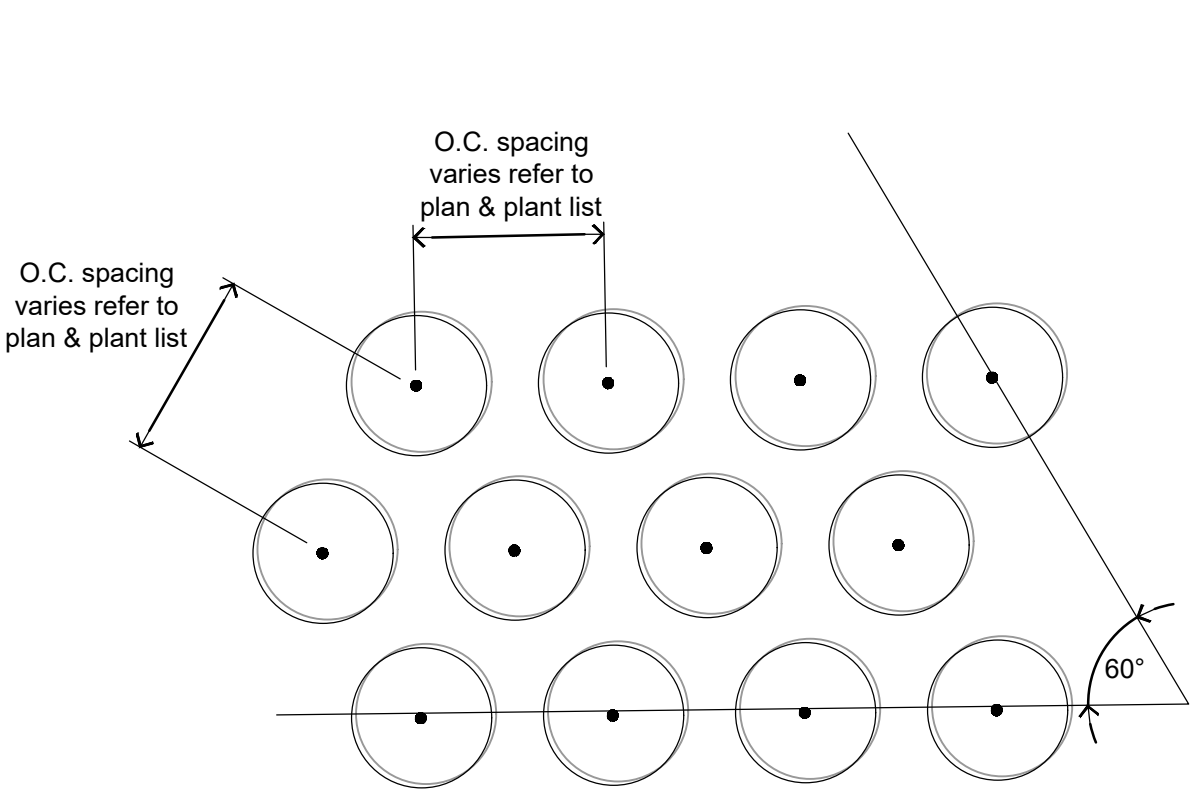


1 TREE PLANTING DETAIL
NOT TO SCALE

P-PL-TREE-07

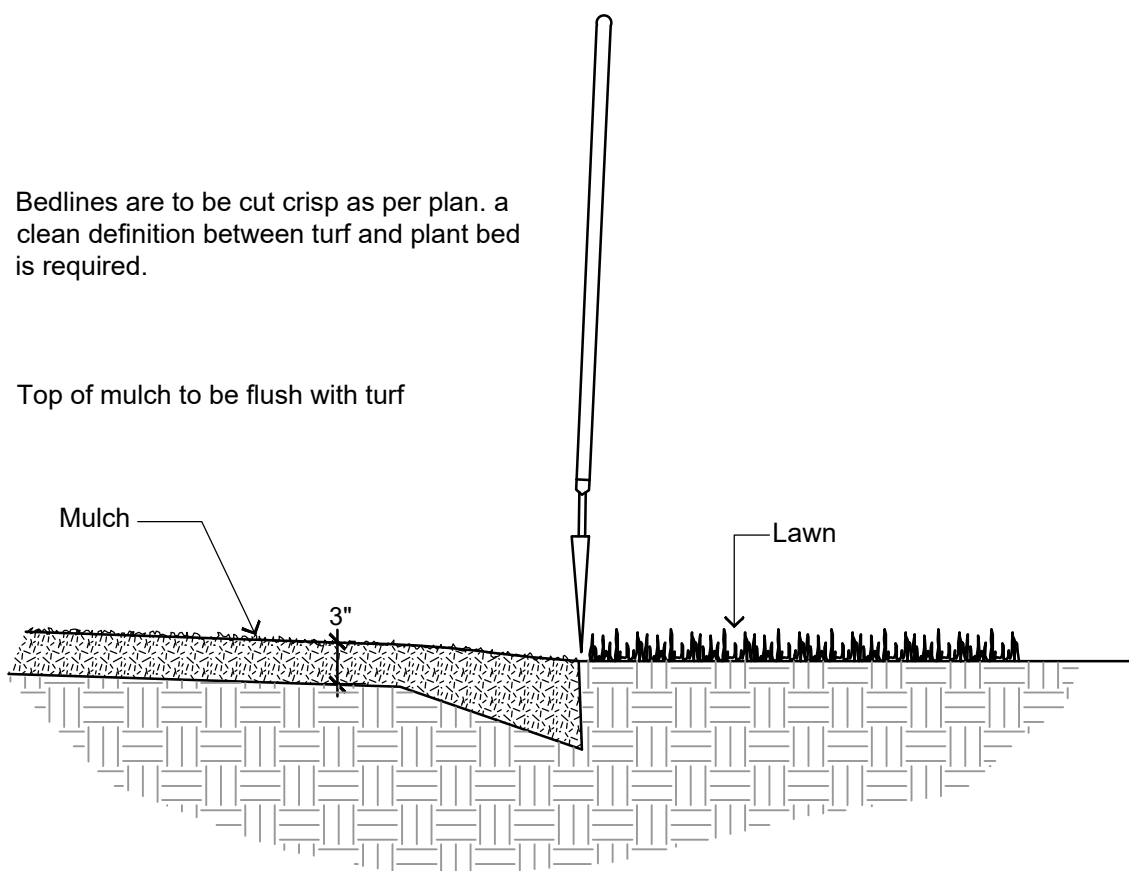


2 SHRUB PLANTING DETAIL
NOT TO SCALE



3 PLANTING LAYOUT
NOT TO SCALE

P-PL-PL-01



4 SHOVEL CUT PLANT BED EDGING DETAIL
NOT TO SCALE

P-PL-BDEG-01

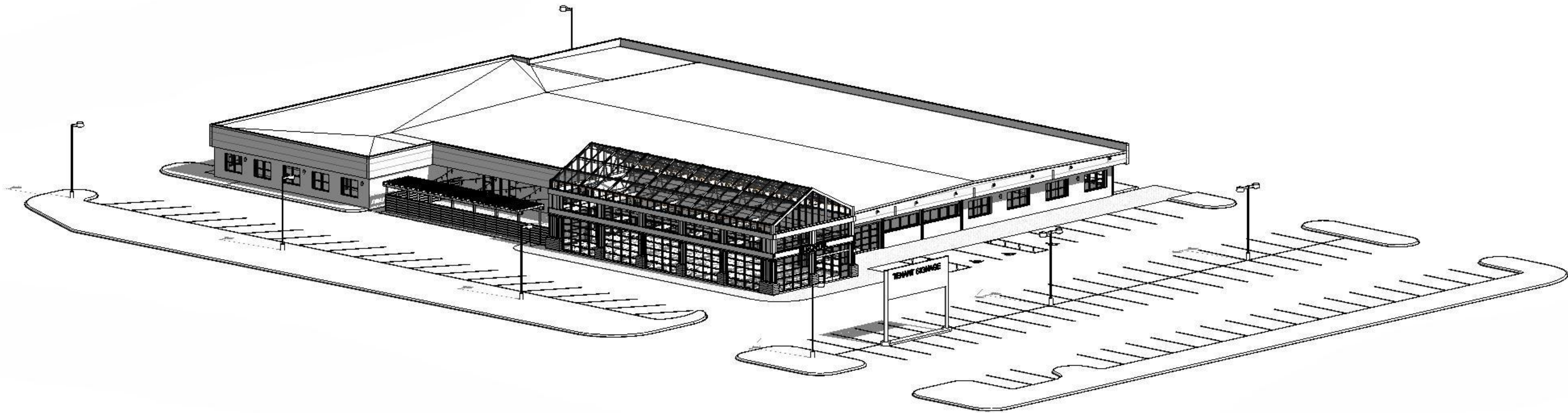
GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of stone mulch over landscape fabric. Stone to match existing. Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 6".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
- An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Seed mix type 'A' for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas(Optional): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

DESCRIPTION		DATE					

PROJECT: MLG HQ BUILDING ADDITION

19000 W. BLUEMOUND ROAD
BROOKFIELD, WI 53045



ISSUED FOR: **OWNER REVIEW**

ARCHITECT:
STEPHEN PERRY SMITH ARCHITECTS, INC.
MILWAUKEE, WISCONSIN



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spsarchitects.com

PROJECT

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MLG HQ EXPANSION

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NO.	DESCRIPTION	DATE
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DATE	07/25/25

SHEET

TITLE PAGE

X080

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KEYNOTES	
02-14	EXISTING LANDSCAPE TO REMAIN (SEE LANDSCAPE PLAN)
26-06	EXISTING EXTERIOR POLE LIGHTING
32-02	ALIGN NEW BUILDING EXPANSION WITH EXISTING GREENHOUSE
32-05	NEW CONCRETE SIDEWALK
32-09	REMOVE ASPHALT, INSTALL NEW CONCRETE CURB & INFILL WITH LANDSCAPING (SEE LANDSCAPE PLAN)
32-12	EXISTING SIGNAGE
32-14	EXISTING CEDAR TRASH ENCLOSURE



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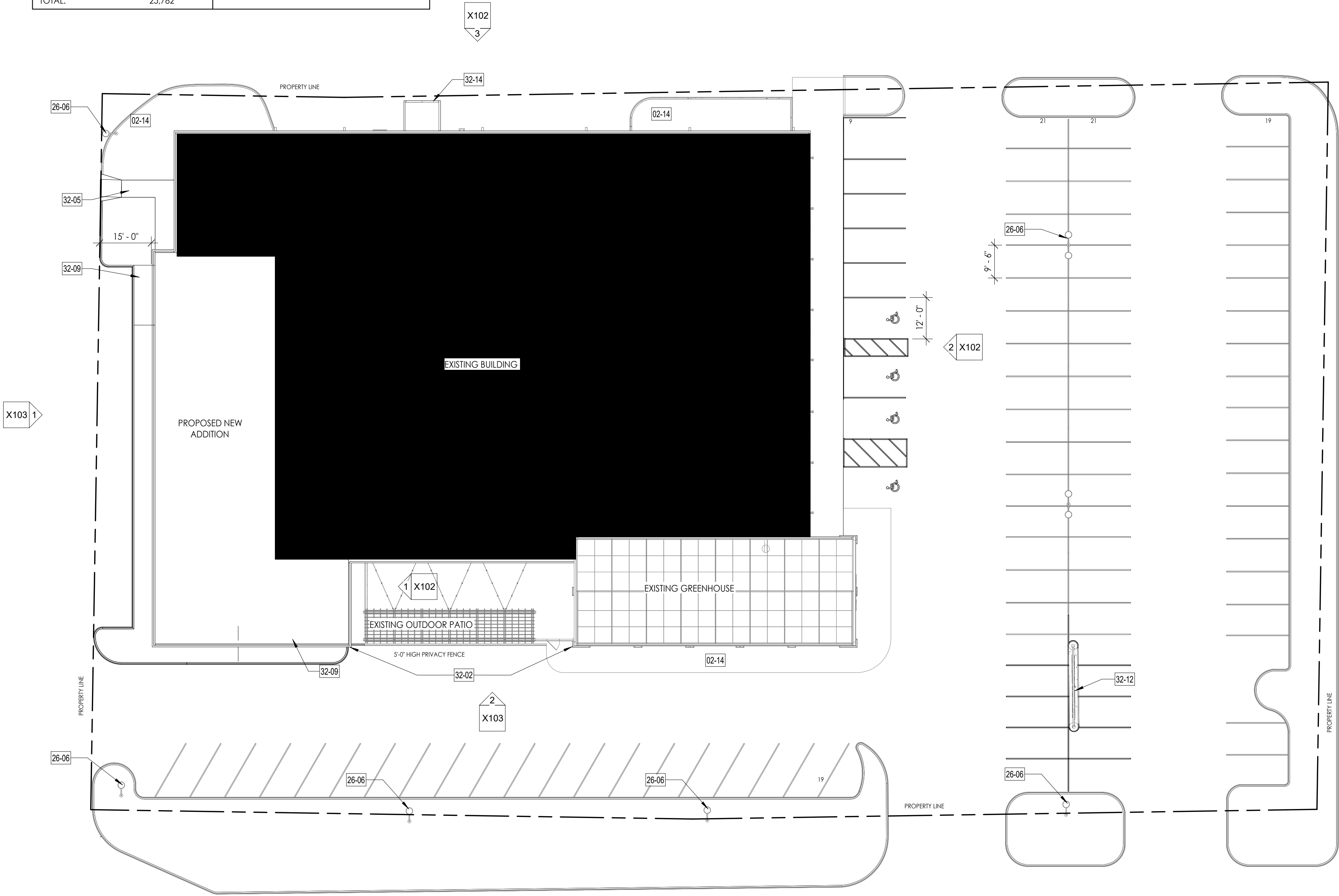
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EXHIBIT SITE PLAN

X090

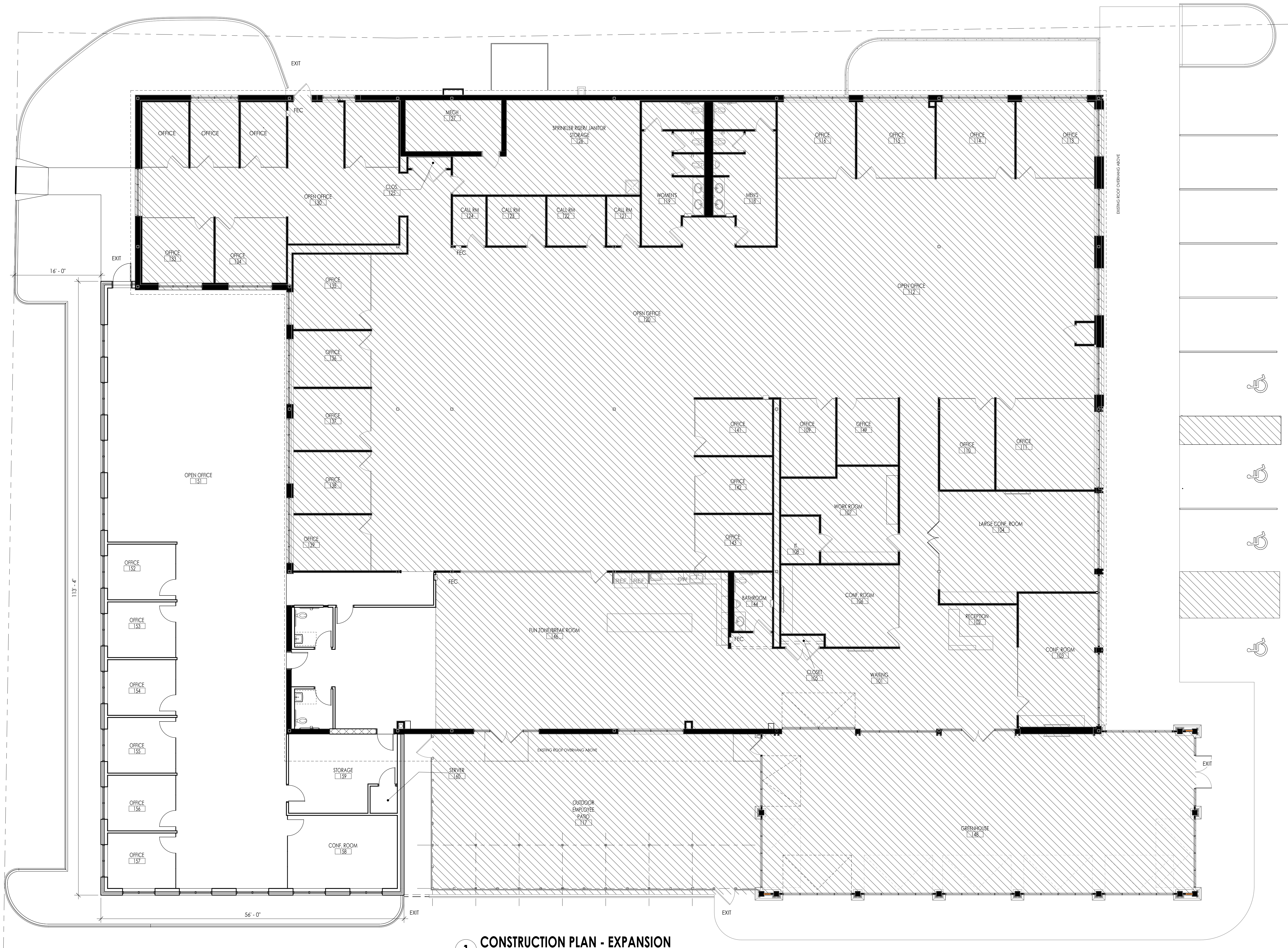
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BUILDING AREAS & PARKING			
SPACE NAME	AREA (SF)	PARKING	COUNT
EXISTING BUILDING:	21,221	REQUIRED (1 PER 250 SF):	103
EXPANSION:	4,561	ACTUAL:	89 (INCLUDES 4 ADA)
TOTAL:	25,782		



1 ARCHITECTURAL SITE PLAN
SCALE 1" = 20'-0"





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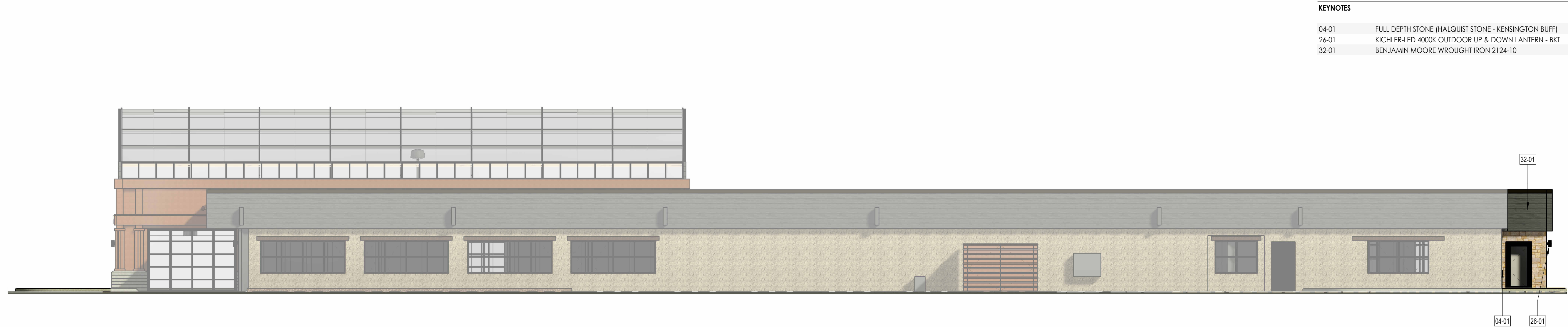
EXHIBIT CONSTRUCTION PLANS

X101

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1 CONSTRUCTION PLAN - EXPANSION

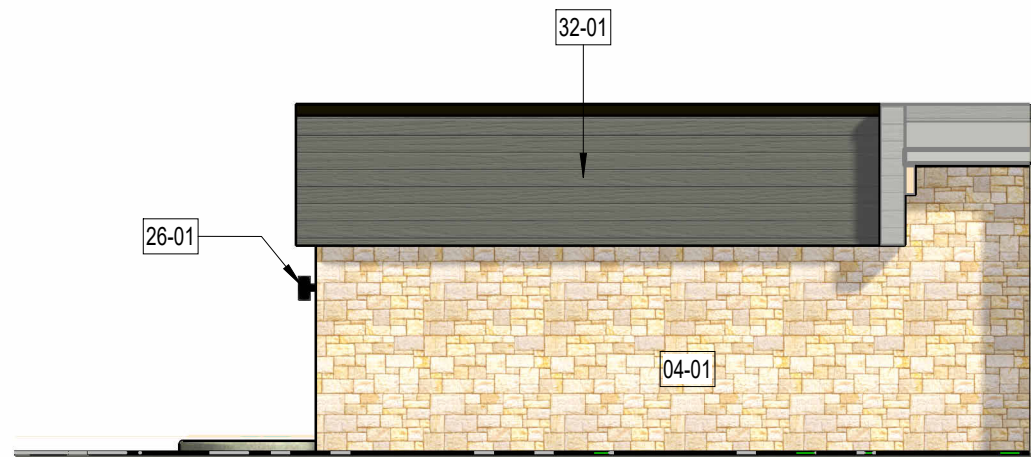
SCALE 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE 1/8" = 1'-0"



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION - EXPANSION
SCALE 1/8" = 1'-0"

KEYNOTES	
04-01	FULL DEPTH STONE (HALQUIST STONE - KENSINGTON BUFF)
26-01	KICHLER-LED 4000K OUTDOOR UP & DOWN LANTERN - BKT
32-01	BENJAMIN MOORE WROUGHT IRON 2124-10



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EXHIBIT ELEVATIONS

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KEYNOTES	
04-01	FULL DEPTH STONE (HALQUIST STONE - KENSINGTON BUFF)
26-01	KICHLER-LED 4000K OUTDOOR UP & DOWN LANTERN - BKT
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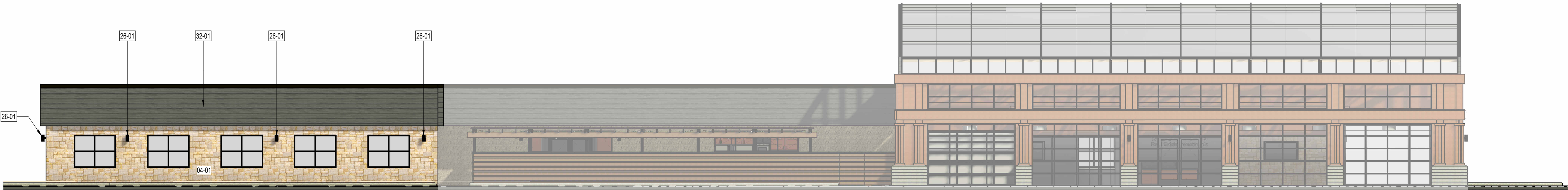
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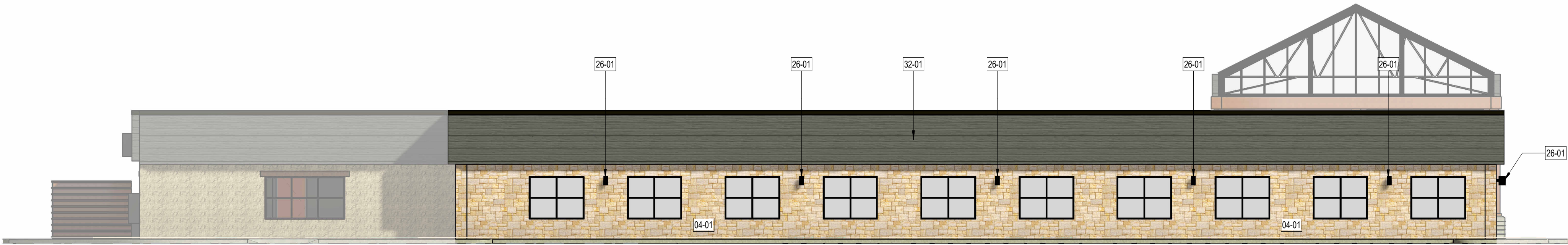
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2 SOUTH ELEVATION

SCALE 1/8" = 1'-0"



1 WEST ELEVATION

SCALE 1/8" = 1'-0"



VIEW AT EXPANSION - SOUTH WEST



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EXHIBIT PERSPECTIVE

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VIEW AT EXPANSION - NORTH WEST



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EXHIBIT PERSPECTIVE

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VIEW AT EXPANSION - SOUTH EAST



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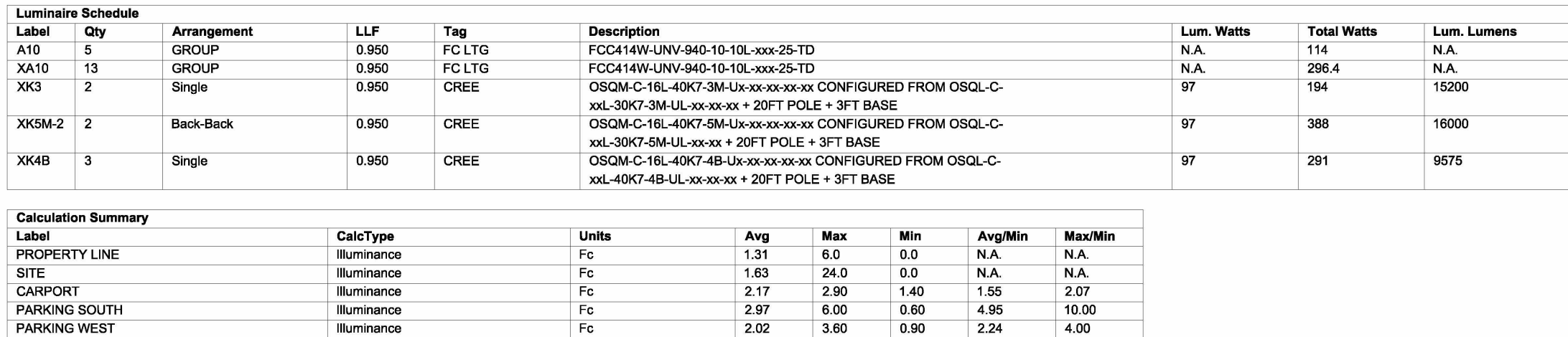
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VIEW AT NEW PARKING - SOUTH EAST

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



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EXHIBIT LIGHTING PLAN