



## Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

---

### MEETING AGENDA

---

Tuesday, September 16, 2025  
7 p.m.

Town Board  
Utility District No. 1  
Sanitary District No. 4

Eric Gnant Room  
TOB Municipal Building  
645 N. Janacek Rd., Brookfield, WI

---

1. Call to Order & Roll Call.
2. Meeting Notices.
3. Approval of Agenda.
4. Approval of Minutes:
  - a. September 2, 2025 meeting of the TB, UD1, SD4.
5. Citizen Comments: Three-minute limit.
6. Committee/Commission Reports/Recommendations:
  - a. Plan Commission:
    1. Discussion and possible action regarding the request by Eric Ohlfs, representing the Redmond Company on behalf of the Johnson Financial group, for conceptual approval of a one-story financial institution, located at 17740 W Bluemound Rd.
    2. Discussion and possible action regarding the request by Eric Nesseth, representing Stephen Perry Smith Architects on behalf of MLG, for preliminary and final approval for an addition to the existing real estate office, located at 19000 W Bluemound Rd.
    3. Discussion and possible action regarding the request by Chris White, representing RaSmith on behalf of Oscar's Frozen Custard, for approval of the 2-lot Certified Survey Map comprised of Tax Parcels BKFT 1128.959.001 and BKFT 1130.999.001.
    4. Discussion and possible action regarding the request by Erik Madisen, representing Madisen Maher Architects on behalf of KHS, for preliminary and final approval for proposed building expansions, located at 880 Bahcall Court.
7. Old Business: None.
8. New Business:
  - a. Discussion and possible action regarding the Temporary Alcohol Beverage License application by the Elmbrook Foundation for Boos and Ghouls Night Out.
  - b. Discussion and possible action regarding the Change of Agent for Grimaldi's' Alcohol Beverage License.
9. Departments Reports/Recommendations:
  - a. Fire Department
    1. Recognition of John Stappas for completion of the Fire Department's probationary period.
    2. Swearing-In and Oath of Office of Firefighter Tyler Blaes.
  - b. Development Services
    1. Property Maintenance Code Violations Update.

c. Town Administrator's Office

1. 2026 Draft Budget Review.

10. Approval of Vouchers and Checks.

11. Communication and Announcements.

12. Adjourn.

Posted September 12, 2025

Emily Howells, Deputy Clerk



## Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

---

### MEETING MINUTES

---

Tuesday, September 2, 2025  
7 p.m.

Town Board  
Utility District No. 1  
Sanitary District No. 4

Eric Gnant Room  
TOB Municipal Building  
645 N. Janacek Rd., Brookfield, WI

---

1. Call to Order & Roll Call.

Chairman Henderson called the meeting to order at 7:00 p.m.

Present: Chairman Keith Henderson; Supervisors Steve Kohlmann, John Charlier, John Schatzman and Ryan Stanelle.

A quorum was met (5-0).

Staff Present: Administrator/Interim-Clerk Tom Hagie, Town Attorney Michael Van Kleunen and Deputy Clerk Emily Howells.

2. Meeting Notices.

Hagie confirmed the meeting notices were posted as required by law.

3. Approval of Agenda.

Motion by Schatzman to adopt the agenda as presented; seconded by Stanelle.

Motion prevailed by a voice vote (5-0).

4. Approval of Minutes:

a. August 19, 2025 meeting of the TB, UD1, SD4.

Motion by Stanelle to approve the minutes of August 19, 2025 as presented; seconded by Kohlmann.

Motion prevailed by a voice vote (5-0).

5. Citizen Comments: Three-minute limit.

a. Resident Bill Genteman addressed concerns about the ditch on Weyer Rd for the Road Drainage Improvement Project.

b. Resident Dan Krueger addressed concerns about the ditch on Weyer Rd for the Road Drainage Improvement Project.

c. Resident Steve Popek addressed concerns about the ditch on Weyer Rd for the Road Drainage Improvement Project.

d. Resident Bob Rocky addressed concerns about the ditch on Weyer Rd for the Road Drainage Improvement Project.

e. Resident Don Kindt presented a complaint regarding plants that were removed from the right of way on Weyer Rd during the Road Drainage Improvement Project.

f. Resident Michelle Rocky addressed concerns about the ditch on Weyer Rd for the Road Drainage Improvement Project.

6. Old Business: None.

7. New Business:

a. Discussion and possible action regarding the Class "B" Beer and "Class B" Liquor Alcohol Beverage License application for the Bombshell Theatre Company.

Motion by Stanelle to approve the Above Quota Class "B" Beer and "Class B" Liquor Alcohol Beverage License application for the Bombshell Theatre Company.; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

- b. Discussion and possible action regarding the Change of Agent for Walgreens' Alcohol Beverage License.

Motion by Kohlmann to approve the Change of Agent for Walgreens' Alcohol Beverage License; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

- 8. Departments, Boards, Committee/Commission Reports/Recommendations: None.

- 9. Approval of Vouchers and Checks.

Motion by Charlier to approve vouchers and checks in the amount of \$294,878.96; seconded by Kohlmann.

Motion prevailed by a voice vote (5-0).

- 10. Communication and Announcements.

- a. Hagie informed the Board that the Draft Budget is in process.

- b. Stanelle addressed that resident comments have been heard and inquired if any steps were needed.

Hagie responded that the ditch is compliant with standards. At this time there are no further steps to take.

- c. Howells announced a slight change in the upcoming agenda format.

- d. Howells announced that an email has been sent out about poll worker training on October 24, 2025 at 3 p.m. for those interested in working elections in 2026.

- e. Howells reminded the Board of FEMA training on October 14, 2025.

- 11. Adjourn.

Motion by Kohlmann to adjourn at 7:45 p.m.; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

Respectfully submitted by,

Emily Howells, Deputy Clerk





## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Town of Brookfield Plan Commission

FROM: Rebekah Leto, AICP, Town Planner

PC MEETING DATE: August 26, 2025

RE: Conceptual approval for the construction of a financial institution with a service drive-thru lane and extension of timeframe for future approvals, **Johnson Financial Group, 17740 W. Bluemound Rd, BKFT1120.996**

---

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

---

**Property owner:** Bluemound Enterprises Limited Partnership

**Applicant:** Eric Ohlfs, The Redmond Company, on behalf of Johnson Financial Group

**Application Type:** Conceptual Approval

**Zoning:** B-2 Limited General Business District

### **Project Description**

The property is approximately 1.9 acres and is located on the north side of W. Bluemound Road. The property was formerly Don and Roy's Motorsports and has a cell tower in the northwest corner of the site which is leased to the cell tower operator. The site is proposed to be redeveloped into a one-story financial institution (Johnson Financial Group), which is a permitted use within the B-2 District. Two service drive-thru lanes, which trigger a Conditional Use Permit, are proposed with one ATM lane on the end (west side). The surrounding area consists of condominiums to the north, a multi-tenant commercial building to the west and a Metro Market grocery store (in the City of Brookfield) to the east. The petitioners are seeking conceptual approval and an extension of the timeframe to receive preliminary and final approval from the Town. Additional details on the proposed use, hours of operation, dumpster enclosure and building materials are found in the attached narrative.

**Ingress and Egress:** Access to the site is proposed in the existing location off of Bluemound Road. Egress to the site is a right-turn only onto Bluemound Rd. A possible connection to Metro Market is also being explored.

**Internal traffic patterns:** Visitors will enter via Bluemound Road and proceed directly to the parking area or go east around the building to the service lane or the employee parking. There is a by-pass lane

around the service lanes. A painted “Do Not Enter” sign is directed on the west side of the entrance aisle.

**Off-street parking:** The area for customer service is approximately 2,300 sq. ft., which would result in 16 required customer parking spaces (1 space/150 sq. ft. of space reserved for customer service). There are 48 employee parking spaces proposed. However, a maximum of 28 employees are anticipated per shift (1/employee required). Some of the additional stalls may be utilized for stockpiling snow in the winter. The site plan identifies that the drive-in service lane can accommodate four waiting vehicles and a by-pass lane. The proposal meets the requirement.

**Additional parking requirements:**

- Spaces are 9' x 18' with a 24' drive aisle. One aisle handicap stall is proposed in the customer parking area and two aisle handicap stalls are proposed in the employee parking area.
- A 10 ft. pavement setback is not being met to the east and west. The site plans note a 4 ft. requirement, which is the curb setback for parking.
- Parking is more than 25 ft. from the adjacent residential properties to the north.
- Parking lot islands and peninsulas are proposed at the end of aisles. Landscaping will be addressed in the future.
- A minimum 10 ft. landscape buffer yard is proposed along the north property line between the parking and the adjacent residential district.

**Zoning**

	Proposed	Required	Requirement met?
Road Setback (S) W. Bluemound Rd.	110+/- ft.	50 ft. min.	Yes
Offset (N) (residential)	231+/- ft.	15 ft. min.	Yes
Offset (E)	29 +/- ft.	15 ft. min.	Yes
Offset (W)	58 +/- ft.	15 ft. min.	Yes
Height	unknown	45 ft. max.	-
Floor Area	8,626 +/- sq. ft. (10.1%)	6,000 sq. ft. (min.) 42,600.5 sq. ft. (50% max)	Yes

**Conceptual Approval**

The purpose of conceptual project review shall be to determine the best use of a building site. The Plan Commission will consider the proposed land use and its compatibility with adjacent land uses. The Plan Commission should consider ingress and egress, off-street parking, and internal traffic patterns. Conceptual approval expires within six months, however the petitioners are seeking an extension on this approval to accommodate their current lease agreement until 2027. The petitioner is looking to break ground in Q2 of 2027 and complete the project by Q2 in 2028.

**Staff Recommendation**

Staff recommends that the Plan Commission make a recommendation to the Town Board to grant Conceptual Approval to allow a financial institution on the property located at 17740 W. Bluemound Road, subject to the following condition:

1. An extension on the timeframe to receive Preliminary and/or Final approval is permitted so long as the property is owned by Johnson Financial Group (or affiliate) and so long as the property grounds are maintained (e.g. mowing, clearing of unmaintained brush or garbage) by the owner (Johnson Financial Group) until such time the property is redeveloped.



YOUR PREMIER DESIGN/BUILD PARTNER

August 14, 2025

Town of Brookfield  
Attn: Plan Commission  
645 North Janacek Road  
Brookfield, Wisconsin 53045

RE: Johnson Financial Group Conceptual Plan for 17740 W. Bluemound Drive

Dear Plan Commission,

Johnson Financial Group currently operates out of a leased facility at 14000 West North Avenue in Brookfield, with the lease expiring in 2028. This location no longer meets their design standards and is not ideally situated for their clients.

To better serve the community, they are proposing an exciting redevelopment project at 17740 W. Bluemound Road, (the former Don & Roy's Motor Sports site). The existing building on the site would be demolished to make way for a new, state of the art 8,600 square foot single-story facility. Approximately half of the space will be dedicated to a retail bank branch, including two drive-thru lanes and one dedicated ATM lane. The remaining space will house offices for additional bank services and operations in commercial Banking and Wealth Management.

The new facility will also feature a community center where they plan to host seminars on financial literacy and first-time home buying – reinforcing their commitment to education and community engagement. The proposed hours of operation are M-F 8:30 am to 5 pm, and S 9 am to 12 pm.

Staffing will be limited to a maximum of 28 employees per shift.

**Building Design:** The lot is currently zoned B-2 (Limited General Business District) and a bank is permitted use; however, the drive-through would need a conditional use permit. The proposed building would meet all lot setbacks and building size and height requirements. The new 8,600 sf building will feature several architectural elements including a prominent entry feature located under a taller (22') clerestory element that also serves to provide a welcoming 20' tall lobby space with abundant natural light. A timeless palette of exterior materials including gray brick veneer, natural stone, brushed aluminum composite metal panel (ACM) and high-end faux wood aluminum siding provides an attractive and welcoming building to current and potential customers. Care has been taken to provide as many windows as possible to increase natural light into the building and enrich the customer's experience. The bank will be noncombustible Type IIB construction feature a steel structure and cold formed metal stud framing per the International Building Code. This design is based on JFG Corporate Design Standards that have been implemented at more than 5 other branches throughout Wisconsin in the past several years. Attached you will find a photo of a project that was recently completed near Appleton, WI that closely models the aesthetics of this project.

**Site Design:** The proposed site plan meets all parking and traffic ordinances. Access to the site would utilize the existing curb cut on to Bluemound Drive. Customer parking would be located at

the front of the building with employee parking at the rear. Customers that need to access the drive-through or ATM would drive around the back of the building before exiting back onto Bluemound Drive. Based on the building size and planned number of employees, Town parking ordinance would require roughly 38-40 stalls. The proposed design currently has 64 stalls. Some of those stalls would be for stock piling snow during the winter months. The site will also feature a masonry trash enclosure that will match the same brick used on the building. The rear portion of the lot, that has a cell tower on it, is leased to the cell tower operator. As part of the lease agreement, access to the tower must be provided. Full civil and landscape plans will be provided at a later date, but we intend on meeting all stormwater and landscaping requirements.

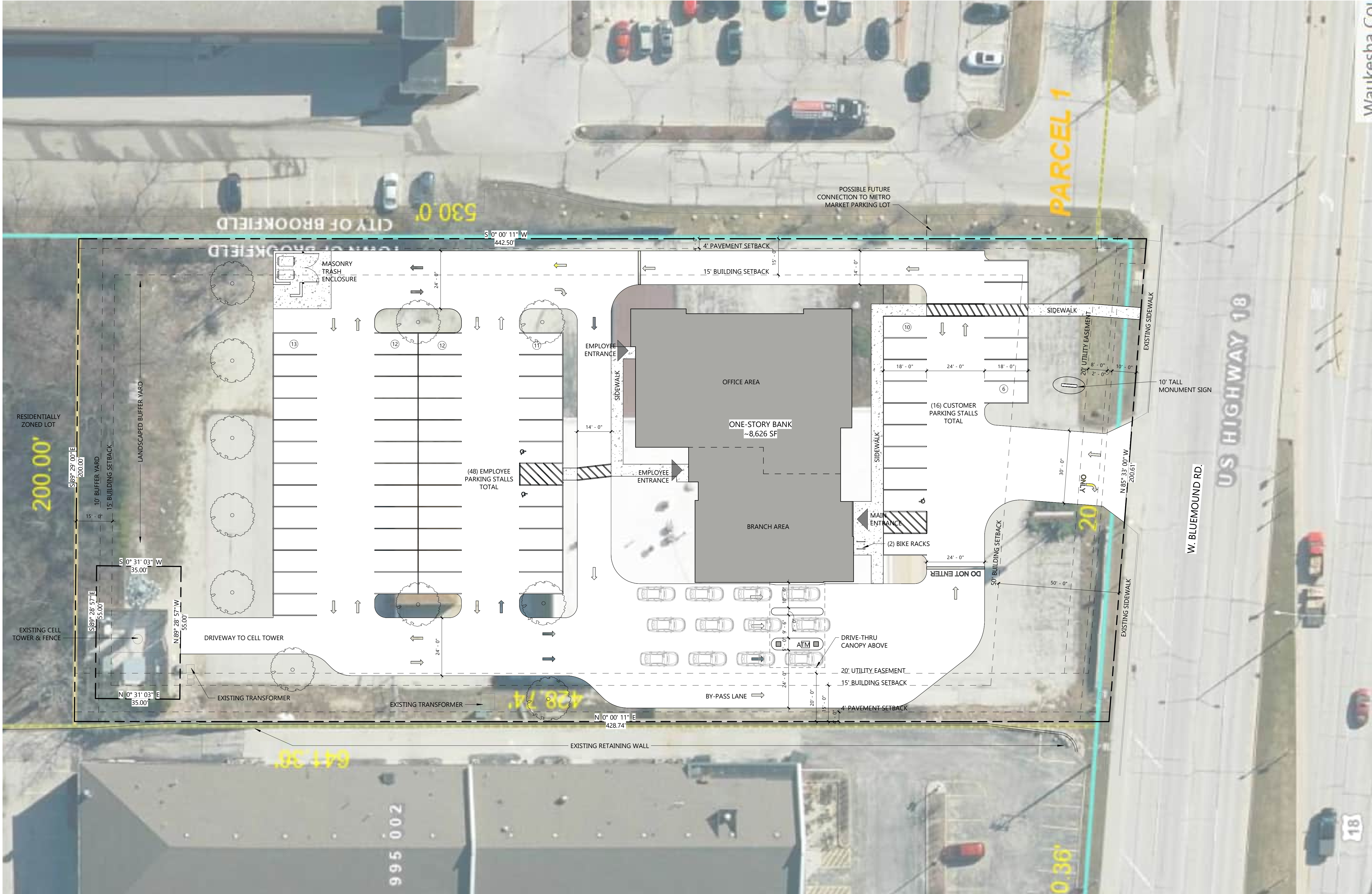
Johnson Financial Group anticipates breaking ground in Q2 2027 and completing the project by Q2 2028.

Sincerely,

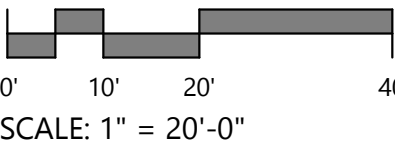
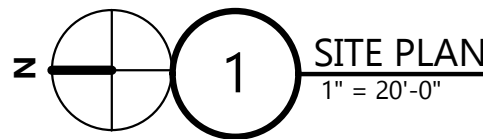
A handwritten signature in black ink, appearing to read "Eric Ohlfs". The signature is fluid and cursive, with the first name "Eric" and last name "Ohlfs" clearly distinguishable.

Eric Ohlfs  
Senior Project Architect  
The Redmond Company





ZONING INFO	
1.	ADDRESS: 17740 W BLUEMOUND RD, BROOKFIELD, WI 53045
2.	MUNICIPALITY: TOWN OF BROOKFIELD
3.	LOT ZONING: B-2 LIMITED GENERAL BUSINESS DISTRICT
4.	LOT SIZE: 85,201 SF (1.956 AC) (EXCLUDES CELL TOWER LOT)
5.	PERMITTED USE: BANKING INCLUDING DRIVE-IN FACILITIES
6.	CONDITIONAL USE: DRIVE-IN BANKS
7.	LOT AREA: 20,000 SF MIN.
8.	LOT WIDTH: 120' MIN.
9.	BUILDING HEIGHT: 45' MAX.
10.	ACCESSORY BUILDING: 15' MAX.
11.	BUILDING AREA: 6,000 SF MIN.
12.	BUILDING AREA: SHALL NOT EXCEED 50% OF LOT AREA (~43,500 SF MAX)
13.	BUILDING SETBACKS
14.	A. 50' FROM R.O.W.
15.	B. 15' FROM SIDE AND REAR LOT LINE
16.	15' FROM SIDE AND REAR LOT LINE
17.	15' FROM SIDE AND REAR LOT LINE
18.	15' FROM SIDE AND REAR LOT LINE
19.	15' FROM SIDE AND REAR LOT LINE
20.	15' FROM SIDE AND REAR LOT LINE
21.	15' FROM SIDE AND REAR LOT LINE
22.	15' FROM SIDE AND REAR LOT LINE
23.	15' FROM SIDE AND REAR LOT LINE
24.	15' FROM SIDE AND REAR LOT LINE
25.	15' FROM SIDE AND REAR LOT LINE
26.	15' FROM SIDE AND REAR LOT LINE
27.	15' FROM SIDE AND REAR LOT LINE
28.	15' FROM SIDE AND REAR LOT LINE
29.	15' FROM SIDE AND REAR LOT LINE
30.	15' FROM SIDE AND REAR LOT LINE
31.	15' FROM SIDE AND REAR LOT LINE
32.	15' FROM SIDE AND REAR LOT LINE
33.	15' FROM SIDE AND REAR LOT LINE
34.	15' FROM SIDE AND REAR LOT LINE
35.	15' FROM SIDE AND REAR LOT LINE
36.	15' FROM SIDE AND REAR LOT LINE
37.	15' FROM SIDE AND REAR LOT LINE
38.	15' FROM SIDE AND REAR LOT LINE
39.	15' FROM SIDE AND REAR LOT LINE
40.	15' FROM SIDE AND REAR LOT LINE
41.	15' FROM SIDE AND REAR LOT LINE
42.	15' FROM SIDE AND REAR LOT LINE
43.	15' FROM SIDE AND REAR LOT LINE
44.	15' FROM SIDE AND REAR LOT LINE
45.	15' FROM SIDE AND REAR LOT LINE
46.	15' FROM SIDE AND REAR LOT LINE
47.	15' FROM SIDE AND REAR LOT LINE
48.	15' FROM SIDE AND REAR LOT LINE
49.	15' FROM SIDE AND REAR LOT LINE
50.	15' FROM SIDE AND REAR LOT LINE
51.	15' FROM SIDE AND REAR LOT LINE
52.	15' FROM SIDE AND REAR LOT LINE
53.	15' FROM SIDE AND REAR LOT LINE
54.	15' FROM SIDE AND REAR LOT LINE
55.	15' FROM SIDE AND REAR LOT LINE
56.	15' FROM SIDE AND REAR LOT LINE
57.	15' FROM SIDE AND REAR LOT LINE
58.	15' FROM SIDE AND REAR LOT LINE
59.	15' FROM SIDE AND REAR LOT LINE
60.	15' FROM SIDE AND REAR LOT LINE
61.	15' FROM SIDE AND REAR LOT LINE
62.	15' FROM SIDE AND REAR LOT LINE
63.	15' FROM SIDE AND REAR LOT LINE
64.	15' FROM SIDE AND REAR LOT LINE
65.	15' FROM SIDE AND REAR LOT LINE
66.	15' FROM SIDE AND REAR LOT LINE
67.	15' FROM SIDE AND REAR LOT LINE
68.	15' FROM SIDE AND REAR LOT LINE
69.	15' FROM SIDE AND REAR LOT LINE
70.	15' FROM SIDE AND REAR LOT LINE
71.	15' FROM SIDE AND REAR LOT LINE
72.	15' FROM SIDE AND REAR LOT LINE
73.	15' FROM SIDE AND REAR LOT LINE
74.	15' FROM SIDE AND REAR LOT LINE
75.	15' FROM SIDE AND REAR LOT LINE
76.	15' FROM SIDE AND REAR LOT LINE
77.	15' FROM SIDE AND REAR LOT LINE
78.	15' FROM SIDE AND REAR LOT LINE
79.	15' FROM SIDE AND REAR LOT LINE
80.	15' FROM SIDE AND REAR LOT LINE
81.	15' FROM SIDE AND REAR LOT LINE
82.	15' FROM SIDE AND REAR LOT LINE
83.	15' FROM SIDE AND REAR LOT LINE
84.	15' FROM SIDE AND REAR LOT LINE
85.	15' FROM SIDE AND REAR LOT LINE
86.	15' FROM SIDE AND REAR LOT LINE
87.	15' FROM SIDE AND REAR LOT LINE
88.	15' FROM SIDE AND REAR LOT LINE
89.	15' FROM SIDE AND REAR LOT LINE
90.	15' FROM SIDE AND REAR LOT LINE
91.	15' FROM SIDE AND REAR LOT LINE
92.	15' FROM SIDE AND REAR LOT LINE
93.	15' FROM SIDE AND REAR LOT LINE
94.	15' FROM SIDE AND REAR LOT LINE
95.	15' FROM SIDE AND REAR LOT LINE
96.	15' FROM SIDE AND REAR LOT LINE
97.	15' FROM SIDE AND REAR LOT LINE
98.	15' FROM SIDE AND REAR LOT LINE
99.	15' FROM SIDE AND REAR LOT LINE
100.	15' FROM SIDE AND REAR LOT LINE

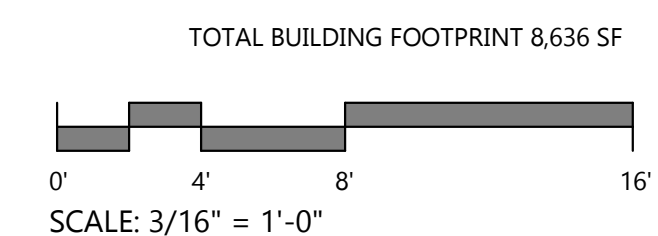


# Johnson Financial Group - Brookfield

Site Presentation Plan









The above photo is from a recently completed building in the Appleton area. The Brookfield building will be very similar and will be using the same design aesthetic at the drive-thru, entrance, and clerestory at the branch portion of the building (left side of building). The office side of the building will also be very similar but reduced in length from the project above (right side of building).





## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Town of Brookfield Plan Commission and Town Board

FROM: Rebekah Leto, AICP, Town Planner

PC MEETING DATE: August 26, 2025

RE: Preliminary and Final approval for an addition to the existing real estate office,  
**MLG Capital, 19000 W. Bluemound Road, Tax Key No. BKFT1124.999.003**

---

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

---

**Property owner:** 19000 HQ LLC (MLG Capital)

**Applicant:** Eric Nesselth, Stephen Perry Smith Architects

**Application Type:** Preliminary and Final Approval

**Zoning:** B-2 Limited General Business District

### **Project Description**

The subject property is 1.74 acres and is located on the north side of Bluemound Road and west of N. Brookfield Road. The site was formerly a Brennan's Market. MLG converted the site in 2018 for use as a real estate investment firm. The site includes the main building, a greenhouse, patio facing Bluemound Road and a detached car port on the west side of the property. During the conceptual phase, the carport was proposed to be reconstructed on the east side of the building. However, that project has been removed from the scope of this proposal.

The petitioner is proposing to remove the carport and construct a one-story "L"-shaped office addition on the west side of the building. The office space will generally be used by transient employees and includes open offices, six enclosed offices, a storage room, conference room and two new bathrooms. An exit door is located on the north side of the addition.

The existing, proposed and required zoning provisions are as follows:

	<b>Existing</b>	<b>Proposed (addition)</b>	<b>Required</b>
<b>Road Setback</b>	54.9 ft.	56.1 ft.	50 ft. min.
<b>Offset (North)</b>	11 ft. (nonconforming)*	47 ft.	15 ft. min.
<b>Offset (East)</b>	136.1 ft.	15 ft.	15 ft. min.
<b>Offset (West)</b>	49.8 ft.	283 ft.	15 ft. min.

<b>Building Footprint</b>	21,221 sq. ft.	25,782 sq. ft. (+4,561 sq. ft.) (33.8%)	11,408 sq. ft. (15% min.) 38,028 sq. ft. max (50%)
<b>Height</b>	26.2 ft.	15 ft.	45 ft. max.
<b>Parking</b>	86 spaces	90 spaces	103 spaces (1 per 250 sq. ft.)

\*The building is nonconforming to the north offset. The Ordinance does not allow for additions to occur on buildings that are nonconforming. The petitioner was granted a variance from the Zoning Board of Appeals on 8/20/2025 to allow the expansion of a nonconforming building.

**Parking:** Eight parking spaces underneath the carport will be eliminated. Four parallel spaces will be added to the west side of the building and six compact parking spaces will be added to the main parking area around the existing sign. The petitioner does not anticipate needing to make changes to the sign to accommodate the compact spaces. All spaces will be pavement marked for compact cars. Two additional ADA spaces will also be added near the entrance. This results in four additional parking spaces on site. While the existing site does not have enough parking to satisfy the code requirements, there is a parking easement recorded in the Register of Deeds (Document No. 1451917) that states parking for the subject parcel may have the benefit of utilizing the parking areas of Parcel 1, in common with Galleria and all tenants. The owner has shared that given the nature of their business and employees coming and going, additional parking is not needed. With the shared parking easement, consideration should be given if the parking requirement is satisfied.

**Building Materials:** The addition is primarily full-depth stone (Halquist stone) with evenly spaced windows with black trim on the west and south sides.

**Landscaping:** Planting beds with stone mulch and accent boulders are proposed around the addition exterior that will match the existing landscaping. Plants include a variety of shrubs (juniper, honeysuckle and hydrangeas), grass (Feather Reed Grass) and perennials (day lilies and catmint). The proposed open space on the site is 11%. New parking areas are surrounded with planting beds larger than 100 sq. ft. The proposed landscaping meets the ordinance requirements.

**Lighting.** The existing lighting was approved with the remodeling of the site in 2018. The proposed downcast LED lighting is similar to the lights approved with the initial project. Downcast LED-sconce lighting is proposed along the exterior elevations that are spaced approximately every 21.5 ft., which is every two windows. A revised photometric plan and cut sheets were submitted following the ARC meeting noted below. Vertical sconces are proposed on the greenhouse and the south side of the building to eliminate glare being created off the glass by the existing wedge lights. The photometric plan indicates the area near the addition has minimal foot candles at the property line. While the foot candles exceeds the .2 fc threshold, the existing conditions of the site already exceed the amount proposed. The removal of the lighted carport and the addition being 4 additional feet further from the property line will further reduce the existing condition of light at the property line. In addition, the light that does extend over the property line falls into an easement. Finally, lighting around the building provides a greater level of safety for drivers or pedestrians walking in the access easement drives that surround the site.

**Ingress/Egress:** The northwest entrance to the site will be removed. A fire truck access plan is included in the civil packet (C201).

**Other site details:**

No loading or unloading spaces.

No exterior dumpsters.

No outdoor storage proposed.

No changes to the signage proposed.

**Architectural Review Committee:** Preliminary approval was granted on 8/13/25 with comments that the lighting on the greenhouse needed to be modified to reduce glare. The petitioner submitted revised plans, which are discussed above. There were no concerns regarding the parking agreements in place or other site plan concerns. The ARC granted final approval on 9/10/2025.

**Development Review Team Feedback:**

No concerns were relayed.

**Staff Recommendation**

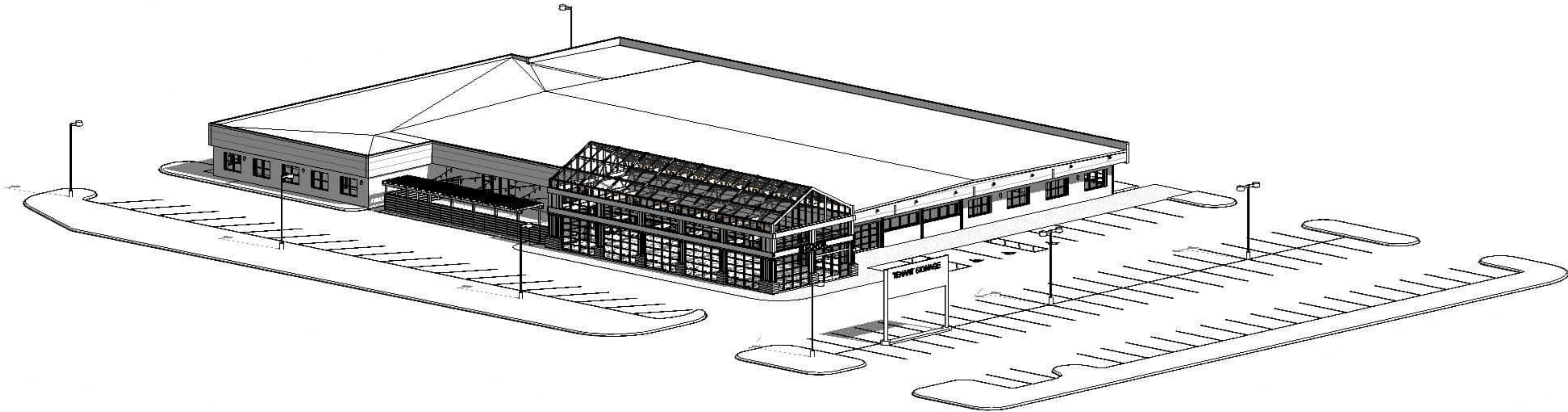
Staff recommends that the Plan Commission make a recommendation to the Town Board to grant Preliminary and Final Approval to the Town Board to allow the petitioner to construct an addition onto the existing building located at 19000 W. Bluemound Road, subject to the following condition:

1. Subject to all final comments of the Town Engineer being addressed to his satisfaction.



# PROJECT: MLG HQ BUILDING ADDITION

19000 W. BLUEMOUND ROAD  
BROOKFIELD, WI 53045



ISSUED FOR: **TOWN REVIEW & APPROVAL**

ARCHITECT:  
STEPHEN PERRY SMITH ARCHITECTS, INC.  
MILWAUKEE, WISCONSIN



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

## PROJECT

PROPOSED BUILDING FOR:

### MLG HQ EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

#### PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

## OWNER

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	08/29/25

## SHEET

TITLE PAGE

# X080

© STEPHEN PERRY SMITH ARCHITECTS, INC.

KEYNOTES	
02-14	EXISTING LANDSCAPE TO REMAIN (SEE LANDSCAPE PLAN)
26-06	EXISTING EXTERIOR POLE LIGHTING
32-02	ALIGN NEW BUILDING EXPANSION WITH EXISTING GREENHOUSE
32-05	NEW CONCRETE SIDEWALK
32-09	REMOVE ASPHALT, INSTALL NEW CONCRETE CURB & INFILL WITH LANDSCAPING (SEE LANDSCAPE PLAN)
32-12	EXISTING SIGNAGE
32-14	EXISTING CEDAR TRASH ENCLOSURE



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

MLG HQ  
EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

OWNER

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	08/29/25

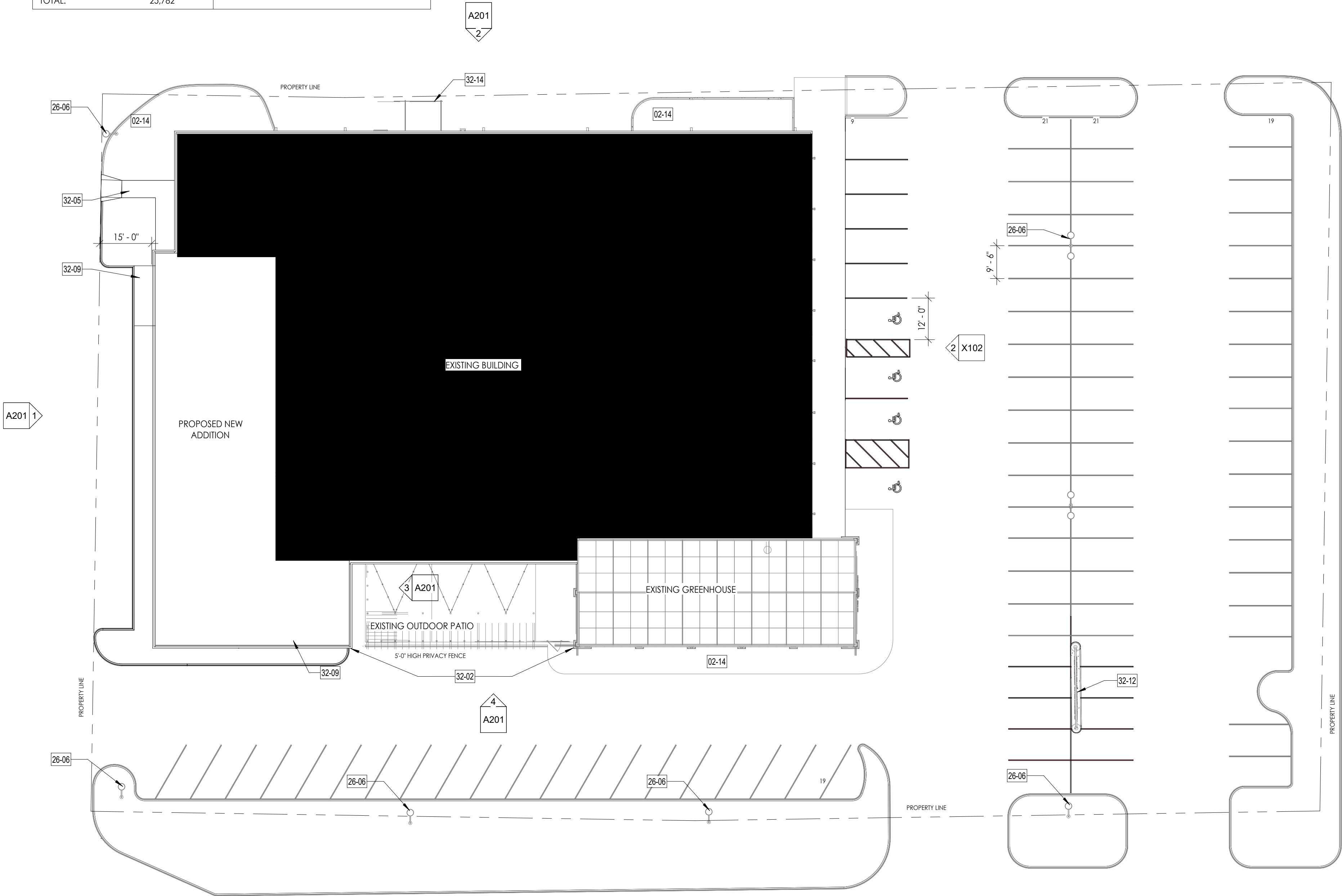
SHEET

EXHIBIT SITE PLAN

X090

© STEPHEN PERRY SMITH ARCHITECTS, INC.

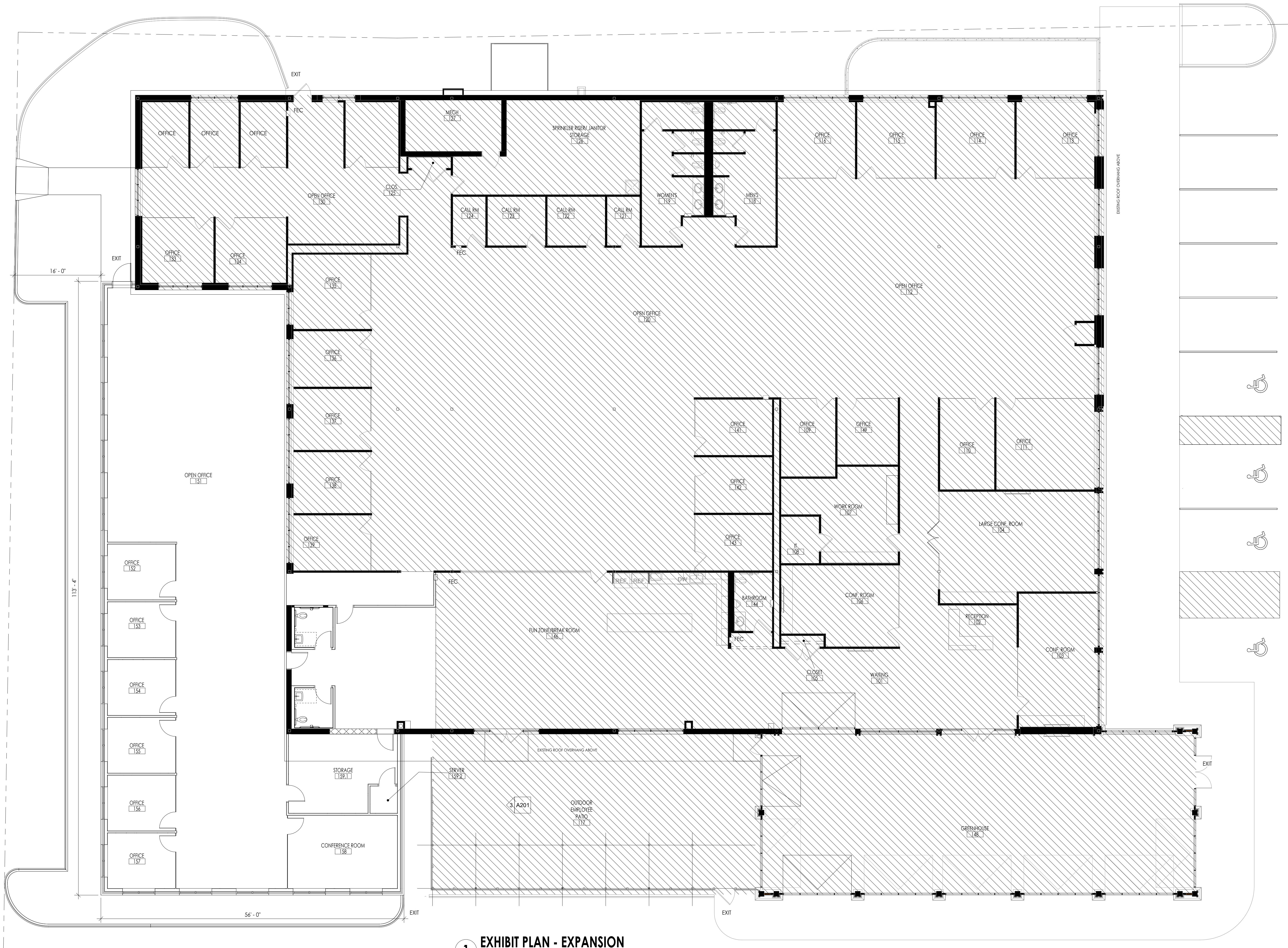
BUILDING AREAS & PARKING			
SPACE NAME	AREA (SF)	PARKING	COUNT
EXISTING BUILDING:	21,221	REQUIRED (1 PER 250 SF):	103
EXPANSION:	4,561	ACTUAL:	89 (INCLUDES 4 ADA)
TOTAL:	25,782		



1 EXHIBIT SITE PLAN  
SCALE 1" = 20'-0"







215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

## PROJECT

PROPOSED BUILDING FOR:

## MLG HQ EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

### PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

## OWNER

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	08/29/25

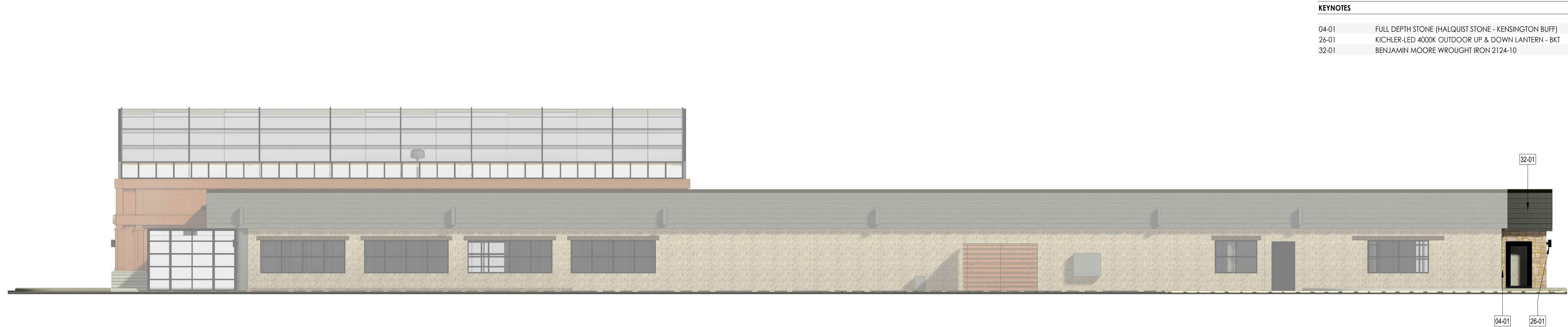
## SHEET

EXHIBIT CONSTRUCTION PLANS

# X101

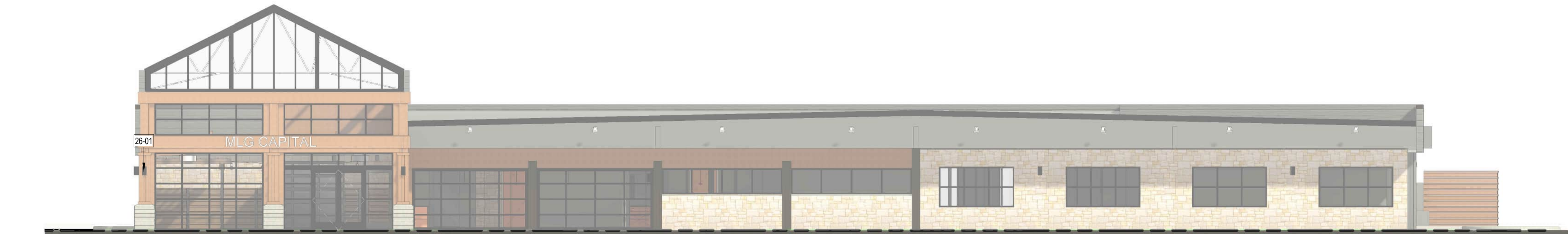
© STEPHEN PERRY SMITH ARCHITECTS, INC.



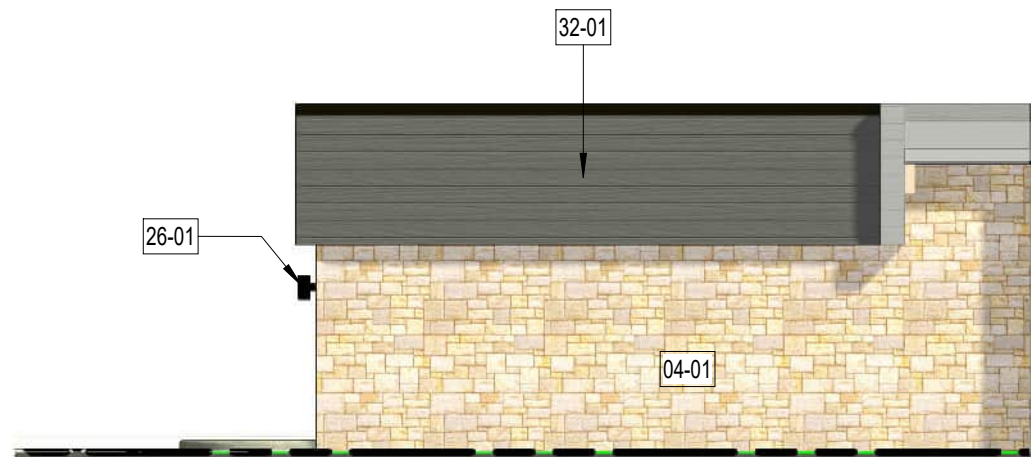


KEYNOTES	
04-01	FULL DEPTH STONE (HALQUIST STONE - KENSINGTON BUFF)
26-01	KICHLER-LED 4000K OUTDOOR UP & DOWN LANTERN - BKT
32-01	BENJAMIN MOORE WROUGHT IRON 2124-10

3 EXHIBIT - NORTH ELEVATION  
SCALE 1/8" = 1'-0"



2 EXHIBIT - EAST ELEVATION  
SCALE 1/8" = 1'-0"



1 EXHIBIT - EAST ELEVATION - EXPANSION  
SCALE 1/8" = 1'-0"



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

## PROJECT

PROPOSED BUILDING FOR:

## MLG HQ EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

### PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

## OWNER

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	MUNICIPAL REVIEW
DATE	08/29/25

## SHEET

EXHIBIT ELEVATIONS

# X102

© STEPHEN PERRY SMITH ARCHITECTS, INC.



KEYNOTES	
04-01	FULL DEPTH STONE (HALQUIST STONE - KENSINGTON BUFF)
26-01	KICHLER-LED 4000K OUTDOOR UP & DOWN LANTERN - BKT
32-01	BENJAMIN MOORE WROUGHT IRON 2124-10



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

MLG HQ  
EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

OWNER

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	MUNICIPAL REVIEW
DATE	08/29/25

SHEET

EXHIBIT ELEVATIONS

X103

© STEPHEN PERRY SMITH ARCHITECTS, INC.



2 EXHIBIT - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"  
:



1 EXHIBIT - WEST ELEVATION  
SCALE 1/8" = 1'-0"  
:





215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

MLG HQ  
EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT AND MAY BE SUBJECT TO CHANGE, INCLUDING ADDITIONAL DETAIL. THESE ARE NOT FINAL CONSTRUCTION DOCUMENTS AND SHALL NOT BE USED FOR FINAL BIDDING OR CONSTRUCTION RELATED PURPOSES.

OWNER

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	08/29/25

SHEET

EXHIBIT PERSPECTIVE

X104

© STEPHEN PERRY SMITH ARCHITECTS, INC.



VIEW AT EXPANSION - SOUTH WEST





VIEW AT EXPANSION - NORTH WEST



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

## PROJECT

PROPOSED BUILDING FOR:

### MLG HQ EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

#### PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

## OWNER

## REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

## INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	08/29/25

## SHEET

EXHIBIT PERSPECTIVE

# X105

© STEPHEN PERRY SMITH ARCHITECTS, INC.



PROJECT

PROPOSED BUILDING FOR:

MLG HQ  
EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT AND MAY BE SUBJECT TO CHANGE, INCLUDING ADDITIONAL DETAIL. THESE ARE NOT FINAL CONSTRUCTION DOCUMENTS AND SHALL NOT BE USED FOR FINAL BIDDING OR CONSTRUCTION RELATED PURPOSES.

OWNER

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	08/29/25

SHEET

EXHIBIT PERSPECTIVE

X106



VIEW AT EXPANSION - SOUTH EAST



PROJECT

PROPOSED BUILDING FOR:

MLG HQ  
EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

OWNER

REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	08/29/25

SHEET

EXHIBIT PERSPECTIVE

X107

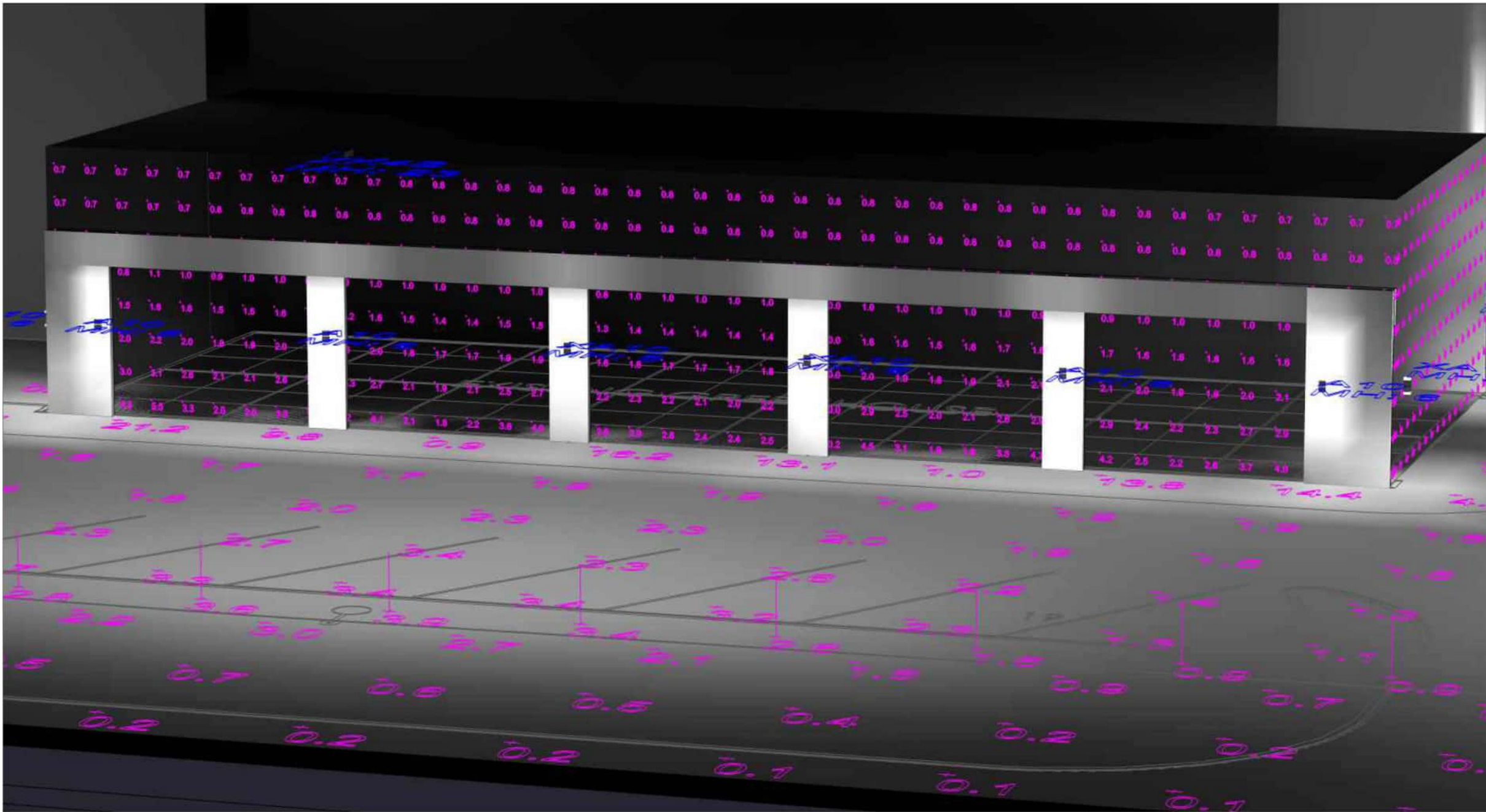
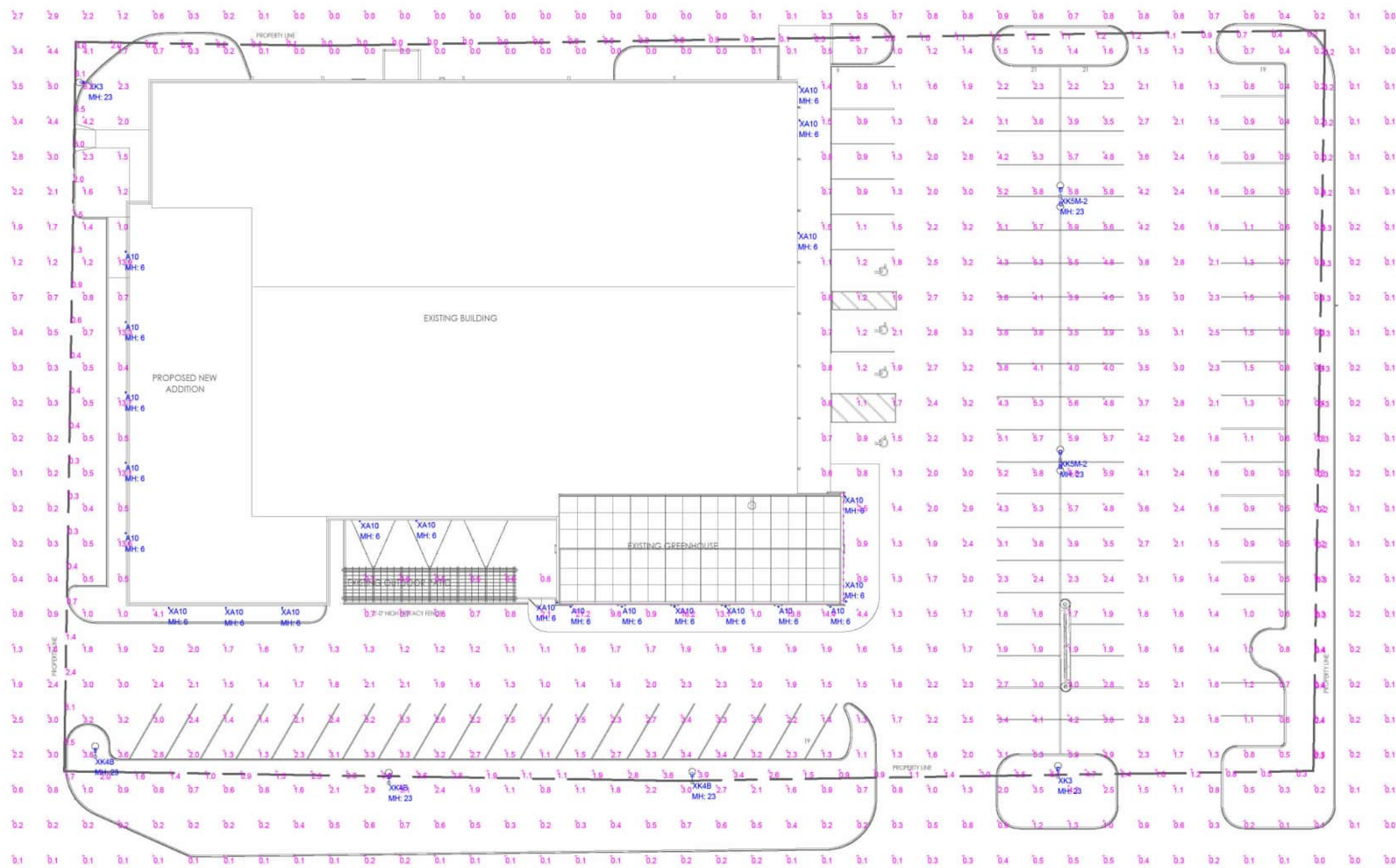


VIEW AT NEW PARKING - SOUTH EAST



NOTES:

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
  - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
  - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



Luminaire Schedule								
Label	Qty	Arrangement	LLF	Tag	Description	Lum. Watts	Total Watts	Lum. Lumens
A10	9	GROUP	0.950	FC LTG	FCC414W-UNV-940-10-10L-xxx-25-TD	N.A.	205.2	N.A.
XA10	13	GROUP	0.950	FC LTG	FCC414W-UNV-940-10-10L-xxx-25-TD	N.A.	296.4	N.A.
XX3	2	Single	0.950	CREE	OSQM-C-16L-40K7-3M-Ul-xxxx-xx-xx CONFIGURED FROM OSQ-L-xxL-30K7-3M-Ul-xx-xx-xx + 20FT POLE + 3FT BASE	97	194	15200
XX4B	3	Single	0.950	CREE	OSQM-C-16L-40K7-4B-Ul-xx-xx-xx-xx CONFIGURED FROM OSQ-L-xxL-40K7-4B-Ul-xx-xx-xx + 20FT POLE + 3FT BASE	97	291	9575
XX5M-2	2	Back-Back	0.950	CREE	OSQM-C-16L-40K7-5M-Ul-xxxx-xx-xx CONFIGURED FROM OSQ-L-xxL-30K7-5M-Ul-xx-xx-xx + 20FT POLE + 3FT BASE	97	388	16000

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
GREENHOUSE_Side_2	Illuminance	Fc	4.95	127.0	0.8	6.19	158.75
GREENHOUSE_Side_3	Illuminance	Fc	1.74	60.7	0.0	N.A.	N.A.
PRESUMED PROPERTY LINE	Illuminance	Fc	1.22	6.1	0.0	N.A.	N.A.
SITE	Illuminance	Fc	1.77	21.2	0.0	N.A.	N.A.



COMMENTS

DATE

#

REVISIONS

DRAWN BY : LB

DATE : AUG 28, 2025

SCALE : 1/32" = 1'-0"

MLG HQ EXPANSION

BROOKFIELD, WISCONSIN

SITE LIGHTING



215 N. WATER STREET, SUITE 250  
MILWAUKEE, WI 53202  
414.277.9700  
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

MLG HQ  
EXPANSION

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

PROGRESS DOCUMENTS  
NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT  
AND MAY BE SUBJECT TO CHANGE, INCLUDING  
ADDITIONAL DETAIL. THESE ARE NOT FINAL  
CONSTRUCTION DOCUMENTS AND SHALL NOT BE  
USED FOR FINAL BIDDING OR CONSTRUCTION  
RELATED PURPOSES.

OWNER

REVISIONS

NO. DESCRIPTION DATE

INFORMATION

PROJECT ARCHITECT SPS  
PROJECT MANAGER E.JN  
PROJECT NUMBER 250219  
ISSUED FOR REVIEW  
DATE 08/29/25

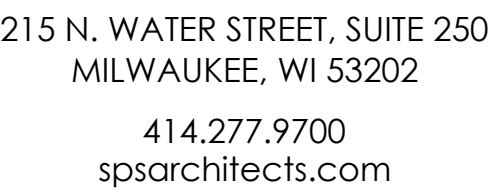
SHEET

EXHIBIT LIGHTING PLAN

X110

© STEPHEN PERRY SMITH ARCHITECTS, INC.





## PROPOSED BUILDING FOR:

19000 W. BLUEMOUND RD  
BROOKFIELD, WI 53045

OWNER

NO.	DESCRIPTION	DATE
-----	-------------	------

## LIGHTING CUT SHEETS

© STEPHEN PERRY SMITH ARCHITECTS, INC.

[illegible]

PHOTOMETRICS

LM 79-08 ES files available at [www.vLightingGroup.com/downloads](http://www.vLightingGroup.com/downloads)

Beam Angle	Order Code	Intensity Plot (cd) (000000)	Polar Plot (cd) (00000)	Core Diagram (00000)	Description
25°	20				CRCP = 3195 ccd/ftm Beam Angle = 25° Field Angle = 63° LOI = 89.4 % Beam - 1st width 8.2% Beam - 1st width 8.2% Beam - 1st width 8.2%
					Beam - 1st width 8.2% Beam - 1st width 8.2% Beam - 1st width 8.2%
					Beam - 1st width 8.2% Beam - 1st width 8.2% Beam - 1st width 8.2%
42°	40				CRCP = 1927 ccd/ftm Beam Angle = 42° Field Angle = 75° LOI = 85.7 % Beam - 1st width 8.0% Beam - 1st width 8.0% Beam - 1st width 8.0%
					Beam - 1st width 8.0% Beam - 1st width 8.0% Beam - 1st width 8.0%
					Beam - 1st width 8.0% Beam - 1st width 8.0% Beam - 1st width 8.0%
67°	60				CRCP = 1050 ccd/ftm Beam Angle = 67° Field Angle = 98° LOI = 85.2 % Beam - 1st width 8.0% Beam - 1st width 8.0% Beam - 1st width 8.0%
					Beam - 1st width 8.0% Beam - 1st width 8.0% Beam - 1st width 8.0%
					Beam - 1st width 8.0% Beam - 1st width 8.0% Beam - 1st width 8.0%

**Beam Shaping Options**

Add the order code shown below to the options box at the end of the part number:

Order Code Description

- AL** Retrograde Layer
- DL** Diffusion Lens
- SP** Beam from any standard reflector
- LS** Linear Spread Lens (30° x 7°)
- SW** New Wave Lens (40° beam, 20° from vertical)

**COLOR OPTIONS**

**Anodized  
Effect**

**A1**  
Clear Silver

**A2**  
Chromagrip

**A3**  
Light  
Brass

**A4**  
Medium  
Brass

**A5**  
Dark Brass

**A6**  
Black

# OSD Series

## OSD™ LED Area/Foot Luminaire – Medium

### Product Description

The OSD™ Area/Foot Luminaire has advanced optical, advanced thermal management systems and features, class excellence. Built to meet the highest level of performance with an energy saving, long life span, the OSD™ lighting minimizes light degradation and burns evenly into the surrounding area. Space Luminaire, the OSD™ power divergences is suitable for high bay applications up to 20 MW and the “X” beam power divergences is suitable for high bay applications up to 400 MW.

**Applications:** Parking lot, walkways, corridors, car washes, office complexes, and general luminaires.

### Performance Summary

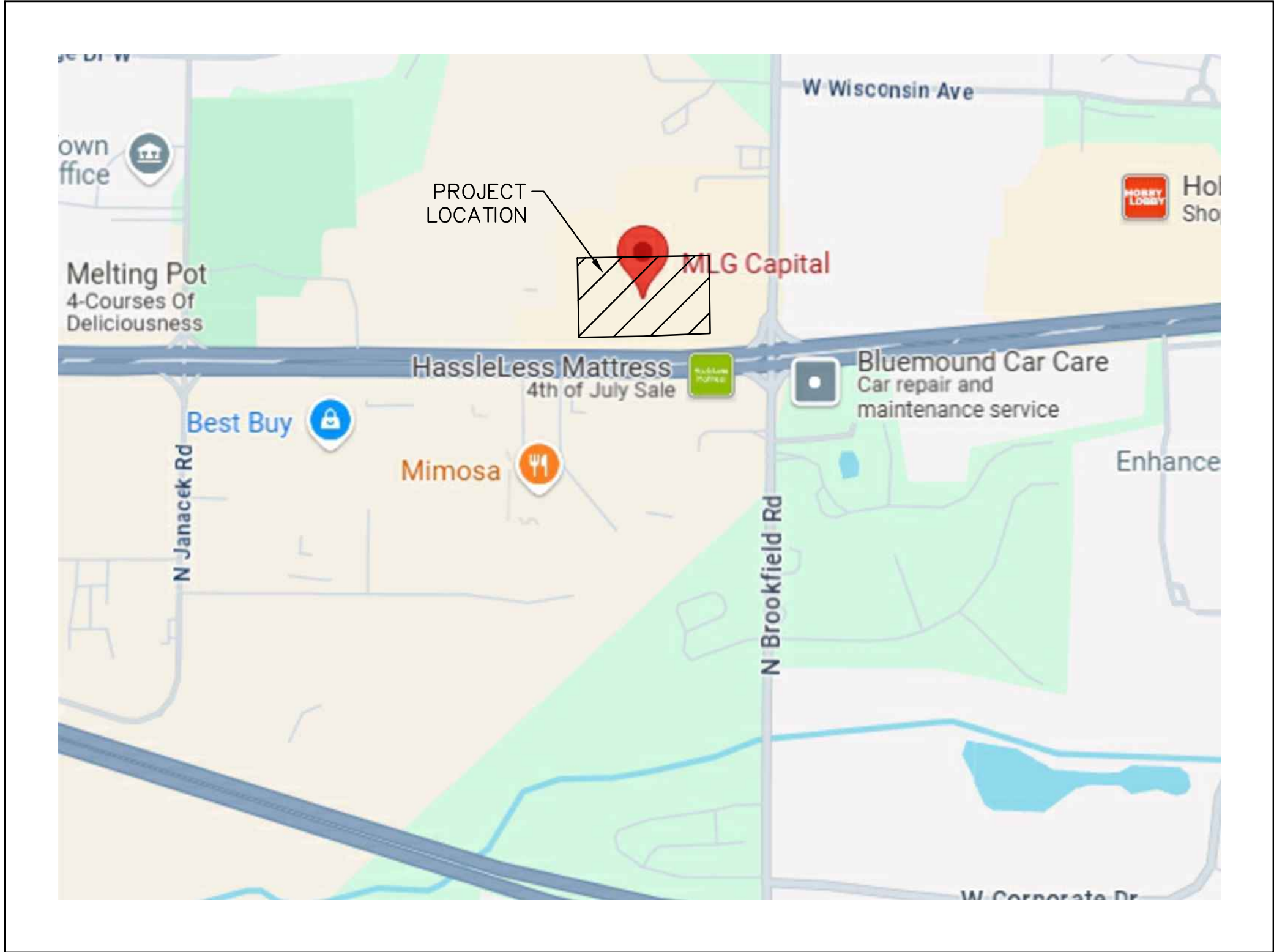
- Next-Gen™ Precision Delivery™ optics.
- Available in the U.S.A. at 120 V and imported parts.
- Initial Delivery Luminaire:** 100W, 150W, 200W, 300W, 400W, 500W, 600W, 700W, 800W, 900W, 1000W, 1200W, 1500W, 2000W, 2500W, 3000W, 3500W, 4000W, 4500W, 5000W, 6000W, 7000W, 8000W, 9000W, 10000W, 12000W, 15000W, 20000W, 25000W, 30000W, 35000W, 40000W, 45000W, 50000W, 60000W, 70000W, 80000W, 90000W, 100000W, 120000W, 150000W, 200000W, 250000W, 300000W, 350000W, 400000W, 450000W, 500000W, 600000W, 700000W, 800000W, 900000W, 1000000W, 1200000W, 1500000W, 2000000W, 2500000W, 3000000W, 3500000W, 4000000W, 4500000W, 5000000W, 6000000W, 7000000W, 8000000W, 9000000W, 10000000W, 12000000W, 15000000W, 20000000W, 25000000W, 30000000W, 35000000W, 40000000W, 45000000W, 50000000W, 60000000W, 70000000W, 80000000W, 90000000W, 100000000W, 120000000W, 150000000W, 200000000W, 250000000W, 300000000W, 350000000W, 400000000W, 450000000W, 500000000W, 600000000W, 700000000W, 800000000W, 900000000W, 1000000000W, 1200000000W, 1500000000W, 2000000000W, 2500000000W, 3000000000W, 3500000000W, 4000000000W, 4500000000W, 5000000000W, 6000000000W, 7000000000W, 8000000000W, 9000000000W, 10000000000W, 12000000000W, 15000000000W, 20000000000W, 25000000000W, 30000000000W, 35000000000W, 40000000000W, 45000000000W, 50000000000W, 60000000000W, 70000000000W, 80000000000W, 90000000000W, 100000000000W, 120000000000W, 150000000000W, 200000000000W, 250000000000W, 300000000000W, 350000000000W, 400000000000W, 450000000000W, 500000000000W, 600000000000W, 700000000000W, 800000000000W, 900000000000W, 1000000000000W, 1200000000000W, 1500000000000W, 2000000000000W, 2500000000000W, 3000000000000W, 3500000000000W, 4000000000000W, 4500000000000W, 5000000000000W, 6000000000000W, 7000000000000W, 8000000000000W, 9000000000000W, 10000000000000W, 12000000000000W, 15000000000000W, 20000000000000W, 25000000000000W, 30000000000000W, 35000000000000W, 40000000000000W, 45000000000000W, 50000000000000W, 60000000000000W, 70000000000000W, 80000000000000W, 90000000000000W, 100000000000000W, 120000000000000W, 150000000000000W, 200000000000000W, 250000000000000W, 300000000000000W, 350000000000000W, 400000000000000W, 450000000000000W, 500000000000000W, 600000000000000W, 700000000000000W, 800000000000000W, 900000000000000W, 1000000000000000W, 1200000000000000W, 1500000000000000W, 2000000000000000W, 2500000000000000W, 3000000000000000W, 3500000000000000W, 4000000000000000W, 4500000000000000W, 5000000000000000W, 6000000000000000W, 7000000000000000W, 8000000000000000W, 9000000000000000W, 10000000000000000W, 12000000000000000W, 15000000000000000W, 20000000000000000W, 25000000000000000W, 30000000000000000W, 35000000000000000W, 40000000000000000W, 45000000000000000W, 50000000000000000W, 60000000000000000W, 70000000000000000W, 80000000000000000W, 90000000000000000W, 100000000000000000W, 120000000000000000W, 150000000000000000W, 200000000000000000W, 250000000000000000W, 300000000000000000W, 350000000000000000W, 400000000000000000W, 450000000000000000W, 500000000000000000W, 600000000000000000W, 700000000000000000W, 800000000000000000W, 900000000000000000W, 1000000000000000000W, 1200000000000000000W, 1500000000000000000W, 2000000000000000000W, 2500000000000000000W, 3000000000000000000W, 3500000000000000000W, 4000000000000000000W, 4500000000000000000W, 5000000000000000000W, 6000000000000000000W, 7000000000000000000W, 8000000000000000000W, 9000000000000000000W, 10000000000000000000W, 12000000000000000000W, 15000000000000000000W, 20000000000000000000W, 25000000000000000000W, 30000000000000000000W, 35000000000000000000W, 40000000000000000000W, 45000000000000000000W, 50000000000000000000W, 60000000000000000000W, 70000000000000000000W, 80000000000000000000W, 90000000000000000000W, 100000000000000000000W, 120000000000000000000W, 150000000000000000000W, 200000000000000000000W, 250000000000000000000W, 300000000000000000000W, 350000000000000000000W, 400000000000000000000W, 450000000000000000000W, 500000000000

[illegible]



SITE CIVIL AND LANDSCAPE PLANS  
FOR  
MLG CAPITAL ADDITION  
19000 WEST BLUEMOUND ROAD, SUITE A  
BROOKFIELD, WI

VICINITY MAP



PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C201	FIRE TRUCK ACCESS PLAN
C300	GRADING & UTILITY PLAN
C400	SITE DETAILS
C500	SPECIFICATIONS
L100	LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS

ENGINEER AND LANDSCAPE ARCHITECT:



16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

CHRISTOPHER WHITE, P.E.  
PROJECT MANAGER  
PH.: (262)–317–3286  
EMAIL: CHRISTOPHER.WHITE@RASMITH.COM

ROB WILLIAMS, PLA, ASLA  
LANDSCAPE ARCHITECT  
PH: (262) 317–3270  
ROB.WILLIAMS@RASMITH.COM

DEVELOPER / OWNER:

MLG CAPITAL  
19000 WEST BLUEMOUND ROAD, SUITE A  
BROOKFIELD, WI 53045



R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.  
ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

PLAN DATE: 08/20/2025

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

PRELIMINARY  
NOT FOR  
CONSTRUCTION

© COPYRIGHT 2025  
R.A. Smith, Inc.  
DATE: 08/20/2025  
SCALE: N.T.S.  
JOB NO. 3250112  
PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.  
DESIGNED BY: MAF  
CHECKED BY: CBW

SHEET NUMBER  
C000

MLG CAPITAL BUILDING ADDITION  
TOWN OF BROOKFIELD, WI

TITLE SHEET



16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA



# ALTA/NSPS LAND TITLE SURVEY

KNOWN AS: 19000 W. BLUEMOUND ROAD, BROOKFIELD, WISCONSIN

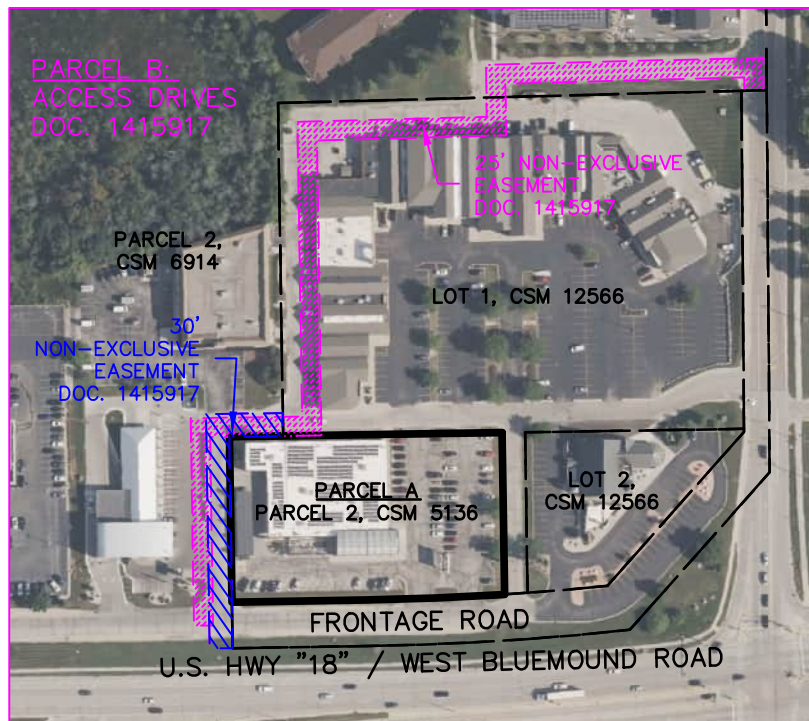
## PARCEL A:

Parcel 2 of Certified Survey Map No. 5136, being a part of the Northeast 1/4 of the Southeast 1/4 of Section 29, in Township 7 North, Range 20 East, in the Town of Brookfield, County of Waukesha, State of Wisconsin, recorded in the Office of the Register of Deeds for Waukesha County on January 28, 1987 in Volume 42 of Certified Survey Maps on Pages 71 to 73 inclusive, as Document No. 1399947.

## PARCEL B: (SHOWN IN DETAIL)

Non-exclusive easement for the benefit of Parcel A created by Restrictive Covenant and Easement Agreement, dated October 6, 1987 and recorded October 12, 1987 as Document No. 1451917, for ingress and egress as provided for therein.

Prepared for: MLG DEVELOPMENT  
Survey No: 169793-KAC



## A. Basis of Bearings

Bearings are based on the East line of the Southeast 1/4 of Section 29, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin, which bears South 00°26'01" East, as shown on Certified Survey Map No. 5136.

## B. Title Commitment

This survey was prepared based on Chicago Title Insurance Company, title commitment number CO-6315, Revision D, commitment date September 26, 2017, which lists the following easements and/or restrictions from schedule B-II:

1-5, 9, and 19-30 - **NOT SURVEY RELATED.**

6-8, 31, and 32 - **VISIBLE EVIDENCE SHOWN, IF ANY.**

17 - **INTENTIONALLY DELETED FROM TITLE COMMITMENT.**

10. Sign Easement Agreement recorded on November 2, 2005, as Document No. 3333409. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

11. Utility Easement recorded on April 19, 1911 as Document No. 74955. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

12. Utility Easement recorded on December 9, 1921 in Volume 176 of Deeds at page 145, as Document No. 120139. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

13. Utility Easement recorded on December 23, 1927 as Document No. 154949. - **DOCUMENT NOT PROVIDED.**

14. Utility Easement recorded on March 18, 1953 in Volume 597 of Deeds at page 67, as Document No. 377695. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

15. Access Restriction recorded on August 10, 1951 in Volume 553 of Deeds at page 275, as Document No. 354772. - **IT LIMITS ACCESS TO AN OTHERWISE ABUTTING RIGHT OF WAY - ITS LOCATION IS SHOWN.**

16. Access Authorization recorded on August 16, 1983 in Reel 560, Image 327, as Document No. 1225599. - **IT LIMITS ACCESS TO AN OTHERWISE ABUTTING RIGHT OF WAY - ITS LOCATION IS SHOWN.**

18. Restrictions, covenants, conditions and easements recorded on October 12, 1987 in Reel 946, Image 1247, as Document No. 1451917. but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

33. Rights of utility companies to maintain their facilities as referenced on the ALTA/NSPS Land Title Survey prepared by The Sigma Group under date of July 12, 2017 and last revised August 23, 2017 as Project No. 17013. - **DOCUMENT NOT PROVIDED.**

34. Consequences, if any, due to the location of the northern access drive along the West lot line which does not appear to comply with Section 3.4(b) of the Restrictive Covenant and Easement Agreement recorded as Document No. 1451917 and referenced on the ALTA/NSPS Land Title Survey prepared by The Sigma Group under date of July 12, 2017 and last revised August 23, 2017 as Project No. 17013. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

## C. Flood Note

According to flood insurance rate map of the Waukesha County Unincorporated Areas, community panel number 55133C0217H, effective date of October 19, 2023, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain). Flood Hazard Impact is subject to map scale uncertainty.

## D. Parking Spaces

There are 88 total parking spaces consisting of 86 regular and 2 handicapped parking spaces marked on this site.

## E. Elevations

Elevations refer to NAVD88 Datum. Starting Benchmark: 871.26', Reference benchmark for East corner of Section 29-7-20 - Chiseled Cross on Hydrant Nozzle

## F. Municipal Zoning

 (Information obtained by Surveyor)

The zoning information listed below is taken from Town of Brookfield- site is zoned B-2 Limited General Business District

Front setback = 50'

Side yard setbacks (offset) = 15'

Maximum height of principal building = 45'

## G. Notes

As to Table A item 11

Surveyor's responsibility to coordinate markings shall be limited to one marking request to 811 (national "call before you dig" number) based on the property address, as provided by the client.

Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked within will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response.

As of the field date indicated below in certificate (most recent site visit/inspection), it appears some underground utilities were not marked. This affected the surveyor's assessment of the location of the utilities resulting in partial illustration and/or mapping per plan. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

There is no visible evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

There are no proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction or observed in the process of conducting the fieldwork.

There is no visible evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

DIGGERS HOTLINE TICKET NOS: 20252301795 & 1796

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

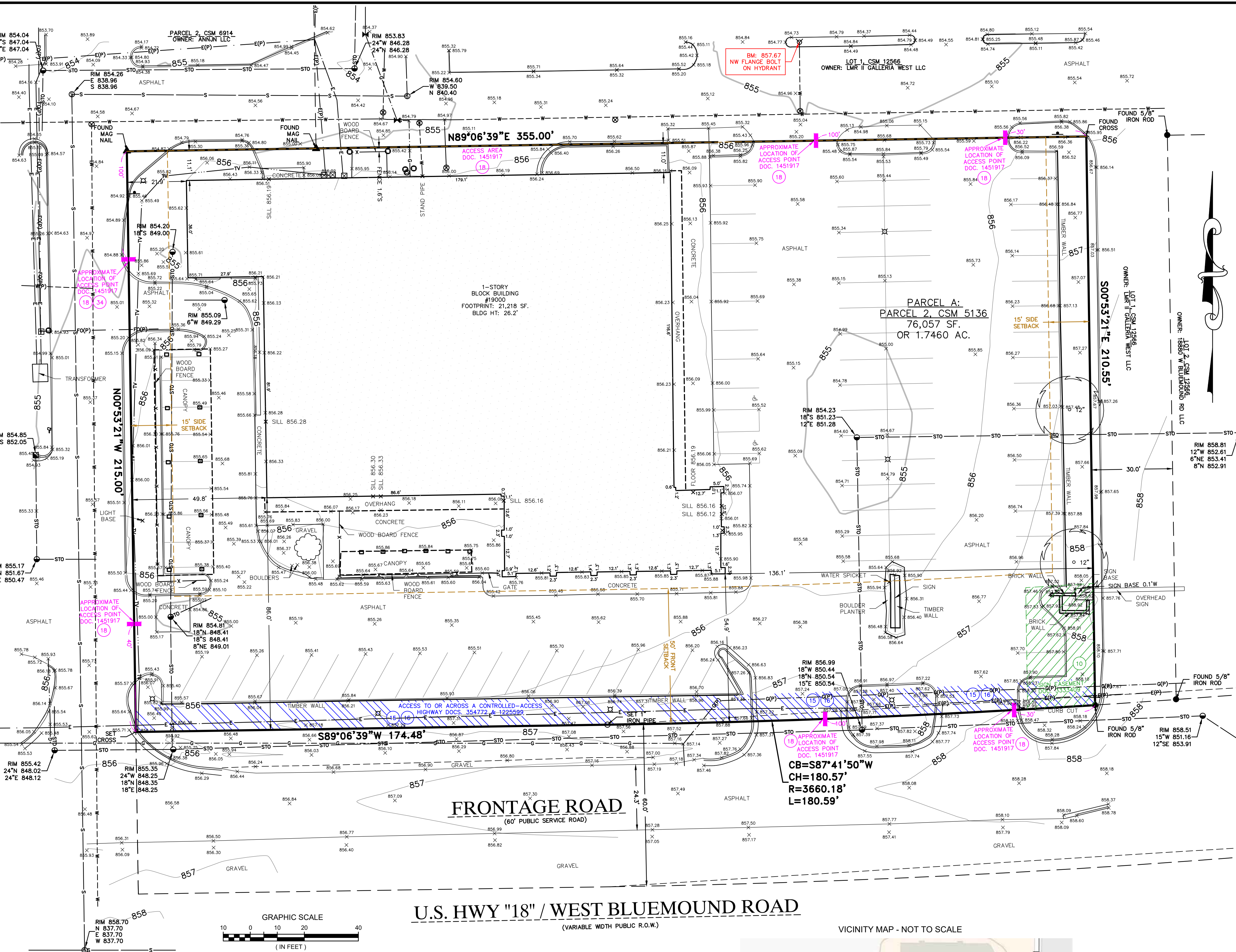
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

SHEET 1 OF 1



To: 19000 HQ, LLC, a Wisconsin limited liability company; Park Bank, its successors and/or assigns; Three B Land Company, a Wisconsin general partnership; and Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b), 13, 16, and 17 of Table A thereof. The fieldwork was completed on June 24, 2025.

Date of Plat or Map: June 25, 2025

I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.



**Eric R. Sturm**  
Professional Land Surveyor  
Registration Number S-2309  
eric.sturm@rasmith.com

○ BOLLARD	○ SANITARY MANHOLE
+ SOL. BORING/MONITORING WELL	○ SANITARY CLEANOUT OR SEPTIC VENT
✱ FLAGPOLE	○ SANITARY INTERCEPTOR MANHOLE
✱ MAIL BOX	○ MISCELLANEOUS MANHOLE
✱ SIGN	○ WATER VALVE
✱ AIR CONDITIONER	○ HYDRANT
✱ CONTROL BOX	○ WATER SERVICE CURB STOP
✱ TRAFFIC SIGNAL	○ WATER MANHOLE
✱ IRRIGATION CONTROL BOX	○ WELL
✱ CABLE PEDESTAL	○ WATER SURFACE
✱ POWER POLE	○ WETLANDS FLAG
✱ GUY POLE	○ MARSH
✱ GUY WIRE	○ CONIFEROUS TREE
✱ LIGHT POLE	○ DECIDUOUS TREE
➤ SPOT/YARD/PEDESTAL LIGHT	○ SHRUB
○ HANDICAPPED PARKING	— EDGE OF TREES
○ PULL BOX	— SANITARY SEWER
○ ELECTRIC MANHOLE	— STORM SEWER
○ ELECTRIC PEDESTAL	— WATERMAIN
○ ELECTRIC METER	— MARKED GAS MAIN
○ ELECTRIC TRANSFORMER	— E-MARKED ELECTRIC
○ TELEPHONE MANHOLE	— OHM-OVERHEAD WIRES
○ TELEPHONE PEDESTAL	— B-BUREAU ELEC. SERV.
✱ GAS VALVE	— T-MARKED TELEPHONE
✱ GAS METER	— TV-MARKED CABLE TV LINE
○ GAS WARNING SIGN	— F-MARKED FIBER OPTIC
○ STORM MANHOLE	— (P)—UTILITY PER PLAN
○ ROUND INLET	— INDICATES EXISTING
✱ SQUARE INLET	— INDICATES EXISTING
✱ STORM SEWER END SECTION	— INDICATES EXISTING

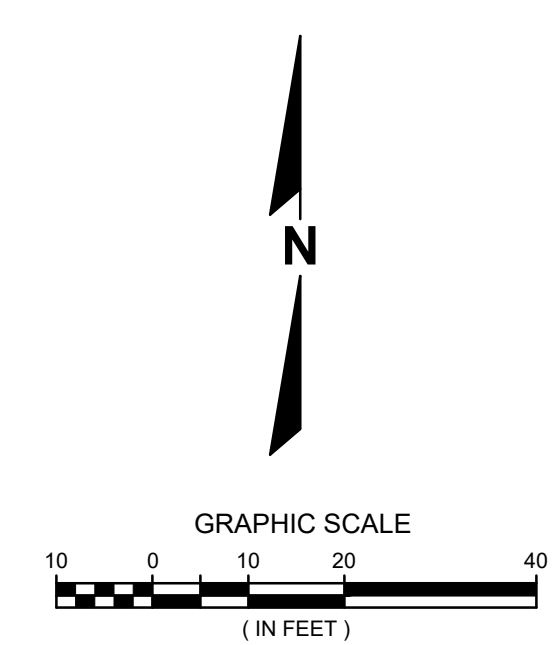
VICINITY MAP - NOT TO SCALE











<u>PROPOSED CONDITIONS</u>	SF	ACRES	COVERAGE
TOTAL SITE	76,057	1.74	
PERVIOUS SPACE	8,212	0.19	11.0%
IMPERVIOUS SPACE	67,845	1.55	89.0%

1. EXISTING TOPOGRAPHY OBTAINED BY rasSmith, June 25, 2025.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF BROOKFIELD, WI EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
4. ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
5. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
6. ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
7. PAVEMENT SECTIONS SHALL MATCH EXISTING PAVEMENT DESIGN OR APPROVED BY OWNER.



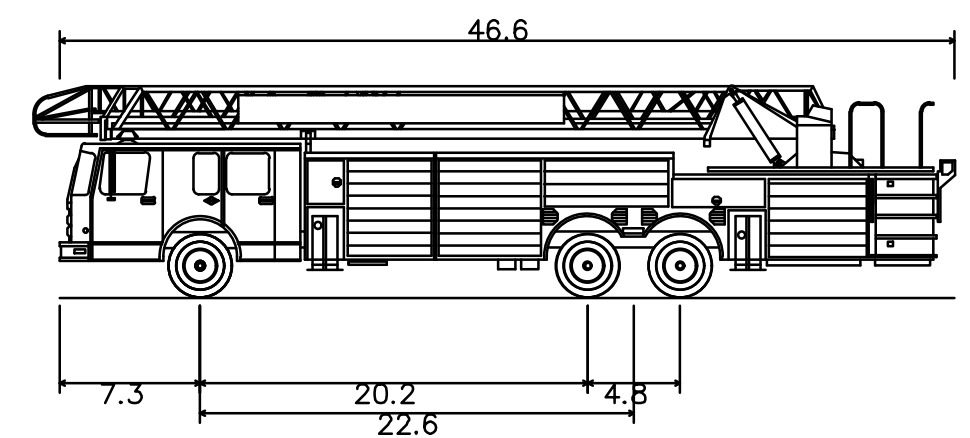
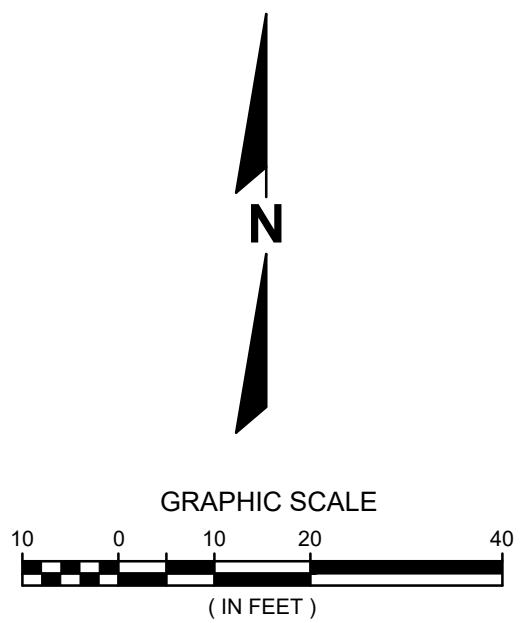
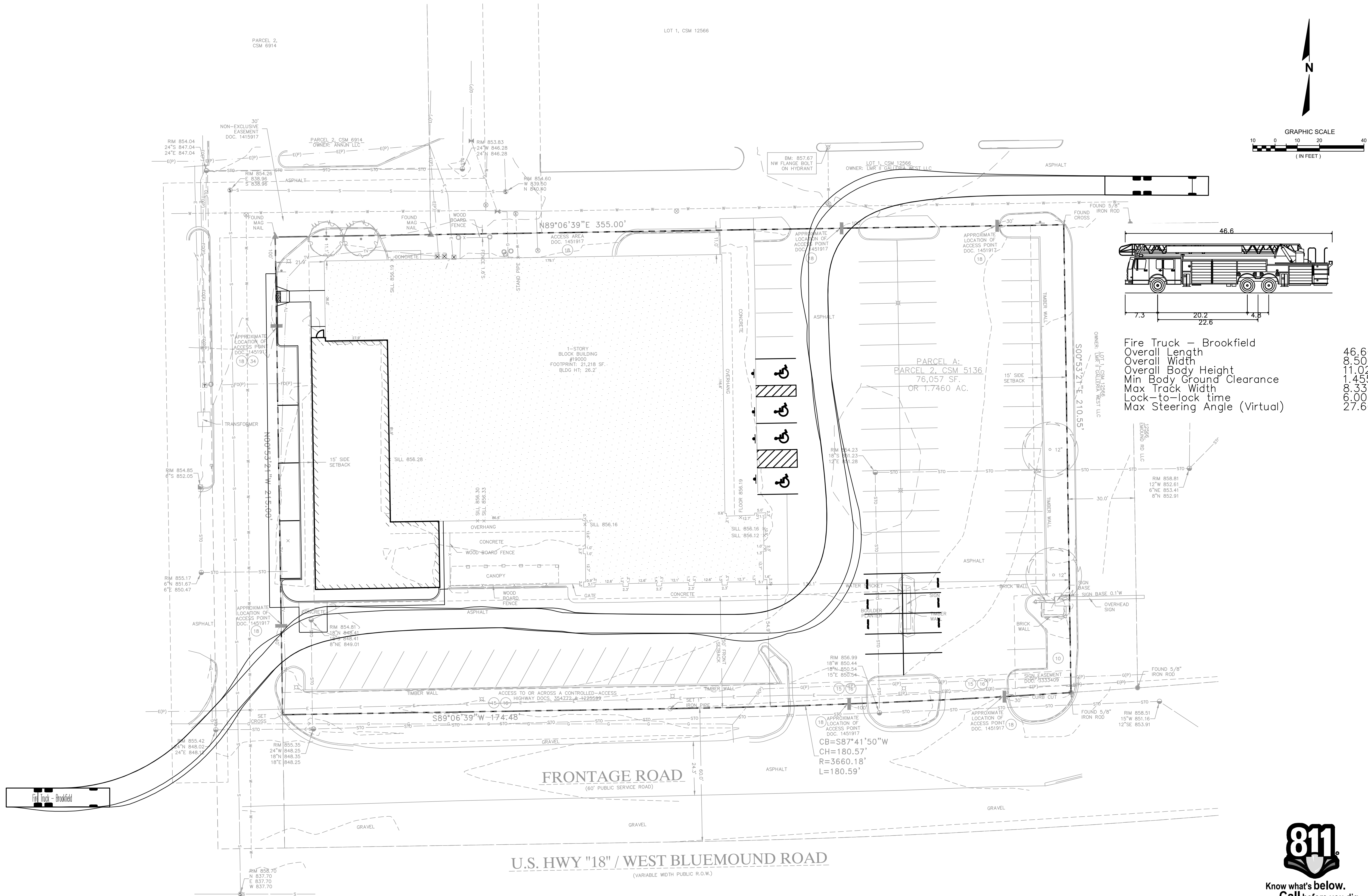
R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANOTHER PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

[illegible]



P:\3250112\Drawg\Sheets\3250112-TK01.dwg, FIRE TRUCK ACCESS PLAN, 8/20/2025 11:05:39 AM, CBW



Fire Truck – Brookfield  
Overall Length 46.600ft  
Overall Width 8.500ft  
Overall Body Height 11.025ft  
Min Body Ground Clearance 1.455ft  
Max Track Width 8.333ft  
Lock-to-lock time 6.00s  
Max Steering Angle (Virtual) 27.60°

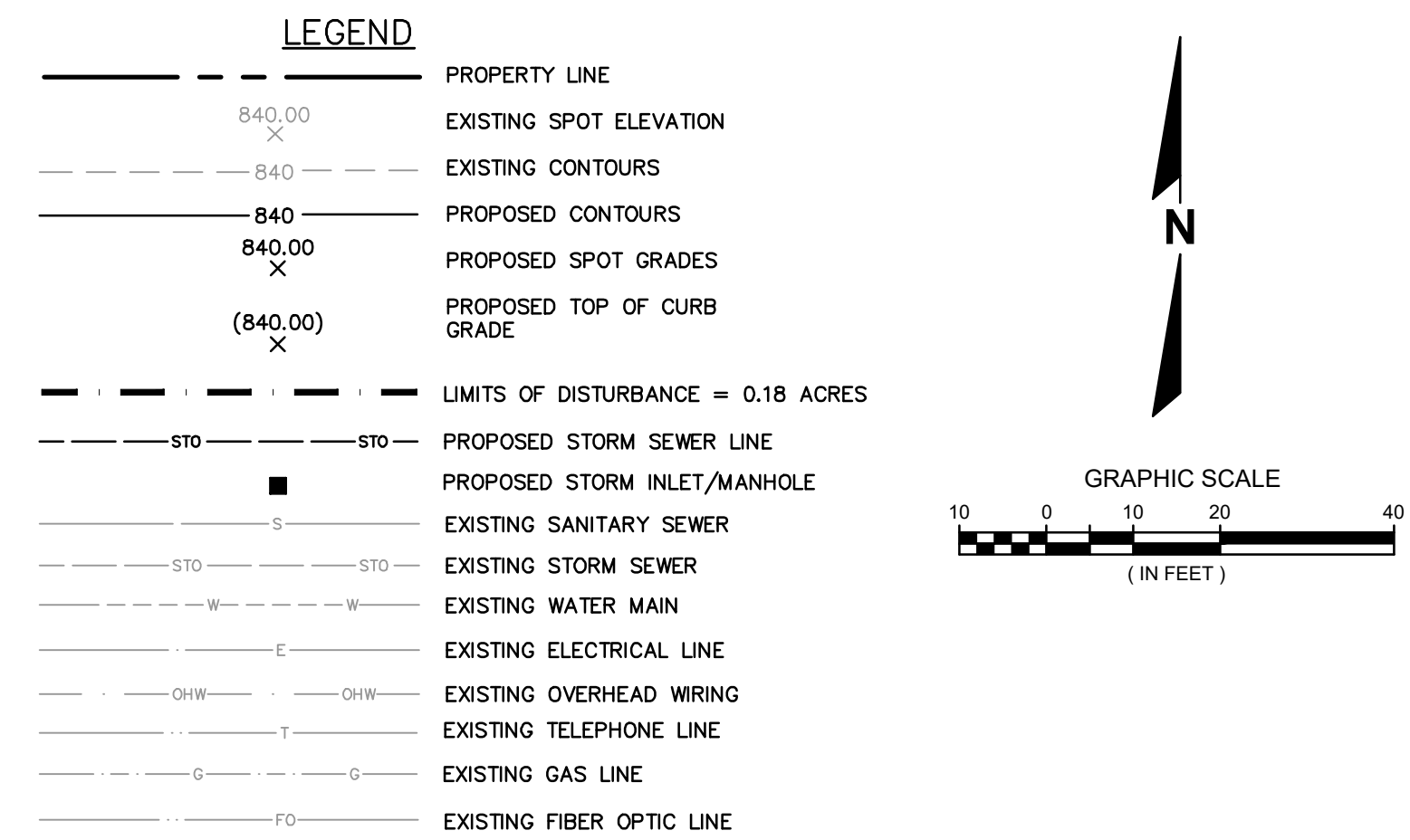


Know what's below.  
Call before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.  
ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.

DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
<b>raSmith</b> CREATIVITY BEYOND ENGINEERING	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA	
MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI	
FIRE TRUCK ACCESS PLAN	
© COPYRIGHT 2025 R.A. Smith, Inc. DATE: 08/20/2025 SCALE: 1" = 20' JOB NO. 3250112 PROJECT MANAGER: CHRISTOPHER WHITE, P.E. DESIGNED BY: MAF CHECKED BY: CBW	
SHEET NUMBER C201	





- ## GENERAL GRADING NOTES:
1. ALL SIDEWALKS TO BE SLOPED AT LESS THAN 5.0% AND NO MORE THAN 2.0% CROSS SLOPE.
  2. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
  3. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
  4. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. SEE SHEET C100 FOR PLACEMENT OF EROSION CONTROL FACILITIES.
  5. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
  6. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PAD AND PAVEMENT AREAS, SCRAPING AND FINAL COMPACTOR OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
  7. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
  8. CONTRACTOR TO VERIFY FIRST FLOOR ELEVATION AND CONTACT ENGINEER IF DISCREPANCIES ARE FOUND.

- ### GENERAL UTILITY NOTES:
1. CONTRACTOR TO MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER MAIN CROSSES ABOVE SEWER. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER SERVICE CROSSES BELOW SEWER.
  2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
  3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH SPECIFIED STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY.
  4. CONTRACTOR TO CONFIRM AND VERIFY SITE LIGHTING PLAN WITH ARCHITECTURAL PLANS AND/OR MEP PLANS.
  5. CONTRACTOR TO INSTALL INLET PROTECTION AS STORM SEWER IS SET.
  6. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE, AND THE TOWN SPECIFICATIONS.
  7. CONTRACTOR SHALL NOTIFY THE TOWN, SANITARY DISTRICT NO. 4, AND FIELD STAFF A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION.

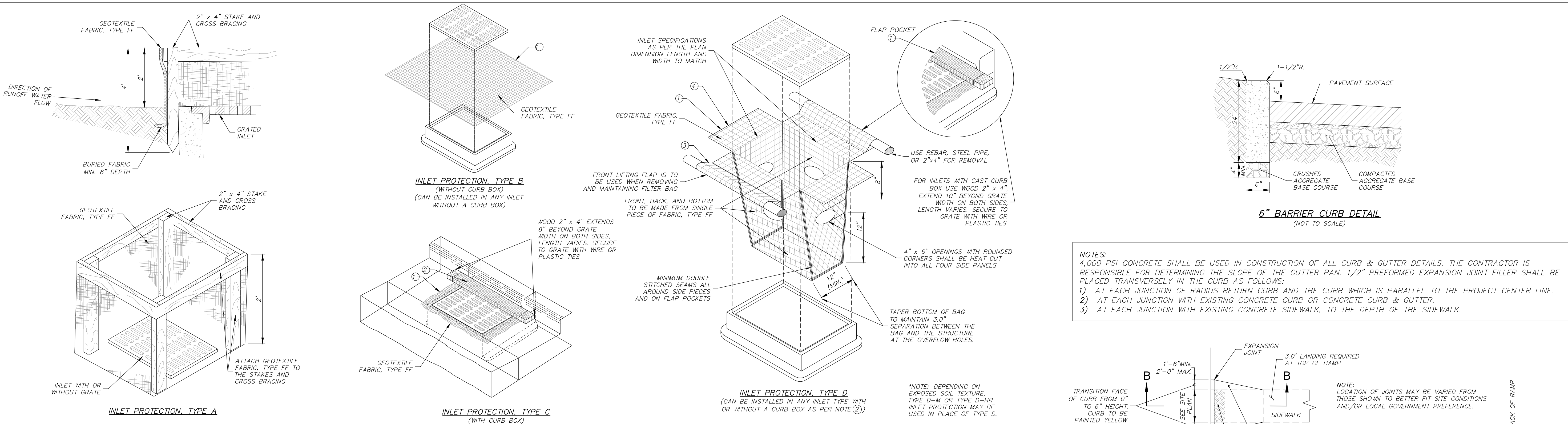
[illegible]

Know what's below.  
**Call** before you dig.

R.A.SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A.SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A.SMITH, INC.



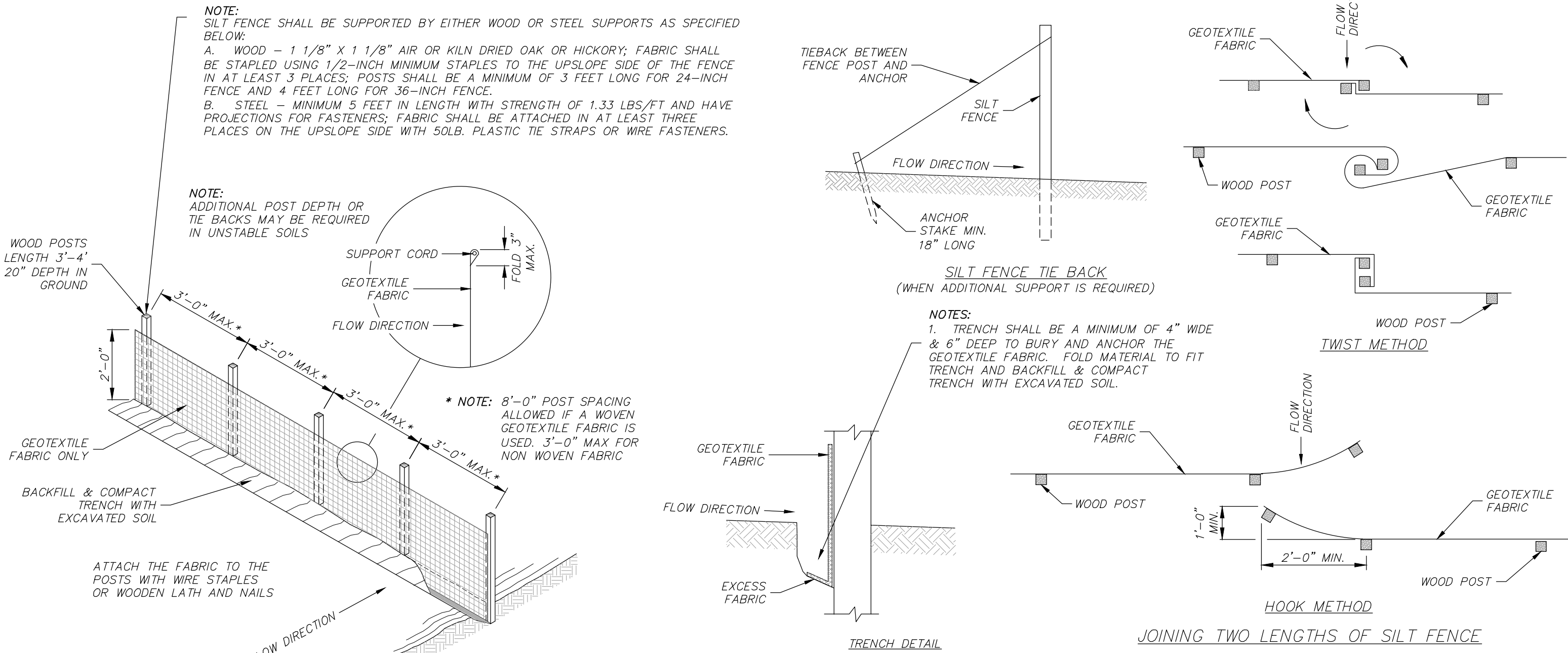


- GENERAL NOTES:**
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
  - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
  - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
  - SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
- INSTALLATION NOTES:**
- TYPE B & C:  
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP. HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D:  
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINC THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.
- MAINTENANCE:**
- REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.
- INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.
- FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN STANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.
- REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- NOTES:**
- SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
  - SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
  - WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

- INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
- A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
  - TWIST METHOD—OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
  - HOOK METHOD—HOOK THE END OF EACH SILT FENCE LENGTH.
- SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
- SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
- SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



**MINIMAL COVER STORM INLET**

USE NEENAH CASTING R-3067 WITH TYPE C GRATE AT ALL CURB INLET LOCATIONS.

CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A. SMITH, INC.

DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

raSmith

CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
 Cedarburg, WI | Naperville, IL | Irvine, CA

MLG CAPITAL BUILDING ADDITION  
TOWN OF BROOKFIELD, WI

SITE DETAILS

© COPYRIGHT 2025  
R.A. Smith, Inc.

DATE: 08/20/2025

SCALE: N.T.S.

JOB NO. 3250112

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

DESIGNED BY: MAF

CHECKED BY: CBW

SHEET NUMBER

C400



DIVISION 1 – GENERAL REQUIREMENTS		DIVISION 31 – EARTHWORK		DIVISION 32 – EXTERIOR IMPROVEMENTS		DIVISION 33 – UTILITIES	
01 41 00 – REGULATORY REQUIREMENTS		31 10 00 – SITE CLEARING & DEMOLITION		32 10 00 – WATER DISTRIBUTION		33 10 00 – WATER DISTRIBUTION	
<div>1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:<div>a. WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS</div>b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST</div> <div>c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)</div> d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 381-387 <div>e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION</div> <div>f. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED PRODUCT LISTS (APL)</div> <div>g. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)</div> <div>h. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)</div> <div>i. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS</div> <div>j. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES</div> <div>k. MUNICIPALITY DEVELOPMENT STANDARDS</div> <div>l. COUNTY DEVELOPMENT STANDARDS</div> <div>2. THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.</div> <div>3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.</div> <div>4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.</div> <div>5. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER.</div> <div>6. ALL DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC., HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS, HIGHLIGHT THE PRESSURE CLASS &amp; SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT PROPERLY IDENTIFYING THE SPECIFIC MATERIAL BEING USED WILL BE REJECTED.</div> <div>7. THE CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DESIGN (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS OBTAINED. THE CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM USE OF THE PROPOSED SUBSTITUTE.</div> <div>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.</div> <div>9. ALL WORK SHALL BE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE OWNER OR THEIR REPRESENTATIVE SHALL DECIDE ALL QUESTIONS WHICH SHALL ARISE AS TO THE QUALITY AND ACCEPTABILITY OF MATERIALS FURNISHED, WORK PERFORMED, AND WORKMANSHIP. INTERPRETATION OF THE PLANS AND SPECIFICATIONS BY THE OWNER OR THEIR REPRESENTATIVE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND MATERIALS FURNISHED.</div> <div>10. FAILURE OR NEGLIGENCE ON THE PART OF THE OWNER OR THEIR REPRESENTATIVE TO CONDEMN OR REJECT SUBSTANDARD OR INFERIOR WORK OR MATERIALS SHALL NOT BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR MATERIALS, IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER. NEITHER SHALL IT BE CONSTRUED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME, FROM THE RECOVERY OF DAMAGES OR OF SUCH A SUM OF MONEY AS MAY BE NEEDED TO BUILD ANEW ALL PORTIONS OF THE SUBSTANDARD OR INFERIOR WORK OR REPLACEMENT OF IMPROPER MATERIALS WHICH ARE FURNISHED.</div> <div>11. INSPECTORS EMPLOYED BY THE OWNER SHALL BE AUTHORIZED TO INSPECT ALL WORK DONE AND ALL MATERIAL FURNISHED. SUCH INSPECTION MAY EXTEND TO ALL OR ANY PART OF THE WORK AND TO THE PREPARATION, THE USE, AND THE INSTALLATION OF MATERIALS. THE INSPECTOR IS NOT AUTHORIZED TO REVOKE, ALTER OR WAIVE ANY REQUIREMENTS OF THE SPECIFICATIONS, NOR IS HE AUTHORIZED TO APPROVE OR ACCEPT ANY PORTION OF THE COMPLETED PROJECT. HE SHALL CALL THE ATTENTION OF THE CONTRACTOR TO ANY FAILURE OF THE WORK OR MATERIALS TO CONFORM TO THE SPECIFICATIONS AND TO THE QUALITY OF THE MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY DEFECTIVE MATERIALS. ANY DISPUTE BETWEEN THE INSPECTOR AND CONTRACTOR SHALL BE REFERRED TO THE OWNER OR THEIR REPRESENTATIVE. ANY ADVICE WHICH THE INSPECTOR MAY GIVE THE CONTRACTOR SHALL IN NO WAY BE CONSTRUED AS BINDING ON THE CONTRACTOR IN ANY WAY OR RELEASING THE CONTRACTOR FROM FULFILLING ANY OF THE TERMS OF THE CONTRACT.</div> <div>12. ALL MATERIALS AND EACH PART OF DETAIL OF THE WORK SHALL BE SUBJECT AT ALL TIMES TO INSPECTION BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE OR THE AUTHORITY HAVING JURISDICTION OVER THE CONTRACT. THE CONTRACTOR WILL BE HELD STRICTLY TO THE TRUE INTENT OF THE SPECIFICATIONS IN REGARD TO QUALITY OF MATERIALS, WORKMANSHIP, AND THE DILIGENT EXECUTION OF THE CONTRACT. SUCH INSPECTION MAY INCLUDE MILL, PLANT OR SHOP INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO SUCH INSPECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION.</div> <div>13. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE. UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE STANDARDS OF WORKMANSHIP.</div> <div>14. EXCAVATED ITEMS OF WORK SHALL BE PRESENTED IN NEAT WORKMANLIKE APPEARANCE, AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS GENERALLY USED IN THE RESPECTIVE TYPES OF WORK. ITEMS OF WORK SHALL BE SOUND AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DETEIORATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE OWNER OR THEIR REPRESENTATIVE.</div> <div>15. ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE, AND SUCH MATERIALS, WHETHER IN PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REPLACE DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF SUCH REMOVAL AND REPLACEMENT FROM ANY MONIES DUE OR WHICH MAY BECOME DUE TO THE CONTRACTOR.</div> <div>16. THE CONTRACTOR SHALL KEEP A LEGIBLE COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES.</div> <div>17. AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE OWNER OR THEIR REPRESENTATIVE WITH A MARKED-UP SET OF DRAWINGS SHOWING ALL CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON A SET OF FIELD CHANGES TO THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE</div>							

e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION

f. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED PRODUCT LISTS (APL)

g. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)

h. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)

i. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS

j. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES

k. MUNICIPALITY DEVELOPMENT STANDARDS

l. COUNTY DEVELOPMENT STANDARDS

2. THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.

3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.

4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.

5. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER.

a. DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC., HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT BEING IDENTIFIED IN THE WORK SHALL BEING USED WILL BE REJECTED.

b. THE CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DESIGN (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM USE OF THE PROPOSED SUBSTITUTE.6. THE CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. ANY CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.

a. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE OWNER OR THEIR REPRESENTATIVE SHALL HAVE THE AUTHORITY TO THE TRUE INTENT OF THE SPECIFICATIONS IN REGARD TO ACCEPTABILITY OF MATERIALS FURNISHED, WORK PERFORMED, AND WORKMANSHIP. INTERPRETATION OF THE PLANS AND SPECIFICATIONS BY THE OWNER OR THEIR REPRESENTATIVE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND THE QUALITY OF WORK.

b. FAILURE OR NEGLIGENCE ON THE PART OF THE OWNER OR THEIR REPRESENTATIVE TO CONDEMN OR REJECT SUBSTANDARD OR INFERIOR WORK OR MATERIALS SHALL NOT BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR MATERIALS, IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF WORKMANSHIP. THE CONTRACTOR SHALL BE CONSIDERED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME, FROM THE RECOVERY OF DAMAGES OR OF SUCH A SUM OF MONEY AS MAY BE NEEDED TO BUILD ANEW ALL PORTIONS OF THE SUBSTANDARD OR INFERIOR WORK OR REPLACEMENT OF IMPROPER MATERIALS WHERE THE CONTRACTOR HAS BEEN ADVISED OF THE DEFECTS AND REPAIRS.

c. INSPECTORS EMPLOYED BY THE OWNER SHALL BE AUTHORIZED TO INSPECT ALL WORK DONE AND ALL MATERIAL FURNISHED. SUCH INSPECTION MAY EXTEND TO ALL OR ANY PART OF THE WORK AND TO THE PREPARATION, FABRICATION OR MANUFACTURE OF THE MATERIALS TO BE USED. THE INSPECTOR IS NOT AUTHORIZED TO REVOKE OR WAIVE ANY REQUIREMENTS OF THE SPECIFICATIONS. NOR IS HE AUTHORIZED TO APPROVE OR ACCEPT ANY PORTION OF THE COMPLETED PROJECT. HE SHALL CALL THE ATTENTION OF THE CONTRACTOR TO ANY FAILURE OF THE WORK OR MATERIALS TO CONFORM TO THE SPECIFICATIONS AND THE CONTRACTOR SHALL BE REFERRED TO THE OWNER OR THEIR REPRESENTATIVE. ANY ADVICE WHICH THE INSPECTOR MAY GIVE THE CONTRACTOR SHALL IN NO WAY BE CONSTRUED AS BINDING THE ENGINEER IN ANY WAY OR RELEASING THE CONTRACTOR FROM FULFILLING ANY OF THE TERMS OF THE CONTRACT.

d. ALL MATERIALS AND EACH PART OF DETAIL OF THE WORK SHALL BE SUBJECT AT ALL TIMES TO INSPECTION BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE OR THE AUTHORITY HAVING JURISDICTION AND THE CONTRACTOR SHALL BE RESPONSIBLE TO THE TRUE INTENT OF THE SPECIFICATIONS IN REGARD TO QUALITY OF MATERIALS, WORKMANSHIP, AND THE DILIGENT EXECUTION OF THE CONTRACT. SUCH INSPECTION MAY INCLUDE MILL, PLANT OR SHOP INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO INSPECTION BY THE OWNER OR HIS REPRESENTATIVE. THE CONTRACTOR SHALL ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION.

e. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE. UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE STANDARDS OF WORKMANSHIP.

f. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.

g. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.

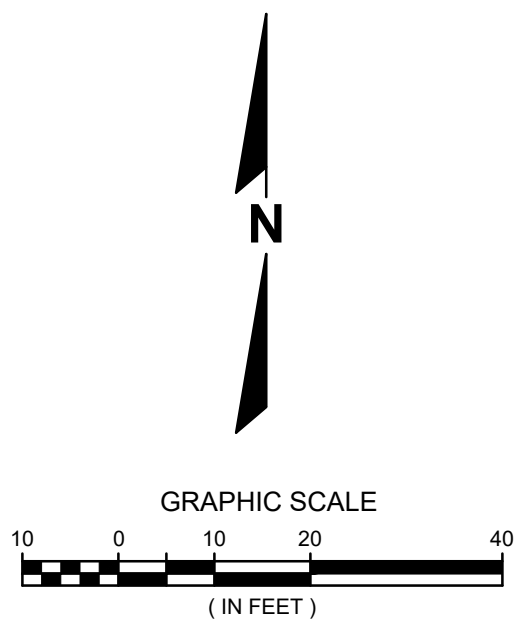
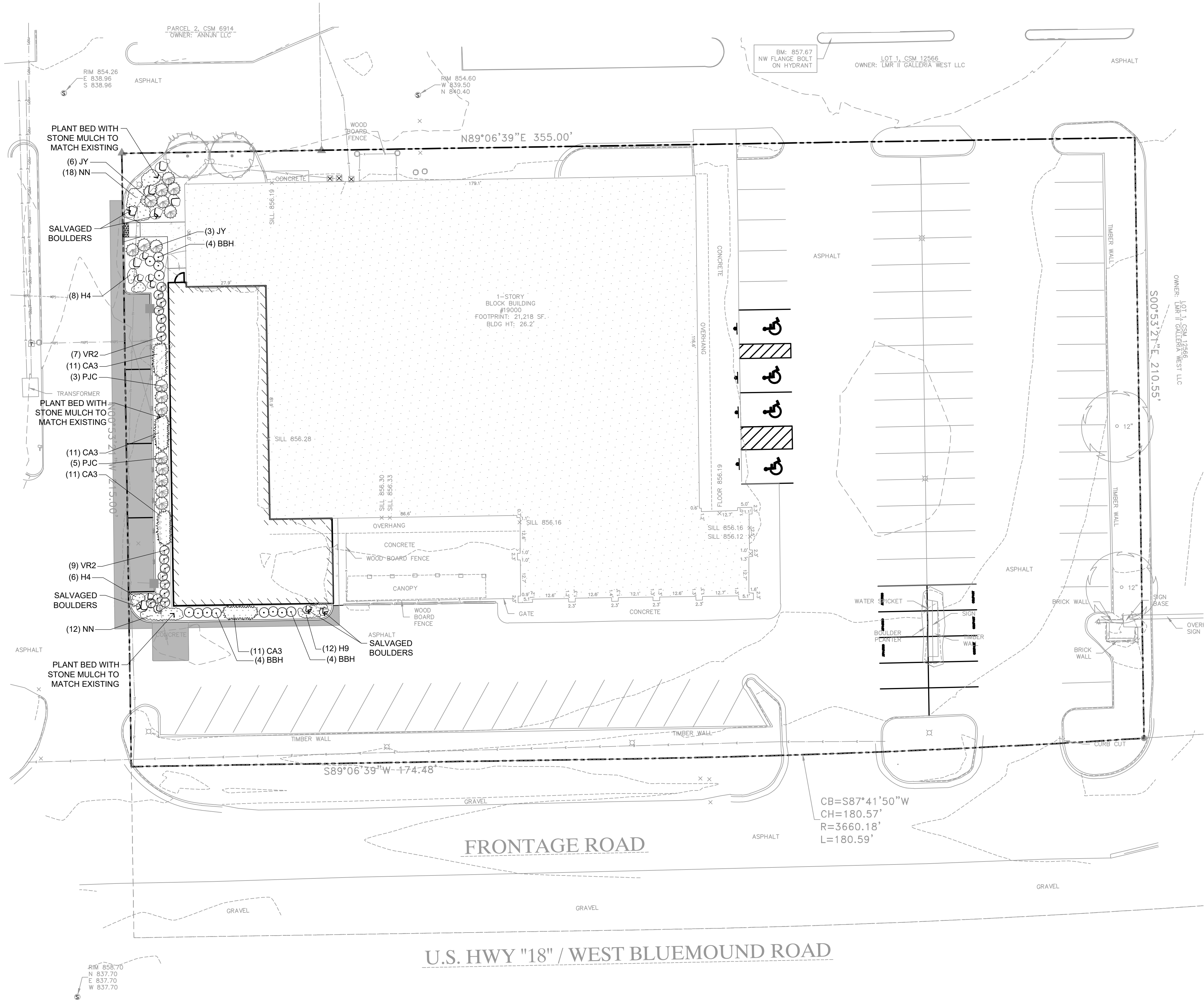
h. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.

i. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.

j. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS.

7. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ON-SITE OR IN THE PUBLIC RIGHT-OF-WAY.





PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT
DECIDUOUS SHRUBS					
VR2	16	Kodak® Black Honeysuckle	Diervilla rivularis 'SMNDRSF'	18" HT	CONT
BBH	12	BoBo® Hydrangea	Hydrangea paniculata 'ILVOBO'	18" HT	CONT
EVERGREEN SHRUBS					
PJC	8	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallaye Compact'	18" SPD	CONT
JY	9	Youngstown Andorra Juniper	Juniperus horizontalis 'Youngstown'	18" SPD	CONT
ORNAMENTAL GRASSES					
CA3	44	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 GAL	CONT
PERENNIALS					
H9	12	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT
H4	14	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	1 GAL	POT
NN	30	Junior Walker™ Catmint	Nepeta x faassenii 'Novanepjun'	1 GAL	POT


DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

MLG CAPITAL BUILDING ADDITION  
TOWN OF BROOKFIELD, WI

SITE LANDSCAPE PLAN



Know what's below.  
Call before you dig.

R.A. SMITH, INC. ASSUMES NO RESPONSIBILITY FOR DAMAGES, LIABILITY OR COSTS RESULTING FROM CHANGES OR ALTERATIONS MADE TO THIS PLAN WITHOUT THE EXPRESSED WRITTEN CONSENT OF R.A. SMITH, INC.

ALL COPYRIGHTS TO THESE DRAWINGS ARE RESERVED. THEY MAY NOT BE COPIED, CHANGED, OR ASSIGNED TO ANY THIRD PARTY IN ANY MANNER WITHOUT OBTAINING THE EXPRESSED WRITTEN PERMISSION OF R.A. SMITH, INC.

© COPYRIGHT 2025  
R.A. Smith, Inc.

DATE: 08/20/2025

SCALE: 1" = 20'

JOB NO. 3250112

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

DESIGNED BY: REW

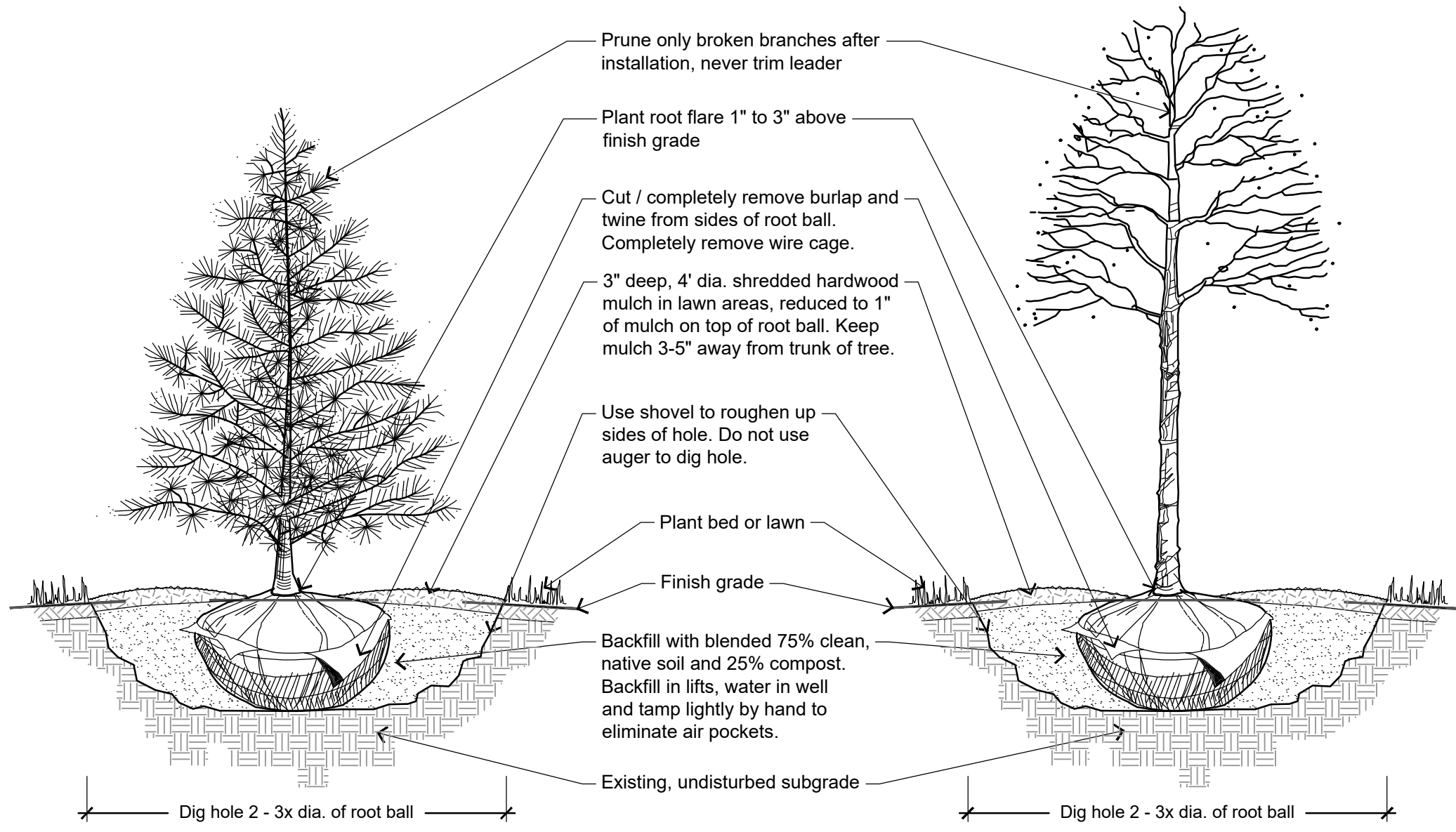
CHECKED BY: REW

SHEET NUMBER

L100

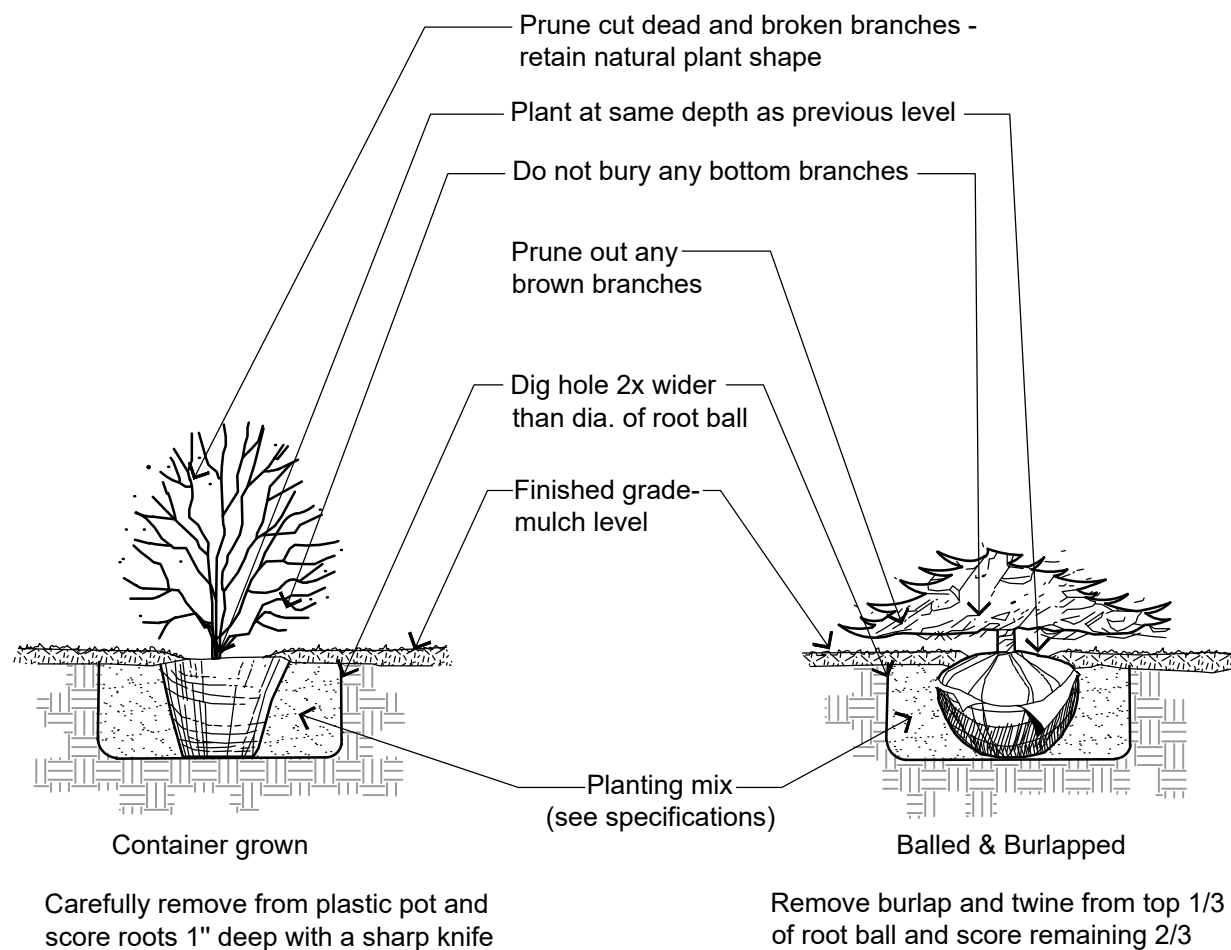


PLANTING DETAILS

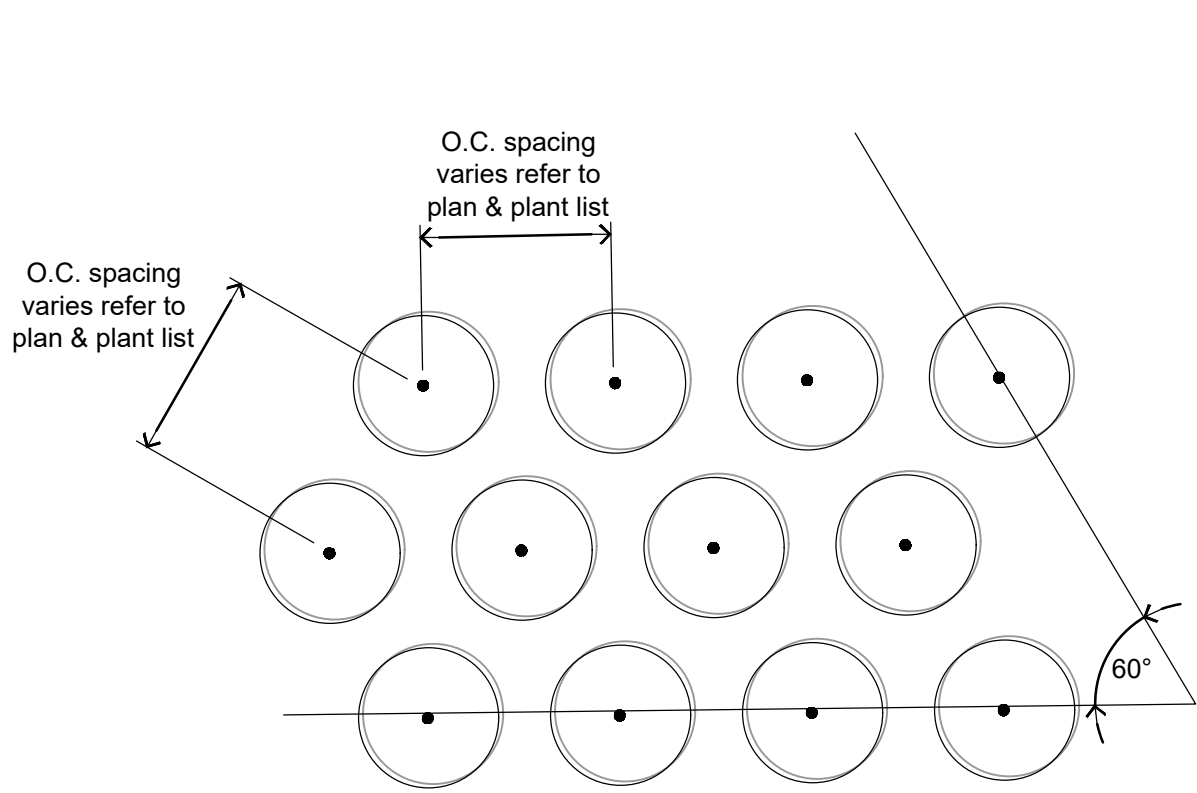


1 TREE PLANTING DETAIL  
NOT TO SCALE

P-PL-TREE-07

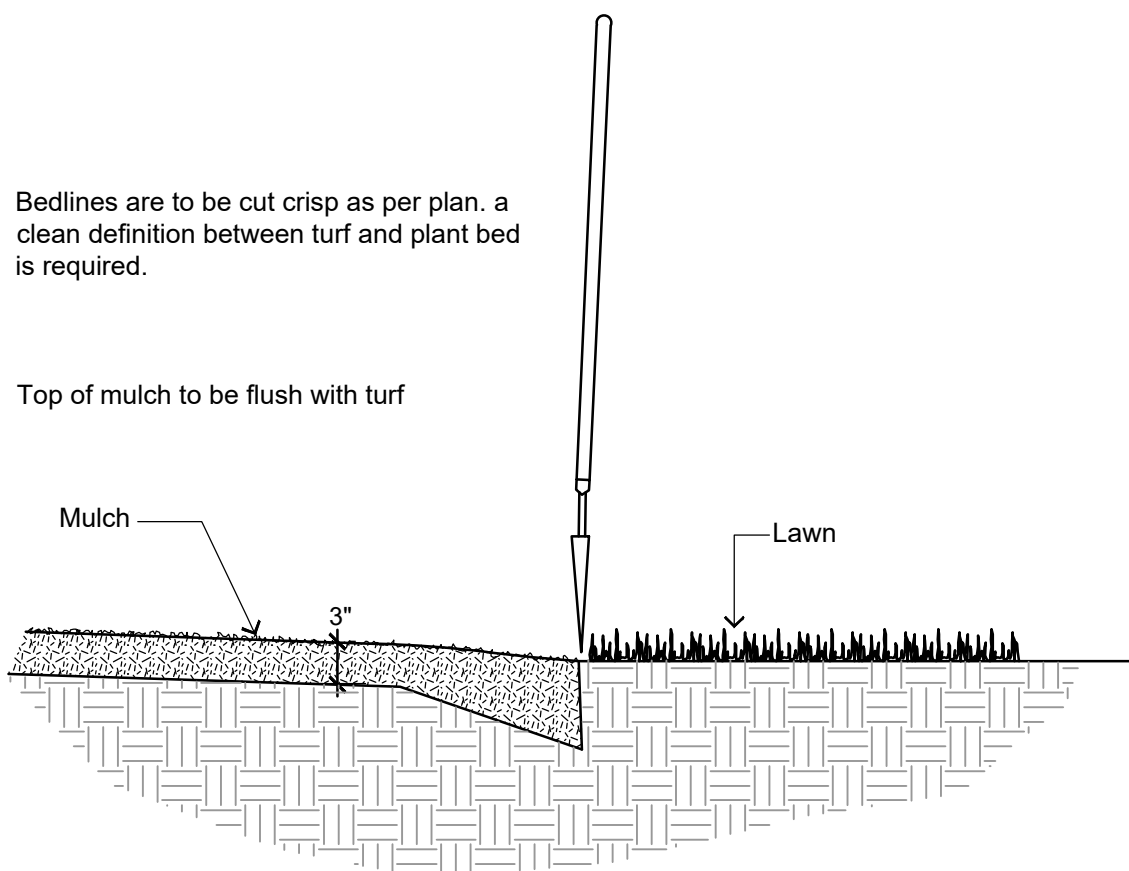


2 SHRUB PLANTING DETAIL  
NOT TO SCALE



3 PLANTING LAYOUT  
NOT TO SCALE

P-PL-PL-01



4 SHOVEL CUT PLANT BED EDGING DETAIL  
NOT TO SCALE

P-PL-BDEG-01

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of stone mulch over landscape fabric. Stone to match existing. Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 6".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
- An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Seed mix type 'A' for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas(Optional): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

DESCRIPTION		DATE					





## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Town of Brookfield Plan Commission

FROM: Rebekah Leto, AICP, Town Planner

PC MEETING DATE: August 26, 2025

RE: **Oscar's Certified Survey Map (CSM) Review**, 21165 HWY 18, BKFT 1130.999.001 and BKFT 1128.959.001.

---

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

---

**Property owner:** James and Susan Taylor (Oscar's Frozen Custard)

**Applicant:** Chris White, PE, RaSmith

**Application Type:** Certified Survey Map

**Zoning:** Lot 1: B-2 Limited General Business District  
Lot 2: I-1 Institutional District

**Land Use Plan:** Commercial and Office Park

### **Project Description**

A condition of approval for Oscar's to redevelop their site was to prepare a Certified Survey Map to facilitate a lot line adjustment and establish easements. The CSM is comprised of two platted lots: Lot 1 platted in 1981 and Lot 2 platted in 2019. Lot 1, which will be the redeveloped Oscar's Frozen Custard, is increasing in size from .875 acres to .943 acres and losing some road frontage along Swenson Drive. Lot 2, which will remain a vacant lot, is decreasing in size from .796 acres to .727 acres and is gaining road frontage. The area of the land conveyance will incorporate a shared water main easement. The Sanitary District has signed off on the utility plans, easement location and associated language via separate document. The recorded easement document number will be placed on the final CSM, prior to recording.

The CSM is also proposing a cross parking easement on Lot 2 for the benefit of Lot 1 (Oscars) and a cross access easement on Lot 1 (Oscars) for the benefit of Lot 2 in the future. The applicant understands that these agreements do not guarantee future development/ use approval for the vacant lot (Lot 2).

Planner and Engineer comments have been addressed on the revised CSM. The City of Waukesha has extra-territorial land division review authority and must also review the CSM.

**Recommendation:** Recommend **approval** the 2-lot Certified Survey Map with a revision date of 9/9/2025, comprised of Tax Parcels BKFT 1128.959.001 and BKFT1130.999.001.

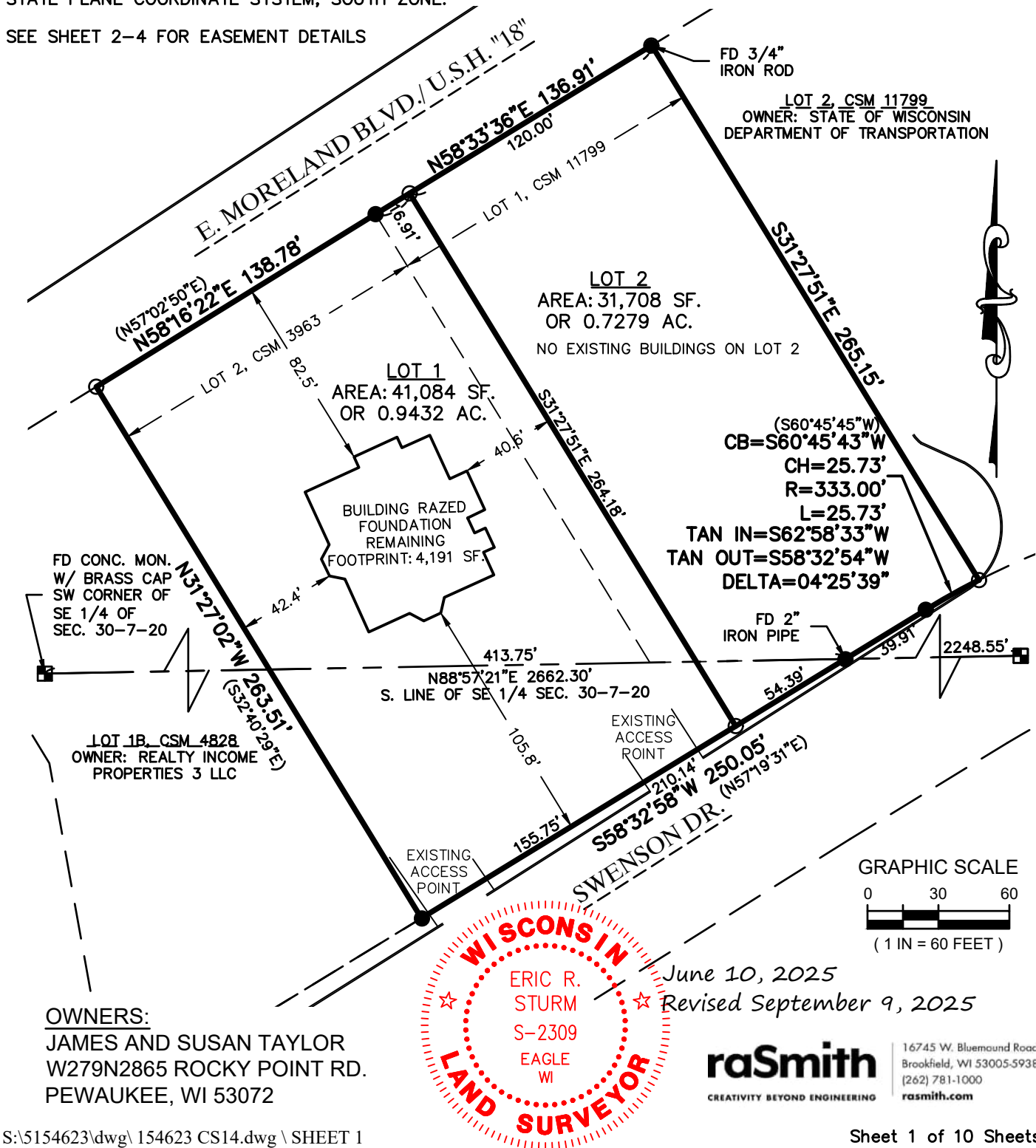
CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.

- ▲ INDICATES FOUND MAG NAIL
- INDICATES FOUND 1" IRON PIPE
- INDICATES SET 1.315" O.D. IRON PIPE AT LEAST 18" IN LENGTH, 1.68 LBS. PER LINEAL FOOT.

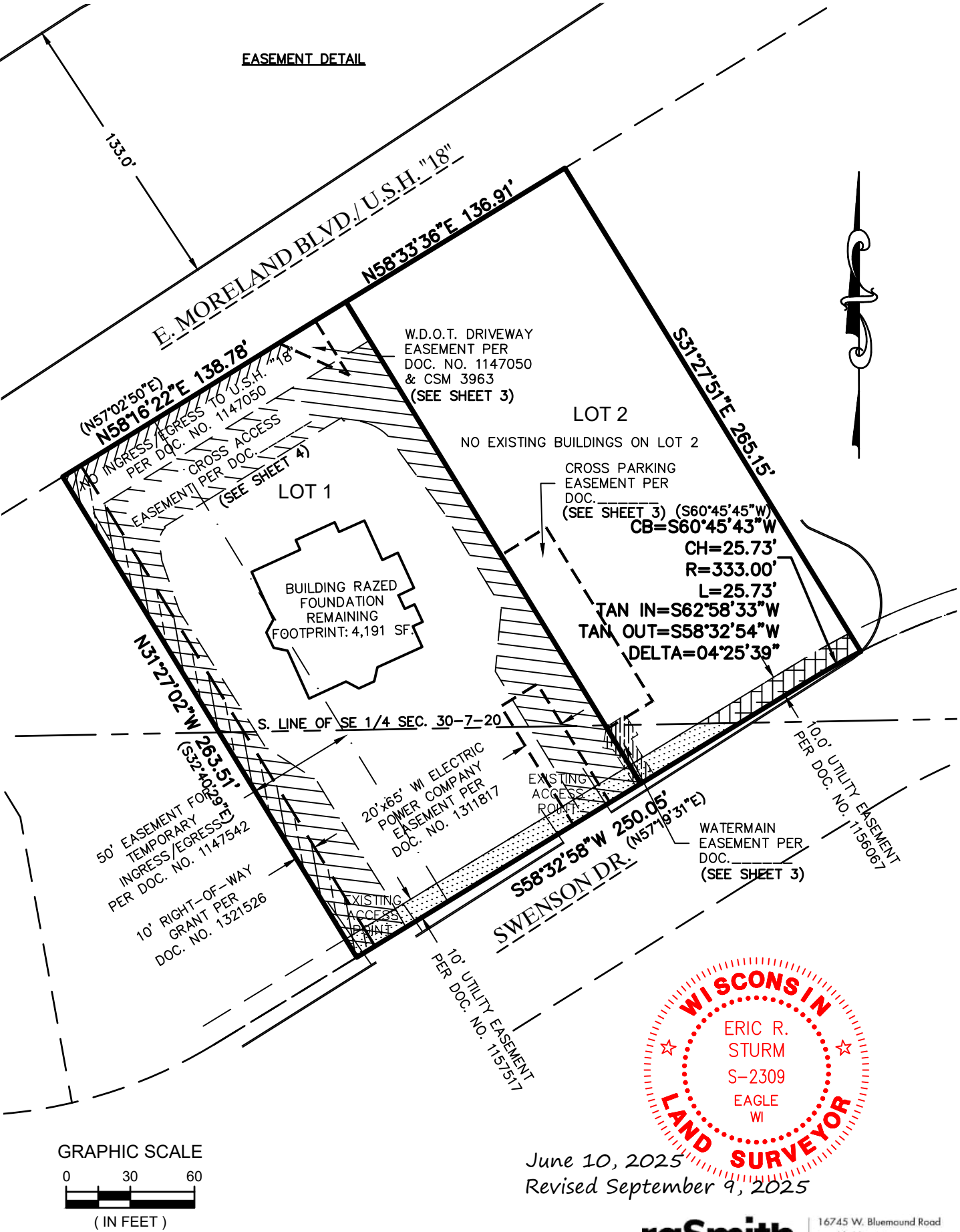
ALL DIMENSIONS SHOWN ARE MEASURED TO THE NEAREST HUNDREDTH OF A FOOT.  
ALL BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 30, T 7 N, R 20 E, WHICH BEARS NORTH 88°57'21" EAST. WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE.

SEE SHEET 2-4 FOR EASEMENT DETAILS



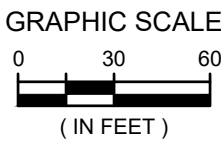
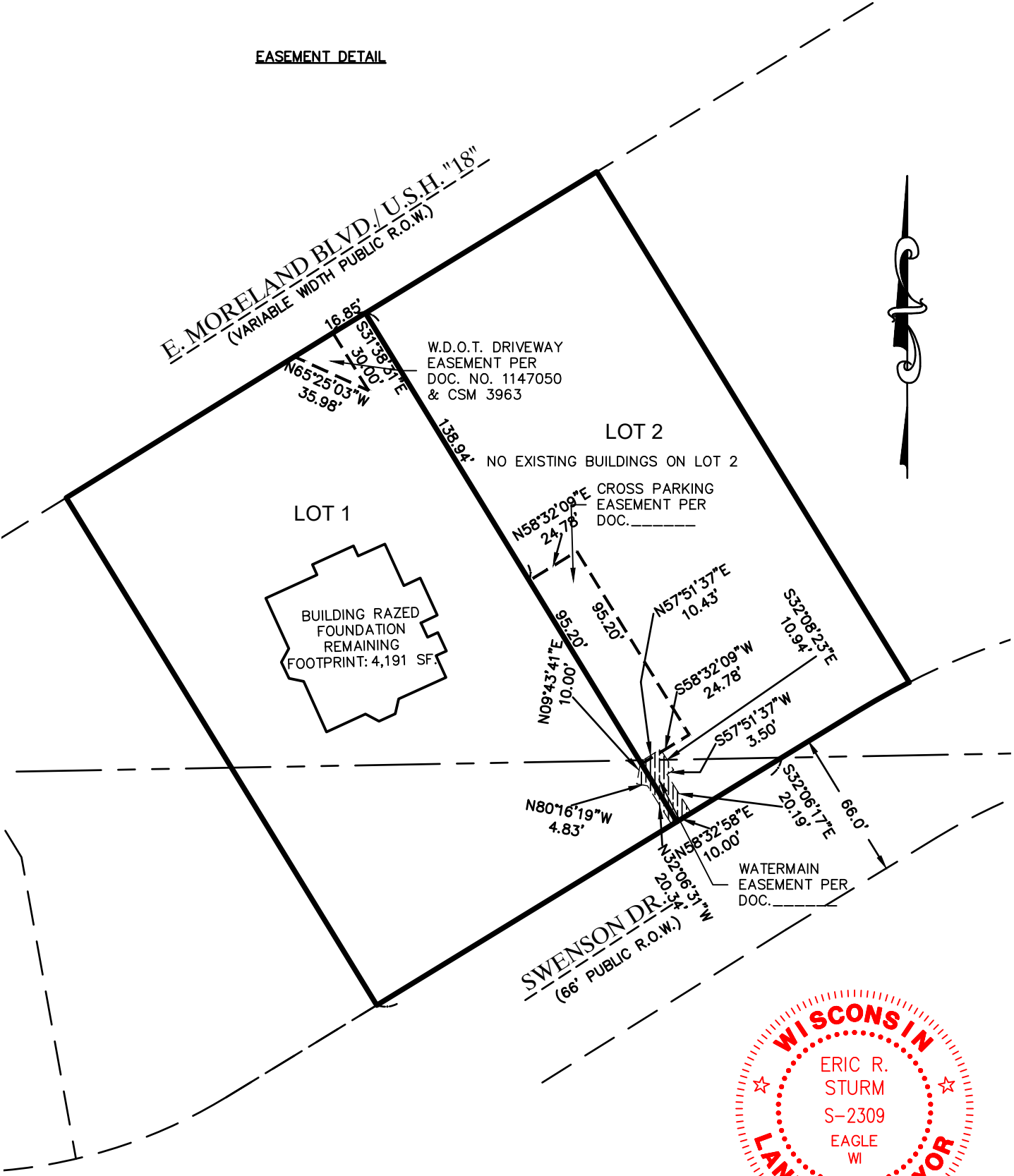
CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

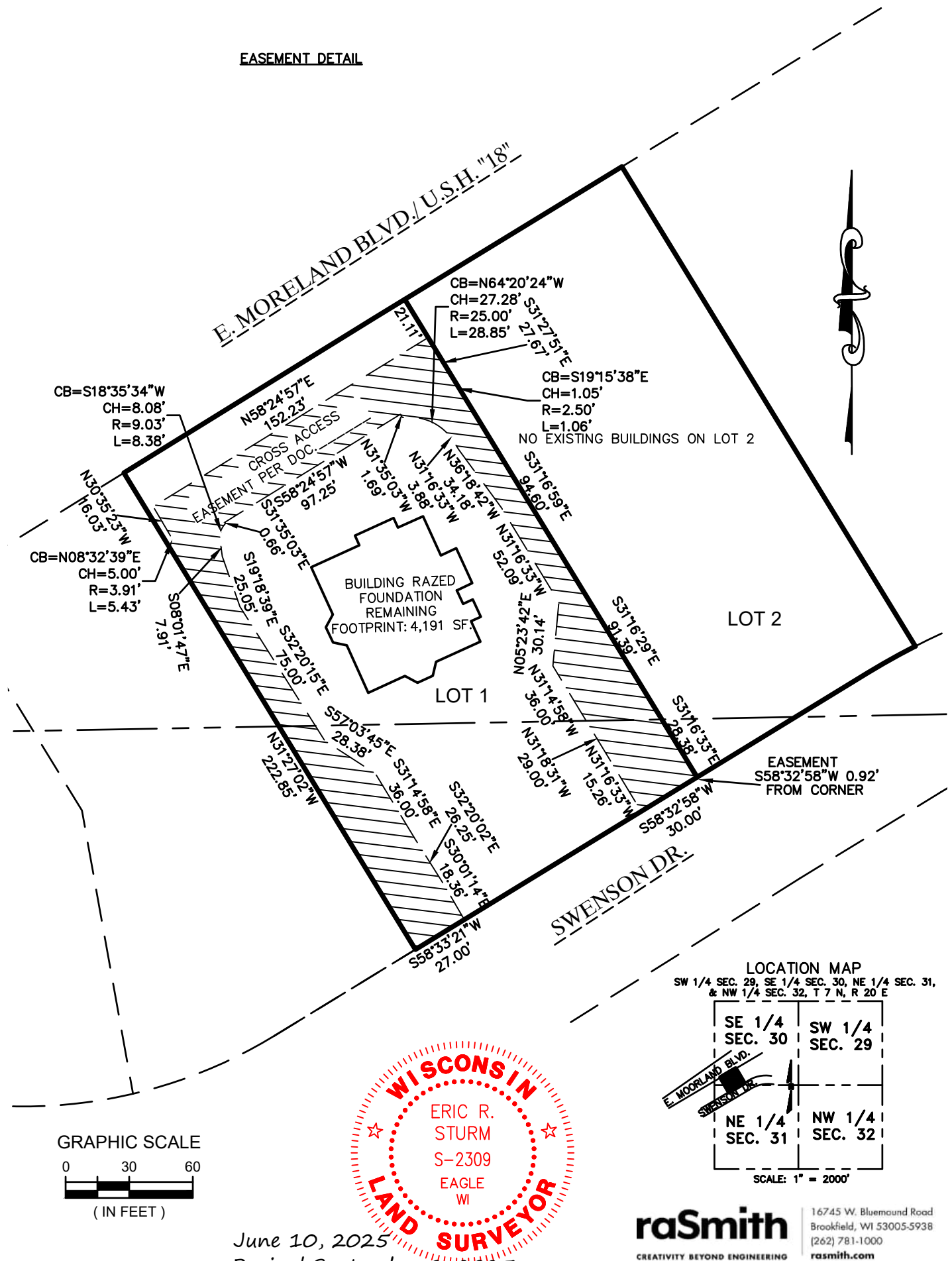
A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.



June 10, 2025  
Revised September 9, 2025

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.





CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.

SURVEYOR'S CERTIFICATE

STATE OF WISCONSIN }  
                                  :SS  
WAUKESHA COUNTY }

I, ERIC R. STURM, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided, and mapped a redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin, bounded and described as follows:

Commencing at the Southwest corner of the Southeast 1/4 of said Section 30; thence North 88°57'21" East along the South line of said Southeast 1/4 Section for a distance of 413.75 feet to the intersection with the North line of Swenson Drive, being the point of beginning; thence South 58°32'58" West along the North line of Swenson Drive 210.14 feet to the Southeast corner of Lot 1B in Certified Survey Map No. 4828; thence North 31°27'02" West along the East line of said Lot 1B, a distance of 263.51 feet to a point on the South line of East Moreland Boulevard (U.S.H. "18"); thence North 58°16'22" East along said South line 138.78 feet to a point; thence North 58°33'36" East along said South line 136.91 feet to the Northwest corner of Lot 2 in Certified Survey Map No. 11799; thence South 31°27'51" East along the West line of the aforesaid Lot 2, a distance of 265.15 feet to a point on the North line of Swenson Drive; thence Southwesterly 25.73 feet along said North line and the arc of a curve whose center lies to the Southeast, whose radius is 333.00 feet, and whose chord bears South 60°45'43" West 25.73 feet to a point; thence South 58°32'58" West continuing along said North line 39.91 feet to the point of beginning.

Said lands containing 72,792 square feet or 1.6711 acres.

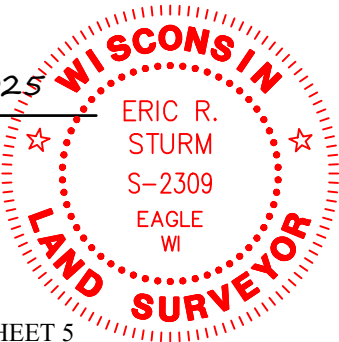
THAT I have made such survey, land division and map by the order and direction of JAMES TAYLOR and SUSAN TAYLOR, owners of said land.

THAT such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

THAT I have fully complied with the provisions of Chapter 236 of the Wisconsin Statutes and the Ordinances of the Town of Brookfield in surveying, dividing and mapping the same.

June 10, 2025  
Revised September 9, 2025

Date of Fieldwork:  
February 14, 2025



ERIC R. STURM,  
PROFESSIONAL LAND SURVEYOR S-2309



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.

## OWNER'S CERTIFICATE

JAMES TAYLOR, a person as owner, certifies they have caused the land described on this map to be surveyed, divided, and mapped in accordance with the requirements of Chapter 236.34 of the Wisconsin Statutes and the Town of Brookfield.

JAMES TAYLOR, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: Town of Brookfield  
City of Waukesha

IN Witness Whereof, JAMES TAYLOR has caused these presents to be

signed by \_\_\_\_\_, its \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

JAMES TAYLOR

[illegible]

PERSONALLY came before me this                      day of                      , 2025,

\_\_\_\_\_ of the above named JAMES TAYLOR, to me known to be the person who executed the foregoing instrument, and to me known to be said person, and acknowledged that he executed the foregoing instrument.

(SEAL)

Notary Public, State of \_\_\_\_\_

## My Commission Expires



June 10, 2025  
Revised September 9, 2025

**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
**rasmith.com**

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.

## OWNER'S CERTIFICATE

SUSAN TAYLOR, a person as owner, certifies they have caused the land described on this map to be surveyed, divided, and mapped in accordance with the requirements of Chapter 236.34 of the Wisconsin Statutes and the Town of Brookfield.

SUSAN TAYLOR, does further certify that this map is required by S.236.10 or 236.12 to be submitted to the following for approval or objection: Town of Brookfield  
City of Waukesha

IN Witness Whereof, SUSAN TAYLOR has caused these presents to be

signed by \_\_\_\_\_, its \_\_\_\_\_, this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

SUSAN TAYLOR

[illegible]

PERSONALLY came before me this                      day of                      , 2025,

\_\_\_\_\_ of the above named SUSAN TAYLOR, to me known to be the person who executed the foregoing instrument, and to me known to be said person, and acknowledged that she executed the foregoing instrument.

(SEAL)

Notary Public, State of \_\_\_\_\_

### My Commission Expires



June 10, 2025  
Revised September 9, 2025

**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
**rasmith.com**

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.

## CONSENT OF CORPORATE MORTGAGEE

\_\_\_\_\_, a national banking association, duly organized and existing under  
and by virtue of the laws of the State of \_\_\_\_\_, as mortgagee of the above described  
land, consents to the surveying, dividing, mapping and restricting of the land described on this map and in  
the surveyor's certificate, and to the certificate of the owner of said land.

Date: \_\_\_\_\_

Entity Name: \_\_\_\_\_

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF \_\_\_\_\_ }  
COUNTY \_\_\_\_\_ } SS

PERSONALLY came before me this \_\_\_\_\_ day of \_\_\_\_\_, 2025,

\_\_\_\_\_, the \_\_\_\_\_ of the above named organization, to me known to be the person who executed the foregoing instrument and acknowledged that he/she executed the foregoing instrument as such officer on behalf of the entity, by its authority.

(Notary Seal)

---

---

(print name)

Notary Public, State of Wisconsin

My commission expires\_\_\_\_\_



June 10, 2025

Revised September 9, 2025

**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
**rasmith.com**

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.

TOWN OF BROOKFIELD PLAN COMMISSION APPROVAL

Approved by the Plan Commission of the Town of Brookfield on this \_\_\_\_ day of \_\_\_\_\_, 2025

\_\_\_\_\_  
KEITH HENDERSON, Chairman

\_\_\_\_\_  
TOM HAGIE, Interim Clerk

TOWN BOARD APPROVAL

Approved by the Town Board of the Town of Brookfield on this \_\_\_\_ day of \_\_\_\_\_, 2025

\_\_\_\_\_  
KEITH HENDERSON, Chairman

\_\_\_\_\_  
TOM HAGIE, Interim Clerk

All conditions of the approval of the Town of Brookfield were met as of the \_\_\_\_ day of \_\_\_\_\_, 2025.



June 10, 2025  
Revised September 9, 2025

**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com



CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A redivision of Lot 2 of Certified Survey Map No. 3963, recorded on January 15, 1981, in the Waukesha County Register of Deeds Office in Volume 31, Page 4-7, as Document No. 1148662 and Lot 1 of Certified Survey Map No. 11799, recorded on January 4, 2019, in the Waukesha County Register of Deeds Office in Book 119, Page 9-13, as Document No. 4378007, being part of the Southwest 1/4 of the Southeast 1/4 of Section 30 and the Northwest 1/4 of the Northeast 1/4 of Section 31, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin.

CITY OF WAUKESHA EXTRA-TERRITORIAL JURISDICTION APPROVAL

Approved by the City of Waukesha Planning and Zoning Department on this \_\_\_\_ day  
of \_\_\_\_\_, 2025

\_\_\_\_\_  
KEITH HENDERSON, Chairman

\_\_\_\_\_  
EMILY HOWELLS, Deputy Clerk



June 10, 2025  
Revised September 9, 2025

THIS DOCUMENT WAS DRAFTED BY ERIC R. STURM,  
PROFESSIONAL LAND SURVEYOR S-2309

**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com



## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Town of Brookfield Plan Commission and Town Board

FROM: Rebekah Leto, AICP, Town Planner

PC MEETING DATE: August 26, 2025

RE: Preliminary and Final approval for Phase I addition to the manufacturing building on property operated by KHS, located at 880 Bahcall Court

---

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

---

**Property owner:** KHS Group

**Applicant:** Erik Madisen, Madisen Maher Architects

**Application Type:** Preliminary and Final Approval

**Zoning:** M-1 Manufacturing District

### **Project Description.**

The 11.8-acre property contains five (5) separate buildings and borders Doral Rd to the north and I-94 to the south. The use of the property is primarily manufacturing and material storage with an office component. The surrounding area consists of other commercial and manufacturing businesses.

KHS is proposing to reconfigure and expand the site to accommodate the growth of the business. The expansion will occur in two phases. The expansion received conceptual approval from the Plan Commission (June) and Town Board (July). The ARC recommended preliminary approval in August and final approval in September.

### **Phase I:**

- Demo 7,200+/- sq. ft. of existing office space and construct 24,087 sq. ft. of new office space.
- Construct a black 7 ft. tall open, aluminum fence along the north (front) property line.
- Install swing-up gates at Bahcall Ct entrance and at the west drive entrance.
- Relocate existing monument sign to lawn area north of the northern building, west of Bahcall Ct.

**Zoning:**

	Proposed	Required	Requirement met?
Road Setback (N) Doral Road	205+/- ft.	50 ft. min.	Yes
Road Setback (S) (I-94)	350+/- ft.	50 ft. min.	Yes
Offset (E)	200 ft. +/- ft.	10 ft. min.	Yes
Offset (W)	34.08 ft.	10 ft. min.	Yes
Height	24 ft. 8 in.	45 ft. max	Yes
Floor Area	204,039 sq. ft. (39.6%)	102,877 sq. ft. 20% (min.) 257,194 sq. ft. (50% max)	Yes
Parking	220 spaces (177 existing)	145 spaces (planned workforce for Phase II) (1 space per employee, max shift)	Yes

**Building Materials:** The materials include smooth metal panel cladding in dark grey/graphite and black anodized aluminum windows with sun shading. The west elevation along Bahcall Court is primarily windows. The south elevation (facing I-94) windows are at least 50% of the façade. Skylights are mounted on the roof.

**Lighting:** Dark bronze wall mounted LED downcast lights are proposed on the building addition, similar to what was approved with the 2022 office addition. Forty-two (42) inch tall LED bollards are proposed in 25 ft. intervals along the sidewalk in the front (west) of the building to provide a lighted path. These have zero up lighting and feature full cut-off luminaire. Cut sheets of both proposed lighting fixtures are in the packet. There are no existing or proposed pole mounted light fixtures. The wall-pak lighting complies with the ordinance requirements. The bollard cut sheet is still being reviewed by the engineer. A photometric plan has been submitted and is being reviewed by the engineer. The lighting does not exceed .01 foot candles (fc) at the property line (maximum of .2 fc is permitted). There are no existing or proposed pole mounted light fixtures.

**Landscaping:** Landscaping has been provided on the east and north sides of the addition, adjacent to the parking areas and includes a mix of deciduous shrubs, evergreen shrubs, ornamental grasses and perennials. Landscaping is also proposed around the relocated sign. The proposed landscaping meets the ordinance requirements.

**Access:** Two existing access points to Doral Road will remain unchanged. New swing-up type gates will be installed at both access points that will have cameras and a security intercom linked to the security office. Semi-trucks will utilize the west entry to allow a full-size trucks to park clear of the street. Access must be requested from KHS security to enter the site. The applicant has prepared an emergency access plan that has been approved by the Fire Department.

**Loading docks:** There are two existing loading docks on site. One loading dock near the north access drive will be removed in Phase I and returned to lawn. The second existing loading dock is on the building with the proposed addition. This loading dock will remain with Phase I, but will ultimately be removed during Phase II. A new loading dock will be constructed during Phase II that will be located on the south portion of the building, facing I-94.

**Dumpsters:** Existing dumpsters are located in the southwest corner of the site and are screened from view of the road(s) and neighboring property with a fence and vegetation. The dumpsters will be relocated in Phase II.

**Fencing:** An existing chain link fence is along the west property line and is not proposed to change. A new seven (7) foot tall black aluminum fence will be installed along the north property, outside of the right of way.

**Outdoor storage:** No changes to outdoor storage are proposed with this Phase.

**Development Review Team Feedback:**

Fire Department: No issues.

Sanitary District: No issues with Phase I. There is an existing fire hydrant located over a proposed parking stall north of the addition. The hydrant will either need to be relocated or the parking will need to be removed. Phase II appears to require the rerouting of sewer and water mains.

Engineering: Minor comments/clarification need to be addressed, including an erosion control plan and a utility plan. The main comment is regarding the existing fire hydrant located in the proposed parking stalls north of the addition. Grading for Phase I is not being proposed. Stormwater management will be addressed during Phase II.

**Staff Recommendation**

Staff recommends that the Plan Commission make a recommendation to the Town Board to grant Preliminary and Final Approval to the Town Board to allow the petitioner to construct an addition onto the existing building located at 880 Bahcall Court, subject to the following condition:

1. Subject to all final comments of the Town Engineer being addressed to his satisfaction.

July 29, 2025

Rebekah Leto  
Planning & Zoning  
Town of Brookfield  
645 N. Janacek Rd.  
Brookfield, WI 53045

Re: Project Description/narrative for:  
**KHS Group**  
880 Bahcall Ct.  
Waukesha, WI 53186

Rebekah:

Below is the project description/narrative for the proposed phased KHS Group Addition(s) located at 880 Bahcall Ct:

**Current conditions (Shown on drawing C1.01):**

- There are five separate buildings currently located on the 11.8-acre property.
- The property borders Doral Rd. on the north and I-94 on the south.
- The buildings are primarily manufacturing and material storage with an office component.

**Proposed Phase I work (Shown on drawing C1.02):**

- Two existing office areas totaling approximately 7200 square feet will be demolished to make way for new office areas.
- New office areas will be constructed totaling approximately 24,000 square feet along the east side of Bahcall Ct.
- Construction of a 7' high decorative metal fence along the north property line.
- Swing-up type gates will be located at the entrance to Bahcall Ct. and at the west drive to limit site access.
- The existing KHS monument sign will be relocated to the lawn area north of the 875 Bahcall Ct. building.

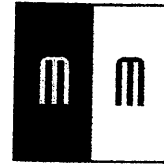
**Plan of Operation Description:**

- Hours of operation: Monday to Friday 6am till 10:00pm
- Saturday 6 am to 2 pm, additional hours occasionally occurring due to workload.
- 125 People today 135 People in Phase I Max, Phase II: 145 People.
- Phase II (future project) will include additional workstations:  $20 + 25 = 45$ .

**Exterior lighting:**

- The KHS campus does not have pole mounted light fixtures. Area lighting is achieved through wall mounted light fixtures at each building.
- We are proposing wall-pak LED fixtures similar to the fixtures installed on the 2022 office addition.





- The housing of the wall-pak fixtures will be dark bronze color to match existing, 26-watt light source, 4000k (neutral) color temp and a lumen output of 3738. A data sheet of this fixture is attached.
- Sidewalk lighting around the office entry will be achieved with 42" high bollards with LED light source. The bollards will be dark bronze to match the wall-paks. A data sheet of the bollard fixture is attached.

#### **Site security:**

- A 7'-0" high decorative security fence will be constructed along the north property line. An elevation of the fence is shown on sheet A0.41. The fence will be black.
- Currently, the south, and west, property lines are secured with a 6'-0" high chain link fence.
- Visitors will check in at a camera/intercom installation at the visitor gate on Bahcall Ct. and trucks will check in at a camera/intercom installation at the west gate along the west property line.
- All requests for site entry will be routed to the security office located next to the office entry vestibule.

#### **Loading and unloading:**

- Truck loading and unloading areas are indicated on the site plan.
- Semi-truck access will be at the west entry where the security fence will be constructed to allow a full-size truck to park clear of the street, request access from KHS security, and enter the site through a swing-up type gate.

#### **Parking:**

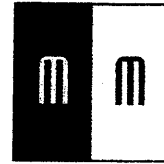
- Town of Brookfield zoning ordinance calls for 1 parking space per employee at maximum shift.
- Currently, the site has 177 parking spaces, and the maximum shift includes 125 employees.
- Phase I includes 220 parking spaces for a planned workforce of 141 employees.
- The site plan indicates driveway locations and directional arrows indicating traffic circulation.

#### **Outdoor storage areas:**

- Outdoor storage areas are located at the back part of the site away from any street views.
- Outdoor storage areas are screened and no additional outdoor storage areas will be added as a result of the office expansion project.
- Garbage screening: Dumpsters are located at the back part of the site away from any street views.
- Photos of outdoor storage and dumpsters are attached for reference.

#### **Landscaping:**

- A landscaping plan of the Phase I project area (Office addition) is included in the drawing set.



MADISEN  
MAHER  
ARCHITECTS

**Proposed project schedule:**

- The Phase I work is scheduled to take place during 2025.
- KHS foresees a Phase II project with additional site improvements and a larger addition in the future.

This project reinforces KHS' **commitment** to increase its product portfolio produced at the Town of Brookfield. Please let me know if you have any questions or need additional information.

Respectfully Submitted,

Erik L. Madisen, Principal  
Madisen | Maher Architects



# KHS USA

880 BAHCALL CT  
WAUKESHA, WI 53186

KHS USA INC  
880 BAHCALL CT  
WAUKESHA, WI 53186  
P: 262.797.7200  
KHS.COM

MADISEN MAHER ARCHITECTS  
133 W. PITTSBURGH AVE, SUITE 102  
MILWAUKEE, WI 53204  
P: 414.277.8000  
MADISENMAHER.COM

CAPITOL SURVEY ENTERPRISES  
2015 LA CHANDELLE CT.  
BROOKFIELD, WI 53045  
P: 262.766.6600  
CAPITOLSURVEY.COM

SHEET INDEX		
NO.	NAME	REV#
A0.00	TITLE SHEET	
A0.40	EXISTING SITE PLAN	
A0.41	SITE PLAN	
U.00	LANDSCAPE PLAN	
P.00	PLAN OF SURVEY	
A1.11	FIRST FLOOR PLAN	
A4.00	EXTERIOR ELEVATIONS	
Z		

CODE ANALYSIS			IBC 2015, IBC® 2015	
OCCUPANCY CLASSIFICATION: (IBC 304, IBC 306)		B, BUSINESS F-1, FACTORY		OCCUPANCY LOAD:  232 PERSONS  BUSINESS AREAS OFFICES, 3,019 SF: 205 PERSONS CUBICLES: 31 PERSONS TRAINING ROOM, 1,002 SF: 74 PERSONS BREAK ROOM, 1,078 SF: 62 SEATS STORAGE, 612 SF: 35 SEATS 3 PERSONS  FACTORY, 43,018SF - ACTUAL: 27 PERSONS
CLASS OF CONSTRUCTION:		IIB		
FIRE PROTECTION: (NFPA 13)		FULLY SPRINKLED		
PROJECT BUILDING INFORMATION				
NUMBER OF STORIES REQUIRED: 1				
BUILDING HEIGHT (ALLOW):		24 FT (45 FT)		
EXISTING BUILDING				
FIRE AREA A, GROSS:		43,281 SF		
PROPOSED ADDITION:		24,087 SF		
TOTAL AREA, GROSS:		67,368 SF		
FIRE RESISTANCE RATINGS REQ'D, IIB: (IBC TABLE 601)				EGRESS WIDTH:  REQUIRED: X" PROVIDED: X"  OTHER EGRESS COMPONENTS: X" TOTAL WIDTH PROVIDED: X"  EXIT TRAVEL DISTANCE, B: (IBC 1017.2) F-1: 300'-0" 350'-0"
STRUCTURAL FRAME:		0 HOURS		
EXTERIOR BRG. WALLS:		0 HOURS		
INTERIOR BRG. WALLS:		0 HOURS		
FLOOR CONSTRUCTION:		0 HOURS		
ROOF CONSTRUCTION:		0 HOURS		
THIS PROJECT, AND THE ROUTE TO IT, IS ALREADY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES PER CURRENT CODE.				

ZONING INFORMATION		TOWN OF BROOKFIELD
ZONING DESIGNATION:	M-1, MANUFACTURING	
17.04	ALLOWABLE HEIGHT:	45'-0"
	SITE COVERAGE:	STRUCTURES NOT TO EXCEED 50% OF LOT AREA
	FRONT SETBACK:	50'-0"
	SIDE & REAR SETBACK:	10'-0"
PARKING		
17.06(3)	<ol style="list-style-type: none"> <li>1. PARKING SPACE MINIMUMS: 9'-0" X 18'-0" ACCESSIBLE SPACES: 12'-0" X 18'-0"</li> <li>2. PARKING LOCATIONS NOT MORE THAN 400'-0" FROM PRINCIPAL USE BUILDING</li> <li>3. PARKING SURFACE REQUIREMENTS: ASPHALT OR CONCRETE PAVING</li> <li>4. LANDSCAPING: NOT LESS THAN 5% TOTAL PARKING AREA PARKING AREAS WITH 30 OR MORE VEHICLES REQUIRE LANDSCAPE PENINSULAS/ISLANDS, 170SF MINIMUM</li> <li>5. SPACES REQUIRED, INDUSTRIAL: 1 PER EMPLOYEE FOR LARGEST WORK SHIFT</li> <li>6. PARKING SCREENING: REQUIRED IF SITE ADJOINS RESIDENTIAL AREA OR PUBLIC RIGHT-OF-WAY</li> </ol>	



② MAIN ENTRANCE

## GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE LAW.
2. GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS, ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF ACM. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE QUALIFIED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF, AND COMPLIANCE WITH, ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
4. BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS PRIOR TO THE SUBMISSION OF THE BID. IF ANY CONDITIONS ARE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID, AND THE FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.

5. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS.
6. GENERAL CONTRACTOR SHALL EMPLOY AND PAY FOR ALL NECESSARY PERSONNEL (INCLUDING ALL NECESSARY LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE OWNER/TENANT TAKES OCCUPANCY.
7. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
8. GENERAL CONTRACTOR SHALL EMPLOY AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
10. OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
11. UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY OWNER/TENANT. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS FROM THE CONSTRUCTION AREA.
12. GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
13. NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
14. SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
15. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.

16. MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
17. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR NOTIFYING OTHER CONTRACTORS THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
18. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
19. ALL WOOD TRIM OR OTHER PRE-FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
20. ALL DIMENSIONS ARE TO THE FACE OF GYPSUM BOARD (J.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.
21. ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
22. ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
23. GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF F.O.B. ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
24. UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
25. ALL FINISH MATERIALS ARE TO BE PER FINISH SCHEDULE.
26. GIVE ALL SURPLUS PLANT MATERIALS TO OWNER/OWNER/TENANT. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.

27. ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK AND SHALL BE SCREWED TO MIN. 1 1/2" METAL STUDS OR 1 1/2" METAL FURRING @ 24" O.C. ALL GWB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
28. APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT SHALL BE SUBJECT TO ACCEPTANCE AND SURETY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
29. INSTALL INSULATION IN WALLS U.N.O. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRED BY CODE. OCCUPANCY AND CONSTRUCTION TYPE, ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS WELL AS FLOORS.
30. PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
31. GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS, TO LANDLORD, OWNER/TENANT WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
32. PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
33. PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
34. PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
35. ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER/TENANT UNLESS NOTED.
36. PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.

**NOT FOR CONSTRUCTION**

PROJECT NUMBER	25-012
START DATE	23-12-11
DRAWN BY	Author
CHECKED BY	Checker

# TITLE SHEET

A0.00





ARCHITECTS

133 W. PITTSBURGH AVE. SUITE 102  
MILWAUKEE, WI 53204  
414.277.8000  
MADISENMAHER.COM

A PROPOSED OFFICE  
ADDITION FOR:

KHS USA, INC.

880 BAHCALL CT.  
WAUKESHA, WI 53186

CLIENT:

KHS GROUP  
880 BAHCALL CT.  
WAUKESHA, WI 53186

Drawings and Specifications as instruments of service are the property of Madsen/Maher Architects, whether the work for which they are made be executed or not and are not to be used or copied on other work except by written agreement with Madsen/Maher Architects.

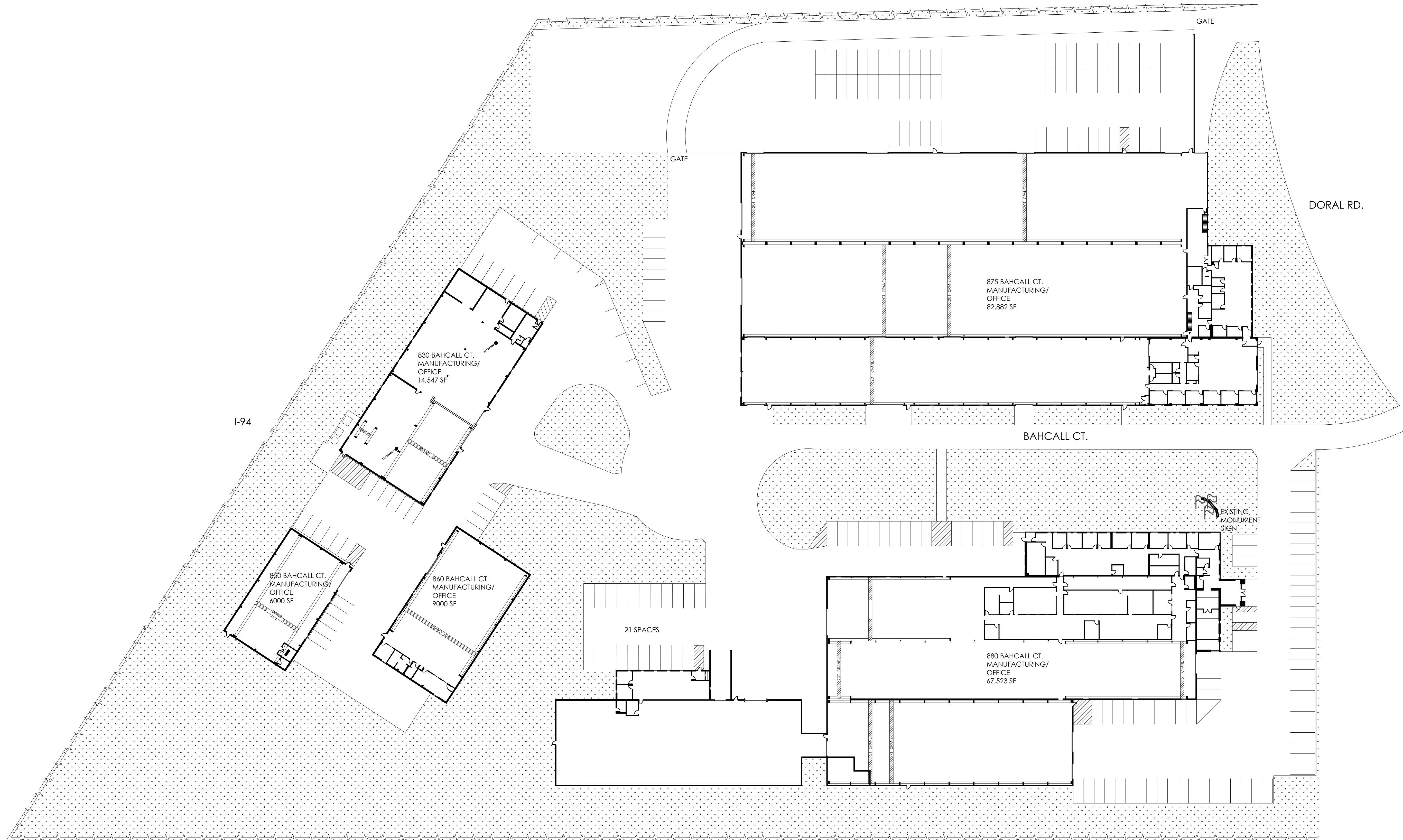
DATE	ISSUED SET
12-11-23	PROJECT START
7-29-25	PLAN COMMISSION SUBMITTAL

PROJECT NUMBER	25-012
START DATE	06-10-2025
DRAWN BY	ELM
CHECKED BY	ELM

EXISTING  
SITE PLAN

A0.40

JULY 29, 2025



NOT FOR CONSTRUCTION

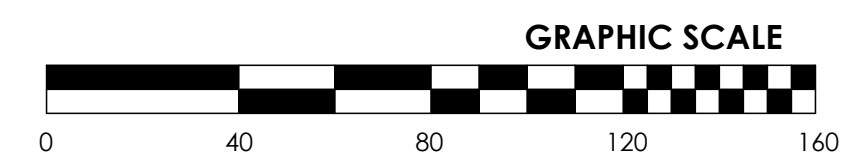


KHS USA INC

DATE	REV	ISSUE
2-11-23	#	PROJECT START
7-29-25		SD PLAN COMMISSION SUBMITTAL
8-20-25		DD PC COMMENTS

A0.41

8/20/2025 3:29:44 PM



**NOT FOR CONSTRUCTION**









**LEGAL DESCRIPTION:**

LOT 1 OF CERTIFIED SURVEY MAP NO. 12345 AND THAT VACATED PORTION OF BAHCALL COURT, BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN,  
CONTAINING: 560,299 SQUARE FEET OR 12.863 ACRES.

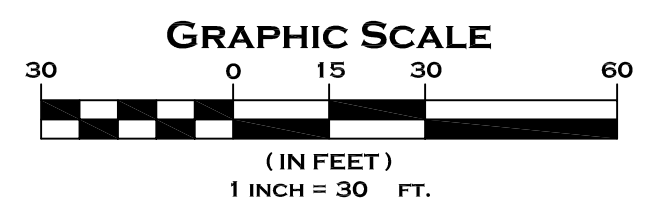
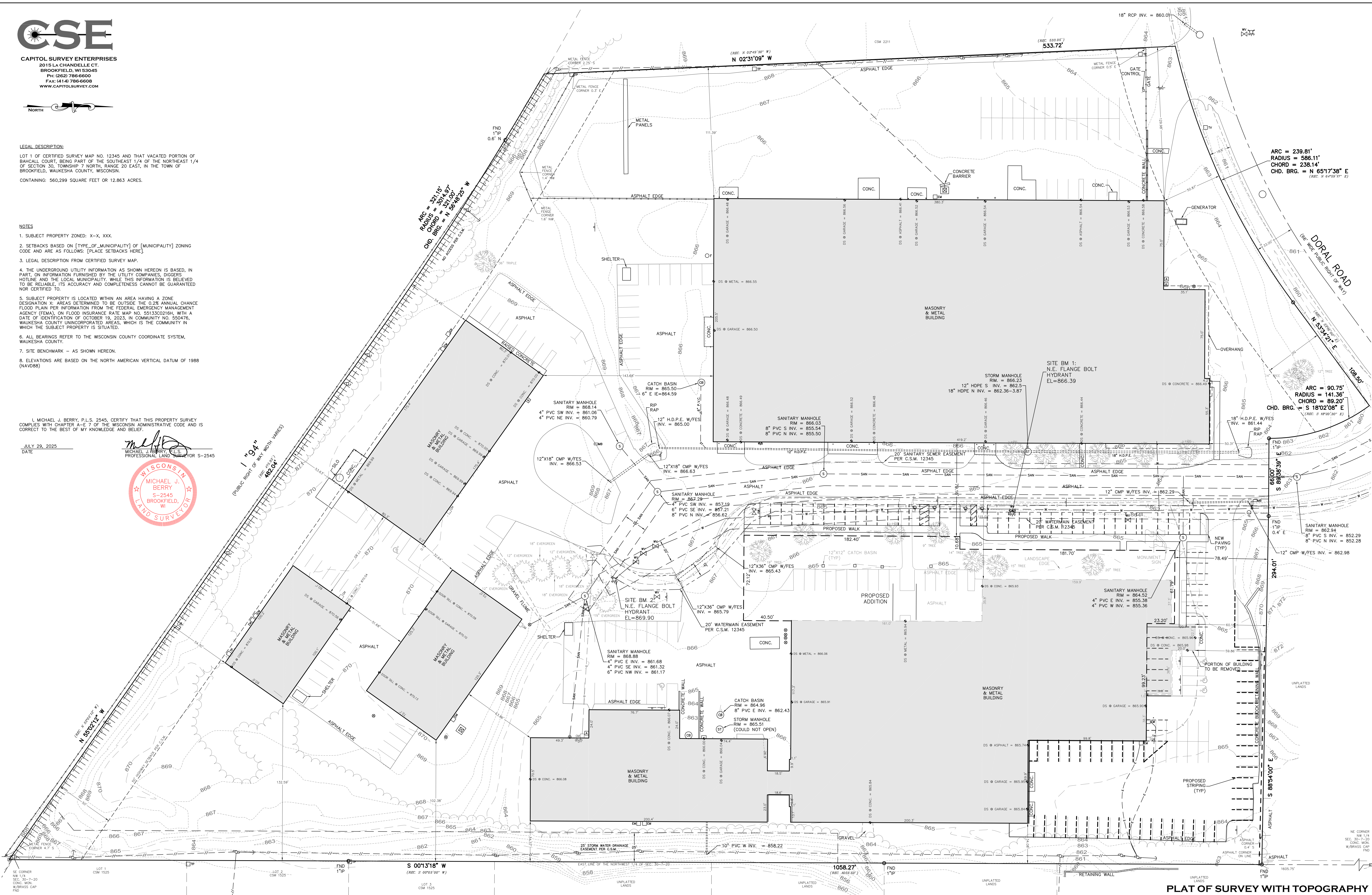
**NOTES**

- SUBJECT PROPERTY ZONED: X-X, XXX.
- SETBACKS BASED ON [TYPE\_OF\_MUNICIPALITY] OF [MUNICIPALITY] ZONING CODE AND ARE AS FOLLOWS: [PLACE SETBACKS HERE].
- LEGAL DESCRIPTION FROM CERTIFIED SURVEY MAP.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 5513302016H, WITH A DATE OF IDENTIFICATION OF OCTOBER 19, 2023, IN COMMUNITY NO. 550476, WAUKESHA COUNTY UNINCORPORATED AREAS, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- ALL BEARINGS REFER TO THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY.
- SITE BENCHMARK - AS SHOWN HEREON.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

I, MICHAEL J. BERRY, P.L.S. 2545, CERTIFY THAT THIS PROPERTY SURVEY COMPLIES WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JULY 29, 2025  
DATE

MICHAEL J. BERRY, P.L.S.  
PROFESSIONAL LAND SURVEYOR S-2545



LEGEND		
SAN	SANITARY SEWER	ELECTRIC TRANSFORMER
ST	STORM SEWER	ELECTRIC METER
WM	WATER MAIN	ELECTRIC PEDESTAL
G	GAS	ELECTRIC BOX AT GRADE
B	BURIED GAS LINE	TELEPHONE BOX AT GRADE
E	BURIED ELECTRIC LINE	TELEPHONE PEDESTAL
FO	BURIED FIBER OPTIC LINE	TV PEDESTAL
CU	OVERHEAD CABLE TELEVISION LINES	WATER VALVE
COMB	COMBINATION SEWER	GAS VALVE
MF	METAL FENCE	MANHOLE
ED	EDGE OF TREES AND BRUSH	STORM MANHOLE
994.32 DS	DOOR SILL ELEVATION	CATCH BASIN
FD	FIRE DEPARTMENT CONNECTION	CURB INLET
		METAL LIGHT POLE
		WOOD LIGHT POLE
		CONCRETE LIGHT POLE
		MAIL BOX
		FIBER OPTIC MARKER
		GUY WIRE

**PLAT OF SURVEY WITH TOPOGRAPHY**

FOR  
**KHS USA**  
875-880 BAHCALL COURT  
BROOKFIELD, WI

DRAWN BY:	NJF	DATE:	JULY 29, 2025
CHECKED BY:	MJB	DRAWING NO.	P - 1
CSE JOB NO.:	21-079 CON	SHEET	1 OF 1



PLAN LEGEND

EXISTING WALL

NEW METAL STUD WALL

EXISTING DOOR

NEW DOOR (WITH DOOR TAG)

WALL TYPE

REVISION

101

M1

A-W

KEYED NOTE

MADISEN

MAHER

ARCHITECTS

133 W. PITTSBURGH AVE, SUITE 102  
MILWAUKEE, WI 53204  
P: 414.277.8000  
MADISENMAHER.COM

PROPOSED ADDITION TO :

KHS USA

KHS

880 BAHCALL CT  
WAUKESHA, WI 53186

CLIENT

KHS USA INC

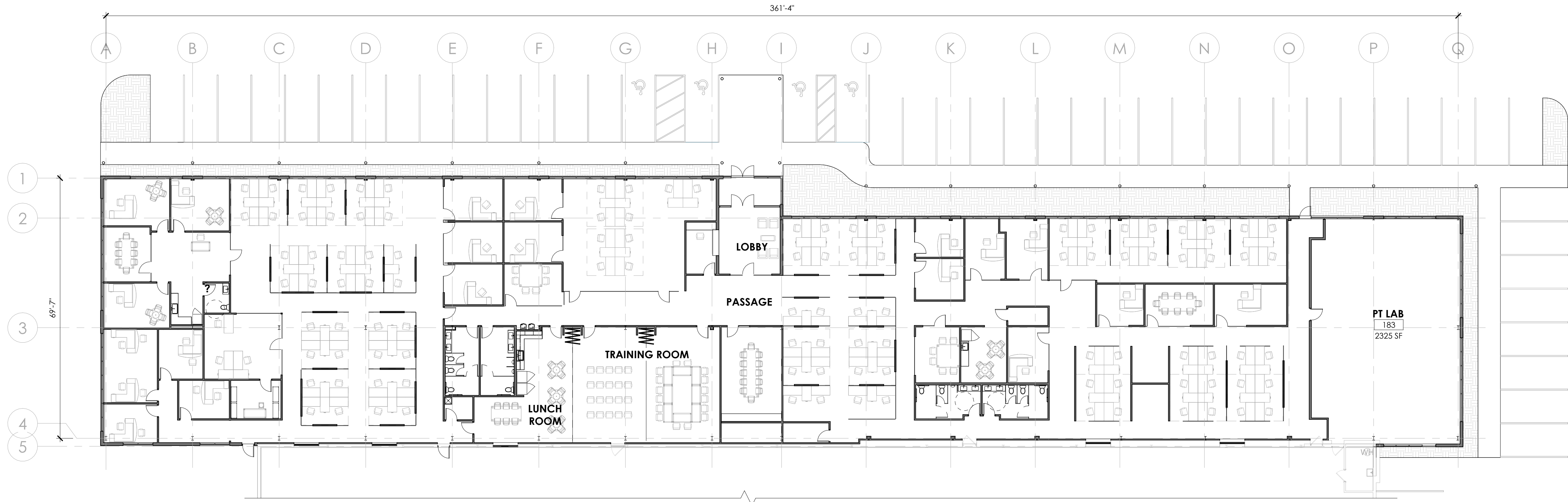
DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
12-11-23	#	PROJECT START
07-29-25		PLAN COMMISSION SUBMITTAL

PROJECT NUMBER	25-012
START DATE	23-12-11
DRAWN BY	---
CHECKED BY	---

FIRST FLOOR PLAN

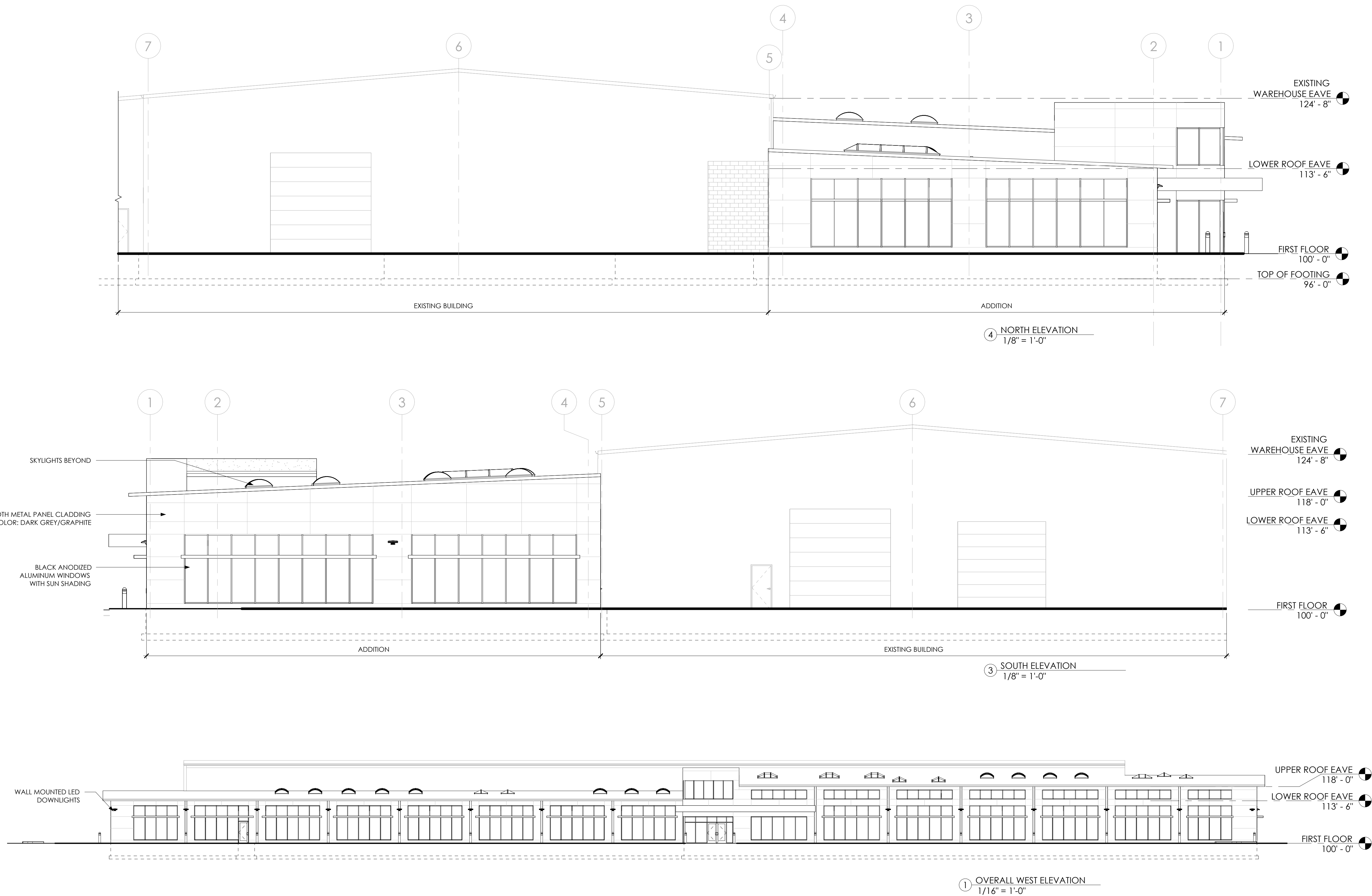
A1.11



② OVERALL FIRST FLOOR PLAN  
1/16" = 1'-0"

NOT FOR CONSTRUCTION

7/27/2025 2:05:16 PM



ARCHITECTS  
133 W. PITTSBURGH AVE, SUITE 102  
MILWAUKEE, WI 53204  
P: 414.277.8000  
MADISENMAHER.COM

PROPOSED ADDITION TO :

KHS USA



880 BAHCALL CT  
WAUKESHA, WI 53186

CLIENT  
KHS USA INC

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
12-11-23	#	PROJECT START
07-29-25		PLAN COMMISSION SUBMITTAL

PROJECT NUMBER	25-012
START DATE	23-12-11
DRAWN BY	Author
CHECKED BY	Checker

EXTERIOR ELEVATIONS

A4.00

NOT FOR CONSTRUCTION

7/29/2025 2:52:27 PM

- NOTES:
- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
  - Mounting height (MH) is measured from the bottom of the fixture to the floor.
  - This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
    - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
    - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.

EXISTING BUILDING

OH  
DOOR

OH  
DOOR

OH  
DOOR

BAHCAIL COURT

PROPOSED ADDITION  
24,087 SF

EXISTING FACTORY  
43,018 SF

EXISTING OFFICE

EXISTING FACTORY

FIRE AREA B

FIRE AREA A

Luminaire Schedule							
Qty	Label	Arrangement	LLF	MFR	Description	Lum. Watts	Total Watts
19	OB	Single	0.950	LITHONIA	DSXB LED 16C 350 xxK SYM	20	380
16	OW1	Single	0.950	LITHONIA	DSXW1 P2 xxK 80CRI TFTM	14.58	233.28

Calculation Summary							
Label	CalcType			Units	Avg	Max	Min
EXTERIOR	Illuminance			Fc	0.87	17.27	0.01

ENTERPRISE  
Lighting & Control



COMMENTS

DATE

#

REVISIONS

DRAWN BY : AD

DATE : AUG 25, 2025

SCALE : 1" = 20'- 0"

KHS

BROOKFIELD, WISCONSIN

LIGHTING LAYOUT





# D-Series LED Bollard



d<sup>series</sup>

## Specifications

**Diameter:** 8" Round  
(20.3 cm)

**Height:** 42"  
(106.7 cm)

**Weight (max):** 27 lbs  
(12.25 kg)



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplight. An optical leap forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

## Ordering Information

**EXAMPLE:** DSXB LED 16C 700 40K SYM MVOLT DDBXD

DSXB LED															
Series	LEDs	Drive current		Color temperature		Distribution		Voltage	Control options		Other options		Finish <i>(required)</i>		
DSXB LED	Asymmetric 12C   12 LEDs <sup>1</sup>	350	350 mA	30K	3000 K	ASY	Asymmetric <sup>1</sup>	MVOLT <sup>5</sup>	Shipped installed		Shipped installed		DWHXD	White	
		450	450 mA <sup>3,4</sup>	40K	4000 K	SYM	Symmetric <sup>2</sup>	120 <sup>5</sup>	PE	Photoelectric cell, button type	SF	Single fuse (120, 277, 347V) <sup>4,7</sup>	DNAXD	Natural aluminum	
		530	530 mA	50K	5000 K			208 <sup>5</sup>			DF	Double fuse (208, 240V) <sup>4,7</sup>	DDBXD	Dark bronze	
	Symmetric 16C   16 LEDs <sup>2</sup>	700	700 mA	AMBPC	Amber phosphor converted			240 <sup>5</sup>	DMG	00-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)	H24	24" overall height	DBLXD	Black	
				AMBLW	Amber limited wavelength <sup>3,4</sup>			277 <sup>5</sup>			H30	30" overall height	DDBTXD	Textured dark bronze	
								347 <sup>4</sup>			H36	36" overall height	DBLBXD	Textured black	
											FG	Ground-fault festoon outlet	DNATXD	Textured natural aluminum	
											L/AB	Without anchor bolts			
										ELCW	Emergency battery backup <sup>6</sup>	L/AB4	4-bolt retrofit base without anchor bolts <sup>8</sup>	DWHGXD	Textured white

## Accessories

Ordered and shipped separately.

MRAB U Anchor bolts for DSXB<sup>8</sup>

## NOTES

- 1 Only available in the 12C, ASY version.
- 2 Only available in the 16C, SYM version.
- 3 Only available with 450 AMBLW version.
- 4 Not available with ELCW.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- 6 Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- 7 Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- 8 MRAB U not available with L/AB4 option.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • [www.lithonia.com](http://www.lithonia.com)  
© 2012-2024 Acuity Brands Lighting, Inc. All rights reserved.

## Performance Data

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

Light Engines	Drive Current	System Watts	3000 K					4000 K					5000 K					Limited Wavelength Amber				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
Asymmetric (12 LEDs)	350	16	1,194	75	1	0	1	1,283	80	1	0	1	1,291	81	1	0	1					
	530	22	1,719	78	1	0	1	1,847	84	1	0	1	1,859	85	1	0	1					
	700	31	2,173	70	1	0	1	2,335	75	1	0	1	2,349	76	1	0	1					
	Amber 450	16																348	22	1	0	1
Symmetric (16 LEDs)	350	20	1,558	78	1	0	0	1,674	84	1	0	0	1,685	84	1	0	0					
	530	28	2,232	80	2	0	1	2,397	86	2	0	1	2,412	86	2	0	1					
	700	39	2,802	72	2	0	1	3,009	77	2	0	1	3,028	78	2	0	1					
	Amber 450	20																419	21	1	0	1

**Note:** Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

## Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.00	0.98	0.97	0.95

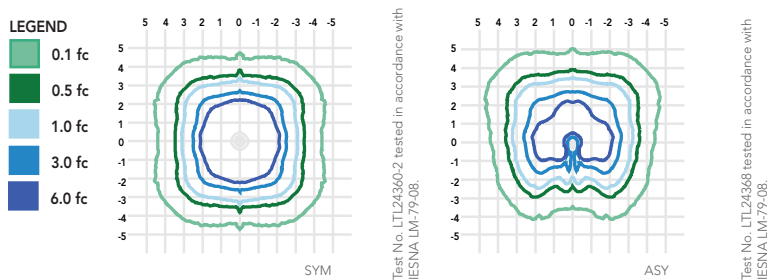
## Electrical Load

Light Engines	Drive Current (mA)	System Watts	Current (A)				
			120	208	240	277	347
12C	350	16W	0.158	0.118	0.114	0.109	0.105
	530	22W	0.217	0.146	0.136	0.128	0.118
	700	31W	0.296	0.185	0.168	0.153	0.139
	Amber 450	16W	0.161	0.120	0.115	0.110	0.106
16C	350	20W	0.197	0.137	0.128	0.121	0.114
	530	28W	0.282	0.178	0.162	0.148	0.135
	700	39W	0.385	0.231	0.207	0.185	0.163
	Amber 450	20W	0.199	0.139	0.130	0.123	0.116

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Bollard homepage](#).

Isofootcandle plots for the DSXB LED 700 40K. Distances are in units of mounting height (3').



## FEATURES & SPECIFICATIONS

### INTENDED USE

The rugged construction and maintenance-free performance of the D-Series LED Bollard is ideal for illuminating building entryways, walking paths and pedestrian plazas, as well as any other location requiring a low-mounting-height light source.

### CONSTRUCTION

One-piece 8-inch-round extruded aluminum shaft with thick side walls for extreme durability, and die-cast aluminum reflector and top cap. Die-cast aluminum mounting ring allows for easy leveling even in uneven areas and full 360-degree rotation for precise alignment during installation. Three 1/2" x 11" anchor bolts with double nuts and washers and 3-5/8" max. bolt circle template ensure stability. Overall height is 42" standard.

### FINISH

Exterior parts are protected by a zinc-infused super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

### OPTICS

Two 0% uplight optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without uplight. Light engines are available in standard 4000 K (>70 CRI) or optional 3000 K (>80 CRI) or 5000 K (67 CRI). Limited-wavelength amber LEDs are also available.

### ELECTRICAL

Light engines consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (L95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

### LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.

### GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to [www.acuitybrands.com/buy-american](http://www.acuitybrands.com/buy-american) for additional information.

### WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.







LED 26W Wall packs. patent-pending thermal management system. 100,000 hour L70 lifespan. 5-year, no-compromise warranty.

Color: Bronze

Weight: 7.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.22A
208V	0.13A
240V	0.11A
277V	0.10A
Input Watts	28.9W

LED Info

Watts	26W
Color Temp	4000K (Neutral)
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	3,738 lm
Efficacy	129.3 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations. Suitable for mounting within 4 ft (1.2m) of the ground.

IP Rating:

Ingress protection rating of IP66 for dust and water

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.  
DLC Product Code: P0000175P

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 150W Metal Halide

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60Hz, 120V: 0.22A, 208V: 0.13A, 240V: 0.11A, 277V 0.10A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

10.02% at 120V, 10.55% at 277V

Power Factor:

98.3% at 120V, 95.4% at 277V

Construction

Finish:

Formulated for high durability and long-lasting color

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Other

Patents:

The WPLED design is protected by U.S. Pat. D634878, Canada Pat 134878, China Pat. CN3016490645.

5-Year, No-Compromise Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at [rablighting.com/warranty](http://rablighting.com/warranty).

FTC Country of Origin:

This product was assembled in the USA by RAB using imported components

Buy American Act Compliance:

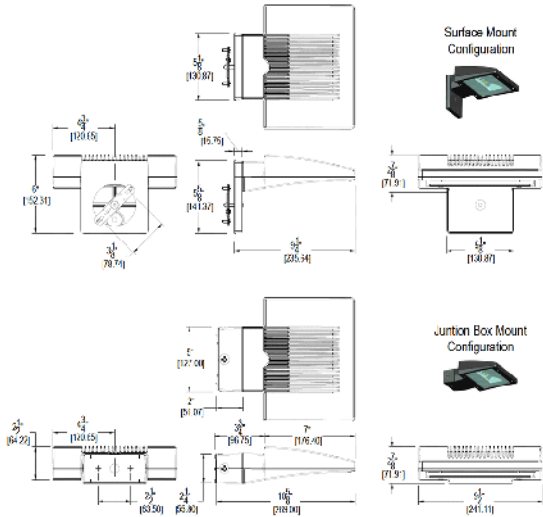
This product complies with the Buy American Act

Technical Specifications (continued)

Optical

BUG Rating:  
B1 U0 G0

Dimensions



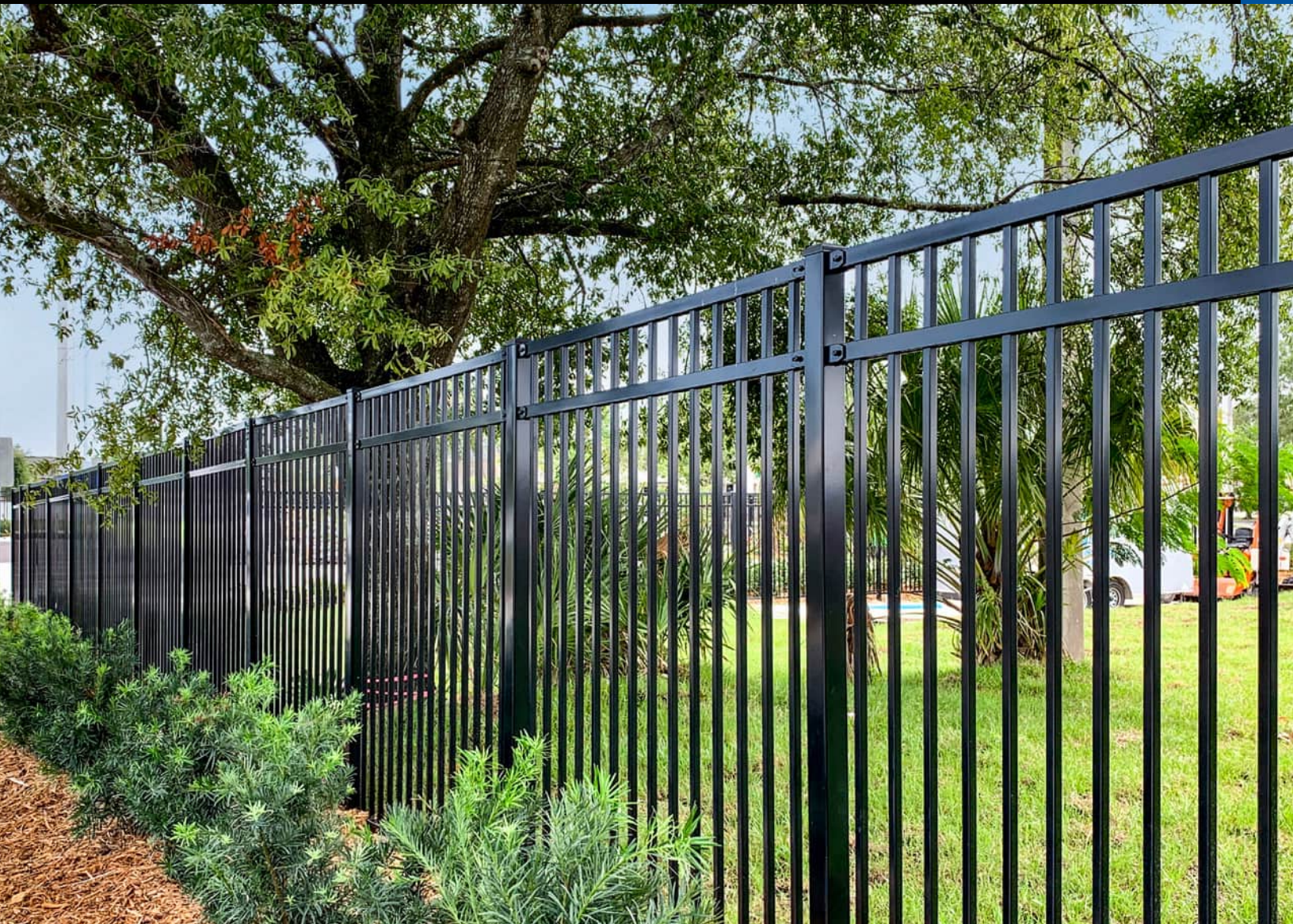
Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty



# ECHELON II

Industrial Ornamental Aluminum Fence



FENCE PRODUCTS

[AMERISTARPERIMETER.COM](http://AMERISTARPERIMETER.COM) | 800-321-8724

Experience a safer and more open world

**AMERISTAR®**

**ASSA ABLOY**





# ECHELON II<sup>®</sup>

## INDUSTRIAL ALUMINUM FENCE



Echelon II is the strongest and most durable aluminum fence available in the industry. The ForeRunner rail design enables this fence to have several attributes uncommon to typical aluminum fences. Echelon II aluminum fence has a unique post design with an internal reinforcing web which increases the strength of the overall fence significantly.

The unrivaled strength and durability of Echelon II is International Building Code (IBC) compliant.

- Exceeds all IBC 2018 Handrail & Guards load requirements
- Standard 8 ft. panels yield project savings
- Unique rail design for strength and maximum load capacity























Save

Print

Clear

Form  
AB-220

## Temporary Alcohol Beverage License

Municipality

License(s) Requested	Fees	
<input checked="" type="checkbox"/> Temporary "Class B" Wine <input checked="" type="checkbox"/> Temporary Class "B" Beer	License Fees	\$ 10
	Background Check	\$
	<b>Total Fees</b>	<b>\$ 10</b>

## Part A: Organization Information

1. Organization Name Elmbrook Education Foundation		
2. Organization Permanent Address 3555 N Calhoun Rd		
3. City Brookfield	4. State WI	5. Zip Code 53005
6. Mailing Address (if different from permanent address)		
7. FEIN 39-6059490	8. Date of Organization/Incorporation 1958	9. State of Organization/Incorporation Wisconsin
10. Phone 2628443742	11. Email elmbrookeducationfoundation@gmail.com	
12. Organization type (check one) <input type="checkbox"/> Bona Fide Club <input type="checkbox"/> Church <input type="checkbox"/> Fair Association/Agricultural Society <input type="checkbox"/> Veteran's Organization <input type="checkbox"/> Lodge/Society <input checked="" type="checkbox"/> Chamber of Commerce or similar Civic or Trade Organization under ch. 181, Wis. Stats.		
13. Is this organization required to hold a Wisconsin Seller's permit? ..... <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
14. Wisconsin Seller's Permit Number (if applicable)		

## Part B: Individual Information

List the name, title, and phone number for all officers, directors, and agent of the organization. Include an Individual Questionnaire (Form AB-100) for each person listed below. Attach additional sheets if necessary.

Corporations must also include Alcohol Beverage Appointment of Agent (Form AB-101).

Last Name	First Name	Title	Phone
Ebbole	Kelly	President	
Gonzalez	Jessica	Vice President	
Kawa	Brian	Treasurer	
Proctor Brown	Patrick	Governance	
Rasoul	Katie	Secretary	


Olberding      Lynn  
Dea Letner Barker      Danielle      At-Large



**Part C: Event Information**

1. Name of Event (if applicable) 5th Annual Boos & Ghouls Night Out			
2. Dates of Operation Thursday, October 9, 2025		3. Hours of Operation 5:30-8pm	
4. Premises Address The Corners of Brookfield, 20111 W Bluemound Rd			
5. City Brookfield		6. State WI	7. Zip Code 53045
8. County Waukesha	9. Governing Municipality <input type="checkbox"/> City <input checked="" type="checkbox"/> Town <input type="checkbox"/> Village of Brookfield		10. Aldermanic District
11. Organizer of Event (if not the named applicant) Beth Dobrzynski		12. Email and/or Phone Number for Organizer of Event elmbrookeducationfoundation@gmail.com	
13. Organizer Website https://eef.elmbrookschoools.org		14. Event Website https://eef.elmbrookschoools.org/events/boos-ghouls-	
15. Premises Description - Describe the building or buildings and any outside areas where alcohol beverages and records are sold, stored, or consumed, and related records are kept. Describe all rooms within the building, including living quarters. Authorized alcohol beverage activities and storage of records may occur only on the premises described in this application. Attach a map or diagram and additional sheets if necessary.  Guests will walk through the Corners of Brookfield tasting beer and wine and enjoying food from the restaurants. The following tenants will be involved: FreshFin, Bonness, Anthony Vince, Grimaldi's, Anthropologie, EverEve, Amandine, BelAir, Rowan, Indulgence Chocolatiers, Goddess and the Baker, Arhaus, IMPROV, Margaux, Café Hollander, and SweetGreen. Funds raised will support the EEF's teacher and staff recognition and Lulu Lemon			

**Part D: Attestation**

Who must sign this application? • one officer or director of the nonprofit organization			
<b>READ CAREFULLY BEFORE SIGNING:</b> Under penalty of law, I have answered each of the above questions completely and truthfully. I agree that I am acting solely on behalf of the applicant organization and not on behalf of any other individual or entity seeking the license. Further, I agree that the rights and responsibilities conferred by the license(s), if granted, will not be assigned to another individual or entity. I agree to operate according to the law, including but not limited to, purchasing alcohol beverages from Wisconsin-permitted wholesalers. I understand that lack of access to any portion of a licensed premises during inspection will be deemed a refusal to allow inspection. Such refusal is a misdemeanor and grounds for revocation of this license. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.			
Last Name Dobrzynski		First Name Beth	M.I. A
Title Executive Director	Email elmbrookeducationfoundation@gmail.		Phone [REDACTED]
Signature 		Date 8/20/25	

**Part E: For Clerk Use Only**

Date Application Was Filed With Clerk 8.22.25	License Number
Date License Granted	Date License Issued
Signature of Clerk/Deputy Clerk	



Alcohol Beverage  
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor)

Elmbrook Education Foundation, INC

2. Business Trade Name or DBA

Elmbrook Education Foundation

3. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☐ Limited Liability Company ☐ Corporation ☒ Nonprofit Organization**Part B: Individual Information**

1. Last Name

Brian

2. First Name

Kawa

3. M.I.

J

4. Relationship to Business (Title)

Treasurer

5. Email

brian.kawa@sodexo.com

6. City

Brookfield

9. State

WI

10. Zip Code

53005

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance  
WI**Part C: Address History**1. Do you currently live in Wisconsin? ☒ Yes ☐ NoIf yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY)  
07/2014

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address	City	State	Zip Code
1	Brookfield	WI	53004
2			
3			
4			
5			

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	Waukesha	WI	Dane	NE	Douglas	NE	Lancaster

Continued →



**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☒ Yes ☐ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated <b>DUI</b>	Location <b>Omaha, NE</b>	Conviction Date <b>08/30/1997</b>
Penalty Imposed <b>Probation</b>	Was sentence completed? . . . . . <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No	
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed	Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No	

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature <i>Brian Kawa</i>	Date <b>08/22/2025</b>
--------------------------------	---------------------------

Alcohol Beverage  
Individual QuestionnaireDate  
8/21/25

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor)

Elmbrook Education Foundation

2. Business Trade Name or DBA

3. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☐ Limited Liability Company ☐ Corporation ☒ Nonprofit Organization**Part B: Individual Information**

1. Last Name

Liebl Ebbole

2. First Name

Kelly

3. M.I.

4. Relationship to Business (Title)

President

6. Phone

7. Home Address

2585 Buena Vista Dr

8. City

Brookfield

9. State

WI

10. Zip Code

53045

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of issuance

WI

**Part C: Address History**1. Do you currently live in Wisconsin? ☒ Yes ☐ NoIf yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY)  
10/2016

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1	City	State	Zip Code
	Chicago	IL	60626
	Chicago	IL	60625
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	Waukesha	IL	Cook				
State	County	State	County	State	County	State	County

Continued →



**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No

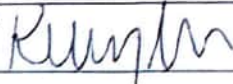
2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature



Date

8/21/25

Form  
AB-100

# Alcohol Beverage Individual Questionnaire

Date 8/21/2025

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

## Part A: Business Information

1. Legal Business Name (individual name if sole proprietor) Elmbrook Education Foundation
2. Business Trade Name or DBA EEF
3. Entity Type (check one)  
☐ Sole Proprietor ☐ Partnership ☐ Limited Liability Company ☐ Corporation ☒ Nonprofit Organization

## Part B: Individual Information

1. Last Name Gonzalez
2. First Name Jessica
3. M.I. M
4. Relationship to Business (Title) Vice President
5. Home Address [REDACTED]
6. Phone [REDACTED]
7. Home Address [REDACTED]
8. State WI
9. Zip Code 53045
10. Drivers License/State ID Number [REDACTED]
11. Drivers License/State ID State of issuance WI

## Part C: Address History

1. Do you currently live in Wisconsin? ☒ Yes ☐ No  
If yes, provide the month and year when you permanently moved to Wisconsin (MM/yyyy) 06/2015

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1	City	State	Zip Code
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	Waukesha	OH	Cuyahoga				
CT	Hartford	CO					

Continued →



**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature <i>Genica Bongals</i>	Date <i>8/21/2025</i>
---------------------------------	-----------------------

Alcohol Beverage  
Individual QuestionnaireDate  
08/21/2025

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor) Elmbrook Education Foundation, Inc.	
2. Business Trade Name or DBA	
3. Entity Type (check one) <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Nonprofit Organization	

**Part B: Individual Information**

1. Last Name Proctor-Brown		2. First Name Patrick		3. M.I. J
4. Relationship to Business (Title) Governance	5. Email [REDACTED]		6. Phone [REDACTED]	
7. Home Address [REDACTED]				
8. City Elm Grove	9. State WI	10. Zip Code 53122	11. Date of Birth [REDACTED]	
12. Drivers License/State ID Number [REDACTED]		13. Drivers License/State ID State of Issuance WI		

**Part C: Address History**

1. Do you currently live in Wisconsin? .....				<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
If yes, provide the month and year when you permanently moved to Wisconsin .....				(MM/YYYY) 07/1991			
2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.							
Previous Address 1 N/A.		City		State		Zip Code	
Previous Address 2		City		State		Zip Code	
Previous Address 3		City		State		Zip Code	
Previous Address 4		City		State		Zip Code	
Previous Address 5		City		State		Zip Code	
3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.							
State WI	County Waukesha	State WI	County Milwaukee	State WI	County Dane	State GA	County Muscogee
State	County	State	County	State	County	State	County

Continued →



<b>Part D: Criminal History</b>		
1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.		
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.		

<b>Part E: Attestation</b>	
<b>READ CAREFULLY BEFORE SIGNING:</b> Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.	
Signature <i>Patrick Proctor-Brown</i>	Date 08/21/2025

Form  
AB-100Alcohol Beverage  
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor)

Elmbrook Education Foundation

2. Business Trade Name or DBA

3. Entity Type (check one)

☐ Sole Proprietor    ☐ Partnership    ☐ Limited Liability Company    ☐ Corporation    ☒ Nonprofit Organization
**Part B: Individual Information**

1. Last Name

Olberding

2. First Name

Lynn

3. M.I.

A

4. Relationship to Business (Title)

Director (Secretary)

5. Email

6. Phone

7. Home Address

8. City

Brookfield

9. State

WI

10. Zip Code

53005

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance

WI

**Part C: Address History**1. Do you currently live in Wisconsin? ..... ☒ Yes ☐ NoIf yes, provide the month and year when you permanently moved to Wisconsin ..... (MM/YYYY)  
06/21

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1

City

Marshalltown

State

IA

Zip Code

50158

Previous Address 2

City

State

Zip Code

Previous Address 3

City

State

Zip Code

Previous Address 4

City

State

Zip Code

Previous Address 5

City

State

Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State

County

State

County

State

County

State

County

WI

Waukesha

IA

Marshall

IA

Buena Vista

State

County

State

County

State

County

State

County

Continued →



**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature



Date

8/22/25

Form  
AB-100Alcohol Beverage  
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor)

Elmbrook Education Foundation

2. Business Trade Name or DBA

3. Entity Type (check one)

☐ Sole Proprietor    ☐ Partnership    ☐ Limited Liability Company    ☐ Corporation    ☒ Nonprofit Organization
**Part B: Individual Information**

1. Last Name

Baxter

2. First Name

Danielle

3. M.I.

ML

4. Relationship to Business (Title)

Board Member/Officer

5. Email

6. Phone

7. Home Address

8. City

Brookfield

9. State

WI

10. Zip Code

53005

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance

WI

**Part C: Address History**1. Do you currently live in Wisconsin? ..... ☒ Yes ☐ NoIf yes, provide the month and year when you permanently moved to Wisconsin ..... (MM/YYYY)  
05/2011

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address	City	State	Zip Code
Previous Address 1			
Previous Address 2			
Previous Address 3			
Previous Address 4			
Previous Address 5			

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
MN	Ramsey	MN	Hennepin				
State	County	State	County	State	County	State	County

Continued →



**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 08/21/2025
--	--------------------

Form  
AB-100Alcohol Beverage  
Individual Questionnaire

Date

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all partners of a partnership
- all officers, directors, and agent of a corporation or nonprofit organization
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor)

Elmbrook Education Foundation

2. Business Trade Name or DBA

3. Entity Type (check one)

☐ Sole Proprietor    ☐ Partnership    ☐ Limited Liability Company    ☐ Corporation    ☒ Nonprofit Organization
**Part B: Individual Information**

1. Last Name

Dobrzynski

2. First Name

Beth

3. M.I.

A

4. Relationship to Business (Title)

Executive Director

5. Email

elmbrookeducationfoundation@gmail

6. Phone

7. Home Address

8. City

Brookfield

9. State

WI

10. Zip Code

53045

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance

WI

**Part C: Address History**1. Do you currently live in Wisconsin? ☒ Yes ☐ NoIf yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY)  
9/1993

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1	City	State	Zip Code
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
OH	Cuyahoga	WI	Waukesha	IL	Adams		
State	County	State	County	State	County	State	County

Continued →



**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature



Date

8/22/25

Form  
AB-100Alcohol Beverage  
Individual QuestionnaireDate  
8/21/25

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**1. Legal Business Name (individual name if sole proprietor)  
Elmbrook Education Foundation

2. Business Trade Name or DBA

3. Entity Type (check one)

☐ Sole Proprietor☐ Partnership☐ Limited Liability Company☐ Corporation☒ Nonprofit Organization**Part B: Individual Information**

1. Last Name

Drees

2. First Name

Carey

3. M.I.

A

4. Relationship to Business (Title)

Administrative Assistant

5. Email

EEFAssistant@gmail.com

6. Phone

7. Address

8. City

Brookfield

9. State

WI

10. Zip Code

53005

11. Date of Birth

12. Drivers License/State ID Number

13. Drivers License/State ID State of Issuance

WI

**Part C: Address History**1. Do you currently live in Wisconsin? ☒ Yes ☐ NoIf yes, provide the month and year when you permanently moved to Wisconsin (MM/YYYY)  
04/1984

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1	City	State	Zip Code
	Brookfield	WI	53005
Previous Address 2	City	State	Zip Code
Previous Address 3	City	State	Zip Code
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	Milwaukee	WI	Walworth	WI	Waukesha		
State	County	State	County	State	County	State	County

Continued →



**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature

Carey A Drew

Date

8/21/25

Form  
AB-101Alcohol Beverage  
Appointment of Agent

Date

## Agent Type (check one)

- ☒
- Original (no fee)
- ☐
- Successor (\$10 fee for municipal licensees only)

## Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Elmbrook Education Foundation

2. Business Trade Name or DBA

Non Profit

3. Entity Type (check one)

- ☐
- Limited Liability Company
- ☐
- Corporation
- ☒
- Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☒
- Municipal Retail License
- ☐
- State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

6. Describe the reason for appointing a successor agent, if successor is checked above.

## Part B: Agent Information

1. Last Name

Dobrzynski

2. First Name

Beth

3. M.I.

A

4. Email

elmbrookeducationfoundation@gmail.com

5. Phone

6. Home Address

7. City

Brookfield

8. State

WI

9. Zip Code

53005

10. Date of Birth

11. Drivers License/State ID Number

12. Drivers License/State ID State of Issuance

WI

## Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ..... ☒ Yes ☐ No  
Submit proof of completion.
2. Have you completed Form AB-100, *Alcohol Beverage Individual Questionnaire* (licensee) or  
Form AB-300, *Alcohol Beverage Personal Questionnaire* (permittee)? ..... ☒ Yes ☐ No
3. Have you been a Wisconsin resident for at least 90 continuous days? ..... ☒ Yes ☐ No  
See instructions for exceptions.

Continued →




**Part D: Business Attestation**

READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name		First Name		M.I.
Title	Email		Phone	
Signature			Date	

**Part E: Agent Attestation**

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name Dobrzynski		First Name Beth		M.I. A
Signature 			Date 8/22/925	



# Certificate Of Completion

## Responsible Vendor Training Program

This certificate represents the successful completion of an approved Wisconsin Department of Revenue Responsible Beverage Server Course in compliance with secs. 125.04(5)(a)5., 125.17(6), and 134.66(2m), Wis.

Name : Beth Dobrzynski

  
Steven A. Dean, CEO  
www.sellerserverclasses.com

This online responsible alcohol vendor training & assessment program is provided by Seller Server Classes.

Having successfully completed the program, the student will be provided with this course completion certificate for their own records.

Name : Beth Dobrzynski

Course Name : Seller Server Course

Date Completed : 8/21/2025

Expiration Date : 8/21/2027

Certificate Number : 195899

Provider : EduClasses.org



**GRAB A TAB**  
**SIGN UP ONLINE**  
**GET CERTIFICATE**

Managers...  
Post This: Help Your Staff get their Seller Server Certificate

<https://SellerServerClasses.Com/Wisconsin>

<https://SellerServerClasses.Com/Wisconsin>

<https://SellerServerClasses.Com/Wisconsin>

<https://SellerServerClasses.Com/Wisconsin>

<https://SellerServerClasses.Com/Wisconsin>

<https://SellerServerClasses.Com/Wisconsin>

<https://SellerServerClasses.Com/Wisconsin>

<https://SellerServerClasses.Com/Wisconsin>





Form  
AB-101

Alcohol Beverage  
Appointment of Agent

8/29/25  
received

Date 8/26/25

120000 19877

Agent Type (check one)

- ☐ Original (no fee) ☒ Successor (\$10 fee for municipal licensees only)

Part A: Business Information

1. Legal Business Name (individual name if sole proprietor)

Coal Brick Oven Pizzeria Wisconsin, INC.

2. Business Trade Name or DBA

Grimaldi's Pizzeria

3. Entity Type (check one)

- ☐ Limited Liability Company ☒ Corporation ☐ Nonprofit Organization

4. Alcohol Beverage Business Authorization (check one)

- ☐ Municipal Retail License ☒ State Permit

5. If successor agent, provide State Permit or Municipal Retail License Number

2525-BB/BL-27

6. Describe the reason for appointing a successor agent, if successor is checked above.

Prior Agent has stepped down from position.

Part B: Agent Information

1. Last Name

Johnson

2. First Name

Nathan

3. M.I.

D

4. Email

[REDACTED]

[REDACTED]

6. Home Address

[REDACTED]

7. City

Appleton

8. State

WI

9. Zip Code

54915

10. Age

25

11. Drivers License

[REDACTED]

12. Drivers License/State ID State of Issuance

Wisconsin

Part C: Agent Questions

1. Have you satisfied the responsible beverage server training requirement? ..... ☒ Yes ☐ No  
Submit proof of completion.

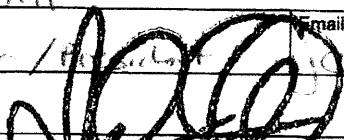
2. Have you completed Form AB-100, Alcohol Beverage Individual Questionnaire? ..... ☒ Yes ☐ No  
Submit a completed Form AB-100 with this form.

3. Have you been a Wisconsin resident for at least 90 continuous days? ..... ☒ Yes ☐ No  
See instructions for exceptions.

Continued →

**Part D: Business Attestation**

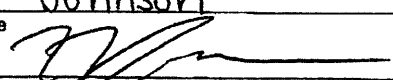
READ CAREFULLY BEFORE SIGNING: I, the **Undersigned**, authorize the above-named individual to act for the above-named corporation, nonprofit organization, or limited liability company with full authority and control of the premises and of all alcohol beverage activities on such premises. I certify that I am authorized by the above-named entity to authorize this individual to act on behalf of the entity. If I am appointing a successor agent, I rescind all previous agent appointments for this premises. Further, I understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Cioli</i>	First Name <i>Joseph</i>	M.I.
Title <i>Owner / President</i>		Phone <i>800-941-7114</i>
Signature 		Date <i>8/28/2025</i>

**President**

**Part E: Agent Attestation**

READ CAREFULLY BEFORE SIGNING: I, the **Agent**, hereby accept this appointment as agent for the above-named corporation, nonprofit organization, or limited liability company and assume full responsibility for the conduct of all alcohol beverage activities on the premises for the above-named business. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Last Name <i>Johnson</i>	First Name <i>Nathan</i>	M.I. <i>D</i>
Signature 		Date <i>8/26/25</i>



Alcohol Beverage  
Individual QuestionnaireDate  
8/26/25

All individuals involved in the alcohol beverage business must complete this form, including:

- sole proprietor
- all officers, directors, and agent of a corporation or nonprofit organization
- all partners of a partnership
- members and agent of a limited liability company

Your alcohol beverage application or renewal is not complete until all required Individual Questionnaires are submitted.

**Part A: Business Information**

1. Legal Business Name (individual name if sole proprietor)

Coal Brick Oven Pizzeria Wisconsin, INC.

2. Business Trade Name or DBA

Grimaldi's Pizzeria

3. Entity Type (check one)

☐ Sole Proprietor ☐ Partnership ☐ Limited Liability Company ☒ Corporation ☐ Nonprofit Organization**Part B: Individual Information**

1. Last Name

Johnson

2. First Name

Nathan

3. M.I.

D

4. Relationship to Business (Title)

5. Email

6. Phone

7. Home Address

8. City

Appleton

9. State

WI

10. Zip Code

54915

11. Date of Birth

12. Drivers License

13. Drivers License/State ID State of Issuance

Wisconsin

**Part C: Address History**1. Do you currently reside in Wisconsin? ..... ☒ Yes ☐ No

If yes to 1 above, how long have you continuously lived in Wisconsin prior to the date of application? ....

Years  
25Months  
4

2. List in chronological order all of your addresses within the last 5 years. Attach additional sheets if necessary.

Previous Address 1	City	State	Zip Code
[REDACTED]	Appleton	WI	54915
Previous Address 2	City	State	Zip Code
[REDACTED]	Waukesha	WI	53188
Previous Address 3	City	State	Zip Code
[REDACTED]	Appleton	WI	54915
Previous Address 4	City	State	Zip Code
Previous Address 5	City	State	Zip Code

3. List all states and counties you have lived in as an adult. Attach additional sheets if necessary.

State	County	State	County	State	County	State	County
WI	Winnebago	WI					
WI	Waukesha	WI					

Continued →

**Part D: Criminal History**

1. Have you ever been convicted of any offenses (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or of any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 1, please list details of each conviction below. Attach additional sheets as needed.

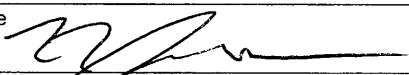
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No
Law/Ordinance Violated	Location	Conviction Date
Penalty Imposed		Was sentence completed? . . . . . <input type="checkbox"/> Yes <input type="checkbox"/> No

2. Are charges for any offenses currently pending against you (excluding traffic offenses unless related to alcohol beverages) for violation of any federal, Wisconsin, or another state's laws or any county or municipal ordinances? . . . . . ☐ Yes ☒ No

If yes to question 2, describe nature and status of pending charges using the space below. Attach additional sheets as needed.

**Part E: Attestation**

**READ CAREFULLY BEFORE SIGNING:** Under penalty of law, I have answered each of the above questions completely and truthfully. I certify that I am not prohibited from participating in this business due to any involvement in another tier of the alcohol beverage industry as a restricted investor. I understand that any license issued contrary to Wis. Stat. Chapter 125 shall be void under penalty of state law. I further understand that I may be prosecuted for submitting false statements and affidavits in connection with this application, and that any person who knowingly provides materially false information on this application may be required to forfeit not more than \$1,000 if convicted.

Signature 	Date 8/26/25
---	--------------



## Pending Brookfield Code Violations

*The following is a list of pending violations that have been reported to the town and is for informational purposes only at the request of the Town Board. No discussion or action will be taken on these matters. Italics indicates new information since the last update.*

Edward Bentfield, 385 Kossow Road

***Property Maintenance issues including abandoned vehicle, cars parked on unpaved surfaces, vegetative overgrowth, neglected swimming pool in the backyard.***

7/29/25 A site visit was conducted with Town Staff and Supervisor Kohlmann. A car was parked in the grass that appeared to be abandoned. A tractor, multiple garbage cans, and junk was piled up on along the front of the house.

7/31/25 The building inspector noted there have been previous attempts at enforcement on this property but no contact has been made with the owner. A letter will be drafted and sent to the Town Atty for final review.

9/11/25 *A letter has been sent to the Town Attorney for review. A site visit today revealed that two cars were now parked in the grass when there was previously one. There were still debris/refuse piled in front of the garage, along with multiple trash cans and a tractor mower.*

HPA III ACQUISITIONS 1 LLC, Bruce Host, 370 S Allen Rd

***Property maintenance issues including a fallen tree, vegetative overgrowth, junk, garbage in yard, leaves and overgrown grass***

7/29/25 A site visit was conducted with Town Staff and Supervisor Kohlmann. The complainants stated that the neighbors did mow the yard but it had been approximately two weeks and needed to be done again. Overgrown bushes are adjacent to the house and there is a dead fell tree that is visible from the right of way. There are junk-like items contained in a trailer on a paved surfaced, apart from a go-cart that sites next to the trailer.

7/31/25 This address is different than the Registered Agent for the LLC. A letter will be drafted and sent to the Town Attorney for review.

9/11/25 *A letter has been drafted and sent to the Town Attorney for review. A site visit from the right of way was conducted by staff today. The fell tree is still present and the lawn does not appear to have been mowed for a few weeks. The pile of debris/refuse in the trailer on the driveway remains.*

William and Irmgard Niess, 21395 Greendale Dr.

***Property Maintenance issues including abandoned vehicles, junk, boat parked on unpaved surfaces***

7/29/25 A site visit was conducted with Town Staff and Supervisor Kohlmann. A truck is parked on the grass next to the garage, however it is not clear it is abandoned. On the side of the garage is a boat under a tarp that is on the grass, a canoe, piles of scrap under a tarp. A letter will be sent to the Town Atty for final review.

9/11/25 *A site visit was conducted to confirm if there were any changes. Due to AT&T trucks in the driveway, I was not able to see the area in question. A letter has been drafted and sent to the Town Attorney. The owners has been in contact with staff inquiring about building a garage. However, the zoning ordinance would not permit additional accessory storage.*

Scott and Rosemarie Wegner, 21455 Greendale Dr

***Property Maintenance issues including weeds 2 ft. tall around a boat, trailer with piled wood, boat stored outside in garden bed on rear lot line, piled junk in weeds, multiple garbage cans in driveway, car parked on unpaved surfaces.***

7/29/25 A site visit was conducted with Town Staff and Supervisor Kohlmann. The property owner was present and came out to discuss the issues. He acknowledged there was work to be done and I expressed that he would be working with me. A letter will be sent outlining the different items that need to be taken care of to bring the property into compliance. This includes moving the red vehicle onto an improved surface, eliminating the overgrown weeds on the side of the house, moving the boats and other outdoor storage onto an improved surface or inside of a structure. A staggered deadline approach will be used for this violation. The first deadline will require that all vehicles be parked on improved surfaces, removal of the trailer with piled wood, and make significant progress on the removal of the weeds.

9/11/25 A site visit from the ROW was conducted to see if any progress had been made given that we made initial contact during the last site visit. The red vehicle was now parking on the driveway and not the grass. The weeds were reduced but I suspect that's due to time of year. A letter has been drafted and send to the Town Attorney for review.

Angela Otto, 21545 Greendale Dr

***Property Maintenance issues including overgrowth of weeds in the rear side-yard, fence extending beyond the front of the house and into the base setback line, to the edge of the culvert.***

7/29/25 A site visit was conducted with Town Staff and Supervisor Kohlmann. A wire fence was constructed prior to the current code being in effect, making the type of fence legal nonconforming. However, the fence was not permitted, and is still not permitted, within the front yard.

7/31/25 A letter has been drafted and will be sent to the Town Attorney for final review.

9/11/24 The letter was sent to the Town Attorney.

Sydney Miller Rev. Trust, 20520 Brook Park Drive

***Property Maintenance issues including failing garage and overgrown vegetation.***

7/29/25 A site visit was conducted with Town Staff and Supervisor Kohlmann. There is a trailer in the driveway and the driveway is in disrepair. The roof is in poor shape and may have a hole in it. There is a pile of branches under a tree and overgrown vegetation (bushes) throughout the property.

7/31/25 The Town Building Inspector reviewed this from the right of way last year after a complaint and observed a bad patch job. A letter will be sent to allow the building inspector to make a site inspection to review the roof. The Planner will work with the owner on any property maintenance issues. A letter will be drafted and sent to the Town Atty for final review.

9/11/25 A site visit was conducted. The yard generally seemed in decent condition. The grass was mowed and there was one pile of sticks collected from the many trees on the property. The trailer is on a paved surface and nothing was identified in the code about driveways in poor shape. A letter was drafting asking permission for the Building Inspector to view the roof from the property, as tree coverage makes it challenging from the ROW.

Last updated: 9/11/25 RL



Year 2025	Co-muni Code 67002	County WAUKESHA Municipality TOWN OF BROOKFIELD	Account No. 1809	Report Type
--------------	-----------------------	--	---------------------	-------------

## Section A: Determination of 2025 Payable 2026 Allowable Levy Limit

1	2024 payable 2025 actual levy plus 2025 personal property aid ( \$144,081.54 )	\$4,628,491
2	Exclude prior year levy for unreimbursed expenses related to an emergency	\$0
3	Exclude 2024 levy for new general obligation debt authorized <b>after</b> July 1, 2005	\$0
4	2024 payable 2025 adjusted actual levy (Line 1 minus Lines 2 and 3)	\$4,628,491
5	0.00% growth, plus terminated TID ( 0 % ), plus TID subtraction ( 0 % ) applied to 2024 adjusted actual levy	\$4,628,491
6	Net new construction ( 1.738 % ), plus terminated TID ( 0 % ), plus TID subtraction ( 0 % ) applied to 2024 adjusted actual levy	\$4,708,934
7	Greater of Line 5 or Line 6	\$4,708,934
8	2025 levy limit before adjustments <b>less 2026 personal property aid</b> ( \$144,081.54 )	\$4,564,852
9	Total adjustments (from Sec. D, Line U)	\$47,228
10	<b>2025 Payable 2026 Allowable Levy</b> (sum of Lines 8 and 9)	\$4,612,080
11	Higher levy approved by special resolution at a special meeting of Town electors	

## Section B: Adjustment for Previous Year's Unused Levy (sec. 66.0602(3)(f), Wis. Stats.)

1	Previous year's allowable levy	\$4,484,409
2	Previous year's actual levy	\$4,484,409
3	Previous year's unused levy (Line 1 minus Line 2)	\$0
4	Previous year's actual levy \$4,484,409 x 0.015	\$67,266
5	<b>Allowable Increase</b> (lesser of Lines 3 or 4)	\$0

## Section C: Adjustment for Prior Years Unused Levy Carryforward (sec. 66.0602(3)(fm), Wis. Stats.)

1	2024 unused percentage	0.000%
2	2023 unused percentage	0.000%
3	2022 unused percentage	0.000%
4	2021 unused percentage	0.000%
5	2020 unused percentage	0.000%
6	Total unused percentage (sum of Lines 1-5)	0.000%
7	Previous year's actual levy due to valuation factor	\$4,628,491
8	<b>Allowable Increase</b> (Line 6 multiplied by Line 7)	\$0

## Section D: Adjustments to Allowable Levy Limit

		Additions	Subtractions
A	Increase for unused levy from previous year ( <i>from Sec. B, Line 5</i> )	\$0	
B	Decrease in 2026 debt service levy as compared to 2025 debt service levy for debt authorized <b>prior to</b> July 1, 2005		\$0
C	Increase in 2026 debt service levy as compared to 2025 debt service levy for debt authorized <b>prior to</b> July 1, 2005	\$0	
D	Increase for town, village, or city's share of refunded or rescinded taxes certified under sec. 74.41(5), Wis. Stats.	\$47,228	
E	Debt service levy for general obligation debt authorized <b>after</b> July 1, 2005	\$0	
F	Increase in 2025 payable 2026 levy approved by a referendum.	\$0	
G	Amount levied in 2025 to pay unreimbursed expenses related to an emergency	\$0	
H	Increase/decrease in costs associated with an intergovernmental cooperation agreement	\$0	\$0
I	Adjustment to 2025 payable 2026 levy for increase in charges assessed by a joint fire department or a joint emergency medical services district	\$0	
J	Adjustment to 2025 payable 2026 levy for transfer of services during 2025 <b>to</b> other governmental units		\$0
K	Adjustment to 2025 payable 2026 for transfer of services during 2025 <b>from</b> other governmental units	\$0	
L	Adjustment to 2025 payable 2026 levy for annexation of land during 2025 by a city or village ( <i>towns only</i> )		\$0
M	Adjustment to 2025 payable 2026 levy for annexation of land during 2025 from a town ( <i>villages or cities only</i> )		
N	Lease payment for lease revenue bond issued <b>before</b> July 1, 2005	\$0	
O	Levy for shortfall of debt service on revenue bond issued under sec. 66.0621, Wis. Stats., or special assessment B bond issued under sec. 66.0713(4), Wis. Stats.	\$0	
P	Increase in levy for shortfall in general fund due to loss of revenue from the sale of water or other commodity to a manufacturer that has discontinued operations	\$0	
Q	Adjustment to 2025 payable 2026 levy for the adoption of a new fee or fee increase for covered services partly or wholly funded by levy in 2013		\$0
R	Increase for unused levy carryforward from prior years ( <i>from Sec. C, Line 8</i> )	\$0	
S	Increase in levy for each occupancy permit issued in 2024 for qualifying new single-family residential dwelling units	\$0	
T	Increase in levy due to a reduced utility aid payment for a decommissioned or closed plant	\$0	
U	<b>Total Adjustments</b> ( <i>sum of Lines A-T</i> )		\$47,228



Town of Brookfield  
Comparison of Tax Levy & Mill Rate

Budget Year	2023			2024			2025			2026		
	2022 Tax Roll paid in 2023			2023 Tax Roll paid in 2024			2024 Tax Roll paid in 2025			2025 Tax Roll paid in 2026		
	Tax Levy	Tax %	Mill Rate	Tax Levy	Tax %	Mill Rate	Tax Levy	Tax %	Mill Rate	Tax Levy	Tax %	Mill Rate
General	4,082,571	91.67%	3.182981	3,921,665	87.86%	3.100703	3,982,809	88.81%	3.188978	4,062,841	88.09%	2.891377
Police CE	52,700	1.18%	0.041088	97,000	2.17%	0.076694	138,000	3.08%	0.110495	132,000	2.86%	0.093940
Emg Govt CE	9,000	0.20%	0.007017	9,000	0.20%	0.007116	9,000	0.20%	0.007206	14,000	0.30%	0.009963
Fire CE	16,000	0.36%	0.012474	106,000	2.37%	0.083810	52,000	1.16%	0.041636	15,000	0.33%	0.010675
DPW CE	90,000	2.02%	0.070169	118,000	2.64%	0.093298	5,000	0.11%	0.004003	70,000	1.52%	0.049816
Park&RecCE	21,500	0.48%	0.016762	7,000	0.16%	0.005535	81,600	1.82%	0.065336	2,500	0.05%	0.001779
B&G CE	5,000	0.11%	0.003898	5,000	0.11%	0.003953	5,000	0.11%	0.004003	9,000	0.20%	0.006405
Rd Const CI	176,651	3.97%	0.137726	199,892	4.48%	0.158047	211,000	4.71%	0.168945	240,594	5.22%	0.171222
Debt	0	0.00%	0.000000	0	0.00%	0.000000	0	0.00%	0.000000	66,143	1.43%	0.047071
	4,453,422	1	3.4721152	4,463,557	1	3.5291554	4,484,409	1	3.5906017	4,612,079	1	3.2822496
Levy Change (\$)	\$ 32,630			\$ 10,135			\$ 20,852			\$ 127,670		
Levy Change (%)	0.74%			0.23%			0.47%		\$ 106,817.54	2.85%		\$ -
Equalized Value (w/ TID Value Increment)	1,579,707,100	9.54%		1,618,867,500	2.48%		1,650,058,900	1.93%		1,808,275,900	9.59%	
TID Value Increment	254,861,600	0.74%		274,397,900	7.67%		301,211,600	9.77%		300,337,300	-0.29%	
Equalized Value (less TID Value Increment)	1,324,845,500			1,344,469,600			1,348,847,300			1,507,938,600		
Interim Rate	0.003361465			0.003319939			0.003324623			0.003058532		
Levy Amount (w/TID Value)	5,310,130			5,374,541			5,485,824			5,530,670		
Tax Increment	856,708			910,984			1,001,415			918,591		
Assessed Value (Equated)	1,529,364,597	12.40%		1,522,897,217	-0.42%		1,527,828,600	0.32%		1,685,024,200	10.29%	
TOB Mill Rate	3.4721152	/ \$1,000		3.5291554	/ \$1,000		3.5906017	/ \$1,000		3.2822496	/ \$1,000	
TOB Mill Rate (less TID)	3.361465			3.319939			3.324623			3.058532		
% Mille Rate Change	-11.88%			1.64%			1.74%			-8.59%		
TOB Mill Rate	3.472115%			3.529155%			3.590602%			3.282250%		

DRAFT Budget Fund Balance Check (9/12/2025)

(\*\*REQUIRED 15% of Operating Budget in Unassigned Fund

CY General Fund Total Budget	\$ 7,272,288.00	
Min. 15% Avail. Fund Balance Amount	\$ 1,090,843.20	
PY Audit Unassigned YE Fund Balance (From Auditors Annual Meeting Summary)	\$ 1,597,370.00	21.97% <b>Ok</b>
CY Estimated YE Revenue	\$ 7,689,182.77	
CY Estimated YE Expenses	\$ 7,564,873.05	\$ 124,309.72
<b>CY Estimated Use of Fund Balance</b>	<b>\$ -</b>	
CY <u>Estimated</u> Unassigned YE Fund Balance	\$ 1,721,679.72	23.67% <b>Ok</b>
FY DRAFT General Fund Total Budget	\$ 7,529,367.21	
Min. 15% Avail. Fund Balance Amount	\$ 1,129,405.08	
FY <u>Estimated</u> Starting Fund Balance	\$ 1,721,679.72	22.87% <b>Ok</b>
<b>FY DRAFT Planned Use of Fund Balance</b>	<b>\$ 575,000.00</b>	
FY Planned Unassigned YE Fund Balance (compare budget hearing worksheet)	\$ 1,146,679.72	15.23% <b>Ok</b>



## FY 2026 Capital Equipment and Improvement Summary

### Capital Equipment by Department

<u>Department</u>	<u>Item Description</u>	<u>Cost</u>	<u>Funded?</u>	<u>General Fund Allocation</u>
Police	New Squad - 1	\$ 55,000	y	
	Squad Equipment Replacement	\$ 12,000	y	
	Squad Modem Replacement	\$ 1,700	y	
	Squad Camera - Panasonic Arbitrator	\$ 7,000	y	
	Squad Ballistic Shields	\$ 10,000	n	
	Axon Tasers	\$ 10,500	y	
	I-Pro UDE Software Upgrade	\$ 7,200	y	
	Interview Room Recorder Server	\$ 2,800	y	
	Mobile Fingerprint Scanner	\$ 2,600	n	
	Lifepak CR2 Defibrillator	\$ 2,200	n	
	Town Server Replacement and Software Upgrade	\$ 35,000	y	
<i>PD subtotal</i>		<u>\$ 146,000</u>		\$ 132,000
Fire	Apparatus Bay Approach	\$ 55,000	n	
	Training Container	\$ 6,000	n	
	EMS Monitors	\$ 10,400	n	Applying for grant
	Garage Door Opener Replacement (2)	\$ 7,000	y	
	Lifepak CR2 Defibrillator (5)	\$ 7,500	y	
<i>FD subtotal</i>		<u>\$ 85,900</u>		\$ 15,000
DPW	UTV (Split with Parks)	\$ 17,000	n	
	Utility Truck Replacement	\$ 70,000	y	
<i>DPW subtotal</i>		<u>\$ 17,000</u>		\$ 70,000
Park & Rec	Storage Container	\$ 2,500	y	
	Toro Wide Area Replacement Installment	\$ 25,000	n	
	UTV (Split with DPW)	\$ 17,000	n	
<i>P&amp;R subtotal</i>		<u>\$ 44,500</u>		\$ 2,500
Administration	Emergency Govmt	\$ 9,000	y	
	Building & Grounds	\$ 5,000	n	
<i>Admin. subtotal</i>		<u>\$ 14,000</u>		\$ 9,000
Building & Grounds	Campus Signage	\$ 65,000	n	
<i>B&amp;G subtotal</i>		<u>\$ 65,000</u>		\$ -
Capital Improvement	Davidson Road	\$ 2,140,000	y	
<i>CI subtotal</i>		<u>\$ 2,140,000</u>		\$ 240,000
Debt Service	2025 Ambulance Loan (closes 2030)	\$ 66,200		
<i>Debt subtotal</i>		<u>\$ 66,200</u>		\$ 66,200
<b>Total Capital Equipment &amp; Capital Improvement</b>				<u>\$ 534,700</u>

2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	%	
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget	Change	
TAXES									
100-411100	GENERAL PROPERTY TAXES	4,082,571.00	3,921,665.00	3,982,809.00	-	3,982,809.00	4,062,841.00		
100-413100	ROOM TAX	652,720.84	707,702.13	850,000.00	654,980.46	850,000.00	950,000.00		
100-419980	PROPERTY TAX CHARGEBACK REV	-	-	-	-	-	-		
100-419990	TIF TAX ALLOCATION TO TOWN	-	-	-	-	-	-		
100-419999	Other Tax Revenue	4,336.63	2,236.66	10,000.00	-	-	5,000.00		
	Total TAXES:	4,739,628.47	4,631,603.79	4,842,809.00	654,980.46	4,832,809.00	5,017,841.00	3.61%	
INTERGOVERNMENTAL REVENUES									
100-432100	FEDERAL COPS GRANT	-	-	-	-	-	-		
100-434100	STATE SHARED TAXES	81,492.62	254,219.06	260,060.00	39,009.01	260,060.00	260,060.00		
100-434200	STATE FIRE DUES & CONTRACTS	62,515.41	63,905.03	55,000.00	69,104.25	69,104.25	55,000.00		
100-435200	STATE AID - POLICE TRAINING	-	-	2,000.00	-	2,000.00	2,000.00		
100-435300	STATE AID - LOCAL ROAD GRANT	-	-	-	-	-	-		
100-435310	STATE AID - GENERAL HIGHWAY AI	344,070.28	361,820.84	374,741.51	187,207.40	374,741.51	374,741.51		
100-435400	STATE AID - RECYCLING GRANT	5,754.00	4,405.00	4,405.00	-	4,405.00	4,405.00		
100-435500	STATE DNR GRANT-STORM WATER UT	-	-	-	-	-	-		
100-436100	STATE AID - MUNICIPAL SERVICES	4,344.78	4,600.31	2,700.00	9,456.80	9,456.80	2,700.00		
100-436600	STATE AID - EXEMPT COMPUTERS	48,897.99	48,897.99	48,898.00	48,897.99	48,898.00	48,898.00		
100-436700	STATE AID - EMERGENCY GRANT	-	-	-	-	-	-		
100-436710	STATE AID - PERSONAL PROPERTY	46,003.75	46,003.75	301,744.10	301,744.44	301,744.44	301,744.44		
100-436790	Road 2 Recovery Monies	16,800.00	-	-	-	-	-		
100-436800	OTHER AID / GRANTS	21,244.14	20,152.73	20,000.00	48,823.63	48,823.63	20,000.00		
	Total INTERGOVERNMENTAL REVENUES:	631,122.97	804,004.71	1,069,548.61	704,243.52	1,119,233.63	1,069,548.95		0.00%
LICENSES & PERMITS									
100-441100	LIQUOR & MALT BEVERAGE LICENSE	18,660.00	13,720.00	25,000.00	20,100.00	25,000.00	25,000.00		
100-441110	OPERATOR'S/BARTENDER LICENSE	12,989.00	45,360.00	12,000.00	10,970.00	12,000.00	12,000.00		
100-441200	CIGARETTE LICENSE	512.50	400.00	450.00	600.00	600.00	450.00		
100-441220	SODA LICENSE	-	-	-	-	-	-		
100-441240	AMUSEMENT DEVICES	4,520.00	4,480.00	4,280.00	4,080.00	4,280.00	4,280.00		
100-441260	PAWN BROKER/SECOND HAND DEALER	2,000.00	1,500.00	2,000.00	2,000.00	2,000.00	2,000.00		
100-441290	OTHER BUSINESS LICENSE	1,700.00	1,600.00	500.00	2,550.00	2,550.00	500.00		
100-442000	PICNIC LICENSE	335.00	40.00	250.00	-	250.00	250.00		
100-442100	DOG LICENSE	1,057.77	(93.25)	1,000.00	2,665.48	2,665.48	2,500.00		
100-443000	BUILDING PERMITS	462,349.08	178,725.95	100,000.00	156,080.25	156,080.25	100,000.00		
100-443100	ELECTRICAL PERMITS	22,373.04	68,263.42	35,000.00	31,069.10	35,000.00	35,000.00		
100-443200	PLUMBING PERMITS	62,035.48	24,847.20	25,000.00	19,270.18	25,000.00	25,000.00		
100-443250	SPRINKLER TEST\FIRE PROTECTION	9,325.00	6,793.75	7,000.00	8,151.25	8,151.25	7,000.00		
100-443300	SIGN - BILLBOARD	-	-	-	-	-	-		
100-449020	CABLE FRANCHISE FEES	40,652.26	35,579.75	40,000.00	27,820.26	40,000.00	40,000.00		
100-449990	OTHER PERMITS	236.00	625.00	150.00	420.00	420.00	150.00		
	Total LICENSES & PERMITS:	638,745.13	381,841.82	252,630.00	285,776.52	313,996.98	254,130.00	0.59%	
FINES, FOREFEITURES, & PENALTIES									
100-451100	COURT PENALTIES AND COSTS	134,073.49	135,451.30	150,000.00	121,229.41	150,000.00	150,000.00		
100-451120	COURT INTEREST FEES	-	-	-	-	-	-		
100-451150	POLICE REPORTS	1,556.44	2,303.73	1,500.00	852.20	1,500.00	1,500.00		
100-451300	PARKING VIOLATIONS	-	-	2,000.00	-	-	2,000.00		
100-451900	OTHER LAW-ORDINANCE VIOLATIONS	-	-	-	-	-	-		
	Total FINES, FOREFEITURES, & PENALTIES:	135,629.93	137,755.03	153,500.00	122,081.61	151,500.00	153,500.00	0.00%	
PUBLIC CHARGES FOR SERVICES									
100-461120	MAPS, PLATS AND ZONING BOOKS	-	-	-	-	-	-		
100-461150	RECORDING FEES	-	-	-	-	-	-		
100-461180	LICENSE AND PUBLICATION FEES	625.00	450.00	450.00	1,027.00	1,027.00	450.00		
100-461220	ASSESSMENT LETTERS	5,700.00	6,100.00	4,500.00	3,400.00	4,500.00	4,500.00		
100-461240	UTILITY LETTERS	-	-	-	-	-	-		
100-461300	APPEALS BOARD HEARING FEES	-	-	-	-	-	-		
100-462100	INVESTIGATION FEES	-	-	-	-	-	-		
100-462150	COPIES	-	-	-	-	-	-		
100-462200	FD INSPECTION ASSESSMENTS	44,250.00	44,699.00	45,000.00	2,285.00	45,000.00	45,000.00		
100-462250	FD CHARGE FOR CLEAN UP ON HWY	6,287.00	5,096.90	5,000.00	7,920.04	7,920.04	5,000.00		
100-462300	FD AMBULANCE RUN CHARGES	240,583.05	305,767.39	200,000.00	166,522.69	200,000.00	200,000.00		



## 2026 DRAFT BUDGET DISCUSSION

## GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	%
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget	Change
100-462340	FD AMBULANCE MILES & SUPPLIES	77,359.78	73,553.72	70,000.00	55,591.87	70,000.00	70,000.00	
100-463180	SNOW REMOVAL CHARGES	-	-	-	-	-	-	
100-464210	RECYCLING BIN PURCHASES	-	-	-	-	-	-	
100-464220	YARD WASTE STICKERS	-	-	-	-	-	-	
100-464400	WEED AND NUISANCE CONTROL	-	-	-	-	-	-	
100-467220	WPRA TICKET PROGRAM	1,003.50	2,310.00	1,200.00	2,386.15	2,386.15	1,200.00	
100-467240	RECREATION PROGRAM COSTS	6,330.00	6,944.00	5,200.00	5,769.00	5,769.00	5,200.00	
100-467260	RECREATION PROGRAM SPONSORSHIP	13,681.05	9,605.00	8,500.00	8,227.00	8,500.00	8,500.00	
100-467280	PARK USAGE FEES	3,675.00	4,970.00	4,000.00	5,273.00	5,273.00	4,000.00	
100-468500	PLANNING COMMISSION HEARING FE	2,300.00	4,900.00	4,000.00	5,350.00	5,350.00	4,000.00	
	Total PUBLIC CHARGES FOR SERVICES:	401,794.38	464,396.01	347,850.00	263,751.75	355,725.19	347,850.00	0.00%
MISCELLANEOUS REVENUE								
100-473300	PUBLIC TRANSPORTATION	-	-	-	-	-	-	
100-481100	INTEREST ON INVESTMENTS	295,805.80	424,091.60	100,000.00	242,131.26	242,131.26	100,000.00	
100-481120	INTEREST FROM OTHER FUNDS	-	-	-	-	-	-	
100-481150	NSF CHECK PENALTY	-	2,758.94	500.00	76.05	500.00	500.00	
100-482120	ENGINEERING & LEGAL BILLINGS	66,885.12	32,755.80	60,000.00	6,308.63	60,000.00	60,000.00	
100-483100	SALE OF TOWN EQUIPMENT	28,456.00	33,567.49	20,000.00	17,204.50	20,000.00	20,000.00	
100-483150	SALES OF TOWN MATERIALS	309.19	560.71	250.00	92.74	250.00	250.00	
100-483160	SALE OF TOWN LAND	-	-	-	-	-	-	
100-483180	SALE OF TOWN BUILDINGS	-	-	-	-	-	-	
100-483260	CULVERTS	-	-	-	-	-	-	
100-484000	INS RECOVERIES - W/C or Liab	-	55,170.00	10,000.00	19,836.71	19,836.71	10,000.00	
100-484500	RESTITUTION	-	-	-	-	-	-	
100-485000	OMITTED / ANNEXED TAXES	-	-	-	-	-	-	
100-485110	DONATIONS FROM INDIV/ORGANIZAT	-	-	-	-	-	-	
100-486000	PAYMENT IN LIEU OF TAXES	36,328.42	36,960.93	41,000.00	-	41,000.00	41,000.00	
100-489990	MISCELLANEOUS REVENUES	-	(116,148.33)	203,000.00	139,728.24	203,000.00	25,000.00	
	Total MISCELLANEOUS REVENUE:	427,784.53	469,717.14	434,750.00	425,378.13	586,717.97	256,750.00	-40.94%
OTHER FINANCING SOURCES								
100-491100	PROCEEDS-LONG TERM BONDS	-	-	-	275,000.00	275,000.00	-	
100-491200	PROCEEDS-LONG TERM NOTES	-	-	-	-	-	-	
100-491400	PROCEEDS-STATE TRUST FUND	-	-	-	-	-	-	
100-492200	TRANSFER FROM SPECIAL ASSESSME	-	-	-	-	-	-	
100-492230	Transfer from TIF	65,971.00	63,923.00	54,200.00	-	54,200.00	54,200.00	
100-493100	UNRESERVED-DES WORK CAP TO GEN	-	-	-	-	-	-	
100-493200	UNRESERVED-DES (FD bk pay) GEN	-	-	-	-	-	-	
100-493300	UNRESERVED-UNDES TO GEN FUND	-	-	117,000.00	-	-	-	
	Total OTHER FINANCING SOURCES:	65,971.00	63,923.00	171,200.00	275,000.00	329,200.00	54,200.00	-68.34%
GENERAL GOVERNMENT								
TOWN BOARD								
100-511000-110	TOWN BOARD-SALARY	27,271.00	27,196.00	27,200.00	24,553.30	27,200.00	27,200.00	
100-511000-130	TOWN BOARD-FICA	2,086.78	2,080.78	2,080.80	1,877.98	2,080.80	2,080.80	
100-511000-310	TOWN BOARD-OFFICE SUPPLIES	-	-	-	-	-	-	
100-511000-320	TOWN BOARD-PUBLISH/SUBSCRIPT/D	3,034.75	1,485.00	1,400.00	3,898.63	3,898.63	1,400.00	
100-511000-321	TOWN BOARD-ADVERTISING	-	-	-	-	-	-	
100-511000-330	TOWN BOARD-TRAIN/TRAVEL	1,370.00	3,019.57	-	1,791.09	1,791.09	-	

2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025		2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	
100-512000-212	MUNICIPAL COURT-PROFESSIONAL S	287.50	400.00	800.00	600.00	800.00	
100-512000-214	MUNICIPAL COURT-DATA PROCESSIN	3,240.37	3,402.39	3,000.00	-	3,000.00	
100-512000-310	MUNICIPAL COURT-OFFICE SUPPLIE	592.98	374.10	1,000.00	310.23	1,000.00	
100-512000-311	MUNICIPAL COURT-POSTAGE	344.16	-	1,000.00	-	1,000.00	
100-512000-312	MUNICIPAL COURT-EVIDENCE SUPPL	-	-	-	-	-	
100-512000-320	MUNICIPAL COURT-PUBLISH/SUBSCR	-	-	-	-	-	
100-512000-330	MUNICIPAL COURT-TRAIN/TRAVEL	1,505.82	1,803.10	2,000.00	1,429.00	2,000.00	
100-512000-332	MUNICIPAL COURT-MILEAGE	-	-	250.00	-	-	
100-512000-340	MUNICIPAL COURT-OPERATING SUPP	115.50	-	150.00	-	-	
	Total MUNICIPAL COURT:	101,241.30	106,541.93	111,870.62	73,717.57	114,781.62	9.76%
LEGAL							
100-513400-200	LEGAL-MC ATTORNEY COUNSEL	87,773.41	69,071.68	50,000.00	60,308.16	60,308.16	
100-513400-210	LEGAL-GENERAL ATTORNEY COUNSEL	120,913.50	52,647.90	65,000.00	23,521.25	65,000.00	
100-513400-211	LEGAL-PD ATTORNEY COUNSEL	2,992.50	1,170.50	10,000.00	857.00	10,000.00	
100-513400-212	LEGAL-FD ATTORNEY COUNSEL	390.00	3,122.50	2,000.00	329.50	2,000.00	
100-513400-250	CODIFICATION OF ORDINANCES	1,987.00	1,195.00	1,500.00	1,195.00	1,500.00	
	Total LEGAL:	214,056.41	127,207.58	128,500.00	86,210.91	138,808.16	0.00%
ADMINISTRATOR							
100-514100-110	ADMINISTRATOR-*SALARY	73,865.60	83,948.56	76,600.00	67,706.62	76,600.00	78,132.00
100-514100-130	ADMINISTRATOR-FICA	5,447.62	6,219.88	5,859.90	5,035.91	5,859.90	5,977.00
100-514100-131	ADMINISTRATOR-RETIREMENT	5,039.31	5,794.58	5,323.70	4,703.61	5,323.70	5,626.00
100-514100-133	ADMINISTRATOR-INSURANCE	25,433.94	27,420.12	28,600.00	18,950.70	28,600.00	36,649.00
100-514100-212	ADMINISTRATOR-PROFESSIONAL SER	-	-	-	-	-	-
100-514100-214	ADMINISTRATOR-DATA PROCESSING	-	-	-	-	-	-
100-514100-310	ADMINISTRATOR-OFFICE SUPPLIES	-	-	-	-	-	-
100-514100-320	ADMINISTRATOR-PUBLISH/SUBSCRIP	-	-	-	-	-	-
100-514100-330	ADMINISTRATOR-TRAIN/TRAVEL	-	-	200.00	-	200.00	200.00
100-514100-332	ADMINISTRATOR-MILEAGE	-	-	-	342.96	342.96	-
100-514100-340	ADMINISTRATOR-OPERATING SUPPLI	-	-	-	-	-	-
	Total ADMINISTRATOR:	109,786.47	123,383.14	116,583.60	96,739.80	116,926.56	126,584.00
CLERK							
100-514200-111	CLERK-*SALARY	32,212.56	109,801.04	114,452.00	27,560.43	42,000.00	89,486.00
100-514200-120	CLERK-ADMIN. ASSIST/DEPUTY CLE	107,905.83	103,115.49	97,276.00	75,452.22	97,276.00	108,901.73
100-514200-130	CLERK-FICA	10,403.91	13,218.80	16,197.19	7,483.76	10,654.61	15,177.00
100-514200-131	CLERK-RETIREMENT	9,501.11	11,310.58	14,715.10	6,708.02	9,679.68	14,284.00
100-514200-133	CLERK-INSURANCE	31,235.02	53,156.66	63,600.00	11,145.73	15,000.00	12,554.00
100-514200-212	CLERK-PROFESSIONAL SERVICES	5,428.00	-	-	-	-	-
100-514200-214	CLERK-DATA PROCESSING	-	-	-	-	-	-
100-514200-310	CLERK-OFFICE SUPPLIES	4,559.45	6,847.46	3,000.00	2,003.23	3,000.00	3,000.00
100-514200-311	CLERK-POSTAGE	5,765.98	9,812.97	4,000.00	4,281.07	4,281.07	4,000.00
100-514200-320	CLERK-PUBLISH/SUBSCRIPT/DUES	1,792.77	732.89	1,700.00	1,033.68	1,700.00	1,700.00
100-514200-321	CLERK-LEGAL NOTICES	1,027.94	309.11	1,000.00	41.78	1,000.00	1,000.00
100-514200-330	CLERK-TRAIN/TRAVEL	358.00	499.00	2,500.00	-	2,500.00	2,500.00
100-514200-332	CLERK-MILEAGE	81.29	1,150.94	400.00	-	400.00	400.00
100-514200-340	CLERK-OPERATING SUPPLIES	15,798.52	1,516.70	7,000.00	2,990.57	7,000.00	7,000.00
100-514200-341	CLERK-RECORDING FEES	-	-	-	-	-	-
100-514200-345	CLERK-BACKGROUND CHECKS	2,583.00	2,471.00	2,500.00	1,316.00	2,500.00	2,500.00
	Total CLERK:	228,653.38	313,942.64	328,340.29	140,016.49	196,991.37	262,502.73
ELECTIONS							
100-514400-125	ELECTIONS-POLLWORKERS WAGES	6,521.13	16,845.50	6,500.00	6,308.00	6,500.00	10,000.00
100-514400-214	ELECTIONS-DATA PROCESSING	-	-	-	-	-	-
100-514400-218	ELECTIONS-MACHINE MAINTENANCE	20.10	765.00	1,500.00	723.38	1,500.00	1,500.00
100-514400-219	ELECTIONS-HAVA MACHINE EXP	-	-	-	-	-	-
100-514400-310	ELECTIONS-OFFICE SUPPLIES	130.13	1,442.27	2,000.00	58.56	2,000.00	2,000.00
100-514400-311	ELECTIONS-POSTAGE	1,616.24	37.84	2,500.00	6.31	2,500.00	2,500.00
100-514400-321	ELECTIONS-LEGAL NOTICES	264.50	84.19	500.00	40.62	500.00	500.00
100-514400-330	ELECTIONS-TRAIN/TRAVEL	192.19	1,528.75	1,000.00	334.25	1,000.00	1,000.00
100-514400-340	ELECTIONS-OPERATING SUPPLIES	2,934.80	3,750.75	2,500.00	1,877.13	2,500.00	2,500.00
	Total ELECTIONS:	11,679.09	24,454.30	16,500.00	9,348.25	16,500.00	20,000.00



2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget	
TREASURER								
100-515100-111	TREASURER-*SALARY	20,971.78	23,834.59	21,752.00	19,223.41	21,752.00	22,183.40	
100-515100-120	TREASURER-DEPUTY TREASURER	-	-	-	-	-	-	
100-515100-121	TREASURER-DEPUTY ACCT CLERK	-	-	-	-	-	-	
100-515100-122	TREASURER-BOOKKEEPER	47,696.31	50,742.38	44,000.00	33,678.70	44,000.00	53,589.72	
100-515100-130	TREASURER-FICA	4,882.68	5,333.75	5,030.03	3,783.86	5,030.03	5,796.64	
100-515100-131	TREASURER-RETIREMENT	4,684.47	5,147.66	4,569.76	3,675.20	4,569.76	5,455.66	
100-515100-133	TREASURER-INSURANCE	50,857.24	56,475.77	52,400.00	32,895.82	52,400.00	60,260.00	
100-515100-210	TREASURER-VK AUDITING PROF SER	32,850.05	46,375.18	40,000.00	40,903.71	40,903.71	40,000.00	
100-515100-214	TREASURER-DATA PROCESSING	11,783.94	22,301.27	15,000.00	13,951.10	15,000.00	15,000.00	
100-515100-216	TREAS-COUNTY COLLECTION	12,068.58	10,024.07	12,500.00	11,798.45	12,500.00	12,500.00	
100-515100-240	TREASURER-REPAIR & MAINTENANCE	-	-	-	-	-	-	
100-515100-310	TREASURER-OFFICE SUPPLIES	-	-	-	-	-	-	
100-515100-311	TREASURER-POSTAGE	-	-	-	-	-	-	
100-515100-320	TREASURER-PUBLISH/SUBSCRIPT/DU	-	-	-	-	-	-	
100-515100-330	TREASURER-TRAIN/TRAVEL	503.38	81.80	1,000.00	-	1,000.00	1,000.00	
100-515100-332	TREASURER-MILEAGE	-	-	200.00	-	200.00	200.00	
100-515100-340	TREASURER-OPERATING SUPPLIES	259.92	470.68	500.00	979.42	979.42	500.00	
100-515100-341	TREASURER-COLLECTION CHARGES	-	-	-	-	-	-	
100-515100-342	TREASURER-BANK / CHECK MAINT	7,252.08	2,826.74	8,000.00	6,361.47	8,000.00	8,000.00	
	Total TREASURER:	193,810.43	223,613.89	204,951.79	167,251.14	206,334.92	224,485.41	9.53%
ASSESSOR								
100-515200-111	ASSESSOR-SALARY	-	-	-	-	-	-	
100-515200-120	ASSESSOR-STAFF WAGES	-	-	-	-	-	-	
100-515200-130	ASSESSOR-FICA	-	-	-	-	-	-	
100-515200-131	ASSESSOR-RETIREMENT	-	-	-	-	-	-	
100-515200-133	ASSESSOR-INSURANCE	-	-	-	-	-	-	
100-515200-140	ASSESSOR-BOARD OF REVIEW PER M	600.00	1,300.00	500.00	300.00	500.00	500.00	
100-515200-210	ASSESSOR-GROTA APPRAISALS	77,340.00	71,400.00	71,400.00	47,600.00	71,400.00	71,400.00	
100-515200-212	ASSESSOR-TOWN REVALUATION	-	-	-	-	-	-	
100-515200-213	ASSESSOR-STATE MANUFACT ASSESS	4,859.22	2,445.47	4,400.00	-	4,400.00	4,400.00	
100-515200-340	ASSESSOR-OPERATING SUPPLIES	-	-	-	-	-	-	
	Total ASSESSOR:	82,799.22	75,145.47	76,300.00	47,900.00	76,300.00	76,300.00	0.00%
TOWN HALL								
100-516000-122	TOWN HALL-WAGE	-	-	-	-	-	-	
100-516000-125	TOWN HALL-PT WAGE	9,249.53	-	10,000.00	-	10,000.00	10,000.00	
100-516000-130	TOWN HALL-FICA	707.39	-	765.00	-	765.00	765.00	
100-516000-131	TOWN HALL-RETIREMENT	635.26	-	-	-	-	-	
100-516000-133	TOWN HALL-INSURANCE	-	5,000.00	-	-	-	-	
100-516000-210	TOWN HALL-PROFESSIONAL SERVICE	150.00	-	10,000.00	1,050.00	10,000.00	10,000.00	
100-516000-214	TOWN HALL-DATA PROCESSING	-	-	-	-	-	-	
100-516000-221	TOWN HALL-ELECTRIC	7,954.93	8,539.96	8,000.00	5,095.68	8,000.00	8,000.00	
100-516000-222	TOWN HALL-WATER/SEWER/STORMWAT	1,944.13	2,181.75	2,000.00	1,649.59	2,000.00	2,000.00	
100-516000-224	TOWN HALL-NATURAL GAS/HEAT	1,959.76	1,616.44	2,000.00	1,609.42	2,000.00	2,000.00	
100-516000-225	TOWN HALL-TELEPHONE	14,647.38	16,154.95	15,000.00	10,394.98	15,000.00	15,000.00	
100-516000-240	TOWN HALL-MAINTENANCE CONTRACT	119.00	37.11	500.00	-	500.00	500.00	
100-516000-290	TOWN HALL-WASTE DISPOSAL	-	1,948.00	-	753.00	753.00	-	
100-516000-340	TOWN HALL-OPERATING SUPPLIES	6,119.40	11,037.81	8,000.00	6,765.09	8,000.00	8,000.00	
100-516000-350	TOWN HALL-REPAIR & MAINTENANCE	19,843.52	26,741.12	10,000.00	1,893.06	10,000.00	10,000.00	
	Total TOWN HALL:	63,330.30	73,257.14	66,265.00	29,210.82	67,018.00	66,265.00	0.00%
OTHER GENERAL								
100-519300-510	LIA ONLY/OCCURRENCE-PROPERTY	-	-	-	-	-	-	
100-519300-511	POLICE PROF-GEN LIABILITY INS	30,147.54	33,035.07	30,000.00	22,187.65	30,000.00	30,000.00	
100-519300-513	BUSINESS AUTOMOBILE INSURANCE	28,524.89	31,257.01	30,000.00	28,483.26	30,000.00	30,000.00	
100-519300-517	UNEMPLOYMENT INSURANCE	-	3,278.68	1,000.00	2,054.08	2,054.08	1,000.00	
100-519300-518	WORKERS COMPENSATION - INSURAN	85,994.56	94,648.72	100,000.00	50,015.77	100,000.00	100,000.00	
100-519300-519	SECURITY BOND - INSURANCE	21,442.49	27,246.58	20,000.00	12,160.42	20,000.00	20,000.00	
100-519300-740	ERRONEOUS TAXES, REFUND, UNCOL	-	-	-	-	-	-	
100-519300-900	CONTINGENT FUND	-	-	-	-	-	-	
	Total OTHER GENERAL:	166,109.48	189,466.06	181,000.00	114,901.18	182,054.08	181,000.00	
	Total GENERAL GOVERNMENT:	1,219,339.28	1,305,970.34	1,270,992.10	802,998.50	1,160,685.23	1,249,108.29	-1.72%

2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	% Change	
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget		
PUBLIC SAFETY									
POLICE DEPARTMENT									
PD ADMIN									
100-521000-115	PD ADMIN - SALARY	96,242.69	101,549.82	108,120.00	70,693.79	108,120.00	110,282.00	3.55%	
100-521000-120	PD ADMIN-CLERK/DISP WAGES	44,220.27	49,950.20	53,247.00	36,622.22	53,247.00	54,311.94		
100-521000-130	PD ADMIN-FICA	10,337.95	10,951.08	12,344.58	7,754.02	12,344.58	12,591.00		
100-521000-131	PD ADMIN-RETIREMENT	15,711.36	17,990.10	19,864.61	13,437.48	23,075.48	20,121.91		
100-521000-133	PD ADMIN- INSURANCE	50,039.35	79,950.96	91,411.00	54,944.37	91,411.00	100,000.00		
100-521000-212	PD ADMIN-PROFESSIONAL SERV/NEA	1,486.00	3,083.00	1,552.00	8,516.28	8,516.28	1,552.00		
100-521000-214	PD ADMIN-DATA PROCESSING	40,686.24	49,361.08	47,000.00	28,599.36	47,000.00	47,000.00		
100-521000-215	PD ADMIN-RECORD CHECK	-	-	-	-	-	-		
100-521000-240	PD ADMIN-REPAIR & MAINTENANACE	2,500.22	2,346.18	2,800.00	1,947.33	2,800.00	2,800.00		
100-521000-241	PD ADMIN-TIME SYSTEM	2,286.40	1,577.00	2,000.00	1,236.50	2,000.00	2,000.00		
100-521000-242	PD ADMIN-TOWER EXPENSE	1,203.95	742.00	750.00	756.37	756.37	750.00		
100-521000-243	PD ADMIN-PRISONER HOUSING	313.68	184.65	500.00	406.51	500.00	500.00		
100-521000-244	PD ADMIN-PAGER CONTRACT	-	-	-	-	-	-		
100-521000-310	PD ADMIN-OFFICE SUPPLIES	4,127.19	3,707.77	4,000.00	1,612.42	4,000.00	4,000.00		
100-521000-311	PD ADMIN-POSTAGE	611.53	168.00	500.00	23.34	500.00	500.00		
100-521000-320	PD ADMIN-PUBLISH/SUBSCRIPT/DUE	7.50	207.88	250.00	-	250.00	250.00		
100-521000-340	PD ADMIN-OPERATING SUPPLIES	2,397.52	2,135.41	2,500.00	1,701.12	2,500.00	2,500.00		
	Total PD ADMIN:	272,171.85	323,905.13	346,839.19	228,251.11	357,020.71	359,158.85		
PD PATROL									
100-521200-119	PD PATROL-DETECTIVE/SGT WAGES	234,736.19	254,369.84	281,791.00	175,149.89	281,791.00	387,574.00		reduced th
100-521200-120	PD PATROL-FULL TIME WAGES	726,177.06	795,691.65	972,751.00	534,298.99	972,751.00	928,232.00		
100-521200-125	PD PATROL-PART TIME WAGES	-	-	-	-	-	-		
100-521200-129	PD PATROL-O/T WAGES	194,632.40	205,851.46	71,000.00	55,948.63	71,000.00	72,420.00		
100-521200-130	PD PATROL-FICA	84,618.77	91,937.92	101,403.96	57,027.80	101,403.96	106,199.29		
100-521200-131	PD PATROL-RETIREMENT	151,932.85	177,702.52	198,168.53	116,595.84	198,168.53	204,069.22		
100-521200-133	PD PATROL-INSURANCE	369,486.53	359,942.98	491,776.84	290,527.53	491,776.84	550,000.00		
100-521200-139	PD PATROL-UNIFORM ALLOWANCE	22,527.50	28,102.99	21,500.00	16,743.27	21,500.00	22,900.00		
100-521200-240	PD PATROL-REPAIR & MAINTENACE	688.65	1,968.66	2,200.00	988.84	2,200.00	2,200.00		
100-521200-312	PD PATROL-EVIDENCE SUPPLIES	5,043.63	6,396.51	5,800.00	2,140.26	5,800.00	5,800.00		
100-521200-340	PD PATROL-OPERATING SUPPLIES	5,514.13	2,475.42	4,500.00	3,951.88	4,500.00	6,500.00		
100-521200-380	PD PATROL-VEHICLE MAINTENANCE	24,801.76	43,982.79	24,600.00	15,663.48	24,600.00	26,300.00		
100-521200-385	PD PATROL-VEHICLE FUEL	34,406.09	29,290.91	30,000.00	19,353.43	30,000.00	30,000.00		
	Total PD PATROL:	1,854,565.56	1,997,713.65	2,205,491.33	1,288,389.84	2,205,491.33	2,342,194.51		
PD ED&TRAINING									
100-521300-123	PD ED&TRAINING-PT FIELD TRAIN	-	-	-	-	-	-	2.54%	
100-521300-124	PD ED&TRAINING-PT INSERVICE	-	-	-	-	-	-		
100-521300-126	PD ED&TRAINING-PT SPECIALIZED	-	-	-	-	-	-		
100-521300-130	PD ED&TRAINING-FICA	-	-	-	-	-	-		
100-521300-131	PD ED&TRAINING-RETIREMENT	-	-	-	-	-	-		
100-521300-330	PD ED&TRAINING-TRAIN/TRAVEL	11,339.26	13,326.90	12,000.00	6,352.11	12,000.00	12,000.00		
100-521300-332	PD ED&TRAINING-MILEAGE	133.62	315.16	50.00	-	50.00	50.00		
100-521300-340	PD ED&TRAINING-OPERATING SUP	3,316.34	6,552.41	7,600.00	2,356.97	7,600.00	8,100.00		
	Total PD ED&TRAINING:	14,789.22	20,194.47	19,650.00	8,709.08	19,650.00	20,150.00		
PD STATION									
100-521700-221	PD STATION-ELECTRIC	35,886.51	35,271.77	37,500.00	18,530.22	37,500.00	37,500.00	5.69%	
100-521700-222	PD STATION-WATER/SEWER/STORMWA	1,656.07	2,182.89	1,600.00	1,645.24	1,645.24	1,600.00		
100-521700-224	PD STATION-NATURAL GAS/HEAT	1,205.38	1,666.59	1,500.00	2,319.10	2,319.10	2,000.00		
100-521700-225	PD STATION-CELL PHONES	8,679.37	8,869.80	8,600.00	4,880.81	8,600.00	8,600.00		
100-521700-240	PD STATION-MAINTENANCE CONTRAC	2,954.42	5,417.89	2,500.00	5,078.94	5,078.94	2,500.00		
100-521700-340	PD STATION-OPERATING SUPPLIES	1,581.72	2,180.68	1,500.00	575.57	1,500.00	1,500.00		
100-521700-350	PD STATION-REPAIR&MAINTENANCE	8,411.19	12,052.62	10,000.00	21,616.66	21,616.66	10,000.00		
	Total PD STATION:	60,374.66	67,642.24	63,200.00	54,646.54	78,259.94	63,700.00		
	Total POLICE DEPARTMENT:	2,201,901.29	2,409,455.49	2,635,180.52	1,579,996.57	2,660,421.98	2,785,203.36		
FIRE DEPARTMENT									
FD ADMIN									
100-522000-099	Bad Debt: Ambulance Rec	10,258.39	-	-	-	-	-		



2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025		2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	
100-522000-115	FD ADMIN-SALARY (CHIEF)	87,612.20	113,107.91	108,120.00	71,692.80	108,120.00	110,282.40
100-522000-116	FD ADMIN-SALARY (ASST CHIEF)	61,509.00	65,577.40	70,380.00	50,031.66	70,380.00	79,050.00
100-522000-120	FD ADMIN-ADMIN ASSISTAN	-	-	-	-	-	-
100-522000-130	FD ADMIN-FICA	11,146.94	13,530.15	13,655.25	9,311.97	13,655.25	14,483.93
100-522000-131	FD ADMIN-RETIREMENT	19,684.74	25,550.79	26,685.75	18,223.48	26,685.75	27,831.86
100-522000-133	FD ADMIN- INSURANCE	33,271.20	18,634.92	-	2,113.30	2,113.30	3,697.64
100-522000-139	FD ADMIN-UNIFORM ALLOW	96.00	1,851.63	750.00	182.22	750.00	750.00
100-522000-212	FD ADMIN-CONSULTANTS PROF SERV	-	-	-	-	-	-
100-522000-214	FD ADMIN-DATA PROCESSI	14,925.44	20,088.53	21,420.00	20,971.81	21,420.00	21,420.00
100-522000-240	FD ADMIN-REPAIR & MAIN	-	-	750.00	-	750.00	750.00
100-522000-242	FD ADMIN-RADIO EXPENSE	5,024.26	8,177.84	5,500.00	5,209.19	5,500.00	5,500.00
100-522000-243	FD ADMIN-HAZARDOUS MAT	2,446.00	6,241.25	3,000.00	179.24	3,000.00	3,000.00
100-522000-310	FD ADMIN-OFFICE SUPPLI	2,972.89	3,627.85	2,000.00	497.54	2,000.00	2,000.00
100-522000-311	FD ADMIN-POSTAGE	10.18	139.73	500.00	21.82	500.00	500.00
100-522000-320	FD ADMIN-PUBLISH/SUBSC	1,305.01	2,375.70	2,200.00	1,706.62	2,200.00	2,200.00
100-522000-330	FD ADMIN-TRAIN/TRAVEL	522.00	2,666.88	750.00	1,085.49	1,085.49	2,000.00
100-522000-332	FD ADMIN-MILEAGE	-	-	-	-	-	-
100-522000-340	FD ADMIN-OPERATING SUP	2,692.06	4,367.40	1,600.00	988.93	1,600.00	1,600.00
100-522000-341	FD ADMIN-INSPECTION SU	-	-	-	-	-	-
100-522000-342	FD ADMIN-PUBLIC RELATI	615.88	1,581.75	1,200.00	1,561.21	1,561.21	2,000.00
100-522000-343	FD ADMIN-FIRE PREVENTI	-	468.00	750.00	525.00	750.00	750.00
	Total FD ADMIN:	254,092.19	287,987.73	259,261.00	184,302.28	262,071.00	277,815.83
							7.16%
FD FIRE							
100-522100-124	FD FIRE-FIGHTER WAGES	297,220.69	282,891.00	332,800.00	296,260.23	282,880.00	339,456.00
100-522100-125	FD FIRE-OFFICER WAGES	176,735.03	167,606.19	184,000.00	42,974.11	165,600.00	187,680.00
100-522100-127	FD FIRE-PAGER PAY	-	-	-	-	-	-
100-522100-129	FD FIRE-O/T WAGES	67,441.90	98,466.59	65,000.00	21,208.04	65,000.00	65,000.00
100-522100-130	FD FIRE-FICA	40,013.05	42,972.35	44,507.70	27,212.22	39,281.22	45,298.40
100-522100-131	FD FIRE-RETIREMENT	50,733.01	64,871.99	50,000.00	41,638.34	50,000.00	50,000.00
100-522100-139	FD FIRE-UNIFORM ALLOWANCE	6,847.37	14,358.70	7,800.00	989.90	7,800.00	7,800.00
100-522100-212	FIRE FIGHTERS- PREMIUM PAY	3,000.00	5,900.00	4,000.00	-	4,000.00	4,000.00
100-522100-340	FD FIRE-OPERATING SUPPLIES	13,482.50	12,450.02	13,800.00	19,066.19	19,066.19	13,800.00
100-522100-341	FD FIRE-TURN OUT GEAR	12,173.38	17,491.25	21,000.00	19,321.48	21,000.00	22,000.00
100-522100-380	FD FIRE-VEHICLE MAINTENANCE	33,151.42	143,686.55	25,000.00	17,054.25	25,000.00	25,000.00
100-522100-385	FD FIRE-VEHICLE FUEL	6,746.36	5,785.91	8,000.00	3,781.15	8,000.00	8,000.00
100-522400-330	FD FIRE-ED&TRAIN-TRAIN/TRAVE	3,027.70	2,051.46	3,000.00	1,605.00	3,000.00	3,000.00
100-522400-332	FD FIRE-ED&TRAINING-MILEAGE	-	-	-	-	-	-
100-522400-340	FD FIRE-ED&TRAIN-OPERATING S	-	48.86	200.00	68.65	200.00	200.00
	Total FD FIRE:	710,572.41	858,580.87	759,107.70	491,179.56	690,827.41	771,234.40
							1.60%
FD STATION							
100-522700-210	FD STATION-PROFESSIONAL SERVIC	-	-	-	-	-	-
100-522700-221	FD STATION-ELECTRIC	7,954.97	8,540.04	7,500.00	5,095.68	7,500.00	7,500.00
100-522700-222	FD STATION-WATER/SEWER/STORMWA	1,944.11	2,181.75	1,500.00	1,649.58	1,649.58	1,500.00
100-522700-224	FD STATION-NATURAL GAS/HEAT	1,959.80	1,616.46	2,000.00	1,609.39	2,000.00	2,000.00
100-522700-225	FD STATION-CELL PHONES	5,041.75	8,804.76	6,000.00	4,065.48	6,000.00	6,000.00
100-522700-240	FD STATION-MAINTENANCE CONTR	2,506.50	3,714.98	2,200.00	1,029.51	2,200.00	2,200.00
100-522700-340	FD STATION-OPERATING SUPPLIE	3,561.01	4,691.61	3,000.00	2,349.92	3,000.00	3,100.00
100-522700-350	FD STATION-REPAIR & MAINTENA	2,616.14	33,925.91	10,000.00	8,355.28	10,000.00	10,000.00
	Total FD STATION:	25,584.28	63,475.51	32,200.00	24,154.84	32,349.58	32,300.00
							0.31%
FD EMS							
100-523100-124	FD EMS-PARAMEDIC WAGES	364,009.12	380,346.56	420,000.00	294,668.44	390,000.00	420,000.00
100-523100-125	FD EMS-PARAMEDIC OT WAGES	-	-	-	-	-	-
100-523100-127	FD EMS-PAGER	-	-	-	-	-	-
100-523100-130	FD EMS-FICA	27,144.72	29,797.71	32,130.00	22,541.91	29,835.00	32,130.00
100-523100-131	FD EMS-RETIREMENT	42,270.61	49,554.64	50,000.00	38,836.96	50,000.00	50,000.00
100-523100-138	FD EMS-HOLIDAYS	-	-	-	-	-	-
100-523100-139	FD EMS-UNIFORM ALLOWANCE	-	-	-	-	-	-
100-523100-210	FD EMS-PROFESSIONAL SERVICE	-	-	-	888.00	888.00	-
100-523100-225	FD EMS-TELEPHONE	-	-	-	-	-	-
100-523100-240	FD EMS-REPAIR & MAINTENANCE	1,004.56	9,220.50	7,000.00	2,751.23	7,000.00	7,000.00
100-523100-340	FD EMS-OPERATING SUPPLIES	333.01	-	-	2,049.57	2,049.57	-
100-523100-341	FD EMS-DISPOSABLE SUPPLIES	19,313.94	13,253.88	16,000.00	17,712.49	17,712.49	18,000.00

## 2026 DRAFT BUDGET DISCUSSION

## GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget	
100-523100-380	FD EMS-VEHICLE MAINTANCE	8,734.85	8,846.35	8,000.00	12,012.13	12,012.13	8,000.00	2.04%
100-523100-385	FD EMS-VEHICLE FUEL	6,787.50	5,785.91	6,000.00	4,061.82	6,000.00	6,000.00	
100-523100-740	FD EMS-AMBULANCE RECEIVABLE	-	-	-	-	-	-	
100-523400-330	FD EMS-ED&TRAIN EMT REFRESHER	5,413.73	1,091.10	20,000.00	2,262.93	20,000.00	20,000.00	
100-523400-332	FD EMS-ED & TRAINING-MILEA	-	-	-	-	-	-	
100-523400-340	FD EMS-OPERATING SUPPLIES	-	-	-	-	-	-	
	Total FD EMS:	475,012.04	497,896.65	559,130.00	397,785.48	535,497.19	561,130.00	
	TOTAL FIRE DEPARTMENT	1,465,260.92	1,707,940.76	1,609,698.70	1,097,422.16	1,520,745.18	1,642,480.23	
BUILDING INSPECTIONS								
100-524000-111	BUILDG INSPECT-*SALARY	(0.23)	-	-	48,318.86	48,318.86	-	
100-524000-120	BUILDG INSPECT-ASSISTANT	18,728.49	19,987.17	25,500.00	13,357.02	25,500.00	25,500.00	
100-524000-130	BUILDG INSPECT-FICA	1,432.74	1,529.40	1,856.40	1,021.82	1,856.40	1,950.75	
100-524000-131	BUILDG INSPECT-RETIREMENT	(3.00)	(5.00)	-	-	-	-	
100-524000-133	BUILDG INSPECT-INSURANCE	-	-	-	-	-	-	
100-524000-211	BUILDG INSPECT-ENGINEERING	-	-	-	15,048.42	15,048.42	-	
100-524000-212	BUILDG INSPECT-INSPECT SERVICE	351,928.63	197,724.40	75,000.00	42,414.63	117,060.19	75,000.00	
100-524000-214	BUILDG INSPECT-DATA PROCESSING	-	-	-	-	-	-	
100-524000-310	BUILDG INSPECT-OFFICE SUPPLIES	370.06	307.52	300.00	-	300.00	300.00	
100-524000-311	BUILDG INSPECT-POSTAGE	46.82	-	300.00	57.64	300.00	300.00	
100-524000-320	BUILDG INSPECT-PUBLISH/SUBSCRI	-	-	-	-	-	-	
100-524000-330	BUILDG INSPECT-TRAIN/TRAVEL	-	-	-	-	-	-	
100-524000-332	BUILDG INSPECT-MILEAGE	-	-	-	-	-	-	
100-524000-340	BUILDG INSPECT-OPERATING SUPPL	-	(165.00)	500.00	105.47	500.00	500.00	
100-524000-380	BUILDG INSPECT-VEHICLE MAINTAN	-	-	-	-	-	-	
100-524000-385	BUILDG INSPECT-VEHICLE FUEL	421.68	361.57	-	236.31	236.31	-	
100-524001-111	BUILDG ASST- SALARY	-	-	-	27,450.63	27,450.63	-	
100-524001-130	BUILDG ASST- FICA	-	-	-	-	-	-	
100-524001-131	BUILDG ASST- RETIREMENT	-	-	-	-	-	-	
100-524001-133	BUILDG ASST- INSURANCE	-	-	-	-	-	-	
	Total BUILDING INSPECTIONS:	372,925.19	219,740.06	103,456.40	148,010.80	236,570.81	103,550.75	
ELECTICAL INSPECTIONS								
100-524010-212	ELECTRICAL INSPECTION-PROFESSI	15,142.98	47,780.85	26,250.00	21,188.37	26,250.00	26,250.00	
100-524010-340	ELEC. INSPECTION-OPERATING SUP	-	-	-	-	-	-	
	Total ELECTRICAL INSPECTIONS:	15,142.98	47,780.85	26,250.00	21,188.37	26,250.00	26,250.00	
PLUMBING INSPECTIONS								
100-524020-111	PLUMBING INSPECTION-*SALARY	24,581.08	-	-	6,708.91	6,708.91	-	
100-524020-130	PLUMBING INSPECTION-FICA	-	-	-	-	-	-	
100-524020-131	PLUMBING INSPECTION-RETIREMENT	-	-	-	-	-	-	
100-524020-133	PLUMBING INSPECTION-INSURANCE	-	-	-	-	-	-	
100-524020-212	PLUMBING INSPECTION-PROFESSION	18,789.15	17,305.41	18,750.00	5,683.38	18,750.00	18,750.00	
100-524020-340	PLUMBING INSPECTION-OPERATING	-	-	-	-	-	-	
100-524021-111	PLUMBING ASST- SALARY	-	-	-	-	-	-	
100-524021-130	PLUMBING ASST- FICA	-	-	-	-	-	-	
100-524021-131	PLUMBING ASST- RETIREMENT	-	-	-	-	-	-	
100-524021-133	PLUMBING ASST- INSURANCE	-	-	-	-	-	-	
	Total PLUMBING INSPECTIONS:	43,370.23	17,305.41	18,750.00	12,392.29	25,458.91	18,750.00	
OTHER PROTECTION								
100-529000-140	OTHER-P&F COMM-REIMBURSEMENT	240.00	260.00	500.00	1,140.00	1,140.00	500.00	
100-529000-200	OTHER-P&F COMM-OPERATING SUPPL	-	-	200.00	-	200.00	200.00	
100-529000-212	OTHER-Emerg Gov RADIO DISPATCH	7,923.41	9,726.09	10,761.00	10,460.50	10,761.00	10,761.00	
100-529000-221	OTHER-Emerg Gov ELECTRICITY	583.73	647.08	500.00	526.12	526.12	500.00	
100-529000-225	OTHER-Emerg Gov REMOVALS	-	-	-	-	-	-	
100-529000-240	OTHER-Emerg Gov REPAIR & MAINT	-	-	2,000.00	-	2,000.00	2,000.00	
100-529000-340	OTHER-Emerg Gov OPERATING SUPP	-	-	-	-	-	-	
100-529000-370	OTHER-FIRE HYDRANT RENTAL	264,944.00	264,944.00	264,944.00	-	264,944.00	264,944.00	
	Total OTHER PROTECTION:	273,691.14	275,577.17	278,905.00	12,126.62	279,571.12	278,905.00	
	TOTAL PUBLIC SAFETY:	4,372,291.75	4,677,799.74	4,672,240.62	2,871,136.81	4,749,018.00	4,855,139.34	
PUBLIC WORKS								



2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget	
DPW ADMIN								
100-531000-111	DPW ADMIN-*SALARY	52,682.76	55,163.92	71,600.00	26,471.17	71,600.00	38,974.22	
100-531000-130	DPW ADMIN-FICA	3,795.17	3,989.17	5,477.40	1,773.83	5,477.40	2,981.53	
100-531000-131	DPW ADMIN-RETIREMENT	3,594.86	3,808.26	4,976.20	1,736.92	4,940.40	2,806.14	
100-531000-133	DPW ADMIN-INSURANCE	53,834.00	57,122.96	46,100.00	35,378.89	46,100.00	30,070.25	
100-531000-139	DPW ADMIN-CLOTHING ALLOWANCE	-	516.82	300.00	222.59	300.00	300.00	
100-531000-241	DPW ADMIN-RADIO EXPENSE	-	-	100.00	-	100.00	100.00	
100-531000-310	DPW ADMIN-OFFICE SUPPLIES	259.50	80.00	400.00	45.00	400.00	400.00	
100-531000-311	DPW ADMIN-POSTAGE	11.85	-	25.00	-	25.00	25.00	
100-531000-320	DPW ADMIN-PUBLISH/SUBSCRIPT/DU	-	-	100.00	-	100.00	100.00	
100-531000-330	DPW ADMIN-TRAIN/TRAVEL	5,000.00	12,419.38	2,500.00	-	2,500.00	2,500.00	
100-531000-340	DPW ADMIN-OPERATING SUPPLIES	844.18	801.20	1,000.00	431.40	1,000.00	1,000.00	
100-531000-342	DPW ADMIN-DRUG TESTS/INNOCULAT	227.50	557.00	350.00	99.00	350.00	350.00	
100-531001-111	DPW ADMIN- SUPERVISOR SALARY	-	-	-	-	-	-	
Total DPW ADMIN:		120,249.82	134,458.71	132,928.60	66,158.80	132,892.80	79,607.13	-40.11%
DPW MACH&EQUIP								
100-532400-122	DPW MACH&EQUIP-WAGES	17,356.19	12,149.25	18,700.00	27,088.81	27,088.81	22,591.42	
100-532400-123	DPW TOWN/PD/FD VEHICLE-WAGES	15,758.67	11,030.56	17,000.00	22,198.38	22,198.38	20,512.21	
100-532400-124	DPW MACH&EQUIP-PT WAGES	-	-	-	-	-	-	
100-532400-130	DPW MACH&EQUIP-FICA	2,437.15	1,706.87	2,731.05	3,624.41	3,770.47	3,297.43	
100-532400-131	DPW MACH&EQUIP-RETIREMENT	2,253.83	1,590.16	2,481.15	3,424.94	3,400.82	3,103.46	
100-532400-133	DPW MACH&EQUIP-INSURANCE	10,864.96	8,444.00	19,800.00	20,943.95	20,943.95	21,821.21	
100-532400-139	DPW MACH&EQUIP-CLOTHING ALLOW	1,019.09	1,903.37	800.00	754.09	800.00	800.00	
100-532400-240	DPW MACH&EQUIP-MAINTENANCE CON	4,303.36	4,192.41	3,000.00	1,624.61	3,000.00	3,000.00	
100-532400-340	DPW MACH&EQUIP-OPERATING SUPPL	18,519.62	34,553.87	24,000.00	19,097.36	24,000.00	24,000.00	
100-532400-380	DPW MACH&EQUIP-VEHICLE MAINTEN	505.10	8,423.38	7,000.00	188.39	7,000.00	7,000.00	
100-532400-385	DPW MACH&EQUIP-VEHICLEFUEL	16,955.50	14,464.64	18,000.00	9,452.91	18,000.00	18,000.00	
Total DPW MACH&EQUIP:		89,973.47	98,458.51	113,512.20	108,397.85	130,202.43	124,125.74	9.35%
DPW GARAGE								
100-532700-122	DPW GARAGE-WAGES	-	-	-	-	-	-	
100-532700-125	DPW GARAGE-PT WAGES	-	-	-	-	-	-	
100-532700-130	DPW GARAGE-FICA	-	-	-	-	-	-	
100-532700-131	DPW GARAGE-RETIREMENT	-	-	-	-	-	-	
100-532700-133	DPW GARAGE-INSURANCE	-	-	-	-	-	-	
100-532700-221	DPW GARAGE-ELECTRIC	4,632.15	4,547.13	5,000.00	2,501.90	5,000.00	5,000.00	
100-532700-222	DPW GARAGE-WATER/SEWER/STORMWA	1,024.60	1,001.68	750.00	1,095.38	1,095.38	750.00	
100-532700-224	DPW GARAGE-NATURAL GAS/HEAT	4,712.66	2,712.65	4,000.00	2,631.15	4,000.00	4,000.00	
100-532700-225	DPW GARAGE-CELL PHONES	772.16	706.11	1,000.00	462.11	1,000.00	1,000.00	
100-532700-240	DPW GARAGE-MAINTENANCE CONTRA	71.87	449.06	-	50.00	50.00	-	
100-532700-340	DPW GARAGE-OPERATING SUPPLIES	1,116.13	687.72	1,000.00	877.96	1,000.00	1,000.00	
100-532700-350	DPW GARAGE-REPAIR AND MAINTEN	554.38	1,153.63	3,000.00	1,097.51	3,000.00	3,000.00	
Total DPW GARAGE:		12,883.95	11,257.98	14,750.00	8,716.01	15,145.38	14,750.00	0.00%
DPW RD&BRIDGE								
100-533100-122	DPW RD&BRIDGE-WAGES	37,901.11	23,071.24	29,400.00	38,024.78	38,024.78	35,466.53	
100-533100-130	DPW RD&BRIDGE-FICA	2,760.44	1,669.44	2,249.10	2,805.49	2,908.90	2,713.19	
100-533100-131	DPW RD&BRIDGE-RETIREMENT	2,484.80	1,545.67	2,043.30	2,642.33	2,642.72	2,553.59	
100-533100-133	DPW RD&BRIDGE-INSURANCE	8,519.49	6,937.32	16,300.00	14,363.89	16,300.00	17,954.93	
100-533100-139	DPW RD&BRIDGE-CLOTHING ALLOWAN	391.46	928.22	800.00	520.71	800.00	800.00	
100-533100-212	DPW RD&BRIDGE-PROF SERVICES	76,657.49	24,647.95	60,000.00	53,325.01	60,000.00	60,000.00	
100-533100-340	DPW RD&BRIDGE-SUPPLIES	8,853.11	16,771.06	20,000.00	2,816.59	20,000.00	20,000.00	
100-533100-341	DPW RD&BRIDGE-SIGNS	54.39	-	3,000.00	-	3,000.00	3,000.00	
100-533100-342	DPW RD&BRIDGE-PAVEMENT PAINT	-	-	2,000.00	-	2,000.00	2,000.00	
100-533100-343	DPW RD&BRIDGE-PAVEMENT MARKING	6,463.26	6,218.80	6,400.00	-	6,400.00	6,400.00	
Total DPW RD&BRIDGE:		144,085.55	81,789.70	142,192.40	114,498.80	152,076.40	150,888.25	6.12%
DPW SNOW/ICE								
100-533180-122	DPW SNOW/ICE-WAGES	34,031.91	25,845.52	46,700.00	61,203.34	61,203.34	56,378.60	
100-533180-129	DPW SNOW/ICE-O/T WAGES	2,405.85	2,845.11	10,000.00	1,607.65	10,000.00	10,000.00	
100-533180-130	DPW SNOW/ICE-FICA	2,650.66	3,258.90	4,337.55	5,838.35	5,447.06	5,077.96	
100-533180-131	DPW SNOW/ICE-RETIREMENT	2,477.95	2,039.69	3,940.65	4,443.80	4,948.63	4,779.26	
100-533180-133	DPW SNOW/ICE-INSURANCE	13,845.67	11,603.60	25,900.00	26,431.79	26,431.79	28,541.66	

2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	% Change	
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget		
100-533180-139	DPW SNOW/ICE-CLOTHING ALLO	125.00	-	500.00	-	500.00	500.00	10.19%	
100-533180-340	DPW SNOW/ICE-SALT & SAND	46,604.90	36,815.98	45,000.00	39,085.00	45,000.00	45,000.00		
	Total DPW SNOW/ICE:	102,141.94	82,408.80	136,378.20	138,609.93	153,530.82	150,277.48		
DPW STREET LIGHTING									
100-534200-221	STREET LIGHTING-ELECTRIC	13,432.13	14,031.20	14,000.00	9,662.73	14,000.00	14,000.00	0.00%	
100-534200-340	STREET LIGHTING-OPERATING SUPP	4,950.00	-	5,000.00	-	5,000.00	5,000.00		
	Total DPW STREET LIGHTING:	18,382.13	14,031.20	19,000.00	9,662.73	19,000.00	19,000.00		
DPW STORM SEWER									
100-534400-122	DPW SW-WAGES	-	-	-	-	-	-		
100-534400-130	DPW SW-FICA	-	-	-	-	-	-		
100-534400-131	DPW SW-RETIREMENT	-	-	-	-	-	-		
100-534400-133	DPW SW-INSURANCE	-	-	-	-	-	-		
100-534400-139	DPW SW-CLOTHING ALLOWANC	-	-	-	-	-	-		
100-534400-212	DPW SW-ENGINEERING PROF SERV	-	-	-	-	-	-		
100-534400-213	DPW SW-UTILITY ANALYSIS PROF S	-	-	-	-	-	-		
100-534400-214	DPW SW-DNR 216 APP PROF SERV	-	-	-	-	-	-		
100-534400-340	DPW SW-STORM SEWER OPERATING S	-	-	-	-	-	-		
100-534400-341	DPW SW-CURB/GUTTER OPERATING S	-	-	-	-	-	-		
100-534400-342	DPW SW-CONCRETE INVERTS OPERAT	-	-	-	-	-	-		
100-534400-343	DPW SW-CULVERTS & OPEN SWALE	-	-	-	-	-	-		
	Total DPW STORM SEWER:	-	-	-	-	-	-		
DPW PUBLIC TRANSPORTATION									
100-535200-210	PUBLIC TRANS-MASS TRANSIT	2,000.00	2,000.00	2,000.00	2,000.00	2,000.00	2,000.00		0.00%
	Total DPW PUBLIC TRANSPORTATION:	2,000.00	2,000.00	2,000.00	2,000.00	2,000.00	2,000.00		
DPW SANITATION									
100-536300-210	SANITATION-YARD WASTE CONTRACT	-	-	-	-	-	-		
100-536300-212	SANITATION-HAZARD WASTE DISPOS	4,477.98	-	500.00	701.88	-	500.00		
100-536300-214	SANITATION-DUMPING EXPENSE	-	-	-	-	-	-		
	Total DPW SANITATION:	4,477.98	-	500.00	701.88	-	500.00		
	Total DPW:	494,194.84	424,404.90	561,261.40	448,746.00	604,847.82	541,148.60		-3.58%
HEALTH & HUMAN SERVICES									
100-541100-129	ANIMAL/PEST CONTROL-O/T WAGES	-	-	2,000.00	640.56	2,000.00	2,000.00		
100-541100-130	ANIMAL/PEST CONTROL-FICA	-	-	153.00	46.62	153.00	153.00		
100-541100-131	ANIMAL/PEST CONTROL-RETIREMENT	-	-	139.00	44.52	139.00	139.00		
100-541100-133	ANIMAL/PEST CONTROL-INSURANCE	-	-	1,000.00	-	1,000.00	1,000.00		
100-541100-139	ANIMAL/PEST CONTROL-CLOTHING A	-	-	100.00	-	100.00	100.00		
100-541100-212	ANIMAL/PEST CONTROL-HUMANE SOC	3,500.00	5,250.00	3,500.00	4,750.00	4,750.00	3,500.00		
100-541100-214	ANIMAL/PEST CONTROL-MOSQUITO C	-	-	-	-	-	-		
100-541100-340	ANIMAL/PEST CONTROL-MOSQUITO S	2,435.77	2,435.77	3,000.00	2,574.49	3,000.00	3,000.00		
	Total ANIMAL/PEST CONTROL:	5,935.77	7,685.77	9,892.00	8,056.19	11,142.00	9,892.00		0.00%
	Total HEALTH & HUMAN SERVICES:	5,935.77	7,685.77	9,892.00	8,056.19	11,142.00	9,892.00		0.00%
CULTURE, RECREATION, & ED									
TOWN BEAUTIFICATION									
100-551000-122	TOWN BEAUTIFICATION-WAGES	-	-	-	-	-	-		
100-551000-130	TOWN BEAUTIFICATION-FICA	-	-	-	-	-	-		
100-551000-131	TOWN BEAUTIFICATION-RETIREMENT	-	-	-	-	-	-		
100-551000-133	TOWN BEAUTIFICATION-INSURANCE	-	-	-	-	-	-		
100-551000-139	TOWN BEAUTIFICATION-CLOTHING A	144.30	-	100.00	-	100.00	100.00		
100-551000-240	TOWN BEAUT-SEASONAL MAINT	-	-	-	-	-	-		
100-551000-310	TOWN BEAUT-OFFICE SUPPLIES	-	-	-	-	-	-		
100-551000-340	TOWN BEAUTIFICATION-OPERATING	10.65	823.21	400.00	-	400.00	400.00		
100-551000-341	TOWN BEAUTIFICATION-SIGNS	885.58	430.00	1,200.00	1,225.40	1,225.40	1,400.00		
100-551000-342	TOWN BEAUTIFICATION-PLANTINGS	676.99	1,167.92	1,200.00	811.82	1,200.00	1,200.00		
	Total TOWN BEAUTIFICATION:	1,717.52	2,421.13	2,900.00	2,037.22	2,925.40	3,100.00		6.90%



2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget	
TOWN TREE COMMISSION								
100-551010-140	TOWN TREE COMM-TREE BOARD	-	-	-	-	-	-	
100-551010-343	TOWN TREE COMM-ARBOR DAY/EDUCA	-	-	-	-	-	-	
100-551010-344	TOWN TREE COMM-URBAN FORESTRY	281.03	1,196.55	2,000.00	411.00	2,000.00	2,000.00	
	Total TOWN TREE COMMISSION:	281.03	1,196.55	2,000.00	411.00	2,000.00	2,000.00	0.00%
PARKS/PLAYGROUND								
100-552000-111	PARKS/PLYGRUNDS-*SALARY	30,473.46	30,993.78	31,606.74	20,665.21	31,606.74	32,238.87	
100-552000-122	PARKS/PLYGRDS-WAGES	172.00	-	-	-	-	-	
100-552000-125	PARKS/PLYGRDS-P/T WAGES	10,165.00	5,617.50	15,000.00	7,254.00	15,000.00	15,000.00	
100-552000-130	PARKS/PLYGRDS-FICA	2,881.25	2,604.78	3,565.42	1,997.05	3,565.42	3,613.77	
100-552000-131	PARKS/PLYGRDS-RETIREMENT	2,050.43	2,137.72	3,239.17	1,435.72	3,239.17	3,401.20	
100-552000-133	PARKS/PLYGRDS-INSURANCE	24,510.09	27,158.90	27,600.00	18,036.68	27,600.00	31,740.00	
100-552000-139	PARKS/PLYGRDS-CLOTHING ALLOWAN	-	552.26	200.00	93.45	200.00	200.00	
100-552000-211	PARKS/PLYGRDS-PROFESSIONAL SER	-	-	-	-	-	-	
100-552000-221	PARKS/PLYGRDS-ELECTRIC	1,851.02	1,644.14	1,700.00	1,376.54	1,700.00	1,900.00	
100-552000-222	PARKS/PLYGRDS-WATER/SEWER	3,094.58	3,198.29	2,600.00	2,443.03	2,600.00	3,100.00	
100-552000-310	PARKS/PLYGRDS-OFFICE SUPPLIES	-	57.39	100.00	-	100.00	100.00	
100-552000-332	PARKS/PLYGRDS-MILEAGE	1,039.05	384.38	900.00	716.13	900.00	900.00	
100-552000-340	PARKS/PLYGRDS-OPERATING SUPPLI	3,296.29	3,520.49	3,500.00	6,221.35	6,221.35	4,500.00	
100-552000-341	PARKS/PLYGRDS-REPAIR AND MAINT	1,412.99	1,838.51	3,500.00	3,137.35	3,500.00	6,000.00	
100-552000-380	PARKS/PLYGRDS-VEHICLE MAINTENA	674.85	565.83	1,000.00	-	1,000.00	1,000.00	
100-552000-385	PARKS/PLYGRDS-VEHICLE FUEL	1,686.62	1,446.46	1,500.00	945.27	1,500.00	1,500.00	
	Total PARKS/PLAYGROUND:	83,307.63	81,720.43	96,011.33	64,321.78	98,732.67	105,193.84	9.56%
PARK&LAWN CUTTING								
100-552010-122	PARK&LAWN CUTTING-WAGES	-	-	-	3,137.54	3,137.54	-	
100-552010-125	PARK&LAWN CUTTING-PT WAGES	-	-	-	-	-	-	
100-552010-129	PARK&LAWN CUTTING-O/T WAGE	242.25	-	-	-	-	-	
100-552010-130	PARK&LAWN CUTTING-FICA	18.53	-	-	233.01	233.01	-	
100-552010-131	PARK&LAWN CUTTING-RETIREMENT	-	-	-	218.06	218.06	-	
100-552010-133	PARK&LAWN CUTTING-INSURANCE	16.73	12.91	-	698.63	698.63	-	
100-552010-139	PARK&LAWN CUTTING-CLOTHING	-	-	350.00	-	350.00	200.00	
100-552010-211	PARK&LAWN CUTTING-ENGINEERING	-	-	-	-	-	-	
100-552010-340	PARK&LAWN CUTTING-OPERATING SU	646.05	702.40	1,000.00	-	1,000.00	1,000.00	
100-552120-133	PARK&LAWN CUTTING-LIFE INS	-	-	-	-	-	-	
	Total PARKS & LAWN CUTTING:	923.56	715.31	1,350.00	4,287.24	5,637.24	1,200.00	-11.11%
CELEBRATIONS								
100-553000-340	CELEBRATIONS-OPERATING EXPENSE	17,875.02	15,778.96	18,000.00	16,067.69	18,000.00	18,000.00	
	Total CELEBRATIONS:	17,875.02	15,778.96	18,000.00	16,067.69	18,000.00	18,000.00	0.00%
RECREATION PROGRAM								
100-553100-111	RECREATION PRG-*SALARY	30,473.40	30,993.54	31,605.72	20,665.20	31,605.72	32,237.83	
100-553100-125	RECREATION PRG-P/T WAGES	-	-	-	-	-	-	
100-553100-130	RECREATION PRG-FICA	2,090.62	2,221.64	2,417.84	1,442.11	2,417.84	2,466.19	
100-553100-131	RECREATION PRG-RETIREMENT	2,078.69	2,139.72	2,196.60	1,435.55	2,196.60	2,321.12	
100-553100-133	RECREATION PRG-INSURANCE	24,508.76	26,365.40	27,600.00	17,285.71	27,600.00	31,740.00	
100-553100-310	RECREATION PRG-OFFICE SUPPLIES	-	80.00	-	-	-	-	
100-553100-311	RECREATION PRG-POSTAGE	1,168.91	2,294.98	1,500.00	1,364.24	1,500.00	1,500.00	
100-553100-320	RECREATION PRG-PUBLISH/SUBSCRI	600.00	725.00	650.00	425.00	650.00	650.00	
100-553100-330	RECREATION PRG-TRAIN/TRAVEL	544.30	606.13	700.00	405.70	700.00	700.00	
100-553100-332	RECREATION PRG-MILEAGE	-	670.13	900.00	-	900.00	900.00	
100-553100-340	RECREATION PRG-OPERATING SUPPL	1,049.05	2,324.04	3,000.00	885.26	3,000.00	3,000.00	
100-553100-341	RECREATION PRG-TEAM SIGNUP FEE	3,101.00	2,274.00	3,500.00	1,519.00	3,500.00	3,500.00	
100-553100-342	RECREATION PRG-WPRA TICKET PRO	1,169.75	2,245.17	1,700.00	-	1,700.00	1,700.00	
100-553100-343	RECREATION PRG-RECREATON EQUIP	1,085.41	508.88	1,000.00	464.17	1,000.00	1,000.00	
100-553100-344	RECREATION PRG-PRINTING EXPENS	1,631.00	3,071.00	2,800.00	3,494.00	3,494.00	2,800.00	
	Total CELEBRATIONS:	69,500.89	76,519.63	79,570.16	49,385.94	80,264.16	84,515.14	6.21%
ATHLETIC COURTS & FIELDS								
100-554000-122	ATHLETIC CTS&FIELDS-WAGES	-	-	-	-	-	-	
100-554000-130	ATHLETIC CTS&FIELDS-FICA	-	-	-	-	-	-	
100-554000-131	ATHLETIC CTS&FIELDS-RETIREMENT	-	-	-	-	-	-	

2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025		2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	
100-554000-133	ATHLETIC CTS&FIELDS-INSURANCE	-	-	-	-	-	-
100-554000-139	ATHLETIC CTS&FIELDS-CLOTHING	-	-	-	-	-	-
100-554000-210	ATHLETIC CTS&FI-PROFESSIONAL S	1,594.80	1,176.35	1,000.00	-	1,000.00	1,000.00
100-554000-230	ATHLETIC CTS&FIELDS-REPAIR & M	1,908.48	2,611.42	4,000.00	395.83	4,000.00	6,000.00
100-554000-340	ATHLETIC CTS&FIELDS-OPERATING	1,080.49	634.93	3,000.00	1,183.36	3,000.00	3,000.00
	Total ATHLETIC COURTS & FIELDS:	4,583.77	4,422.70	8,000.00	1,579.19	8,000.00	10,000.00
	Total CULTURE, RECREATION, & ED:	178,189.42	182,774.71	207,831.49	138,090.06	215,559.47	224,008.98
7.78%							
CONSERVATION & DEVELOPMENT							
PLANNING							
100-563000-110	PLANNING-*SALARY	-	-	-	-	-	-
100-563000-130	PLANNING-FICA	-	-	-	-	-	-
100-563000-131	PLANNING-RETIREMENT	-	-	-	-	-	-
100-563000-133	PLANNING-INSURANCE	-	-	-	-	-	-
100-563000-140	PLANNING-COMMISSION REIMBURSEM	1,050.00	1,000.00	2,520.00	900.00	2,520.00	2,520.00
100-563000-210	PLANNING-LEGAL PROF SERV	14,982.00	15,895.50	10,000.00	1,820.00	10,000.00	10,000.00
100-563000-211	PLANNING-ENGINEERING/BILLABLE	77,275.19	76,136.59	35,000.00	47,587.19	47,587.19	35,000.00
100-563000-212	PLANNING-PROF SERVICES	25,344.40	-	64,600.00	1,057.50	64,600.00	64,600.00
100-563000-213	PLANNING-TIFF PROJECT	2,500.00	6,300.00	-	2,500.00	2,500.00	-
100-563000-340	PLANNING-OPERATING EXPENSE	-	-	-	523.53	523.53	-
100-563001-110	PLANNING ASST- SALARY	-	-	-	-	-	-
100-563001-130	PLANNING ASST- FICA	-	-	-	-	-	-
100-563001-131	PLANNING ASST- RETIREMENT	-	-	-	-	-	-
100-563001-133	PLANNING ASST- INSURANCE	-	-	-	-	-	-
	Total PLANNING:	121,151.59	99,332.09	112,120.00	54,388.22	127,730.72	112,120.00
0.00%							
ARCHITECTURAL							
100-563010-110	ARCHITECTUAL-*SALARY	-	-	-	-	-	-
100-563010-130	ARCHITECTUAL-FICA	-	-	-	-	-	-
100-563010-131	ARCHITECTUAL-RETIREMENT	-	-	-	-	-	-
100-563010-133	ARCHITECTUAL-INSURANCE	-	-	-	-	-	-
100-563010-140	ARCHITECTUAL-COMMISSION REIMBU	840.00	800.00	800.00	680.00	800.00	800.00
100-563011-110	ARCHITECTUAL ASST- SALARY	-	-	-	-	-	-
100-563011-130	ARCHITECTUAL ASST- FICA	-	-	-	-	-	-
100-563011-131	ARCHITECTUAL ASST- RETIREMENT	-	-	-	-	-	-
100-563011-133	ARCHITECTUAL ASST- INSURANCE	-	-	-	-	-	-
	Total ARCHITECTURAL:	840.00	800.00	800.00	680.00	800.00	800.00
ZONING							
100-564000-110	ZONING-*SALARY	-	-	-	-	-	-
100-564000-130	ZONING-FICA	-	-	-	-	-	-
100-564000-131	ZONING-RETIREMENT	-	-	-	-	-	-
100-564000-133	ZONING-INSURANCE	-	-	-	-	-	-
100-564000-140	ZONING-BOARD REIMBURSEMENT	-	80.00	150.00	-	150.00	150.00
100-564001-110	ZONING ASST- SALARY	-	-	-	-	-	-
100-564001-130	ZONING ASST- FICA	-	-	-	-	-	-
100-564001-131	ZONING ASST- RETIREMENT	-	-	-	-	-	-
100-564001-133	ZONING ASST- INSURANCE	-	-	-	-	-	-
	Total ZONING:	-	80.00	150.00	-	150.00	150.00
ECONOMIC DEVELOPMENT							
100-567000-210	ECONOMIC DEVELOP-PROFESSIONAL	-	-	-	-	-	-
100-567000-211	ECONOMIC DEVELOP-TOURISM	238,889.14	293,870.44	437,000.00	200,978.38	437,000.00	537,000.00
100-567000-340	ECONOMIC DEVELOP-OPERATING SUP	-	-	-	-	-	-
100-567000-720	ECONOMIC DEVELOP-CONTRIBUTIONS	-	-	-	-	-	-
	Total ECONOMIC DEVELOPMENT:	238,889.14	293,870.44	437,000.00	200,978.38	437,000.00	537,000.00
	Total CONSERVATION DEVELOPMENT:	360,880.73	394,082.53	550,070.00	256,046.60	565,680.72	650,070.00
22.88%							
18.18%							
OTHER FINANCING USES							
100-592400-220	SPECIAL ASSESSMENT FUND TRANSF	-	-	-	-	-	-
100-592400-300	DEBT SERVICE FUND TRANSFER	-	-	-	-	-	-
100-592400-400	CAPITAL FUND TRANSFER	-	-	-	-	-	-



2026 DRAFT BUDGET DISCUSSION

GL Account Parameters

PY End Date	12/31/2024
CY End Date	12/31/2025
Period Date	8/31/2025
FY End Date	12/31/2026

GL Account	Account Title	2023	2024	2025			2026	% Change
		Actual	Actual	CY Budget	CY Actual	YE Estimate	Budget	
100-592400-412	POLICE DEPT FUND TRANSFER	22,094.00	-	-	-	-	-	
100-592400-413	FIRE DEPT FUND TRANSFER	-	-	-	-	-	-	
100-592400-415	DPW DEPT FUND TRANSFER	11,880.00	-	-	-	-	-	
100-592400-416	PARKS DEPT FUND TRANSFER	-	-	-	-	-	-	
100-592400-421	STORMWATER FUNDTRANSFER	-	-	-	-	-	-	
100-592400-422	RD MAINTENANCE FUND TRANSFER	-	-	-	-	-	-	
100-592400-423	RD CONSTRUCTION FUND TRANSFER	-	-	-	-	-	-	
100-592400-424	PARK & REC FUND TRANSFER	-	-	-	-	-	-	
	Total OTHER FINANCING SOURCES:	33,974.00	-	-	-	-	-	
	GENERAL FUND 100 REVENUE TOTAL	7,040,676.41	6,953,241.50	7,272,287.61	2,731,211.99	7,689,182.77	7,153,819.95	-1.63%
	GENERAL FUND 100 EXPENDITURE TOTAL	6,664,805.79	6,992,717.99	7,272,287.61	4,525,074.16	7,306,933.23	7,529,367.21	3.54%
	NET TOTAL GENERAL FUND 100	375,870.62	(39,476.49)	-	(1,793,862.17)	382,249.54	(375,547.26)	