

**Town of Brookfield**  
645 N. Janacek Road  
Brookfield, WI 53045  
(P) 262-796-3788  
(F) 262-796-0339



## MEETING NOTICE

Meeting will be held at the  
Town of Brookfield Municipal Building, Eric Grant Room  
645 N. Janacek Road, Brookfield, WI

Monday, April 28, 2025

### PLAN COMMISSION

7:00 p.m.

### AGENDA

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
  - a. March 25<sup>th</sup> Plan Commission Regular Meeting.
- 5) Citizen Comments: Three-minute limit.
- 6) Old Business:
  - a. None.
- 7) New Business:
  - a. Jim Taylor (Oscar's) is requesting to set a public hearing date to discuss a conditional use permit approval for a new drive-thru restaurant on the property located at 21165 Highway 18 and parking on property to the east.
  - b. Lindsey Chiaverotti (Wisconsin Adult Center DBA Brookfield Adult Center) is requesting to set a public hearing date to discuss a conditional use permit amendment to allow the expansion of an adult day care center in the B-3 Office and Professional Business District, located at 20711 Watertown Road Suite V.
  - c. Ryan Janssen (Avery & Birch) is requesting preliminary/final approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.
  - d. David Wimmer and Nick Wimmer (Wimmer Communities) are requesting review and approval for an amended site plan for the Town Center building (building #2 in the Poplar Creek Town Center development) for the property located at 20200 West Bluemound Road & 20500 Crosstown Avenue.
  - e. Thomas Kafkes (Corners of Brookfield; IM Property Investments (USA) LLC) is requesting site plan amendment approval for the reconfiguration of Market Street located on the east side of the Corners of Brookfield.
  - f. Discussion/action to set a public hearing date to discuss the proposed Zoning Code Update draft.
- 8) Communication and Announcements.
- 9) Adjourn.

*Posted this 24th day of April, 2025*  
*Bryce Hembrook*  
*Town Planner*

TOWN OF BROOKFIELD  
PLAN COMMISSION MINUTES  
Tuesday, March 25, 2025

**The regular meeting of the Plan Commission was held in the Erich Gnant Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.**

1) CALL TO ORDER.

Town Chairman Keith Henderson called the meeting to order at 7:00p.m., with the following people present: Town Supervisor Ryan Stanelle; Plan Commission members Kevin Riordan, Tim Probst, and Daniel Zuperku; and Town Planner Bryce Hembrook. Plan Commissioners Len Smeltzer and Jeremy Watson were absent.

2) MEETING NOTICES.

Hembrook confirmed the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA

Motion by Stanelle to approve the agenda.

Seconded by Probst.

*Motion Passed Unanimously.*

4) APPROVAL OF MINUTES.

a. Motion by Stanelle to approve the February 25, 2025 regular Plan Commission Minutes as presented.

Seconded by Probst.

*Motion Passed Unanimously.*

b. Motion by Stanelle to approve the February 25, 2025 Plan Commission Special Meeting as presented.

Seconded by Probst.

*Motion passed unanimously.*

5) CITIZEN COMMENTS; Three-minute limit.

None.

6) OLD BUSINESS:

a. None.

7) NEW BUSINESS:

a. Matt Szula (Top Dog Remodeling) is requesting preliminary approval, and a recommendation for conceptual and final approval for the construction of a storage building for the property located at 1500 North Springdale Road.

Hembrook reviewed the proposal as outlined in the SEH staff report. Hembrook reported that an existing building is approximately 2,162 square feet, and the proposed building is 2,880 square feet; therefore this building could be considered a principal building due to the size and that it is used in relation to the primary use of the property. All building setbacks meet code requirements. Because there would not be an increase in employees, this would not require any additional parking. Hembrook further reported that the proposal was sent to the Development Review Team (DRT), and there were no concerns. Henderson asked about the gravel on the property. Szula responded that their future plans are to grade and pave, so water can flow to grassy area in front of the existing building. Henderson stated he would like to see a better site plan showing driveways, asphalt plan, grassy areas, what the new building looks like, etc. Hembrook showed renderings of the existing building from the Architectural Review Committee (ARC) meeting in December of 2024. Stanelle confirmed there would be a concrete slab underneath the new building. Stanelle also mentioned more details are needed in general, and plans for the dumpster. It was clarified that mulch piles that were there previously when the property was Russ's Mulch, have been cleaned up. Henderson stressed that in order for this to get a recommendation for final approval, PC needs to see a complete plan. Hembrook responded that because this was proposed as an accessory building, it was not clear whether those details were needed, but will send to ARC first, and then it can go to Town Board. Henderson and Hembrook reviewed with the applicant the timeline of the meetings.

Motion by Stanelle to **grant** preliminary approval, and **recommend** to the Town Board conceptual and final approval for the construction of a storage building for the property located at 1500 North Springdale Road with required plans as discussed.

Seconded by Riordan.

Further Discussion:

Send proposal to ARC meeting on April 9<sup>th</sup>, and Town Board in May, after with full set of plans, which shall include grading, lighting, landscaping, drainage, and dumpster enclosure details.

*Motion passed unanimously.*

- b. Ryan Janssen (Avery & Birch) is requesting recommendation for conceptual approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.

Hembrook reviewed what was approved in 2024, and the applicant has changed their plan since that submittal. The new proposal is for a single-story 16,550 square foot building that will be used for luxury salon suite rentals. Hembrook further reviewed the proposal as outlined in the SEH staff report. Proposed setbacks meet requirements, as does the sum total floor area. Comments from the DRT are as follows: the Fire Department would like to see a different turn radius pattern, such as using a semi-tractor/ trailer. This is because a ladder truck can be anywhere from 40' – 45' long. A report has not been received from the Town Engineer. Henderson also stated concerns with the turn radius, especially on the parking island. There is one access for both ingress and egress. The reason for the change to a one-story is an elevator would have been needed. Sprinkeling the building was mentioned, and Janssen stated that the building would not be sprinkelered if possible.

Motion by Riordan to **recommend** to the Town Board conceptual approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.

Seconded by Stanelle.

Further Discussion:

None.

*Motion passed unanimously.*

- c. Jim Taylor (Oscar's) and Tom Pennington (7-Brew) are requesting recommendation for conceptual approval of two new drive-thru restaurants on the property located at 21165 Highway 18 and the adjacent property to the east.

Hembrook described the proposal as outlined in the SEH staff report. Both of the buildings require a Conditional Use Permit (CUP) for the operation of a drive-thru. 7-Brew would also require a rezoning from Institutional District (I-1), to Limited General Business District (B-2). Setbacks for both buildings meet requirements. Oscar's is proposed at 4,743 square feet, and 7-Brew is proposed at 752 square feet, which do not meet the requirement. Christopher White, representing Oscar's stated that the reason is that it is more cost effective to use the original foundation. Hembrook noted that similar businesses in the area do not meet the sum total of floor area requirement. DRT is currently reviewing the plans. Oscar's owns both lots, but they are planning to sell the east lot. A shared access and parking agreement is planned. To get parcel rezoned, Henderson noted that it takes 60 – 90 days. Jim Taylor stated that he does not want to lose the conceptual approval that have been granted up to this point for Oscar's, and wants to keep moving ahead with at least the plans for Oscar's. Parking was clarified on the previous proposal. Probst asked for more detail on how the customers park and cross the drive thru lane. A crosswalk would be put in. Access to 7-Brew was clarified as using the pass thru lane. Henderson asked how the trash truck will get to the dumpster for 7-Brew. Pennington suggested both lanes would be use for trash pickup. It was noted that the hours of the business (5:30am – 10:00pm) could make it problematic for trash pick-up. Hembrook mentioned that 7-Brew should keep in mind that stormwater will have to be addressed.

Motion by Riordan to **recommend** to the Town Board conceptual approval of two new drive-thru restaurants on the property located at 21165 Highway 18 and the adjacent property to the east.  
Seconded by Stanelle.

Further Discussion:  
None.

*Motion carried unanimously.*

d. Discussion on proposed sign code for new Zoning Code Update.

Hembrook reviewed the purpose of the changes to the sign zoning code. ARC has not reviewed the changes as of yet. Sign setbacks were discussed, with the main issue keeping signs out of the vision triangle. Henderson noted that section (5)(a)1 (as well as subsequent setback references) indicates a 5' setback, yet it has always been 10'. Hembrook explained that because there is a paving setback of 10', it does not give a property owner room for a sign, without possibly taking up a parking space. Henderson noted that other areas of the code (9) still indicated a 10' setback. Henderson inquired about 15(c), which pertains to removal of a revoked permit, and feels that 60 days to remove a sign is too long. In (15)(f)1 it mentions "city". When asked by Stanelle what he thought were the biggest changes in the sign code, Hembrook stressed that clarity is important in the update; several examples were described. Hembrook also mentioned off-premise signage as an important update. Henderson stated it is important for ARC to look at this update since they would be implementing the sign code.

e. Discussion/action to set April Plan Commission date.

Annual meeting is April 22, so the April Plan Commission meeting is moved to Monday, April 28, 2025.

8) COMMUNICATION AND ANNOUNCEMENTS.

Henderson mention that the streetlights in the Wimmer project (Poplar Creek) are extremely bright, and would like someone at the Town to look at that.

9) ADJOURN.

Motion by Zuperku to adjourn at 8:18pm.

Seconded by Stanelle.

*Motion Passed Unanimously.*

Respectfully submitted,

Bryce Hembrook – Town Planner

BH/lr



Building a Better World  
for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: April 24, 2025  
PC MEETING DATE: April 28, 2025

RE: **Oscar's Frozen Custard – Conditional Use Permit  
21165 Hwy 18 BKFT1130999001 & 1128959001**

SEH No. 171421, TASK 85

**Applicant:** Jim & Susie Taylor, representing Oscar's Frozen Custard  
**Application Type:** Conditional Use Permit

### Request

Applicant is requesting conditional use permit approval for the construction of a drive-thru restaurant and ice cream shoppe for the property located at 21165 Hwy 18.

### Summary of Request

- Oscar's Frozen Custard has occupied this site for decades but a fire recently significantly damaged the building beyond repair. The applicant is proposing to construct a new building which will be slightly larger but generally in the same location as the last building. The applicant also owns the adjacent parcel to the east of the subject parcel and conceptual plans were reviewed by the Plan Commission and Town Board for this site. The applicant also recently requested conceptual approval for the Oscar's development and included a potential 7 Brew Coffee development on the eastern property. Although the conceptual plans were approved, the applicant decided to not move forward with the 7 Brew coffee proposed plans. There is no building proposed on the property to the east but the conceptual plans for a potential office were approved during the initial conceptual approval. Any future site plans for the eastern property will have to be reviewed and approved at a later date.
- The applicant is proposing to construct a 4,750 square foot restaurant building with two drive thru lanes and one pick up window.
- Zoning District = B-2 Limited General Business District.
- Lot size = .864 acres.
- Proposed Use = Drive-thru restaurant.
  - Permitted as a conditional use.
- Proposed setbacks:
  - Street (Hwy 18) = 79'
  - Street (Swenson Dr) = 107'

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

- Side (west) = 40'
- Side (east) = 24'
- All building setbacks will meet code requirements.
- Sum total of floor area
  - Proposed = 4,750 square feet or 12.6% of lot area.
  - Required = Sum total of the floor area of the principal building and all accessory buildings shall be not less than 6,000 square feet or 15% of the lot area, whichever is less. Also, sum total of the floor area of the principal building and all accessory buildings shall not exceed 30% of the lot area.
- Parking
  - Code requirement: One space per 50 square feet of gross dining area, plus one space per two employees for the work shift with the largest number of employees. Restaurants with drive-through facilities shall provide sufficient space for four waiting vehicles at each drive-through service lane.
    - Parking required: Dining area (2,100sf) = 42 stalls; employees (10) = 5 stalls; total stalls required: 47
  - Proposed: 51 parking spaces on the subject parcel, 3 of which are ADA stalls. Also proposing 8 parking spaces on the adjacent property owned by the applicant. The applicant intends to have a shared access/parking agreement for a future development.
  - The site plan shows a potential access connection on the northeast side of the property.
- Drive-through lanes
  - The site plan shows 2 drive-through lanes and 1 pickup window. Generally, a stacking length of 100 feet is desirable and 40 feet of distance between the pick up window and the access drive is preferred. Overall, it looks like sufficient stacking length is provided.
- Lighting
  - Not provided at this time but will be reviewed later in the process.
- Landscaping
  - Not provided at this time but will be reviewed later in the process.

### **Development Review Team Feedback**

The Development Review Team has reviewed the conceptual plans and there were minimal concerns. The team will review and provide any additional comments prior to the preliminary and final approvals.

### **Recommendation**

Set public hearing date to discuss conditional use permit.



CREATIVITY BEYOND ENGINEERING

## Oscar's Frozen Custard

### Conditional Use Permit Narrative - Double Drive-Thru

April 15, 2025

Oscar's had a devastating fire in 2024 but wishes to rebuild and continue to service the community of the Town of Brookfield. The original store had a drive-thru but the Taylor family would like to expand their operations to include a double drive-thru, enhancing service efficiency and customer experience.

The existing location successfully operated in the community, providing high-quality frozen custard and burgers and fostering a loyal customer base. The expansion aims to address the increasing demand for quick service, particularly during peak hours. By adding a double drive-thru, the store will reduce wait times and improve traffic flow in and around the premises. This upgrade will not only cater to the growing customer volume but also align with the community's trend towards convenience and efficiency in food service. This expansion represents a commitment to enhancing customer satisfaction while contributing positively to the local economy and community atmosphere.

Thank you for your continued support and consideration of the Conditional Use Permit request.

Sincerely,

Christopher B. White, P.E.  
Project Manager

Jim & Susie Taylor  
Owner

# SITE DEVELOPMENT PLANS FOR OSCAR'S CUSTARD 21165 EAST MORELAND BOULEVARD WAUKESHA, WI

## VICINITY MAP



### ENGINEER AND LANDSCAPE ARCHITECT:

**raSmith**  
CREATIVITY BEYOND ENGINEERING  
16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

### DEVELOPER / OWNER:

JAMES TAYLOR  
W279N2865 ROCKY POINT RD  
PEWAUKEE, WI 53072

### PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C201	TRUCK ACCESS PLAN
C300	GRADING PLAN

DESCRIPTION  
DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

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Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

TITLE SHEET

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

PLAN DATE: 04/16/2025

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:



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R.A. Smith, Inc.  
DATE: 04/16/2025  
SCALE: N.T.S.  
JOB NO. 3240290  
PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.  
DESIGNED BY: CBW  
CHECKED BY: MAF  
**SHEET NUMBER**  
C000

**LEGEND**

- BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⌄ FLAGPOLE
- ⌄ MAILBOX
- SIGN
- ⊠ AIR CONDITIONER
- ⊠ CONTROL BOX
- ⊠ TRAFFIC SIGNAL
- ⊠ CABLE PEDESTAL
- ⊠ POWER POLE
- ⌄ GUY POLE
- ⌄ GUY WIRE
- ⊠ LIGHT POLE
- ⊠ SPOT/YARD/PEDESTAL LIGHT
- ⊠ HANDICAPPED PARKING
- ⊠ PULL BOX
- ⊠ ELECTRIC MANHOLE
- ⊠ ELECTRIC PEDESTAL
- ⊠ ELECTRIC METER
- ⊠ ELECTRIC TRANSFORMER
- ⊠ TELEPHONE MANHOLE
- ⊠ TELEPHONE PEDESTAL
- ⊠ UTILITY VAULT
- ⊠ GAS VALVE
- ⊠ GAS METER
- ⊠ GAS WARNING SIGN
- ⊠ STORM MANHOLE
- ⊠ ROUND INLET
- ⊠ SQUARE INLET
- ⊠ STORM SEWER END SECTION
- ⊠ SANITARY MANHOLE
- ⊠ SANITARY CLEANOUT OR SEPTIC VENT
- ⊠ SANITARY INTERCEPTOR MANHOLE
- ⊠ MISCELLANEOUS MANHOLE
- ⌄ IRRIGATION CONTROL BOX
- ⊠ WATER VALVE
- ⌄ HYDRANT
- ⊠ WATER SERVICE CURB STOP
- ⊠ WATER MANHOLE
- ⌄ WELL
- ⌄ WELL SURFACE
- ⌄ WETLANDS FLAG
- ⌄ MARSH
- ⌄ CONIFEROUS TREE
- ⌄ DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S—SANITARY SEWER
- STS—STORM SEWER
- W—WATERMAIN
- ○—MARKED GAS MAIN
- E—MARKED ELECTRIC
- OHW—OVERHEAD WIRES
- B—BUREAU ELEC. SERV.
- T—MARKED TELEPHONE
- TW—MARKED CABLE TV LINE
- FO—MARKED FIBER OPTIC
- (P)—UTILITY PER PLAN
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION

# PLAT OF SURVEY W/ TOPOGRAPHIC DATA & UTILITIES

KNOWN AS: 21165 HIGHWAY "18", WAUKESHA, WISCONSIN

LOT 2 OF CERTIFIED SURVEY MAP NO. 3963, RECORDED ON JANUARY 15, 1981, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 31, PAGE 4-7, AS DOCUMENT NO. 1148662 AND LOT 1 OF CERTIFIED SURVEY MAP NO. 11799, RECORDED ON JANUARY 4, 2019, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN BOOK 119, PAGE 9-13, AS DOCUMENT NO. 4378007, BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30 AND THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

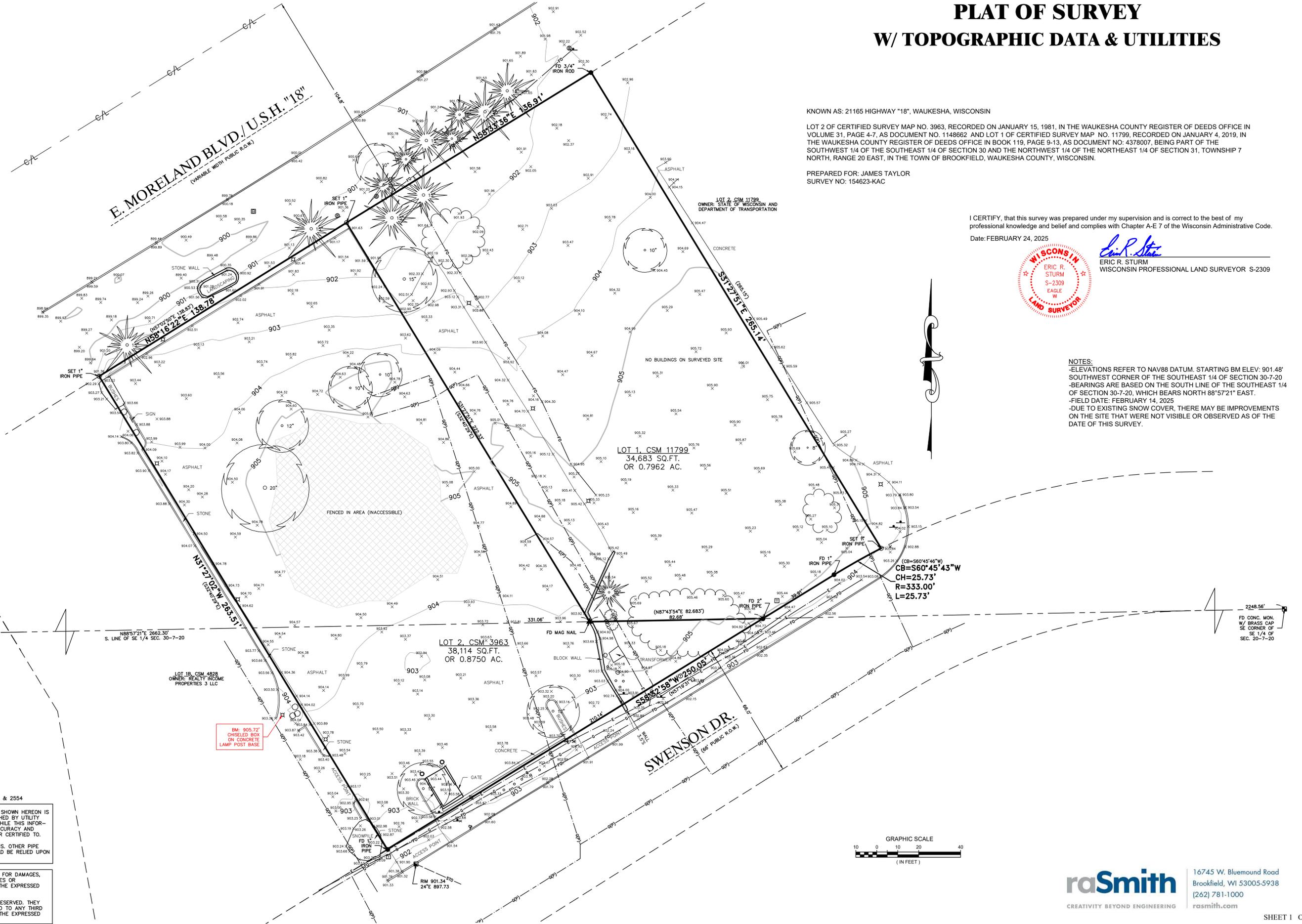
PREPARED FOR: JAMES TAYLOR  
SURVEY NO: 154623-KAC

I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.  
Date: FEBRUARY 24, 2025



*Eric R. Sturm*  
ERIC R. STURM  
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2309

- NOTES:**
- ELEVATIONS REFER TO NAV88 DATUM. STARTING BM ELEV: 901.48'
  - SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 30-7-20
  - BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 30-7-20, WHICH BEARS NORTH 88°57'21" EAST.
  - FIELD DATE: FEBRUARY 14, 2025
  - DUE TO EXISTING SNOW COVER, THERE MAY BE IMPROVEMENTS ON THE SITE THAT WERE NOT VISIBLE OR OBSERVED AS OF THE DATE OF THIS SURVEY.



FD CONC. MON. W/ BRASS CAP SW CORNER OF SE 1/4 OF SEC. 30-7-20

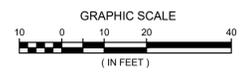
2248.56'  
FD CONC. MON. W/ BRASS CAP SE CORNER OF SE 1/4 OF SEC. 20-7-20

DIGGERS HOTLINE TICKET NOS: 20250206553 & 2554

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.  
(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

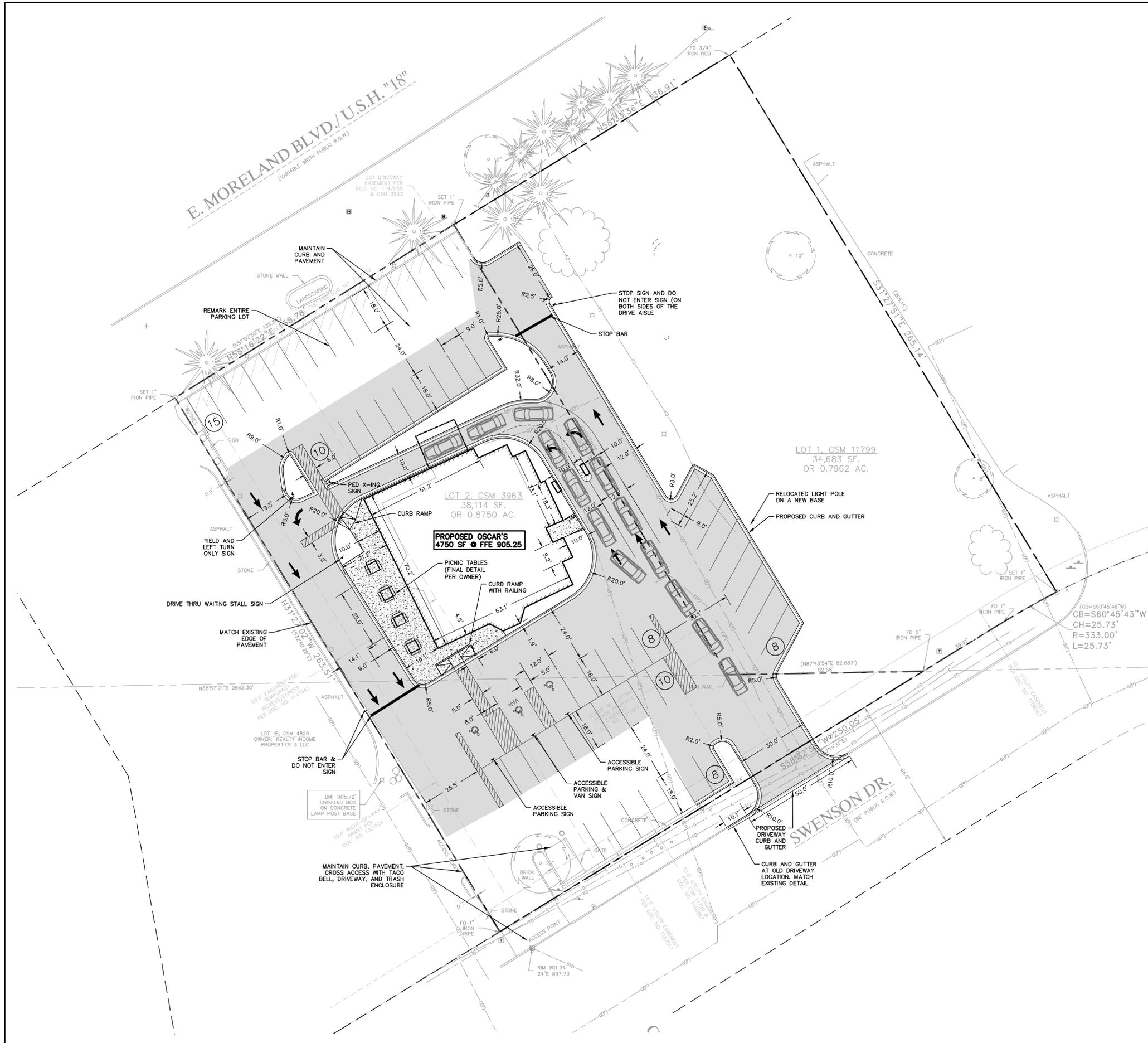
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**LEGEND**

- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED 18" CURB AND GUTTER

GRAPHIC SCALE  
0 10 20 40  
(IN FEET)

**OSCAR'S PROPERTY (ZONED B-2)**

**PARKING STATISTICS**

REQUIRED PARKING: 1 PER 50 SF OF DINING AREA AND 1 PER TWO EMPLOYEES ON LARGEST SHIFT  
 DINING AREA = 2,100 SF / 50 SF = 42 STALLS  
 EMPLOYEES = 10 / 2 = 6 STALLS  
 TOTAL REQUIRED = 48 STALLS

PROPOSED PARKING (WITH SHARED PARKING AGREEMENT):

REGULAR STALLS	56
ADA STALLS	3
TOTAL	59

**EXISTING CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	38,115	0.88	
PERVIOUS SPACE	3,344	0.08	9.1%
IMPERVIOUS SPACE	34,771	0.80	90.9%

**PROPOSED CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	38,115	0.88	
PERVIOUS SPACE	3,322	0.08	8.7%
IMPERVIOUS SPACE	34,793	0.80	91.3%

\*REQUIRED GREEN SPACE = 5% OF SURFACE NOT INCLUDING BUILDING AND PATIO AREAS  
 REQUIRED GREEN SPACE = (34,793-4,750)\*5%=1,502 SF

**FUTURE DEVELOPMENT PROPERTY**

**EXISTING CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	34,683	0.80	
PERVIOUS SPACE	30,161	0.69	86.2%
IMPERVIOUS SPACE	4,522	0.11	13.8%

**PROPOSED CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	34,683	0.80	
PERVIOUS SPACE	29,279	0.67	84.4%
IMPERVIOUS SPACE	5,404	0.13	15.6%

- GENERAL NOTES:**
- EXISTING TOPOGRAPHY OBTAINED BY raSmith FEBRUARY 24, 2025.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF BROOKFIELD EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
  - ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB. ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
  - ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - PAVEMENT SECTIONS SHALL MATCH EXISTING PAVEMENT DESIGN OR APPROVED BY OWNER.

DATE	DESCRIPTION

16745 W. Bluemound Road  
 Brookfield, WI 53005-5938  
 (262) 781-1000  
 rasmith.com

**raSmith**  
 CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
 Cedarburg, WI | Naperville, IL | Irvine, CA

**OSCAR'S FROZEN CUSTARD  
 TOWN OF BROOKFIELD  
 SITE PLAN**

**PRELIMINARY  
 NOT FOR  
 CONSTRUCTION**

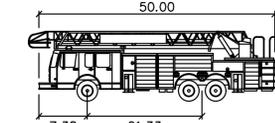
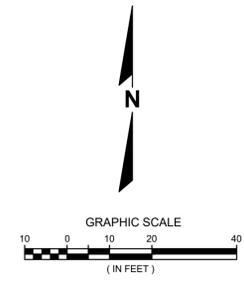


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DATE: 04/16/2025
SCALE: 1" = 20'
JOB NO. 3240290
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.
DESIGNED BY: CBW
CHECKED BY: MAF
<b>SHEET NUMBER</b>
C200

E. MORELAND BLVD./U.S.H. "18"



Pierce Lance 50ft

	feet
Width	: 7.83
Track	: 7.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8

PROPOSED OSCAR'S  
4750 SF ● FFE 905.25

LOT 1B, CSM 4828  
OWNER: REALTY INCOME  
PROPERTIES 3 LLC

WILSON DR.



Know what's below.  
Call before you dig.

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DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD  
TRUCK ACCESS PLAN

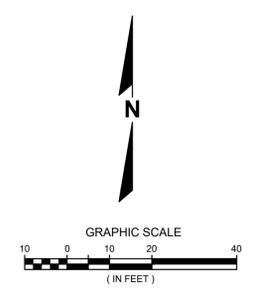
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

© COPYRIGHT 2025 R.A. Smith, Inc.
DATE: 04/16/2025
SCALE: 1" = 20'
JOB NO. 3240290
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.
DESIGNED BY: CBW
CHECKED BY: MAF
<b>SHEET NUMBER</b>
C201



**LEGEND**

—	PROPERTY LINE
840.00 X	EXISTING SPOT ELEVATION
- - -	EXISTING CONTOURS
840	PROPOSED CONTOURS
840.00 X	PROPOSED SPOT GRADES
(840.00) X	PROPOSED TOP OF CURB GRADE
T/ 840.00 X	PROPOSED TOP OF ISLAND GRADE
■ ●	PROPOSED STORM INLETS / MANHOLES
- - -	LIMITS OF DISTURBANCE = 0.85 ACRES



- GENERAL NOTES:**
1. ALL SIDEWALKS TO BE SLOPED AT LESS THAN 5.0% AND NO MORE THAN 2.0% CROSS SLOPE
  2. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
  3. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
  4. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. SEE SHEET C100 FOR PLACEMENT OF EROSION CONTROL FACILITIES.
  5. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
  6. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PAD AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
  7. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
  8. CONTRACTOR TO VERIFY FIRST FLOOR ELEVATION AND CONTACT ENGINEER IF DISCREPANCIES ARE FOUND.

DATE	DESCRIPTION

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

**OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD  
GRADING PLAN**

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



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DESIGNED BY: CBW
CHECKED BY: MAF
<b>SHEET NUMBER</b>
<b>C300</b>

P:\3240290\Drawings\Sheets\3240290-CP01.dwg, GRADING PLAN, 4/16/2025 9:26:42 AM, Chw



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## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: April 24, 2025  
PC MEETING DATE: April 28, 2025

RE: **Wisconsin Adult Center/Brookfield Adult Center – Conditional Use Permit  
20711 Watertown Road Suite V, BKFT1128957005**

**Applicant:** Lindsey Chiaverotti (Wisconsin Adult Center DBA Brookfield Adult Center)

**Application Type:** Conditional Use Permit

### **Request**

Conditional Use Permit request to allow the expansion of an adult day care center in the B-3 Office and Professional Business District, located at 20711 Watertown Road Suite V.

### **Summary of Request**

The applicant received conditional use permit approval on March 29, 2022 to operate an adult day care center at the subject property. Prior to this approval, the applicant had approval to operate the business on a different property (705 Larry Court). The applicant is now considering expanding operations and moving into the adjacent tenant space within the current building. The conditional use agreement states that any addition or expansion of the use requires the conditional use permit to be amended and approved following the Town's conditional use permit procedures.

According to information provided by the applicant, the Brookfield Adult Center (BAC) is a luxury day service center that works with adults 18 years of age or older. The BAC works with individuals who have cognitive or physical disability and advanced age. BAC uses person centered planning with assistance of qualified and experiences CBRF certified staff to develop stimulating and enriching activities for all their members. BAC also offers community integration opportunities for their members. The BAC's goal for each of their members is to promote independence, enhance socialization skills, and have fulfilled days. Overall, they provide the following services:

- Recreation Activities
- Therapeutic Activities
- Communication Skills
- Socialization
- Community Integration
- Living/Independence Skills
- Entertainment

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

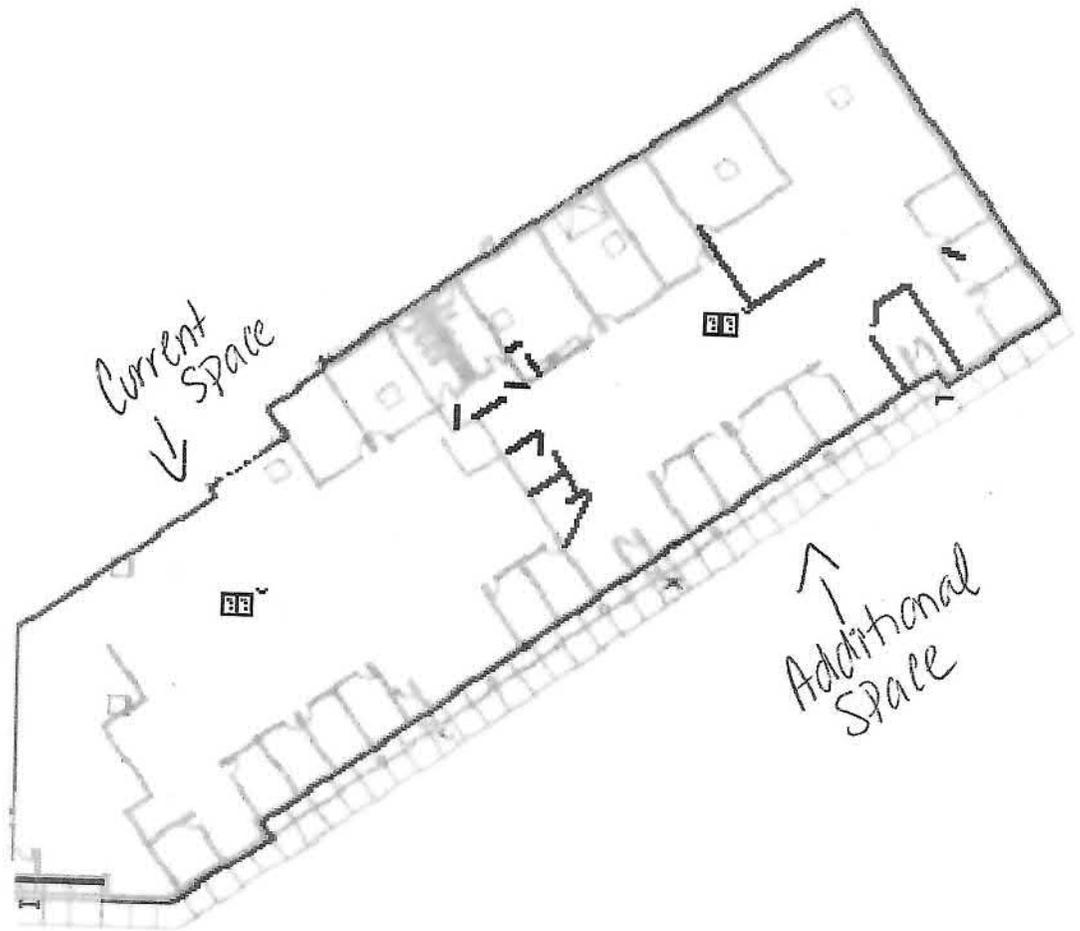
- Self-Advocacy
- Personal Cares

The property is located in the B-3 Office and Professional Business District, which is generally intended for individual or small groups of buildings limited to office, professional and special service uses where the office use would be compatible with other neighborhood uses and not exhibit the intense activity of other business districts. Adult day care facilities are considered to be a commercial daycare center land use, which is permitted as a conditional use. This will be the only adult daycare facility located on the property, which is one of the requirements listed for a commercial daycare center land use. The applicant is not proposing to change the hours of operation, which is typically 8am-3pm Monday thru Friday.

**Recommendation**

Set a public hearing date to discuss the proposed conditional use permit.

EXHIBIT A:



**CONDITIONAL USE PERMIT**

Document Number

This Conditional Use Permit (this "CUP"), effective as of the date above the signature line below (the "Effective Date"), is by and between Waukesha Crossings LLC (the "Owner") and the Town of Brookfield (the "Town").

**WHEREAS**, the Owner is the owner of real property located at 20711 Watertown Road, Waukesha, WI 53186 (Tax Key No.: BKFT1128957005), which is more particularly described on the attached Exhibit A (the "Property");

**WHEREAS**, Lindsey Chiaverotti (the "Applicant"), Wisconsin Adult Center, on behalf of the Owner, has made an application for a conditional use permit to operate an adult day care center on the Property;

**WHEREAS**, a public hearing upon the above-referenced application was conducted by the Town Plan Commission on March 22, 2022.

**WHEREAS**, on March 22, 2022, the Town Plan Commission recommended to the Town Board that this CUP be granted; and

**WHEREAS**, on March 29, 2022, the Town Board accepted the Plan Commission's recommendation.

**NOW, THEREFORE**, this CUP to operate an adult day care center on the Property is granted and approved, subject to the following terms and conditions:

1. This CUP shall be recorded on the Property and only apply to the area described in the Legal Description attached as **Exhibit A**.
2. The Applicant shall obtain all necessary permits or approvals from the Federal Government, State, County, and any other governmental entity, and any conditions of such governmental approvals are incorporated into this CUP.
3. The Applicant shall cease all operations at their current business location, located at 705 Larry Court, by July 31, 2022.
4. The Conditional Use Permit for the Applicant's current business, located at 705 Larry Court (BKFT1125990), will terminate on July 31, 2022.
5. Any change, addition, modification, alteration, and/or amendment of any aspect of this CUP, including but not limited to an addition, modification, alteration, and/or amendment to the use, Property (including but not limited to any change to the boundary limits of the Property), structures, lands, or owners other than as specifically authorized herein, shall require the Town's prior approval and all procedures in place at the time must be followed.
6. This CUP may not be transferred and shall terminate upon such transfer of this CUP or conveyance of the Property; provided however, an application for a new Conditional Use Permit may be made

Recording Area

Name and Return Address

Town Clerk

Town of Brookfield

645 N. Janacek Road

Brookfield, WI 53045

BKFT1128957005

Parcel Identification Number (PIN)

as set forth in Section 17 of the Town's Code. The Owner's transfer or conveyance of this CUP or the Property to a separate entity that is solely owned by the Owner shall not cause this CUP to terminate so long as the Owner provides prior written notice to the Town, and an amended Conditional Use Permit reflecting the ownership status and all conditions in this CUP is recorded against the Property with the Waukesha County Register of Deeds. If the conditional use of an adult day care center identified as "Wisconsin Adult Center" is discontinued or ceases to operate on the Property, this CUP may be terminated by the Town Board pursuant to the procedures set forth in the Town Code.

7. The Owner represents and warrants that the individual signing below has full and complete authority to execute this CUP.

Dated and effective as of the date signed by the Owner below.

**OWNER**

**WAUKESHA CROSSINGS LLC**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
\_\_\_\_\_ COUNTY ) ss.

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, the above-named \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, \_\_\_\_\_  
Commission expires: \_\_\_\_\_

Tony Evers  
Governor



DIVISION OF MEDICAID SERVICES

1 WEST WILSON STREET  
PO BOX 309  
MADISON WI 53701-0309

Karen E. Timberlake  
Secretary

State of Wisconsin  
Department of Health Services

Telephone: 608-261-6393  
TTY: 711

July 21, 2022

**NOTICE OF COMPLIANCE DECISION**  
**Medicaid Waiver Home and Community-Based Services Settings Requirements**

Brookfield Adult Center  
Adult Day Services  
20711 Watertown Road, Ste V  
Waukesha, WI 53186

Dear Ms. Chiaverotti:

The Wisconsin Department of Health Services (DHS) is required by federal law to ensure that settings serving home and community-based services (HCBS) waiver participants meet and remain in compliance with the HCBS settings rule requirements. These requirements are part of 42 C.F.R. §§ 441.031(c)(4) and 441.710

The Medicaid HCBS waiver programs participants affected by this rule include those who are in the Family Care, Family Care Partnership, IRIS (Include, Respect, I Self-Direct), and the Children's Long-Term Support Waiver programs. For more information about the rule, view our fact sheet about the HCBS rule at <https://www.dhs.wisconsin.gov/publications/p02319.pdf>.

**Your Setting is in Compliance with the Federal HCBS Settings Rule.**

DHS has determined that your setting, named above, is in compliance with the federal HCBS settings rule for Wisconsin's Medicaid waiver programs. The decision was based on an onsite or desk review for this setting and related information gathered.

**No Further Action is Required. Retain This Notice for Your Records.**

This notice only applies to compliance with the federal HCBS settings rule. It is recommended that this notice be retained for your records. No further action is required at this time. Your setting's ongoing HCBS compliance will be monitored by DHS. Your setting still remains subject to all requirements of your applicable regulatory licensure and Medicaid provider regulations.

Brookfield Adult Center

Page 2

July 21, 2022

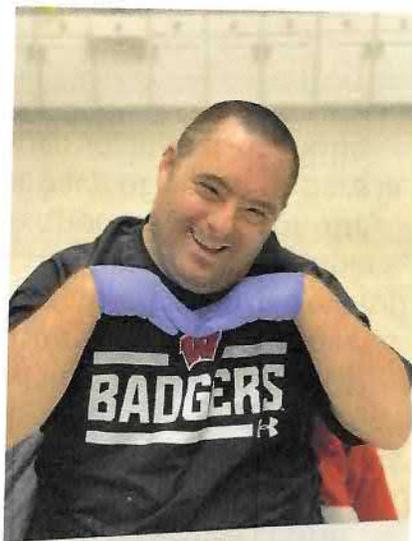
If you have questions regarding this notification, you may contact DHS staff at [DHSHCBSReview@dhs.wiscosin.gov](mailto:DHSHCBSReview@dhs.wiscosin.gov) or 608-261-6393.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ann', with a vertical line extending downwards from the end of the signature.

Ann Lamberg, Deputy Director  
Bureau of Quality and Oversight

Enclosure: Implementation of Federal HCBS Settings Rule in Wisconsin



# Brookfield Adult Center



Call to set up a tour!

262-599-8083

## Hours of Operation

Day	Hours
Monday	8:00am - 3:00pm
Tuesday	8:00am - 3:00pm
Wednesday	8:00am - 3:00pm
Thursday	8:00am - 3:00pm
Friday	8:00am - 3:00pm
Saturday	Closed
Sunday	Closed



2071 Watertown Rd Ste V  
Waukesha, WI 53186

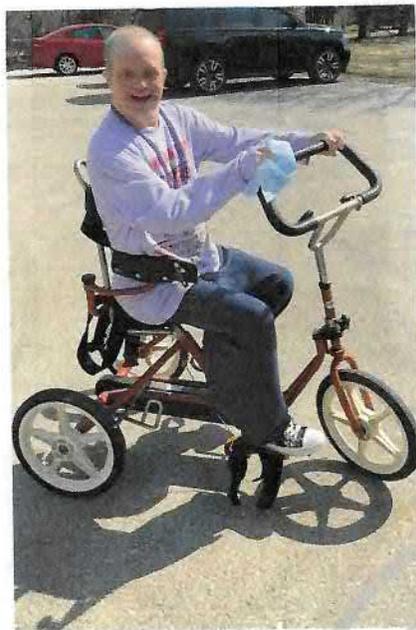
**262-599-8083**

brookfieldadultcenter@gmail.com

www.brookfieldadultcenter.com

## Our Program Offers

- Recreation Activities
- Therapeutic Activities
- Communication Skills
- Socialization
- Community Integration
- Living/Independence Skills
- Entertainment
- Self-Advocacy
- Personal Cares



262-599-8083

## About Us

Brookfield Adult Center is a luxury day service center located in the town of Brookfield, WI. Our program works with adults 18 years of age and older. At Brookfield Adult Center we work with individuals who have cognitive or physical disability, and advanced age. Brookfield Adult Center uses person centered planning with assistance of qualified and experienced CBRF certified staff to develop stimulating and enriching activities for all our members. We offer community integration opportunities for our members. Our program goals for each of our members is to promote independence, enhance socialization skills, and have fulfilled days.

## Trial Days

Brookfield Adult Center offers 1- or 2-day trial for prospective members. Trial days assess members to ensure all needs can be accommodated and what level of care may be needed. Prior service authorization required for trial days.



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for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: April 24, 2025  
PC MEETING DATE: April 28, 2025

RE: **Avery & Birch – Preliminary Approval**  
**21055 Crossroads Circle BKFT1129999007**

SEH No. 171421, TASK 93

**Applicant:** Ryan Janssen (Avery & Birch)

**Application Type:** Preliminary Approval

### Request

Preliminary approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.

### Summary of Request

- Received approval for a three-story facility in 2024 but have since changed their plans. Applicant is now proposing a single-story 16,550 square foot building that will be used for luxury salon suite rentals.
- Each one of the suites is occupied by a self-employed beauty professional. Avery and Birch does not provide beauty services we simply act as a landlord for our multi-tenant buildings. This use for this submittal is similar to the last approval except for the proposed building is now a single-story building.
- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.67 acre parcel in an office park.
  - This parcel has received two approvals in the past few years. First, Quest Interiors received final approval for their facility on the subject property in 2023, but decided to no longer pursue the project. Avery and Birch received final approval in 2024 but have since changed their plans.
- Proposed structure = 16,550 total square foot facility with salon suites.
- Approximately 86 parking stalls currently proposed, including 4 handicap stalls.
  - The proposed use is likely considered a personal service use, which requires one space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.
  - According to the code, 82 parking spaces are required for the square footage and the number of employees is unknown at this time.
  - The proposed site plan shows one drive access to Crossroads Circle.
- Proposed setbacks:

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

- Front = 154'
- Side = 107' north and 101' south
- Rear = 77'
- All building setbacks will meet code requirements.
- The pavement setbacks appear to meet requirements.
- Sum total of floor area
  - Proposed = 10.3% of lot area.
  - Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area.
  - Requirement is met.
- No building height dimensions were provided but the building will likely meet the 45' height requirement.
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The applicant intends to keep the existing landscaping to serve as a buffer for the residential properties.

### **Development Review Team**

The Development Review Team has reviewed this item and most items have been addressed.

### **Sanitary District No.4 Comments**

- According to our records the existing water service in Crossroads Cir is 6", they are proposing connecting a 8" watermain to it. So the existing service will need to be abandoned and tap a new 8" tee and valve or the existing 8"x6" Tee be replaced by a 8"x8" Tee. Either way the watermain will need to be turned off to abandon the existing 6", the neighboring office buildings will need to be notified and this may need to be completed at night. The existing watermain is in the street so street restoration and traffic control should be added.
- The proposed 8" watermain and hydrant will become public, it should be noted and I believe a DNR approval will be needed.
- The "Hydrant Installation Figure 2" specifies a Ductile Iron Lead, we allow PVC.
- I would also like to know how close to the curb the hydrant will be located, if it's too close it may be difficult to access if there's a car parked and can be easily hit by snow plow.

### **Preliminary Approval**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. Preliminary approval recommended by the Architectural Review Committee and granted by the Plan Commission shall expire within six months unless final project plans are presented to the Plan Commission.

### **Staff Recommendation**

Per the discretion of the Plan Commission.



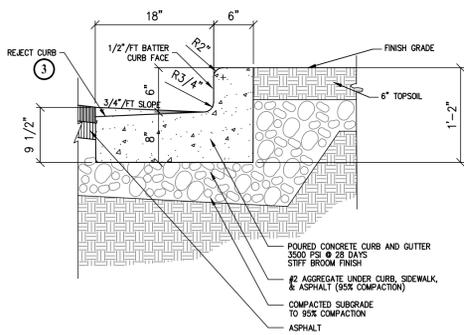


**GENERAL CONSTRUCTION SPECIFICATIONS:**

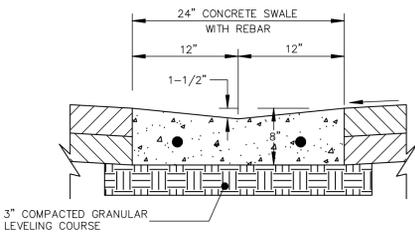
1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtained by the contractor prior to commencing work.
2. All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
3. All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
4. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
5. The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
6. The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
7. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
8. Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
9. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
10. All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.

**GENERAL SPECIFICATIONS FOR PRIVATE STORM SEWER:**

1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition, and the Town Ordinances and the State of Wisconsin, Chapter SPS 382. All permits must be obtained by the contractor prior to commencing work.
2. The private storm sewer design, permitting, construction, installation, supervision, maintenance, inspection AND testing shall be in accordance with the Town of Brookfield Plumbing Inspection Department and the State of Wisconsin, Chapter SPS 382. All permits must be obtained by the contractor prior to commencing work.
3. Private Storm Sewers shall be PVC (solid wall), DR-26 OR HDPE, per the State of Wisconsin Plumbing Code, Chapter SPS 382. Catch Basins and Inlets shall be precast concrete structures in accordance with the Standard Specifications for Sewer & Water Construction in Wisconsin (SEE DETAIL PLAN SHEET).



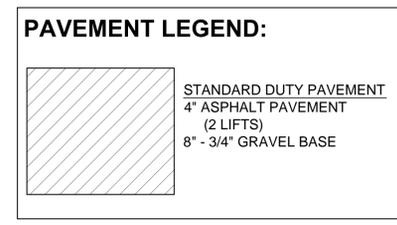
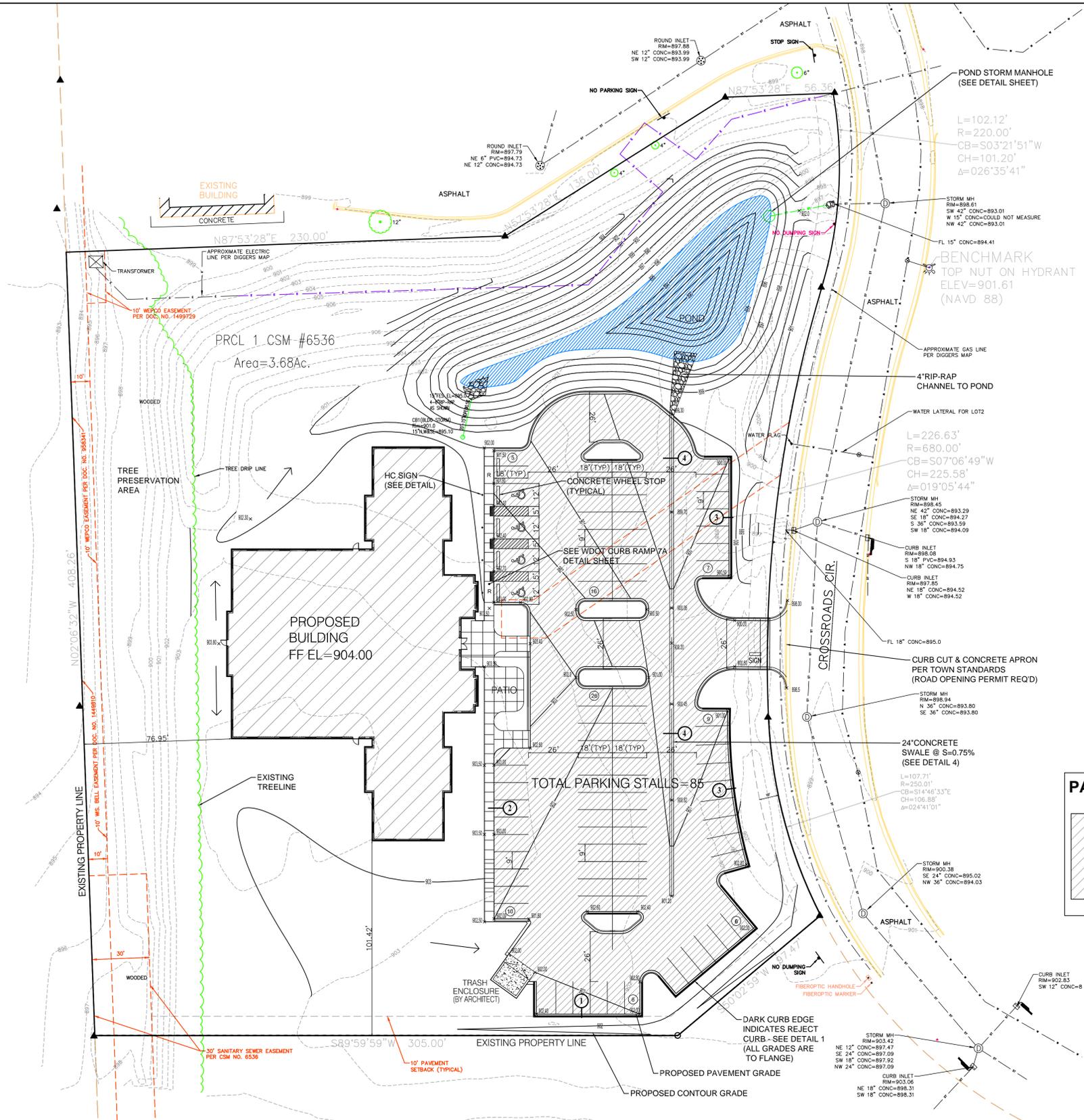
**CONCRETE CURB & GUTTER**  
NO SCALE 1



**24\"/>**

**NOTE: ALL UNDERGROUND CONTRACTOR ARE REQUIRED TO FIELD LOCATE EXISTING UTILITIES, STORM SIZE & INVERT PRIOR TO CONSTRUCTION. OBTAIN ALL TOWN OF BROOKFIELD PERMITS PRIOR TO CONSTRUCTION.**

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PERFORMED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.



DATE	DESCRIPTION

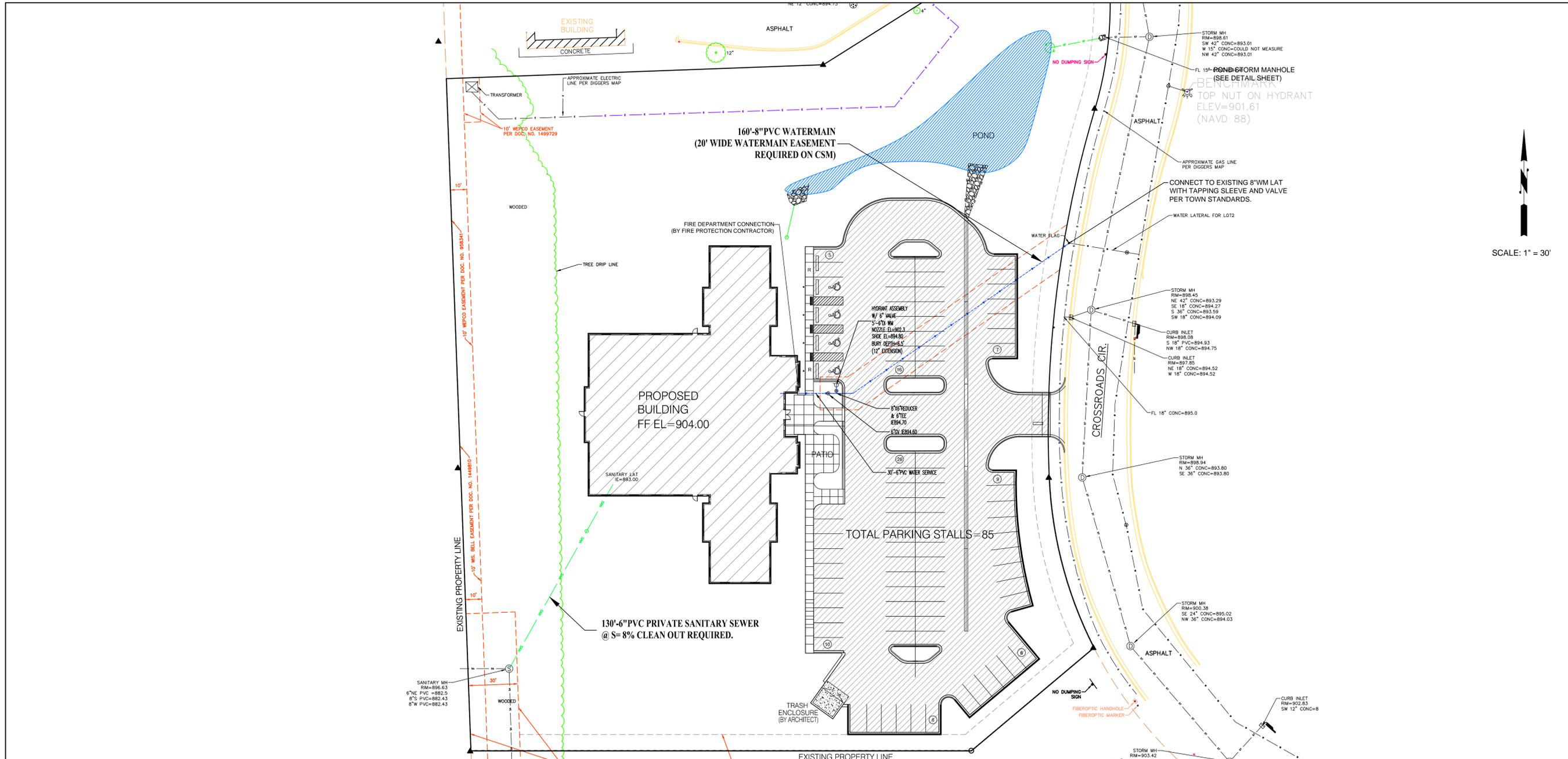
**ELLENA ENGINEERING CONSULTANTS, LLC**  
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT  
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122  
 Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@ececeng.com

**MARK R. ELLENA, P.E.**  
 PROFESSIONAL ENGINEER  
 WISCONSIN  
 E-24090 WALES, WI

DATE: 03-26-25  
 BY: MARK R. ELLENA, P.E.  
 SCALE: 1"=30'

**SHEET NUMBER**  
**C200**

NOTE: THIS GRADING PLAN MUST BE APPROVED BY THE TOWN ENGINEER AND BUILDING INSPECTOR.



SCALE: 1" = 30'

DATE	DESCRIPTION

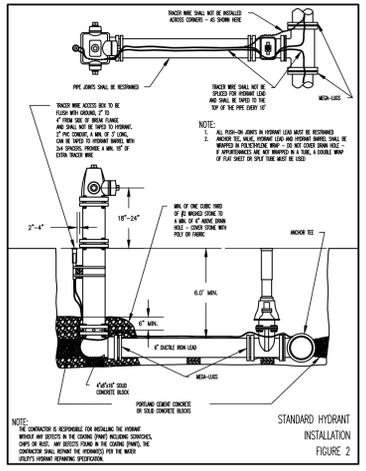
ELLENA ENGINEERING CONSULTANTS, LLC  
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT  
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122  
 Phone: 262-719-6183 Fax: 866-457-2584 Email: mellena@eeceing.com

AVERY & BIRCH SALON SUITE FACILITY  
 TOWN OF BROOKFIELD, WI  
**PRIVATE SANITARY SEWER AND WM PLAN**

WISCONSIN PROFESSIONAL ENGINEER  
 MARK R. ELLENA  
 E-24090  
 WALES, WI

DATE: 03-26-25  
 BY: MARK R. ELLENA, PE  
 SCALE: 1"=30'

SHEET NUMBER  
**C300**



**PRIVATE WATER MAIN, SANITARY & STORM SEWER SPECIFICATIONS:**

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; the State of Wisconsin Standard Specifications for Sewer and Water Construction in Wisconsin, the State of Wisconsin Department of Safety and Professional Services Plumbing Code; and the Town Ordinances. **TRACER WIRE REQUIRED ON ALL MAINS.**
- The private water main, sanitary & storm sewer design, permitting, construction, installation, supervision, maintenance, inspection AND testing shall be in accordance with State of Wisconsin, Chapter SPS 382. All permits must be obtained by the contractor prior to commencing work.
- Private sanitary laterals shall be PVC (solid wall), ASTM D-3034, DR-35 or 28; or PVC (solid wall), AWWA C-900 per the State of Wisconsin Plumbing Code, Chapter SPS 382 and the Standard Specifications for Sewer & Water Construction in Wisconsin.
- Private Water main laterals shall be PVC (solid wall), AWWA C-900, CLASS 235, DR-18 with Push-On type integral elastomeric ball-spigot joints per the State of Wisconsin Plumbing Code, Chapter SPS 382 AND the Standard Specifications for Sewer & Water Construction in Wisconsin. **6' BURY REQUIRED.**
- MINIMUM BURY DEPTH IS 6.5 FEET ACCORDING TO SECTION 12.4 OF THE TOWN TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE TOWN SANITARY DISTRICT NO. 4 AND FIELD STAFF A MINIMUM OF 72 HOURS BEFORE THE START OF ANY CONSTRUCTION OR CONNECTION TO EXISTING PUBLIC UTILITIES.
- BUILDING PLUMBER TO PROVIDE SANITARY & WATER MAIN LATERAL SIZING CALCULATIONS FOR ISSUANCE OF BUILDING PERMIT.

**GENERAL CONSTRUCTION SPECIFICATIONS:**

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtained by the contractor prior to commencing work.
- All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
- All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
- All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
- The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
- The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
- Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
- Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
- Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
- All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PREPARED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.



**EROSION CONTROL SPECIFICATIONS AND CONSTRUCTION SEQUENCING:**

- The timing and sequence of construction is scheduled as follows:
- Before grading begins the PROJECT SUPERVISOR will stake out all the fence & pond area. The general contractor is charged with installing and maintaining all fences, seeding and other erosion control practices.
  - A list of all project contacts, phone numbers, e-mail addresses, etc. are on the plan & permit application.
  - Construction is scheduled to begin on or about:
  - Tracking pad and all fence shall be installed as shown on the plan.
  - Site topsoil in the proposed construction area and stockpiled in a staging area with all fence on low side. Excavate basin area and place fill as shown on the plan. Install basin outlet structure and piping. Make grade after install storm sewers & stone pavement areas. Restore ALL disturbed areas with topsoil, seed, erosion control matting upon completion (Complete by \_\_\_\_\_).
  - Install curb and pour blinder. (Complete by \_\_\_\_\_)
  - Erosion control inspections will be performed weekly and after each rain event of 0.5 inches or larger by the general contractor and inspection forms will be filed out and kept on site.
  - The work completion is anticipated by \_\_\_\_\_
  - Any disturbed site that remains inactive for greater than 7 days shall be stabilized with temporary measures such as soil treatment, temporary seeding or mulching. "Inactive" means that no site grading, landscaping or utility work is occurring on the site and that rain is not limiting these activities. Frozen soils do not exclude the site from this requirement.
  - Restoration of all disturbed areas will be stabilized in accordance with the late season stabilization specifications listed below.
  - After grass is well established all all fences will be removed and permits will request final inspection by the Town.
  - Seeding rates and mixes shall conform to WADOT Roadway Standard Section 630.

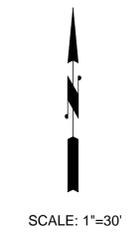
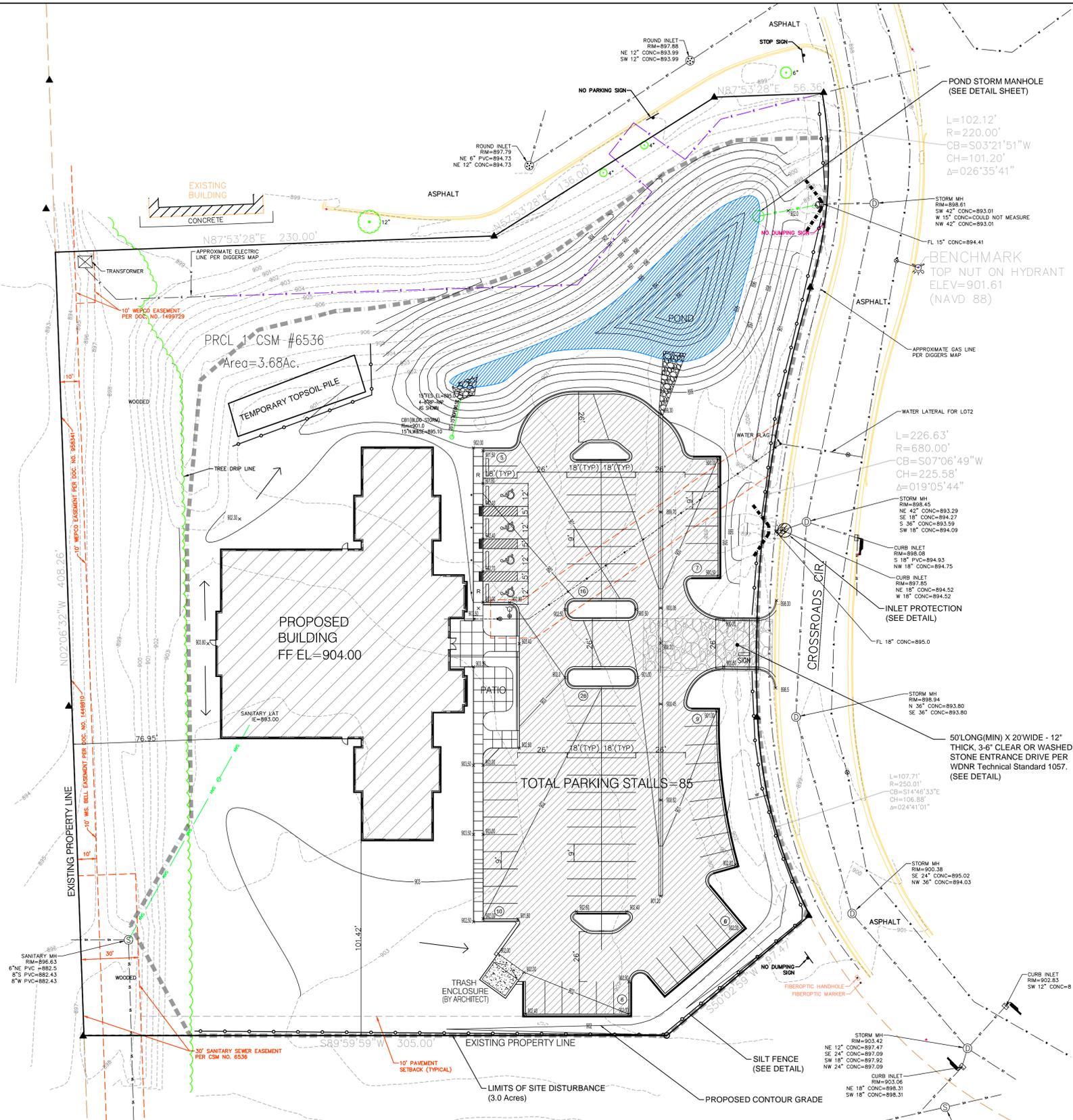
**Late Season Stabilization:**

- The objective is to stabilize the site with 70% vegetative coverage of all permanent disturbed areas before the end of the growing season. After November 15, no land disturbing activity is permitted outside of active building envelopes, and all other disturbed areas must be stabilized by November 15 per the following schedule:
- Permanent Vegetation (Before September 15):**
    - Seeding: Prepare seedbed and sow seeds per the rates and mixes of Wisconsin Department of Transportation (WISDOT) Roadway Standard Section 630.
    - Erosion Control: Immediately apply mulch, erosion control matting, or other permanent stabilization BMPs as specified in the approved erosion control plans and per DNR technical standards.
    - Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full vegetative cover is obtained, and repair any erosion problems, wash outs, etc.
  - Temporary Vegetation (September 15 - October 15):**
    - Seeding: The above noted seeding mix must include a minimum of 2 lbs. per 1,000 sq. ft. of a temporary cover (i.e., winter wheat or annual ryegrass for fall plantings) per Section 630.
    - Erosion Control: Immediately apply mulch, erosion control matting, or other stabilization BMPs as specified below, following DNR technical standards. The approved plans may be more restrictive:
- Channel flow (roadside swales, etc.) and Backslope: Stake erosion matting over all the entire channel cross-section and all backslope using a minimum WADOT Erosion Control Product Acceptability (PA) Class 3 Type A matting, unless otherwise called for in the approved plan.
  - Other disturbed areas: Apply Type A Soil Stabilizer, mulch and topsoil from the WADOT Product Acceptability List to all disturbed areas that remain exposed.
  - Inlet/Outfalls: Install sod pods (2 ribs) of all culvert outfalls, and other high-erosion locations in accordance with County standards.
- Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
- Dormant Seeding (October 15 - November 15):**
    - Seeding Rate: Same seed mix as subsection (b) (including temporary cover crop) except the rates for permanent species must applied at 1.5 x WADOT section 630 rates (apply rates of 3-5 lbs./1,000 sq.ft.).
- Erosion Control:
    - Channel flow (roadside swales, etc.) and Backslope: Apply Type A soil stabilizer and staked PAL Class 3 Type A erosion matting over the entire channel and all backslope.
    - Other Areas: Apply Type A Soil Stabilizer from the WADOT Product Acceptability List to all other disturbed areas that remain exposed.
- Inlet/Outfalls: Install sod pods (2 ribs) of all culvert outfalls, and other high-erosion locations in accordance with County standards.
- Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
- If construction schedules should change significantly, this plan narrative will be updated and resubmitted.

**GENERAL CONSTRUCTION SPECIFICATIONS:**

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtain by the contractor prior to commencing work.
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- The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
- The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
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DATE	DESCRIPTION

**ELLENA ENGINEERING CONSULTANTS, LLC**  
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT  
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122  
 Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@eeceng.com

**AVERY & BIRCH SALON SUITE FACILITY**  
**TOWN OF BROOKFIELD, WI**  
**EROSION CONTROL PLAN**

WISCONSIN  
 MARK R. ELLENA  
 E-24090 WALES, WI  
 PROFESSIONAL ENGINEER  
 DATE: 03-26-25  
 BY: MARK R. ELLENA, PE  
 SCALE: 1"=30'

**SHEET NUMBER**  
**C400**







*Avery and Birch*  
beauty studios

**in.**studio  
architecture

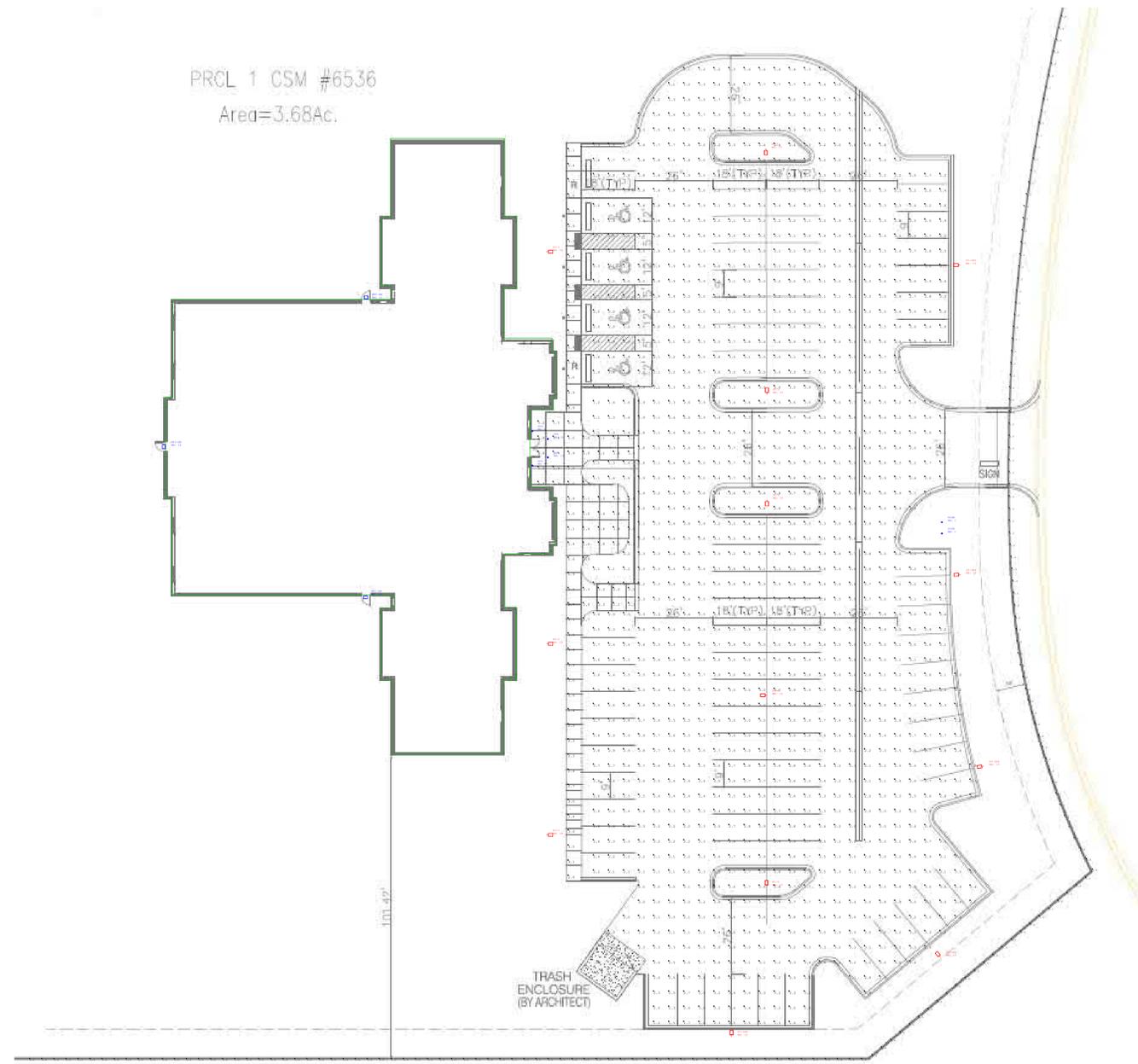


*Avery and Birch*  
beauty studios

**in.**studio  
architecture



PRCL 1 CSM #6536  
Area=3.68Ac.



Symbol	Label	Qty	[MANUFAC]	Catalog Number	LLF	Lumens	Watts	Tot. Watts
⊕	6DL	2	Juno Lighting	WF6 DREG B ALO20 SWW5 90CRI 40K	0.900	1501	15.5	31
□	WP1-EM	3	Chloride	ARC-ACEM-BZ	0.900	7600	16	48
⊕	SIGN	2	Lithonia Lighting	ESXF1 ALO(3,000L) SWW2(5000K) KY DDB	0.900	3076	19.12	38.24
⊕	P3-3HS	5	Lithonia Lighting	RSX1 LED P1 40K R3 HS	0.900	4980	51.34	256.7
⊕	SCO	2		20131LEDDMG	0.900	673	12.61	25.22
⊕	P3-3	3	Lithonia Lighting	RSX1 LED P1 40K R3	0.900	7096	51.34	154.02
⊕	P1-5	5	Lithonia Lighting	RSX1 LED P4 40K R5	0.900	16793	133.14	665.7

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Prop Line	Illuminance	Fc	0.20	0.9	0.0	N.A.	N.A.
Sidewalk	Illuminance	Fc	2.06	5.2	0.9	2.29	5.78
Site	Illuminance	Fc	2.48	4.0	1.0	2.48	4.00

- Standard Reflectance of 80/50/20 unless noted otherwise
- Not a Construction Document, for Design purposes only
- Standard indoor calc points @ 30" A.F.F. unless noted otherwise
- Standard outdoor calc points @ Grade unless noted otherwise
- CED Pewaukee assumes no responsibility for installed light levels due to field conditions, etc.

CED Lappin Electric  
N24 W23750 Watertown Rd  
Waukesha, WI 53188  
(p) 262-547-5500



#	Date	Comments

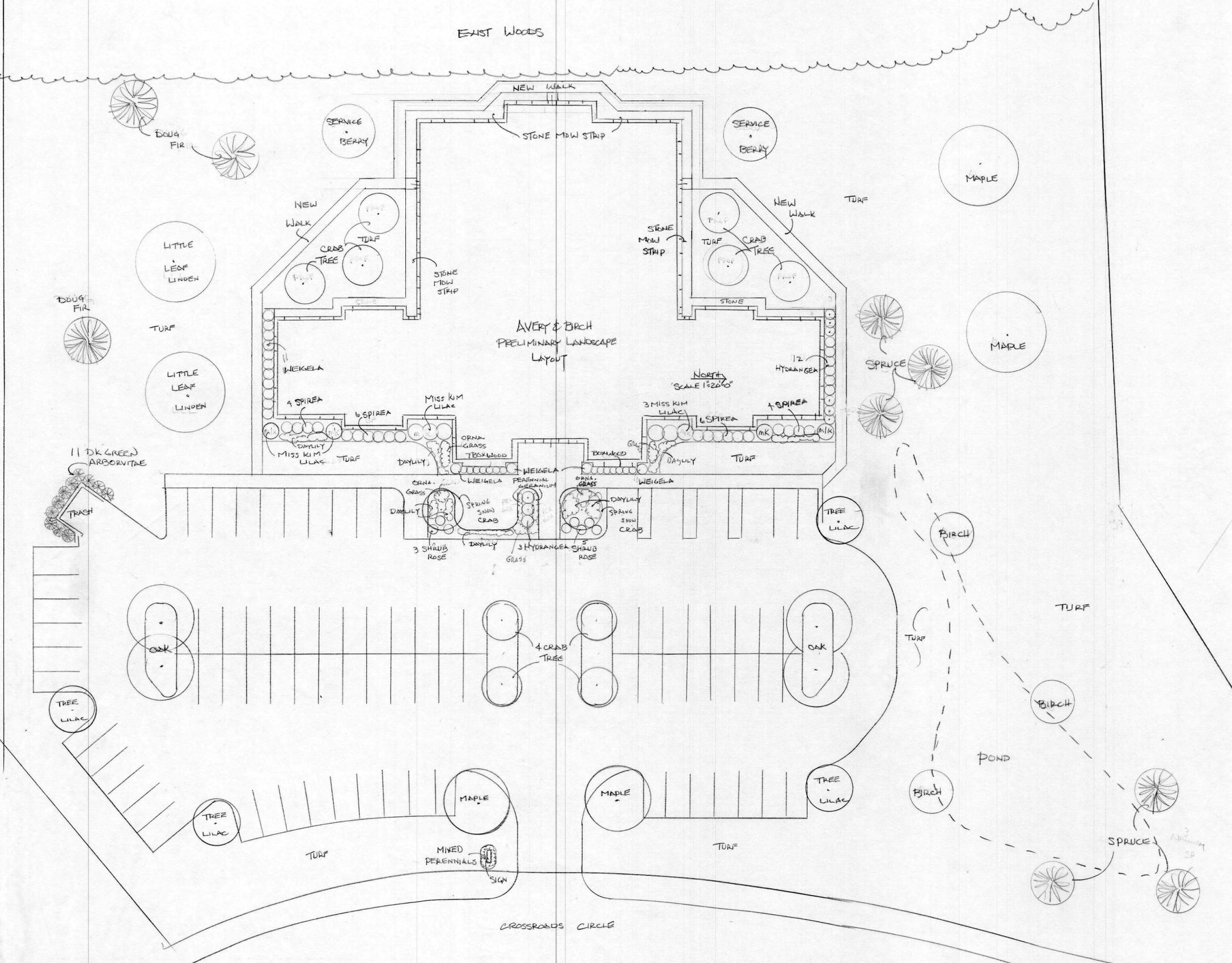
QUOTE#  
Drawn By: Nick Rooyakkers  
Date: 3/31/2025  
Scale: 1 in = 24ft

Avery & Birch  
Brookfield, WI

EXIST WOODS

AVERY & BRCH  
PRELIMINARY LANDSCAPE  
LAYOUT

NORTH  
SCALE 1/32" = 1'-0"



11 DK GREEN ARBORVITAE

TRASH

TREE LILAC

OAK

TREE LILAC

MAPLE

MIXED PERENNIALS

SIGN

CROSSROADS CIRCLE

MAPLE

TREE LILAC

BIRCH

POND

BIRCH

SPRUCE

3 ARBORVITAE

SP

TURF

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MAPLE

MAPLE

SPRUCE

SERVICE BERRY

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3 HYDRANGEA SHRUB ROSE

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ORNA GRASS

DAYLILY

SPRING SNOW CRAB

3 SHRUB ROSE

TREE LILAC

BIRCH

TURF

TURF



Building a Better World  
for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: April 24, 2025  
PC MEETING DATE: April 28, 2025

RE: **Wimmer Communities – Town Center Building – Site Plan Amendment  
20200 W Bluemound Rd & 20500 Crosstown Avenue**

**Applicant:** David Wimmer and Nick Wimmer (Wimmer Communities)

**Application Type:** Site Plan Amendment Approval

### **Request**

Applicants are requesting review and approval for an amended site plan for the Town Center building (building #2 in the Poplar Creek Town Center development) for the property located at 20200 West Bluemound Road & 20500 Crosstown Avenue.

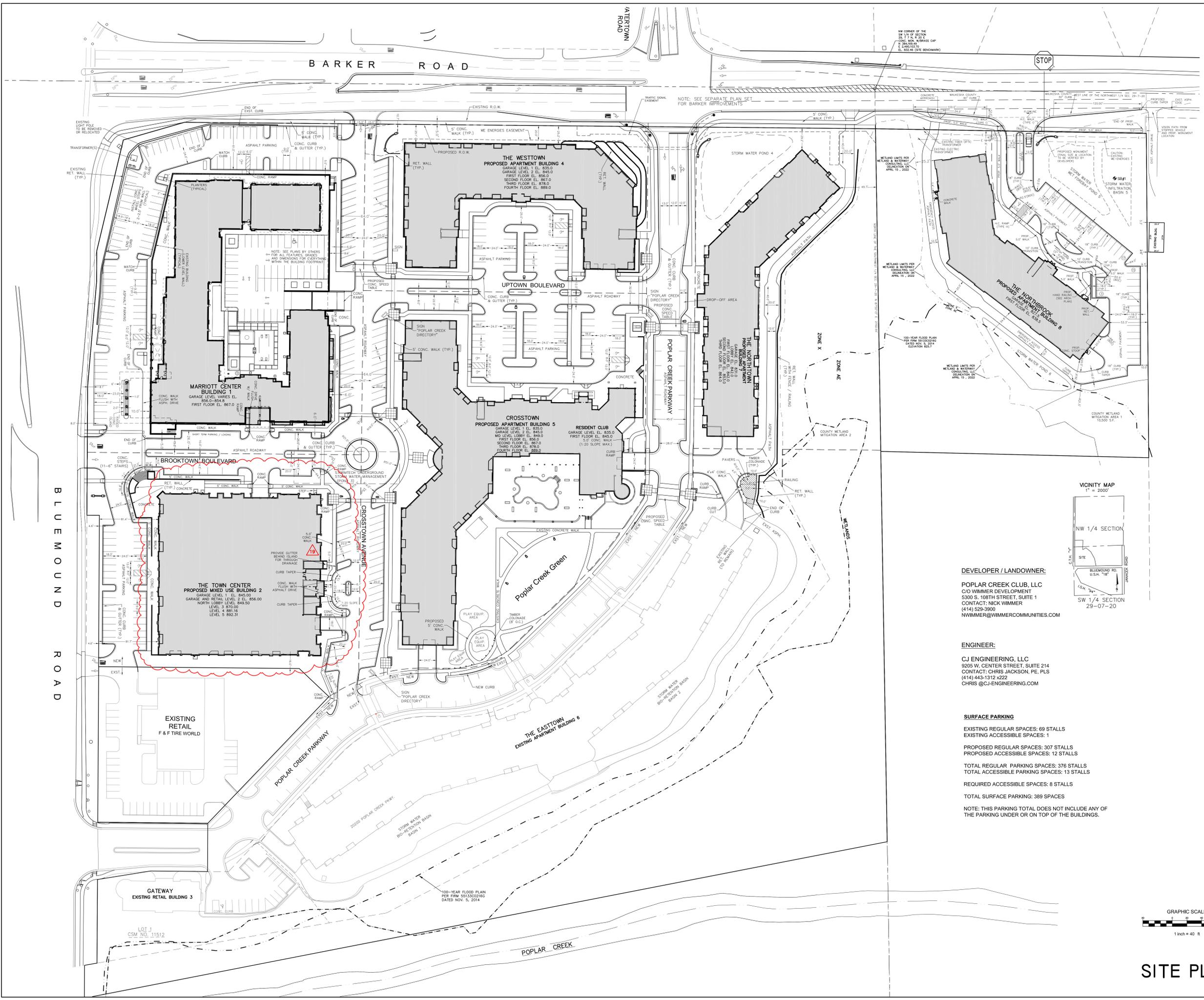
### **Summary of Request**

- All buildings within the Poplar Creek Town Center are either constructed or in the process of construction except for building 2, which is named the TownCenter building.
- Building 2 is located along Bluemound Road and Brooktown Boulevard to the south of the new hotel.
- The applicant anticipates construction to begin in July 2025.
- Original approved plans
  - The 2022 Poplar Creek Town Center Master Plan anticipated the TownCenter as a 4-story building with 99 residential apartments and 12,200 square feet of retail space supported by 170 enclosed parking stalls and 44 surface parking stalls.
  - While finalizing the design for the building, architectural dynamics and construction logistics have influenced the final design strategy, according to the applicant.
- Proposed Building
  - 4-story building with 80 residential apartments and a minimum of 6,794 square feet of retail space supported by a minimum of 183 enclosed parking stalls and 52 surface parking stalls.
  - This design allows for initially providing additional garage parking for the hotel and retail use in the adjoining Marriott Center should it be necessary once those facilities and Building 2 are occupied.
  - Following lease up, the design offers the flexibility of converting a portion of the flex parking to convert several parking stalls to additional retail space. The building will always maintain a minimum of 183 enclosed parking stalls.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

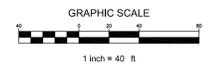
- Due to these proposed changes, the applicant must submit updated civil plans and architectural floorplans and exterior elevations. The PC is responsible for reviewing the updated site plan changes. The Town Board will review all proposed changes.
- Site plan changes
  - The applicants will provide more information regarding the proposed changes during the meeting.



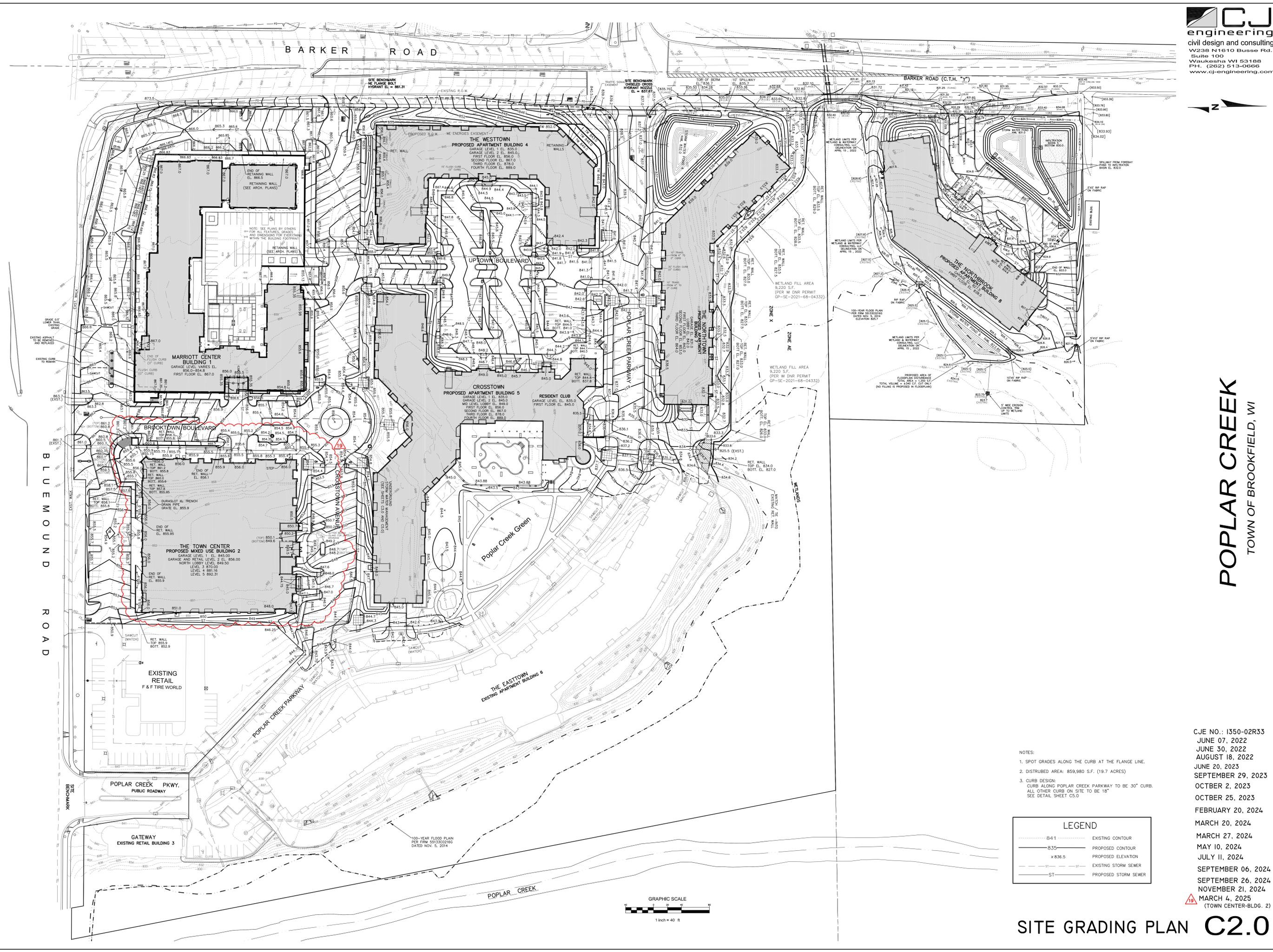
**DEVELOPER / LANDOWNER:**  
 POPLAR CREEK CLUB, LLC  
 C/O WIMMER DEVELOPMENT  
 5300 S. 108TH STREET, SUITE 1  
 CONTACT: NICK WIMMER  
 (414) 529-3900  
 NWIMMER@WIMMERCOMMUNITIES.COM

**ENGINEER:**  
 CJ ENGINEERING, LLC  
 9205 W. CENTER STREET, SUITE 214  
 CONTACT: CHRIS JACKSON, PE, PLS  
 (414) 443-1312 x222  
 CHRIS@CJ-ENGINEERING.COM

**SURFACE PARKING**  
 EXISTING REGULAR SPACES: 69 STALLS  
 EXISTING ACCESSIBLE SPACES: 1  
 PROPOSED REGULAR SPACES: 307 STALLS  
 PROPOSED ACCESSIBLE SPACES: 12 STALLS  
 TOTAL REGULAR PARKING SPACES: 376 STALLS  
 TOTAL ACCESSIBLE PARKING SPACES: 13 STALLS  
 REQUIRED ACCESSIBLE SPACES: 8 STALLS  
 TOTAL SURFACE PARKING: 389 SPACES  
 NOTE: THIS PARKING TOTAL DOES NOT INCLUDE ANY OF THE PARKING UNDER OR ON TOP OF THE BUILDINGS.



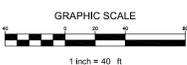
CJE NO.: I350-02R34  
 JUNE 07, 2022  
 JUNE 30, 2022  
 AUGUST 18, 2022  
 JUNE 20, 2023  
 SEPTEMBER 29, 2023  
 FEBRUARY 20, 2024  
 MARCH 20, 2024  
 MARCH 27, 2024  
 JUNE 18, 2024  
 JUNE 20, 2024  
 JULY 11, 2024  
 SEPTEMBER 06, 2024  
 SEPTEMBER 26, 2024  
 NOVEMBER 21, 2024  
 MARCH 4, 2025  
 (TOWN CENTER-BLDG. 2)



**POPLAR CREEK**  
 TOWN OF BROOKFIELD, WI

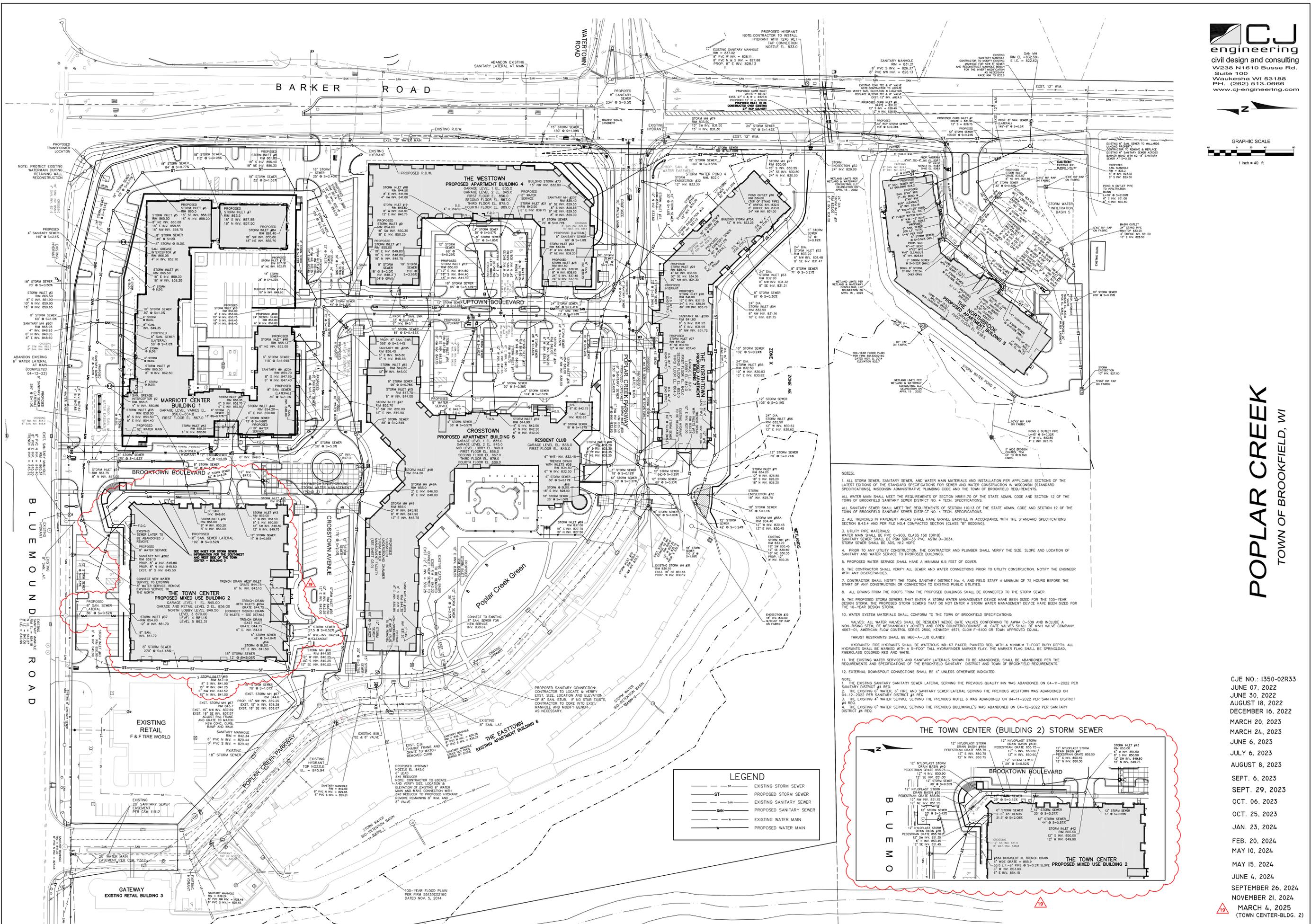
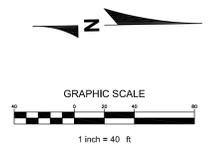
- NOTES:
- SPOT GRADES ALONG THE CURB AT THE FLANGE LINE.
  - DISTURBED AREA: 859,980 S.F. (19.7 ACRES)
  - CURB DESIGN:  
 CURB ALONG POPLAR CREEK PARKWAY TO BE 30" CURB.  
 ALL OTHER CURB ON SITE TO BE 18"  
 SEE DETAIL SHEET C5.0

LEGEND	
.....	EXISTING CONTOUR
-----	PROPOSED CONTOUR
x 836.5	PROPOSED ELEVATION
---	EXISTING STORM SEWER
---	PROPOSED STORM SEWER



- CJE NO.: 1350-02R33  
 JUNE 07, 2022  
 JUNE 30, 2022  
 AUGUST 18, 2022  
 JUNE 20, 2023  
 SEPTEMBER 29, 2023  
 OCTOBER 2, 2023  
 OCTOBER 25, 2023  
 FEBRUARY 20, 2024  
 MARCH 20, 2024  
 MARCH 27, 2024  
 MAY 10, 2024  
 JULY 11, 2024  
 SEPTEMBER 06, 2024  
 SEPTEMBER 26, 2024  
 NOVEMBER 21, 2024  
 MARCH 4, 2025  
 (TOWN CENTER-BLDG. 2)

**SITE GRADING PLAN C2.0**



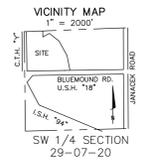
- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE TOWN OF BROOKFIELD REQUIREMENTS.
  2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS.
  3. UTILITY PIPE MATERIALS:  
 WATER MAIN SHALL BE PER SECTION 110.13 OF THE STATE ADMIN. CODE AND SECTION 12 OF THE TOWN OF BROOKFIELD SANITARY SEWER DISTRICT NO. 4 TECH. SPECIFICATIONS.  
 ALL SANITARY SEWER SHALL MEET THE REQUIREMENTS OF SECTION 110.13 OF THE STATE ADMIN. CODE AND SECTION 12 OF THE TOWN OF BROOKFIELD SANITARY SEWER DISTRICT NO. 4 TECH. SPECIFICATIONS.
  4. PRIOR TO ANY UTILITY CONSTRUCTION, THE CONTRACTOR AND PLUMBER SHALL VERIFY THE SIZE, SLOPE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS.
  5. PROPOSED WATER SERVICE SHALL HAVE A MINIMUM 6.5 FEET OF COVER.
  6. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
  7. CONTRACTOR SHALL NOTIFY THE TOWN, SANITARY DISTRICT NO. 4, AND FIELD STAFF A MINIMUM OF 72 HOURS BEFORE THE START OF ANY CONSTRUCTION OR CONNECTION TO EXISTING PUBLIC UTILITIES.
  8. ALL DRAINS FROM THE ROOFS FROM THE PROPOSED BUILDINGS SHALL BE CONNECTED TO THE STORM SEWER.
  9. THE PROPOSED STORM SEWERS THAT ENTER A STORM WATER MANAGEMENT DEVICE HAVE BEEN SIZED FOR THE 100-YEAR DESIGN STORM. THE PROPOSED STORM SEWERS THAT DO NOT ENTER A STORM WATER MANAGEMENT DEVICE HAVE BEEN SIZED FOR THE 10-YEAR DESIGN STORM.
  10. WATER SYSTEM MATERIALS SHALL CONFORM TO THE TOWN OF BROOKFIELD SPECIFICATIONS.  
 VALVES: ALL WATER VALVES SHALL BE RESILIENT WEDGE GATE VALVES CONFORMING TO ANNA C-509 AND INCLUDE A NON-ROISING STEM, BE MECHANICALLY JOINTED AND OPEN COUNTERCLOCKWISE. AL GATE VALVES SHALL BE MAH VALVE COMPANY 4067-00, AMERICAN FLOW CONTROL SERIES 2000, CROWDY 4571, CLOW F-6100 OR TOWN APPROVED EQUAL.  
 THRUST RESTRAINTS SHALL BE MEC-A-LUG CLAMPS.
  11. THE EXISTING WATER SERVICES AND SANITARY LATERALS SHOWN TO BE ABANDONED, SHALL BE ABANDONED PER THE REQUIREMENTS AND SPECIFICATIONS OF THE BROOKFIELD SANITARY DISTRICT AND TOWN OF BROOKFIELD REQUIREMENTS.
  12. EXTERNAL DOWNSPOUT CONNECTIONS SHALL BE 4" UNLESS OTHERWISE INDICATED.
- NOTE:**
1. THE EXISTING SANITARY SANITARY LATERAL SERVING THE PREVIOUS QUALITY INN WAS ABANDONED ON 04-11-2022 PER SANITARY DISTRICT #4 REQ.
  2. THE EXISTING 4" WATER SERVICE SERVING THE PREVIOUS WESTWIND WAS ABANDONED ON 04-12-2022 PER SANITARY DISTRICT #4 REQ.
  3. THE EXISTING 4" WATER SERVICE SERVING THE PREVIOUS MOTEL 6 WAS ABANDONED ON 04-11-2022 PER SANITARY DISTRICT #4 REQ.
  4. THE EXISTING 4" WATER SERVICE SERVING THE PREVIOUS BULLWINKLE'S WAS ABANDONED ON 04-12-2022 PER SANITARY DISTRICT #4 REQ.

CJE NO.: 1350-02R33  
 JUNE 07, 2022  
 JUNE 30, 2022  
 AUGUST 18, 2022  
 DECEMBER 16, 2022  
 MARCH 20, 2023  
 MARCH 24, 2023  
 JUNE 6, 2023  
 JULY 6, 2023  
 AUGUST 8, 2023  
 SEPT. 6, 2023  
 SEPT. 29, 2023  
 OCT. 06, 2023  
 OCT. 25, 2023  
 JAN. 23, 2024  
 FEB. 20, 2024  
 MAY 10, 2024  
 JUNE 4, 2024  
 SEPTEMBER 26, 2024  
 NOVEMBER 21, 2024  
 MARCH 4, 2025  
 (TOWN CENTER-BLDG. 2)



**POPLAR CREEK**  
 TOWN OF BROOKFIELD, WI

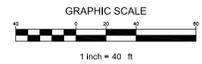
**Original Site Plan**



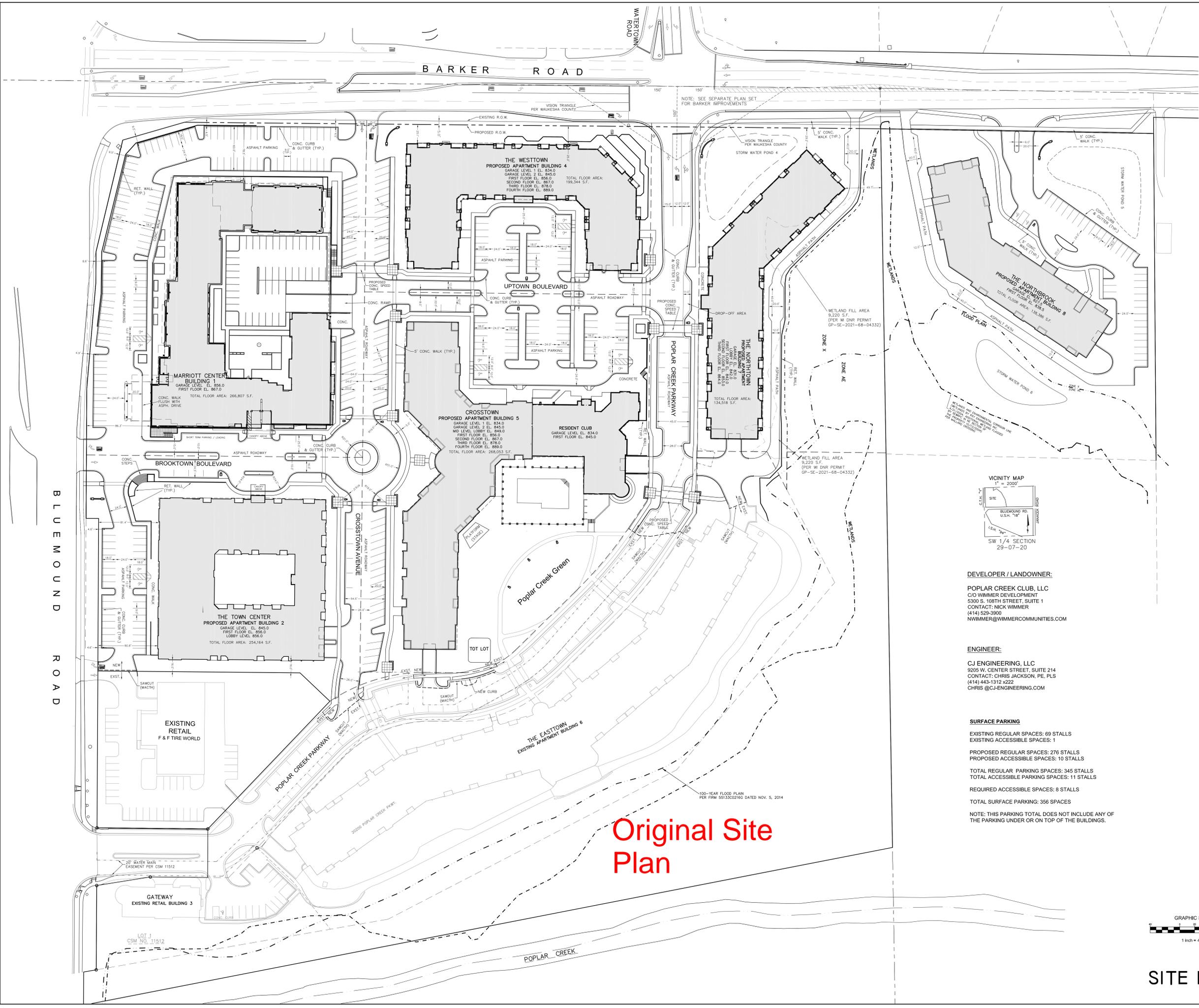
**DEVELOPER / LANDOWNER:**  
 POPLAR CREEK CLUB, LLC  
 C/O WIMMER DEVELOPMENT  
 5300 S. 108TH STREET, SUITE 1  
 CONTACT: NICK WIMMER  
 (414) 529-3900  
 NWIMMER@WIMMERCOMMUNITIES.COM

**ENGINEER:**  
 CJ ENGINEERING, LLC  
 9205 W. CENTER STREET, SUITE 214  
 CONTACT: CHRIS JACKSON, PE, PLS  
 (414) 443-1312 x222  
 CHRIS@CJ-ENGINEERING.COM

**SURFACE PARKING**  
 EXISTING REGULAR SPACES: 69 STALLS  
 EXISTING ACCESSIBLE SPACES: 1  
 PROPOSED REGULAR SPACES: 276 STALLS  
 PROPOSED ACCESSIBLE SPACES: 10 STALLS  
 TOTAL REGULAR PARKING SPACES: 345 STALLS  
 TOTAL ACCESSIBLE PARKING SPACES: 11 STALLS  
 REQUIRED ACCESSIBLE SPACES: 8 STALLS  
 TOTAL SURFACE PARKING: 356 SPACES  
 NOTE: THIS PARKING TOTAL DOES NOT INCLUDE ANY OF THE PARKING UNDER OR ON TOP OF THE BUILDINGS.



CJE NO.: 1350-02R18  
 APRIL II, 2022





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## TOWN OF BROOKFIELD PLAN COMMISSION REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: April 24, 2025  
PC MEETING DATE: April 28, 2025

RE: **The Corners – Market Street Reconfiguration – Site Plan Amendment  
Market Street BKFT1123960**

SEH No. 171421, TASK 99

**Applicant:** Thomas Kafkes – Corners of Brookfield; IM Property Investments (USA) LLC

**Application Type:** Site Plan Amendment Approval

### **Request**

Applicant is requesting site plan amendment approval for the reconfiguration of Market Street.

### **Summary of Request**

- The Corners of Brookfield is a planned unit development – compact development form that was approved by the Town in 2015.
- The Corners of Brookfield is proposing to repair and reconfigure Market Street. This is considered to be a site plan amendment and requires review and recommendation by the Plan Commission and approval by the Town Board.
- Current parking spaces = 9
  - Proposed parking spaces = 11
- The existing street has parking provided on the east side of the street and the proposed layout shows 4 parking spaces on the east side and 7 spaces on the west side, including 2 ADA compliant stalls. The proposed changes also shows planters with seating, colored speed table crosswalks, bollards, and other streetscaping elements.
- The plans also show updated landscaping plans.
- The Town Engineer reviewed the plans and did not have any concerns with proposed changes.

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351  
SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

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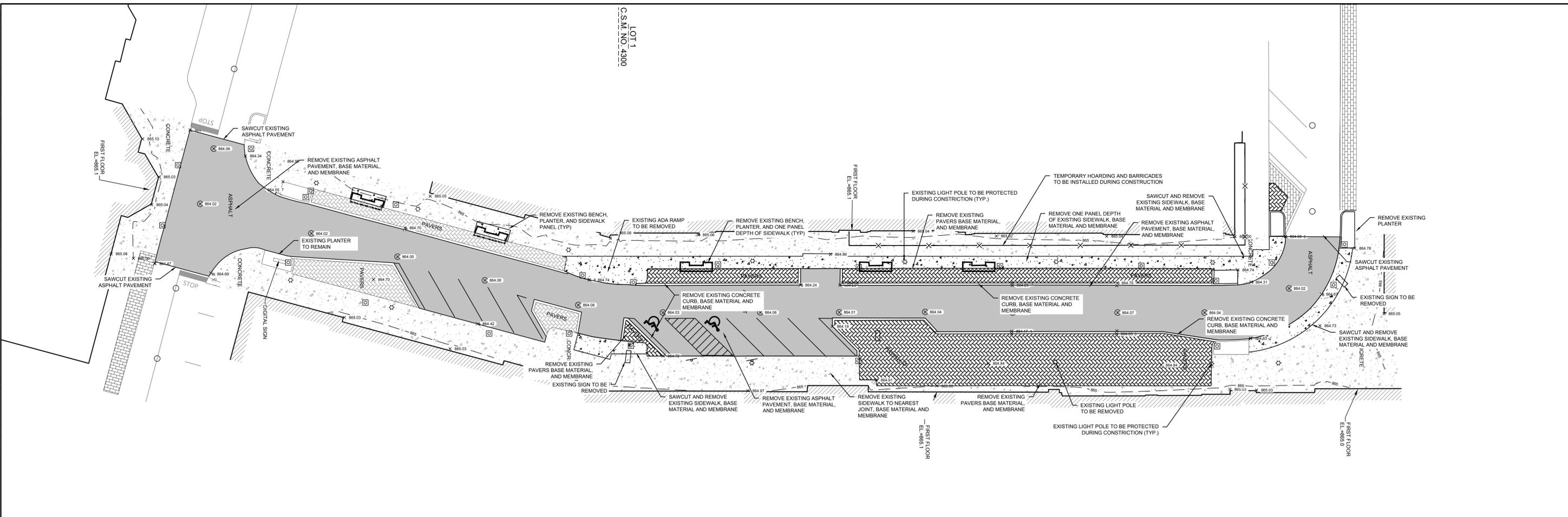
REVIEWED: AKH

DESIGNED:

DRAFTED: DNL

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EXISTING CONDITIONS & DEMOLITION PLAN



- GENERAL SPECIFICATIONS FOR CONSTRUCTION ACTIVITIES
1. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, THE STANDARD SPECIFICATIONS FOR SEWER & WATER IN WISCONSIN, AND WISCONSIN ADMINISTRATIVE CODE, SPS 360, 382-383, AND THE LOCAL ORDINANCES AND SPECIFICATIONS.
  2. THE CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK. THE CONTRACTOR SHALL CONDUCT HIS WORK ACCORDING TO THE REQUIREMENTS OF THE PERMITS.
  3. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE MUNICIPALITY FORTY- EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
  4. THE MUNICIPALITY SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF THE PUBLIC PORTIONS OF THE WORK. THE OWNER SHALL HAVE THE RIGHT TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION OF ALL PRIVATE PORTIONS OF THE WORK.
  5. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC, FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
  6. SITE SAFETY SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  7. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL UTILITY INFORMATION SHOWN ON THE PLANS PRIOR TO THE START OF CONSTRUCTION.
  8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE RESTORED BY THE CONTRACTOR.
  9. TRASH AND DEBRIS SHALL BE NOT BE ALLOWED TO ACCUMULATE ON THIS SITE AND THE SITE SHALL BE CLEAN UPON COMPLETION OF WORK. THE OWNER SHALL HAVE THE RIGHT TO HAVE ALL MATERIALS USED IN CONSTRUCTION TESTED FOR COMPLIANCE WITH THESE SPECIFICATIONS.



GRAPHICAL SCALE (FEET)

0 1" = 20' 40'

PLAN | DESIGN | DELIVER  
www.pinnacle-engr.com

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ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:  
20725 WATERTOWN ROAD, SUITE 100  
BROOKFIELD, WI 53186  
(262) 754-8888  
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**THE CORNERS - MARKET STREET**

**BROOKFIELD, WI**

**EXISTING CONDITIONS & DEMOLITION PLAN**

REVISIONS

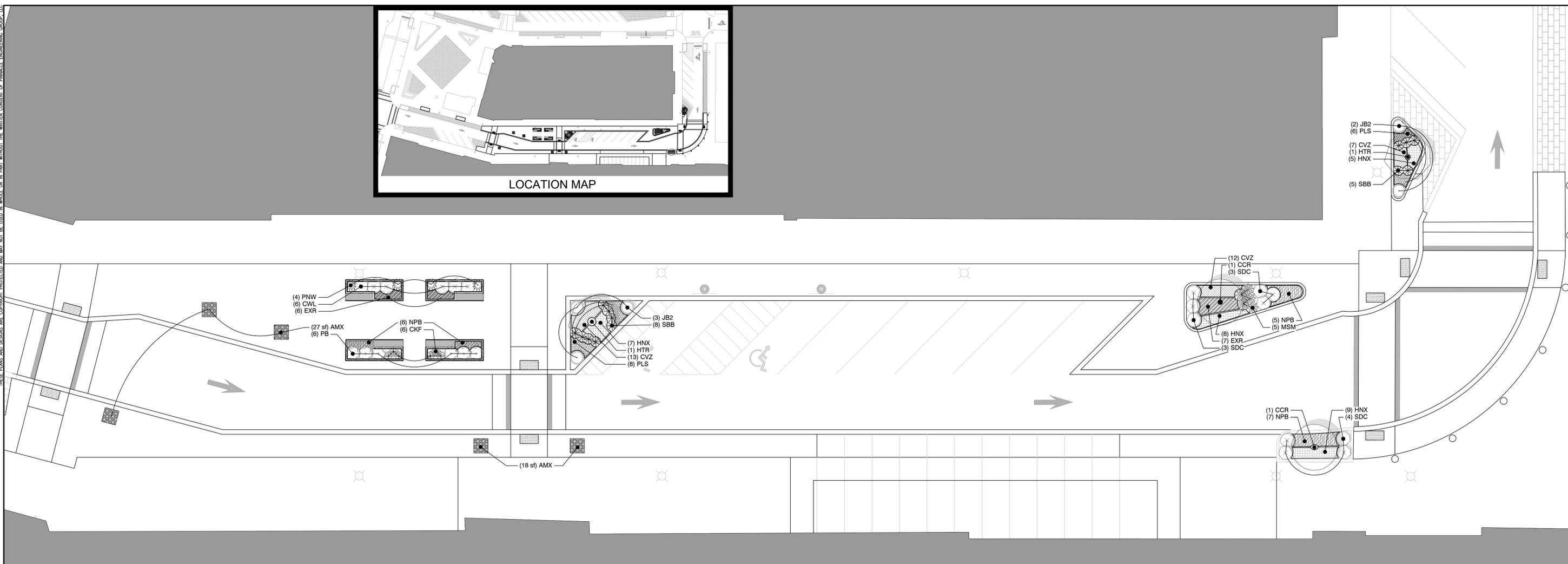
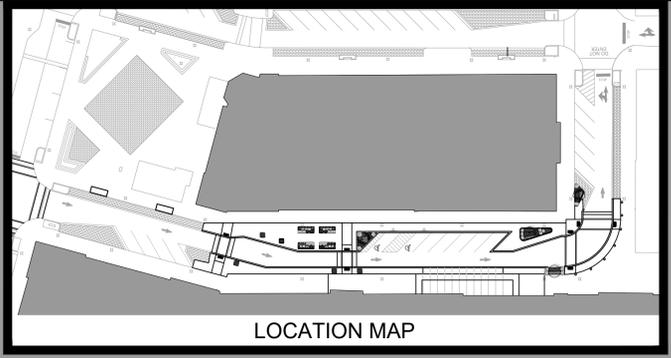

REG JOB No. 1987.10  
REG PM AREK  
START DATE 02/11/25  
SCALE 1" = 20'

SHEET  
C-1  
C-2

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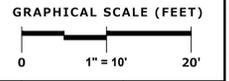
DESIGNED: JSJ  
 DRAFTED: JSJ  
 REVIEWED: DJB  
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PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
<b>SHRUBS</b>					
	CWL	6	Cotinus coggygria 'Lilla'	Lilla Dwarf Smoke Tree	18" Ht.
	PB	6	Potentilla fruticosa 'Minporoug01'	Happy Face Orange Bush Cinquefoil	18" Ht.
	SDC	10	Spiraea japonica 'NCSX1'	Double Play Candy Corn Spirea	18" Ht.
<b>EVERGREEN SHRUBS</b>					
	JB2	5	Juniperus horizontalis 'Blue Forest'	Blue Forest Creeping Juniper	2 gal.
<b>ORNAMENTAL GRASSES</b>					
	CKF	6	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.
	MSM	5	Miscanthus sinensis 'Malepartus'	Malepartus Miscanthus	1 gal.
	PNW	4	Panicum virgatum 'Northwind'	Northwind Switch Grass	1 gal.
	SBB	13	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem	1 gal.
<b>TREE FORM SHRUB</b>					
	CCR	2	Cotinus coggygria 'Royal Purple' TF	Royal Purple Smokebush TF	5' Ht.
	HTR	2	Hydrangea paniculata 'Tardiva' TF	Tardiva Panicle Hydrangea TF	5' Ht.

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>ANNUALS</b>						
	AMX	45 sf	Annual Mix	Annual Mix (To be Provided by Owner)	---	
<b>PERENNIALS</b>						
	CVZ	32	Coreopsis verticillata 'Zagreb'	Zagreb Coreopsis	4.5" cont.	16" o.c.
	EXR	13	Echinacea x 'IFECSSRA'	SunSeekers Rainbow Coneflower	4.5" cont.	24" o.c.
	HNX	29	Hemerocallis x 'New Hybrids Mix'	New Hybrids Mix Daylily	4.5" cont.	20" o.c.
	NPB	18	Nepeta x faassenii 'Purrsian Blue'	Purrsian Blue Catmint	4.5" cont.	24" o.c.
	PLS	14	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	4.5" cont.	22" o.c.

* ALTERNATIVE PLANTS FOR ANNUALS IN 3' x 3' PLANTERS				
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	15	Schizachyrium scoparium 'Blue Heaven'	Blue Heaven Little Bluestem	1 gal.



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**THE CORNERS - MARKET STREET**  
**BROOKFIELD, WI**

**LANDSCAPE PLAN**

REVISIONS	

REG. JOB No. 1987.10  
 REG. PM: AEK  
 START DATE: 03/05/25  
 SCALE: 1" = 10'  
 SHEET: L-1, L-2  
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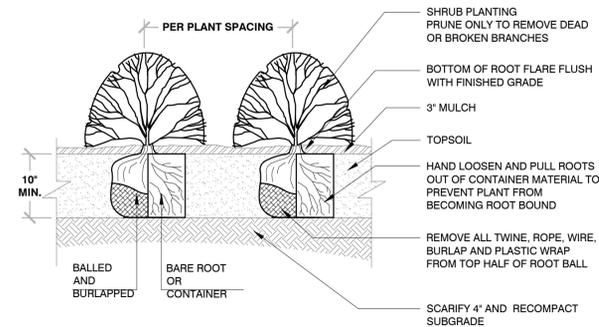
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 DESIGNED: JSJ  
 DRAWN: JSJ  
 REVIEWED: DUB  
 DATE: 03/05/23

**GENERAL PLANTING NOTES**

- THE LAYOUT OF SHRUBS AND PERENNIALS WITHIN PLANTING BEDS SHALL BE PLACED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. AN APPROVED REPRESENTATIVE WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL ALSO INCLUDE PERENNIAL GROUPINGS BY SPECIES.
- THE CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BNB STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION, IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 5A. EXISTING SOIL SHALL BE AMENDED PER SOIL ANALYSIS REPORT TO ENSURE A PROPER GROWING MEDIUM IS ACHIEVED.
- ALL PLANT MATERIAL SHALL COMPLY WITH STANDARDS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - Z60.1 ANSI. LANDSCAPE ARCHITECT OR OWNERS AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND POTENTIALLY REJECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND DEFORMITIES.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING SHRUBS, BACKFILL 2/3 OF PLANTING HOLE AND WATER THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE WATER THOROUGHLY AGAIN.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AS SHOWN IN PLANTING DETAILS.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE REPORTED TO THE LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE INSTRUCTIONS.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE REPLACEMENT PER PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE INSTRUCTIONS, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

**SOIL PLACEMENT NOTES**

- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTI-MULCHER OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEIOUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL.
- THOROUGHLY BLEND PLANTING SOIL MIX FOR PLANTING BED AREAS. (1 PART EXISTING SOIL, 1 PART TOPSOIL, 1 PART ORGANIC SOIL AMENDMENT, 2.9 POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW-RELEASE FERTILIZER)
- SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX.
- SPREAD SOIL AND SOIL AMENDMENTS TO DEPTH INDICATED ON DRAWINGS, BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. (FINISH GRADE OF PLANTING BEDS SHALL BE 3" BELOW ALL ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.)
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORM FINE TEXTURE.
- ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.

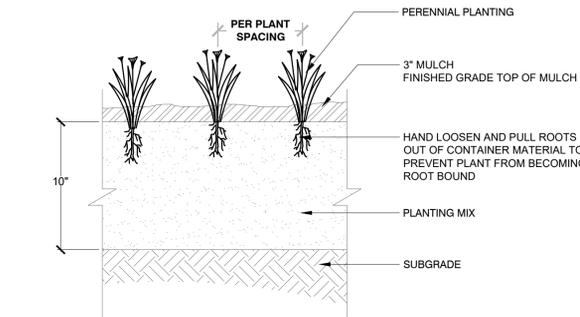


- BAREROOT PLANTING NOTES:**
- SOAK ROOTS IN WATER FOR AT LEAST ONE HOUR BUT NOT MORE THAN 24 HOURS PRIOR TO PLANTING.
  - SCARIFY SIDES AND BOTTOMS OF HOLE.
  - PROCEED WITH CORRECTIVE PRUNING OF THE TOP AND BOTTOM ROOTS.
  - TRANSFER PLANT DIRECTLY FROM WATER TO HOLE. SET PLANT SO THE ROOT FLARE IS APPROXIMATELY AT THE FINISHED SOIL ELEVATION. SPREAD ROOTS OUT EVENLY. PLUMB AND IMMEDIATELY BACKFILL WITH PLANTING SOIL MIX.
  - WATER THOROUGHLY WITHIN 2 HOURS TO SETTLE PLANTS AND FILL VOIDS.
  - BACKFILL VOIDS AND WATER SECOND TIME.
  - PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

**1 SHRUB PLANTING**

1/2" = 1'-0"

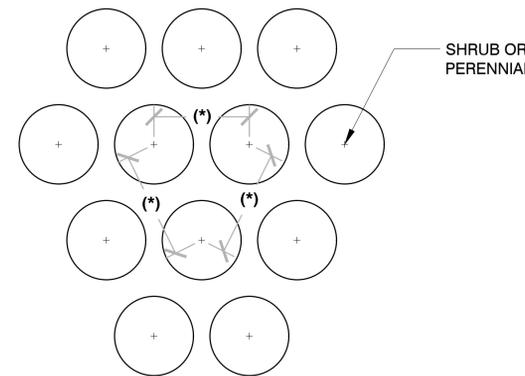
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**2 PERENNIAL PLANTING**

1" = 1'-0"

32 93-01



(\*) = SPECIFIED PLANT SPACING PER PLANTING LIST

**3 PLANT SPACING**

3/4" = 1'-0"

32 93-02

PLANT KEY			PLANT KEY		
PHOTO	SYMBOL	BOTANICAL / COMMON NAME	PHOTO	SYMBOL	BOTANICAL / COMMON NAME
<b>SHRUBS</b>			<b>ANNUALS</b>		
					Annual Mix Annual Mix (To be Provided by Owner)
			<b>PERENNIALS</b>		
		Cotinus coggygria 'Lilla' Lilla Dwarf Smoke Tree 4' T x 3' W			Coreopsis verticillata 'Zagreb' Zagreb Coreopsis 20' T x 16' W
		Potentilla fruticosa 'Minporoug01' Happy Face Orange Bush Cinquefoil 2.5' T x 3' W			Echinacea x 'FECSSRA' SunSeekers Rainbow Coneflower 36" T x 24" W
		Spirea japonica 'NCSX1' Double Play Candy Corn Spirea 2' T x 3' W			Hemerocallis x 'New Hybrids Mix' New Hybrids Mix Daylily 20" T x 20" W
<b>EVERGREEN SHRUBS</b>					Nepeta x 'fassenii' 'Purrsian Blue' Purrsian Blue Catmint 14' T x 24' W
		Juniperus horizontalis 'Blue Forest' Blue Forest Creeping Juniper 1' T x 4' W			Perovskia atriplicifolia 'Little Spire' Little Spire Russian Sage 24" T x 24" W
<b>ORNAMENTAL GRASSES</b>					
		Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass 36" T x 24" W			
		Miscanthus sinensis 'Malepartus' Malepartus Miscanthus 48" T x 30" W			
		Panicum virgatum 'Northwind' Northwind Switch Grass 48" T x 30" W			
		Schizachyrium scoparium 'Blue Heaven' Blue Heaven Little Bluestem 36" T x 26" W			
<b>TREE FORM SHRUB</b>					
		Cotinus coggygria 'Royal Purple' TF Royal Purple Smokebush TF 12' T x 12' W			
		Hydrangea paniculata 'Tardiva' TF Tardiva Panicle Hydrangea TF 10' T x 10' W			

**PINNACLE ENGINEERING GROUP**  
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 (262) 754-8888  
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**THE CORNERS - MARKET STREET**  
 BROOKFIELD, WI

**LANDSCAPE GENERAL NOTES & DETAILS**

**REVISIONS**


SHEET  
**L-2**  
 L-2  
 REG. JOB NO. 1987-10  
 REG. PM. ALEK  
 START DATE 03/05/23  
 SCALE VARIES  
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