

**Town of Brookfield**  
645 N. Janacek Road  
Brookfield, WI 53045  
(P) 262-796-3788  
(F) 262-796-0339



## **MEETING NOTICE**

Meeting will be held at the  
Town of Brookfield Municipal Building, Eric Gnant Room  
645 N. Janacek Road, Brookfield, WI

**Wednesday, May 14, 2025**

### **Architectural Review Committee**

**6:00 p.m**

### **AGENDA**

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
  - a. April 9, 2025 Meeting Minutes
- 5) Old Business:
  - a. None.
- 6) New Business:
  - a. Adrian Mois (Nova Signs), representing Brookfield Animal Hospital, is requesting approval for two wall mounted signs, monument sign tenant panels, and permanent window signage, located at 18000 W Bluemound Road.
  - b. Dan Schaefer (Sign Works), representing Thrivent, is requesting approval for replacing an existing monument sign with a new monument sign with tenant panel signs, located at 20935 Swenson Drive.
  - c. Dan Anheuser (Bazaar Home Decorating) is requesting approval for installation of two new wall mounted signs, located at 21950 Watertown Road.
  - d. Dave Salkin (Signs & Lines by Stretch), representing Bombshell Theater, is requesting approval for installation of a wall mounted sign and monument sign tenant panels, located at 19700 West Bluemound Road.
  - e. Ryan Janssen (Avery & Birch) is requesting final approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.
  - f. Jim Taylor (Oscar's Frozen Custard) is requesting preliminary and final approval for a new drive-thru on the property located at 21165 Highway 18 and adjacent property to the east.
  - g. Luke Sebald (Keller, Inc), representing Bancroft Engineering, is requesting preliminary and final approval for an addition to an existing manufacturing building, located at 21550 Doral Road.
- 7) Communication and Announcements.
- 8) Adjourn.

*Posted this 8th day of May, 2025*

*Bryce Hembrook  
Town Planner*

TOWN OF BROOKFIELD  
ARCHITECTURAL REVIEW COMMITTEE MINUTES  
April 9, 2025

The regular meeting of the Architectural Review Committee was held in the East Conference Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER

Supervisor Steve Kohlmann called the meeting to order at 6:00 p.m. with the following people present: Town Planner Bryce Hembrook; and Committee members, Richard Diercksmeier, Alan Lee, and Matt Paris. Town Supervisor John Charlier attended via Zoom.

2) MEETING NOTICES

Planner Hembrook reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA

Motion by Paris to approve the agenda.

Seconded by Lee.

*Motion carried unanimously.*

4) APPROVAL OF MINUTES

Motion by Paris to approve the minutes of the March 12, 2025 minutes as presented.

Seconded by Lee.

*Motion carried unanimously.*

5) OLD BUSINESS

a. None.

6) NEW BUSINESS

a. Lisa Burck (Innovative Signs) representing Innovative Signs, requesting review and approval for a permanent freestanding monument sign, located at 21700 Doral Road.

Hembrook reviewed the proposal as outlined in the SEH Staff report, including the following: The sign is proposed to be internally illuminated, and is approximately 60 square feet including the support structure and 6 ½ feet high. Hembrook noted that the location is very close to the 5-foot setback requirement and described options to meet the setback. Address numerals are included near the top of the sign. A nighttime rendering is provided and the proposed colors are blue, yellow, and white. Chad Schultz with Innovative Signs indicated that he could make the necessary changes to meet the setback. The sign is parallel to Doral Road.

Motion by Lee to approve a permanent freestanding monument sign for Innovative Signs, located at 21700 Doral Road as presented.

Seconded by Diercksmeier.

Further discussion:

None.

*Motion carried unanimously.*

b. Jamie Papini, representing Olive Garden, requesting review and approval for a proposed garbage enclosure in the parking area, located at 18180 West Bluemound Road.

Alex Kaeding was present to represent Olive Garden, and reported that new renderings had been submitted. Hembrook reviewed the proposal. The materials are basically the same as the current enclosure. The original plan was to expand

the existing enclosure; however, the Town Engineer and Hembrook determined that the access drive would not meet code, thus the reason for new renderings. The second enclosure would be closer to the building. Hembrook noted that the Architectural Review Committee (ARC) may refer this to the Town Board for their review since this alters the site plan. The material is a combination of brick and concrete. There is still a shed on the parcel. Bollards would be on the back of the enclosure. Paris stated that he would like to approve without Town Board approval. Kohlmann noted that Town Board is usually interested in dumpster enclosures. Charlier added that this is not as visible and would approve as is without Town Board review. Kohlmann stressed that Hembrook should work with the applicant on bollard placement. Kaeding noted that typically is to set them in between 18 – 24 inches from the back inside of the enclosures. The current bollards are 2 feet.

Motion by Paris to approve a garbage enclosure in the parking area for Olive Garden located at 18180 West Bluemound Road pending Hembrook's review for bollards and aesthetics.

Seconded by Lee.

Further discussion:  
None.

*Motion carried unanimously.*

- c. Brian Green (Silver Leaf Signs & Graphics), representing Regus Sign, requesting review and approval for a permanent wall sign, located at 20225 Watertower Boulevard.

Hembrook described the proposed sign as follows: it would be 65.28 square feet with internally illuminated LED individual channel letters and one red dot. It will be located on the southeast corner of the building, which is quite close to a multi-family development to the south. Hembrook included that the code mentions that internally illuminated signs shall not face lands zoned or used for single-family or duplex use. The adjacent residential development would not fall under this requirement and therefore internally illuminated signs are allowed, but are still subject to ARC's approval. There is currently one sign on the building, and code mentions there is a maximum of two wall mounted signs per building for buildings principally used as offices, which is the case for this building. Proposed signage appears to meet code requirements, except for the sign area as outlined in the staff report, due to the lack of right-of-way. The ARC may decide to allow an exception if they believe the proposed sign meets the intent and purpose of the code.

Motion by Lee to approve a permanent wall sign for Regus Sign, located at 20225 Watertower Boulevard as presented.

Seconded by Diercksmeier.

Further Discussion:  
None.

*Motion Carried unanimously.*

- d. Mat Szula (Top Dog Remodeling) is requesting preliminary and final approval for the construction of a storage building for the property located at 1500 North Springdale Road.

Hembrook reviewed the proposal as outlined in the staff report, and noted that the Plan Commission (PC) reviewed and recommended approving conceptual, preliminary and final because it is a smaller scale project; with the contingency that the applicant update plans for grading, landscaping, lighting, and include information on the trash enclosure before it goes to Town Board. Mat Szula indicated the materials would match the existing buildings (after current remodeling project).

Motion by Paris to recommend preliminary and final approval for the construction of a storage building for the property located at 1500 North Springdale Road as presented.

Seconded by Lee.

Further Discussion:

None.

*Motion carried unanimously.*

- e. Ryan Janssen (Avery & Birch) is requesting recommendation for preliminary approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.

Hembrook reviewed the proposal as outlined in the staff report, including the following: the building is proposed at 16,550 square feet, single story, with approximately 85 parking stalls. There is one access drive, which PC does not see as an issue, however turning radius' need to be verified. The look of the building is white with black trim. Existing trees on the west side will remain. Hembrook informed Ryan Janssen that a lighting plan would need to be submitted for the whole property, not just the parking area. Setbacks and total floor area meet requirements. Comments from the Fire Department and Sanitary District were noted as in the staff report. Cutting back the island in the parking lot was mentioned to allow for a larger turning radius. It was the consensus that this proposal is much more appealing than one previously submitted, which was for a 3-story building.

Motion by Paris to recommend preliminary approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.

Seconded by Lee.

Further Discussion:

None.

*Motion carried unanimously.*

- f. David Wimmer and Nick Wimmer (Wimmer Communities) are requesting review and approval for amended architectural plans for the Town Center building (building #2 in the Poplar Creek Town Center development) for the property located at 20200 West Bluemound Road and 20500 Crosstown Avenue.

Hembrook noted that building #2 is located between the hotel in the Poplar Creek Development and Discount Tire to the east. Hembrook noted the location of a sign for Poplar Creek Town Center is along Bluemound Road. David Wimmer reported that the main entry for the residential component was on the west side (Brooktown Blvd) which was directly across from the Marriott Center underground parking garage. Wimmer wants to relocate the main entry to the north side of the building, directly across from the other residential buildings. Another change is to the parking garage access. There are two floors of parking, and the original plan was to have all access from the northeast corner. The change is there are now two access points, one for the lowest garage parking is from the north, and the second level of parking is accessed from the west, directly across from the Marriott Center garage. The last change that the center courtyard is proposed to be opened up to Bluemound, instead of enclosed. The sign that was originally proposed along Bluemound Road would be changed to be part of the entrance to the courtyard and architectural in nature, with a metal I-beam c-channel across the gap and signage for the development would be there. Materials for the building were clarified. Hembrook noted that the site plan is changing slightly, so Plan Commission will review, and Town Board will review all changes. Kohlmann inquired whether the signage size is allowed by code. Charlier asked if the sign is illuminated, and Wimmer responded that it would be a halo, backlit sign similar to other signs on the property. The site lighting plan is the same as what was previously approved. Paris would like details if there are any lighting changes. Kohlmann asked if there will be glow lighting at the very top of the building, and Wimmer confirmed there is.

Motion by Charlier to approve amended architectural plans for the Town Center building (building #2 in the Poplar Creek Town Center development) for the property located at 20200 West Bluemound Road and 20500 Crosstown Avenue as presented.

Seconded by Lee.

Further discussion:

None.

*Motion carried unanimously.*



g. Review proposed Sign Code amendments and provide feedback to Plan Commission.

Hembrook reported that many of the changes are for clarification, and when permits are required. Recommendation for setback for temporary signs was changed from 10 feet to 5 feet. Awning and canopy signs were added, since that has come up recently. Interior oriented sign (not facing right-of-way) clarification was mentioned. Handling violations is proposed to be added to the code. Hembrook noted there was a Supreme Court case that changed the way signs can be regulated by municipalities. Any suggestions should be directed to Bryce. Paris would like to see “bandit” signs that such as for painters, or landscapers (yard-type signs) be addressed. Those types of signs cannot be in the right-of-way. Grammatical errors will be checked for, Hembrook is asking for content related suggestions. Kohlmann asked about holiday/ seasonal decorations, especially permanent lights on houses. Hembrook had discussion regarding this and it could be in the nuisance chapter of the code, as opposed to the sign area. Paris suggested a light with a sign embedded (beacon sign) should be addressed. Hembrook noted that beacon signs fall under “prohibited” signs. Kohlmann suggested prohibiting “beacon” or “projected” signage. Hembrook asked if a “beacon” or “projected” sign were proposed on an internal part of a property, would the ARC be open to approving that. Response was generally leave as is, can grant an exception if it is appropriate.

7) COMMUNICATION AND ANNOUNCEMENTS

None.

8) ADJOURN

Motion by Paris to adjourn at 7:14 pm.

Seconded by Lee.

*Motion carried unanimously.*

Respectfully submitted,  
Bryce Hembrook, Town Planner

BH/lr



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for All of Us®

## TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: May 8, 2025

ACC MEETING DATE: May 14, 2025

RE: ARC Staff Report – May 2025 Agenda Items

### **Brookfield Animal Hospital – Sign Review**

**Applicant: Adrian Mois (Nova Signs) – Representing Brookfield Animal Hospital**

**Location: 18000 W Bluemound Rd (Harvard Square)**

**Request: Approval of two wall mounted signs, monument sign tenant panels, and permanent window signage.**

- Nova Signs is proposing to install two wall mounted signs on Brookfield Animal Hospital's tenant space, and replacing monument sign tenant panels. The applicant is also proposing window signage that does not meet the typical code requirements.
- Wall Signs
  - Entrance Sign - 40.76 square foot LED internally illuminated individual channel letter sign.
  - Side of building sign – 72.75 square foot LED internally illuminated individual channel letter sign.
  - Both signs are predominantly navy blue channel letters with black trim. The raceway will match the building façade color (looks to be off-white/cream).
  - Allowable Size:
    - Facing South towards Bluemound Road: 52' of tenant frontage area.
      - Allowed = 41.6 square feet.
      - Meets requirement.
    - Facing Woelfel Road: 92 feet of tenant frontage area.
      - Allowed = 73.6 square feet
      - Meets requirement
  - Proposed signage appears to meet code requirements.
- Monument Sign Tenant Panels
  - The sign will be approximately 7.8 square feet each, the same size as the existing inserts.
  - Navy background and white lettering.
- Window Signs
  - The proposal includes wall signage proposed. The proposed window signage does not meet code requirements but the ARC can approve as presented at their discretion. These window signs would generally be permanent.

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351

SEH is 100% employee-owned | **sehinc.com** | 262.646.6855 | 888.908.8166 fax

**Thrivent – Sign Review****Applicant: Dan Schaefer (Sign Works) – Representing Thrivent****Location: 20935 Swenson Drive****Request: Approval for replacing an existing monument sign**

- Applicant is requesting to replace the existing on-site monument sign with a new monument sign.
- Proposed sign
  - 24 square foot (64" x 54") non-illuminated multi-tenant monument sign
  - The monument will be mostly gray, with 5 black, 8" tall each, tenant panels. The building address will be in 8" black letters at the bottom of the sign.
  - The sign will be at least 5' from the property line.
  - The proposed sign will be replacing an existing sign that does not meet the minimum setback requirements.
  - There is also an existing freestanding address sign on the property.
- Proposed sign meets all code requirements, except the 1 freestanding sign per parcel requirement. Having both a freestanding tenant sign and a freestanding address sign is consistent with what is already there. It is also consistent with other properties in the area.

**Bazaar Home Decorating – Sign Review****Applicant: Dan Anheuser – Representing Bazaar Home Decorating****Location: 21950 Watertown Road****Request: Approval for installation of two new wall-mounted signs.**

- Applicant is requesting to add one sign to the southwest and northwest exterior walls. Both signs will be the same size and configuration.
- Proposed sign
  - Each sign will be 39.7 square feet and internally illuminated – 79.4 square feet total.
  - The words "Hunter Douglas" 22" tall and "By BAZAAR" 12" tall will be in black perforated vinyl (illuminated white at night), and the Hunter Douglass logo will be in orange.
  - The sign appears to extend less than 12" from the wall.
  - Allowable Size:
    - Along Watertown Road: 75' of tenant frontage area.
      - Allowed = 60 square feet.
      - Meets requirement.
    - Facing parking lot to northwest: 70 feet of tenant frontage area.
      - Not facing public right of way but would be allowed 56 square feet if the ARC determines to allow the sign and uses the typical sign area requirement (.8sf per linear foot).
      - Does not meet requirement but the ARC can grant exceptions at their discretion.
  - The proposed signs meet all other code requirements.

**Bombshell Theater – Sign Review****Applicant: Dave Salkin (Signs & Lines by Stretch) – Representing Bombshell Theater****Location: 19700 W Bluemound Road****Request: Approval for installation of a wall mounted sign and monument sign tenant panels.**

- The signs have already been installed prior to submitting sign applications and ARC review. Planner Hembrook contacted Bombshell and informed them they need to submit applications to the Town and have their signs reviewed by ARC.
- Applicant is requesting approval for one wall mounted sign and monument sign tenant panels.
- Wall Sign
  - 21.9 square foot non-illuminated sign.
  - The sign has the words “BOMBSHELL STUDIO THEATER” in 12” tall brown letters.
  - The sign does not extend out from the wall.
  - Proposed sign meets all code requirements
- Monument sign replacements
  - Double-sided tenant panels
  - The inserts will be vinyl, with black background and “BOMBSHELL STUDIO THEATER” written in a combination of black and white lettering.
  - The replacements are the same size as the existing sign pannels.
  - Proposed sign meets all code requirements

**Avery & Birch – Final Approval****Applicant: Ryan Janssen (Avery & Birch)****Location: 21055 Crossroads Circle****Request: Final approval of a new building consisting of a one-story salon suite facility**

- Received approval for a three-story facility in 2024 but have since changed their plans. Applicant is now proposing a single-story 16,550 square foot building that will be used for luxury salon suite rentals.
- Each one of the suites is occupied by a self-employed beauty professional. Avery and Birch does not provide beauty services we simply act as a landlord for our multi-tenant buildings. This use for this submittal is similar to the last approval except for the proposed building is now a single-story building.
- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.67 acre parcel in an office park.
  - This parcel has received two approvals in the past few years. First, Quest Interiors received final approval for their facility on the subject property in 2023, but decided to no longer pursue the project. Avery and Birch received final approval in 2024 but have since changed their plans.
- The applicant no longer intends to split the property into two.
- Proposed structure = 16,550 total square foot facility with salon suites.
- Approximately 86 parking stalls currently proposed, including 4 handicap stalls.
  - The proposed use is likely considered a personal service use, which requires one space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.
  - According to the code, 82 parking spaces are required for the square footage and the number of employees is unknown at this time.
  - The proposed site plan shows one drive access to Crossroads Circle.
- Proposed setbacks:
  - Front = 154’
  - Side = 107’ north and 101’ south

- Rear = 77'
  - All building setbacks will meet code requirements.
  - The pavement setbacks appear to meet requirements.
- Sum total of floor area
  - Proposed = 10.3% of lot area.
  - Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area.
  - Requirement is met.
- No building height dimensions were provided but the building will likely meet the 45' height requirement.
- Lighting
  - Lighting Plan was submitted and under review.
- Landscaping
  - Landscaping appears to meet code requirements.
- Signage
  - A proposed sign is included in the packet
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The applicant intends to keep the existing landscaping to serve as a buffer for the residential properties.

The development review team has provided some initial feedback regarding the plans, but most of the comments or concerns can be addressed later in the review process.

#### **Sanitary District No.4**

- The applicant is working with Sanitary District to address certain items.

#### **Final Approval**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

#### **Oscars – Preliminary and Final**

**Applicant: Jim Taylor (Oscars Frozen Custard)**

**Location: 21165 Highway 18**

**Request: Preliminary and Final approval**

- Oscar's Frozen Custard has occupied this site for decades but a fire recently significantly damaged the building beyond repair. The applicant is proposing to construct a new building which will be slightly larger but generally in the same location as the last building. The applicant also owns the adjacent parcel to the east of the subject parcel and conceptual plans were reviewed by the Plan Commission and Town Board for this site.
- The applicant is proposing to construct a 4,815 square foot restaurant building with two drive thru lanes and one pick up window and an outdoor dining area.
- Zoning District = B-2 Limited General Business District.

- Lot size = .864 acres.
- Proposed Use = Drive-thru restaurant.
  - Permitted as a conditional use.
- Proposed setbacks:
  - Street (Hwy 18) = 79'
  - Street (Swenson Dr) = 107'
  - Side (west) = 40'
  - Side (east) = 24'
  - All building setbacks will meet code requirements.
- Parking
  - Code requirement: One space per 50 square feet of gross dining area, plus one space per two employees for the work shift with the largest number of employees. Restaurants with drive-through facilities shall provide sufficient space for four waiting vehicles at each drive-through service lane.
    - Parking required: Dining area (2,100sf) = 42 stalls; employees (10) = 5 stalls; total stalls required: 47
  - Proposed: 51 parking spaces on the subject parcel, 3 of which are ADA stalls. Also proposing 8 parking spaces on the adjacent property owned by the applicant. The applicant intends to have a shared access/parking agreement for a future development.
  - The site plan shows a potential access connection on the northeast side of the property.
- Drive-through lanes
  - The site plan shows 2 drive-through lanes and 1 pickup window. Generally, a stacking length of 100 feet is desirable and 40 feet of distance between the pick up window and the access drive is preferred. Overall, it looks like sufficient stacking length is provided.
- Lighting
  - Town Engineer is currently reviewing for conformance.
- Landscaping
  - Town Engineer is currently reviewing for conformance.

#### **Development Review Team Feedback**

The Development Review Team has reviewed the plans and there are a few items that will need to be addressed prior to final approval by the Town Board. The team will review and provide any updates if available. The Town Engineer's first review letter is included in the packet.

#### **Bancroft Engineering – Preliminary and Final**

**Applicant: Luke Sebold (Keller, Inc), representing Bancroft Engineering**

**Location: 21550 Doral Road**

**Request: Preliminary and Final approval**

- Bancroft Engineering manufactures automated welding equipment and are looking to expand their operations.
- The subject property is located on the north side of Doral Road and there is an existing building that is approximately 12,286 square feet.
- Proposed Size = 7,653 sf addition
  - Total = 19,939 sf
- Zoning District = M-1 Limited Manufacturing District
- Lot size = 1.11 acres.

- Existing/Proposed Use = Manufacturing/Light Industrial.
- Proposed setbacks:
  - Street (Doral Rd) = No Change.
  - Side (west) = 10'
  - Side (east) = 20.5'
  - Rear = 17.5'
  - All building setbacks will meet code requirements.
- Sum total of floor area
  - Proposed = 41.2% of lot area.
  - Required = Sum total of the floor area of the principal building and all accessory buildings shall be not less than 8,000 square feet or 20% of the lot area, whichever is less. Also, sum total of the floor area of the principal building and all accessory buildings shall not exceed 50% of the lot area.
  - Requirement is met.
- Parking
  - Code requirement: 1 space per employee for the work shift with the largest number of employees.
  - There are 20 existing parking spaces.
  - According to the application, it appears that 20 spaces are required due to the number of employees. This can be confirmed at the meeting.
  - The existing parking area is expected to remain the same. The applicant is proposing to add new asphalt to the south of the proposed addition and add a new concrete loading dock.
  - Much of the existing pavement does not meet the 10' paving setback but is grandfathered in. There is pavement proposed to the east of the new building addition that will not meet typical pavement setback. The Fire Department is requiring a 20' fire access drive in this location to access the east side of the building and the north side.
- Architectural requirements for manufacturing districts
  - The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. Fifty percent of a facade facing a street shall be finished with brick, decorative masonry, glass panel, or other appropriate finished facade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 20 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.
- Outdoor Storage
  - If garbage and refuse containers are stored outdoors, these should be screened from the street and neighboring properties. If outdoors, this will need to be shown on future site plans and renderings are required showing the materials and colors of these enclosures.
  - No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property.
    - The Plan Commission may recommend the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.
- Lighting
  - Town Engineer is still reviewing. Review should be completed by the time of the meeting and the Town Planner can provide an update.
- Landscaping

- Not proposing to add landscaping.

**Development Review Team Feedback****Town Engineer Comments**

1. Verify the redeveloped site is meeting the parking requirements in the Town Ordinance (Section 17.06(3)).
  2. It appears that the additional impervious area is under 0.5 acres and total disturbance is under 1 acre. Therefore, Town and State stormwater requirements do not need to be met.
  3. It's anticipated that the asphalt to the east of the existing building will see excessive wear and tear during construction. It may be a good idea to show this asphalt as being replaced.
  4. Provide an erosion control plan.
  5. Provide turning templates for the largest vehicle that would access the site (including emergency vehicles) to verify proper turning movements can be made.
- Note: Still reviewing lighting plan. Will update as soon as possible.

**Sanitary District No. 4 Comments**

1. We will need more details for the watermain (size, materials, details). The watermain and hydrant will be considered public so it will need to be in an easement and turned over to the town. The hydrant appears that it will be in the parking lot, bollards or some type of protection from vehicles should be installed.
2. Is the Fire Department supportive of the proposed hydrant location?

These comments have been forwarded to the project engineer and will be addressed as the review progresses.

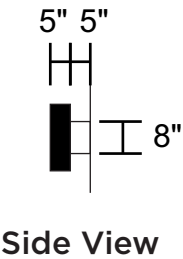
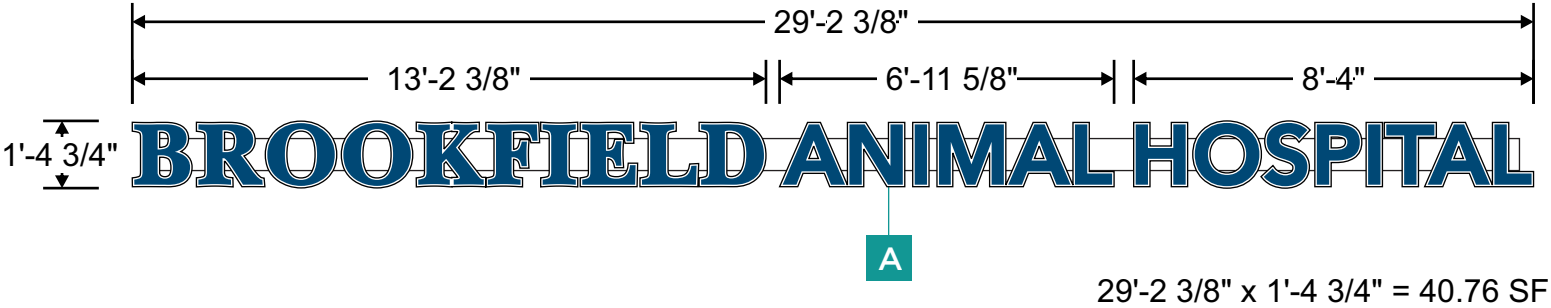
**Preliminary Approval**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. Preliminary approval recommended by the Architectural Review Committee and granted by the Plan Commission shall expire within six months unless final project plans are presented to the Plan Commission.

**Final Approval**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.





- A

**Channel Letters:**

3/16" White acrylic faces with translucent vinyl applied 1st surface to match colors shown and 1/2" white keyline around perimeter of letters. Faces to have 1" black trimcap. 5" deep, .063" thick aluminum returns. Return exterior painted black, interiors painted high reflective white. .090" thick aluminum cinched/welded backs
- B

**Raceway:**

5" x 8" Extruded Aluminum Raceway painted to match wall color, actual color TBD.
- Illumination:**

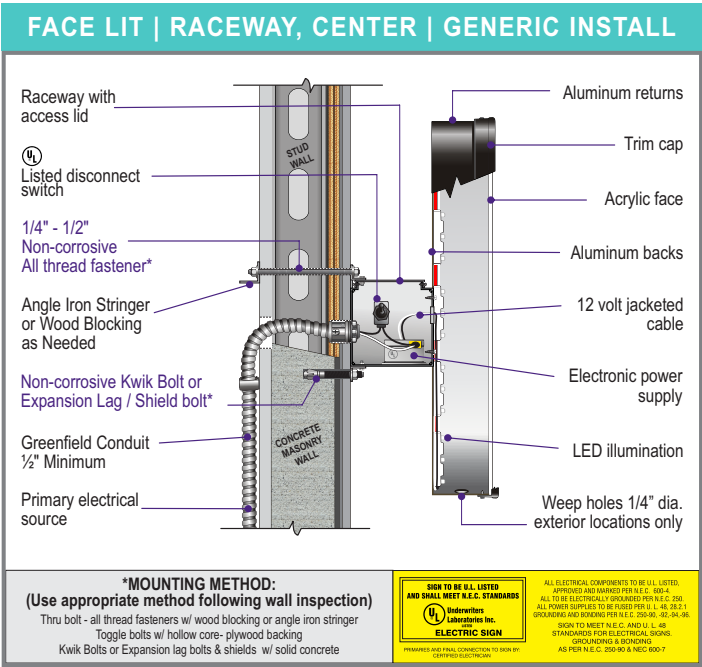
White LED Illumination. All electrical componenets to be UL Listed. All power supplies located inside raceway.
- Installation:**

Channel Letters stud flush mounted to raceway. Raceway flush mounted to facade with min. 3/8" threaded rod and appropriate anchors for wall material.
- Quantity:**

(1) One Required

- Navy Blue  
PMS 7693
- Raceway Color to Match  
Wall, Actual Color TBD
- Matthews Paint  
Standard Black  
Satin Finish

Nighttime View



Veterinarian  
Partners

18000 W Bluemound Rd  
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

Channel Letters on Raceway

SIGN TYPE/SIGN ID

SV

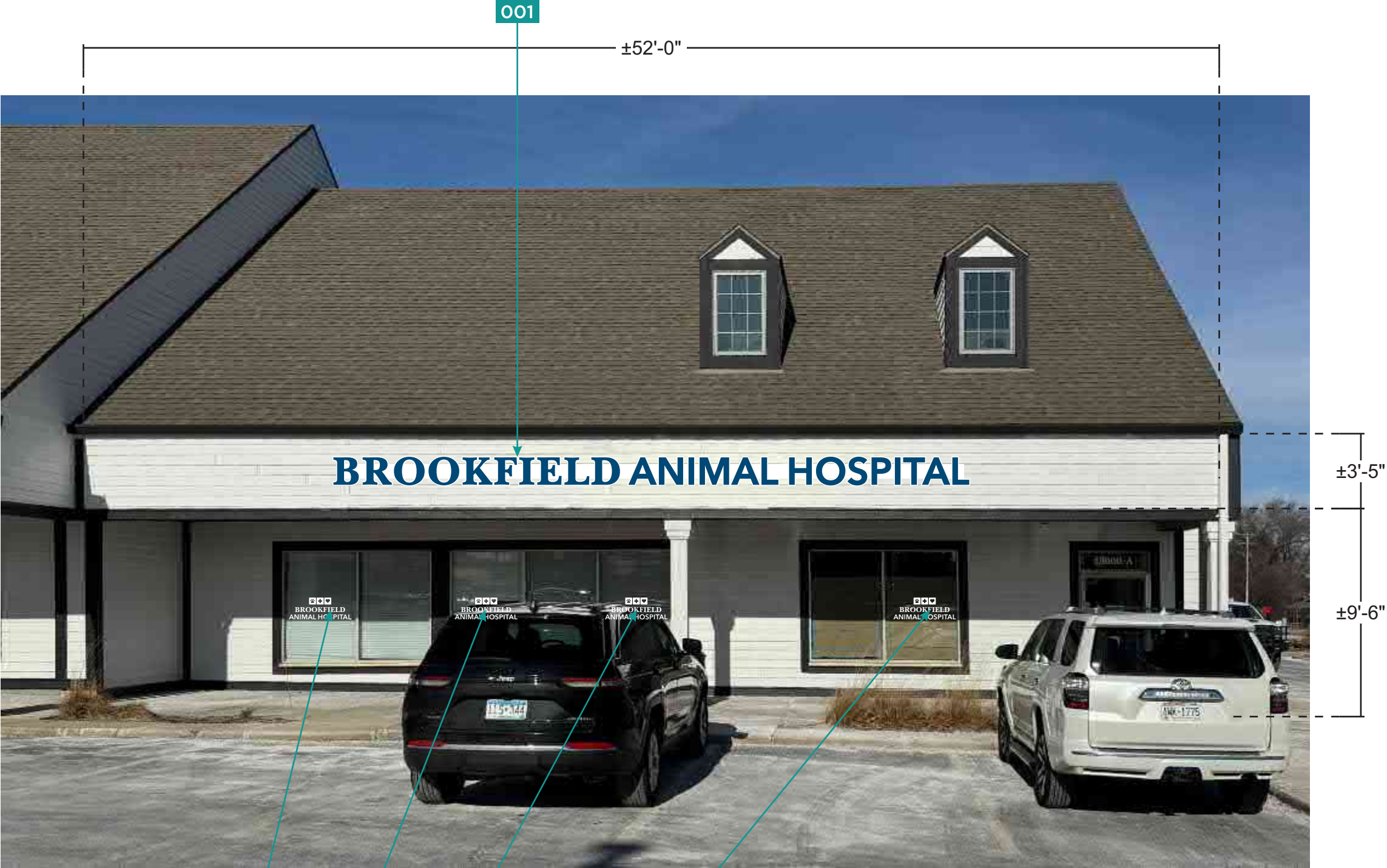
DESIGNER/DRAWN BY

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001

Channel Letters on Raceway - North Elevation

Scale: 3/16" = 1' 0"



001a

VINYL TO BE PLACED ON EVERY OTHER WINDOW,  
CENTERED VERTICALLY AND HORIZONTALLY



T 847.929.4333 W scoutsp.com

Veterinarian  
Partners

18000 W Bluemound Rd  
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

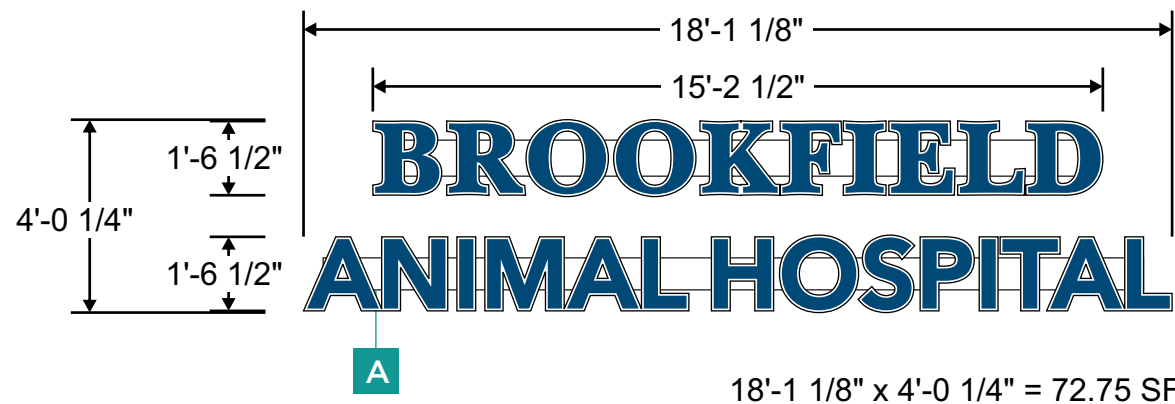
Channel Letters on Raceway

SIGN TYPE/SIGN ID

SV

DESIGNER/DRAWN BY

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18'-1 1/8" x 4'-0 1/4" = 72.75 SF

- A

Channel Letters:

3/16" White acrylic faces with translucent vinyl applied 1st surface to match colors shown and 1/2" white keyline around perimeter of letters. Faces to have 1" black trimcap. 5" deep, .063" thick aluminum returns. Return exterior painted black, interiors painted high reflective white. .090" thick aluminum cinched/welded backs
- B

Raceway:

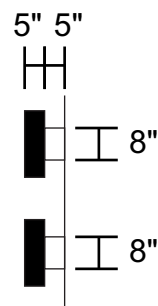
5" x 8" Extruded Aluminum Raceway painted to match wall color, actual color TBD.
- illumination:

White LED Illumination. All electrical componenets to be UL Listed. All power supplies located inside raceway.
- Installation:

Channel Letters stud flush mounted to raceway. Raceway flush mounted to facade with min. 3/8" threaded rod and appropriate anchors for wall material.
- Quantity:

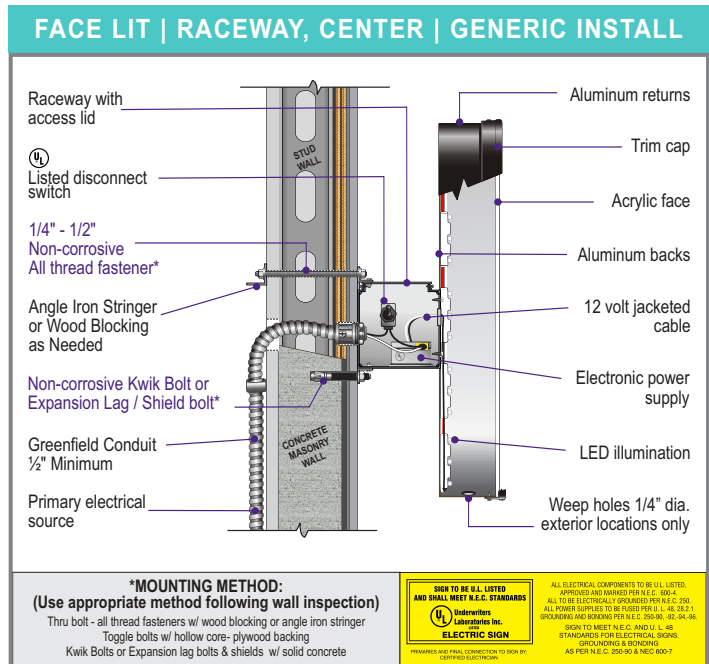
(1) One Required

Nighttime View



Side View

- Navy Blue  
C: 100, M: 76, Y: 30, K: 14
- Raceway Color to Match  
Wall, Actual Color TBD
- Matthews Paint  
Standard Black  
Satin Finish



T 847.929.4333 W scoutsp.com

Veterinarian  
Partners

18000 W Bluemound Rd  
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

Channel Letters on Raceway

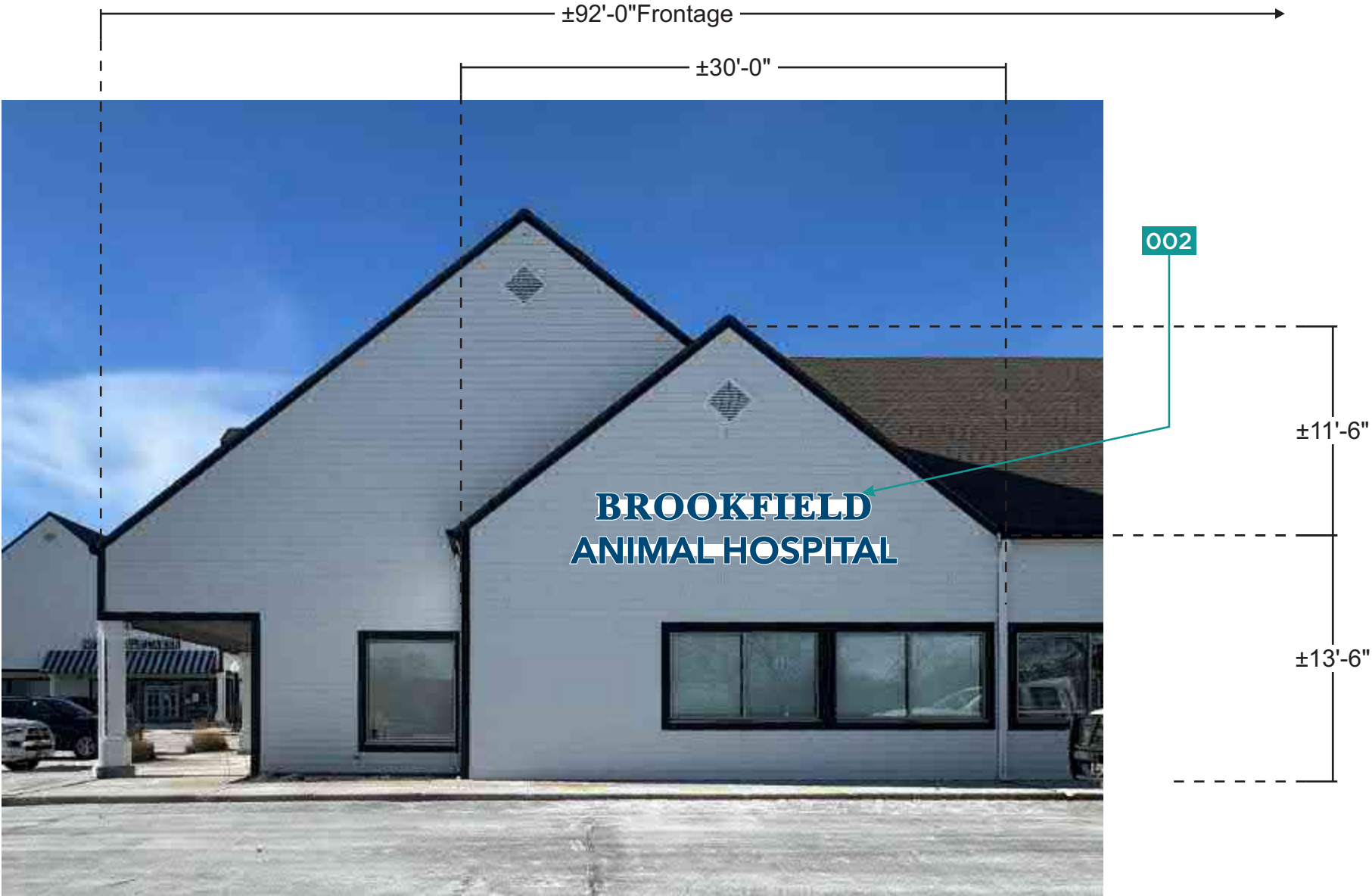
SIGN TYPE/SIGN ID

SV

DESIGNER/DRAWN BY

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T 847.929.4333 W scoutsp.com

**Veterinarian  
Partners**

18000 W Bluemound Rd  
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

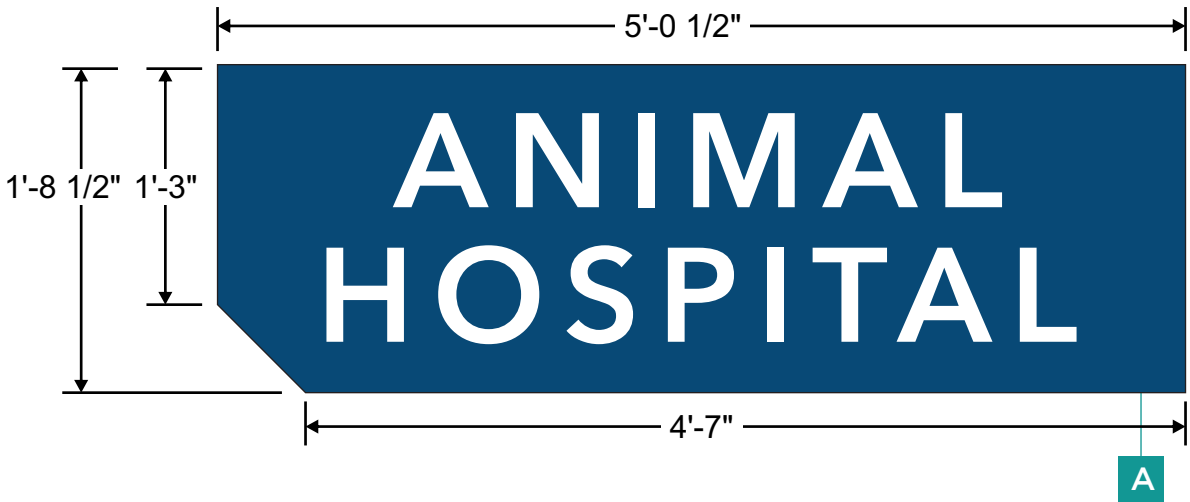
Channel Letters on Raceway

SIGN TYPE/SIGN ID

SV

DESIGNER/DRAWN BY

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Side View

**A Face Replacements:** .090" Thick routed aluminum faces painted color shown. 1/2" thick white acrylic to push through face 1/4" with 1/8" routed shoulder for retention from back side

**Install:** Attached to sign cabinet with screws through face. Screw heads painted to match face.

**Quantity:** (2) Two Faces Required for Existing Double Face Sign

Matthews Paint  
Navy Blue  
C: 100, M: 76, Y: 30, K: 14

White Acrylic

Nighttime View



Proposed



T 847.929.4333 W scoutsp.com

## Veterinarian Partners

18000 W Bluemound Rd  
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

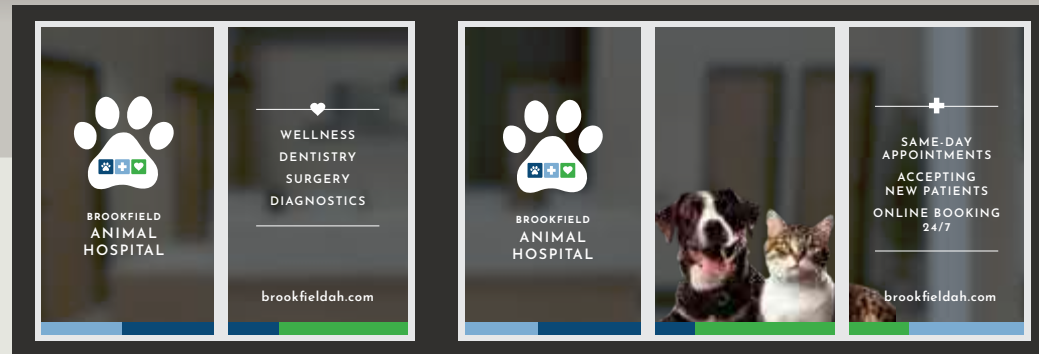
## Face Replacements

SIGN TYPE/SIGN ID

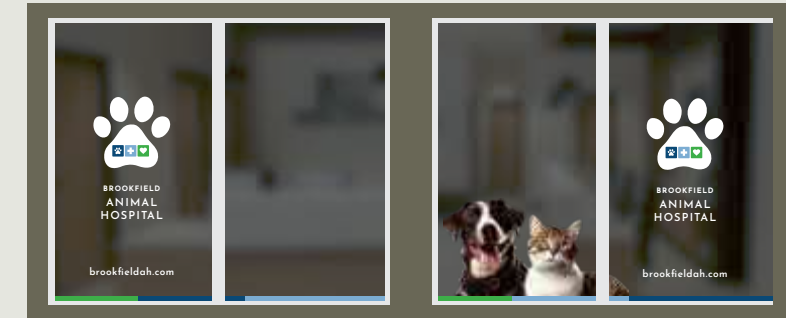
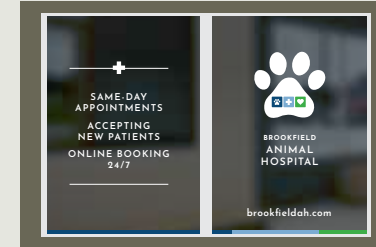
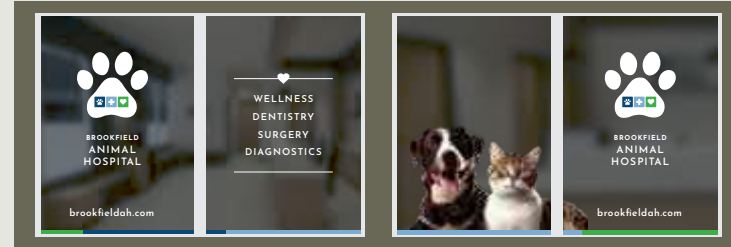
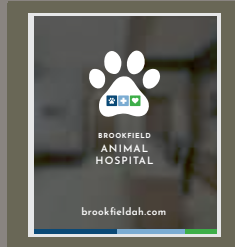
SV

DESIGNER/DRAWN BY

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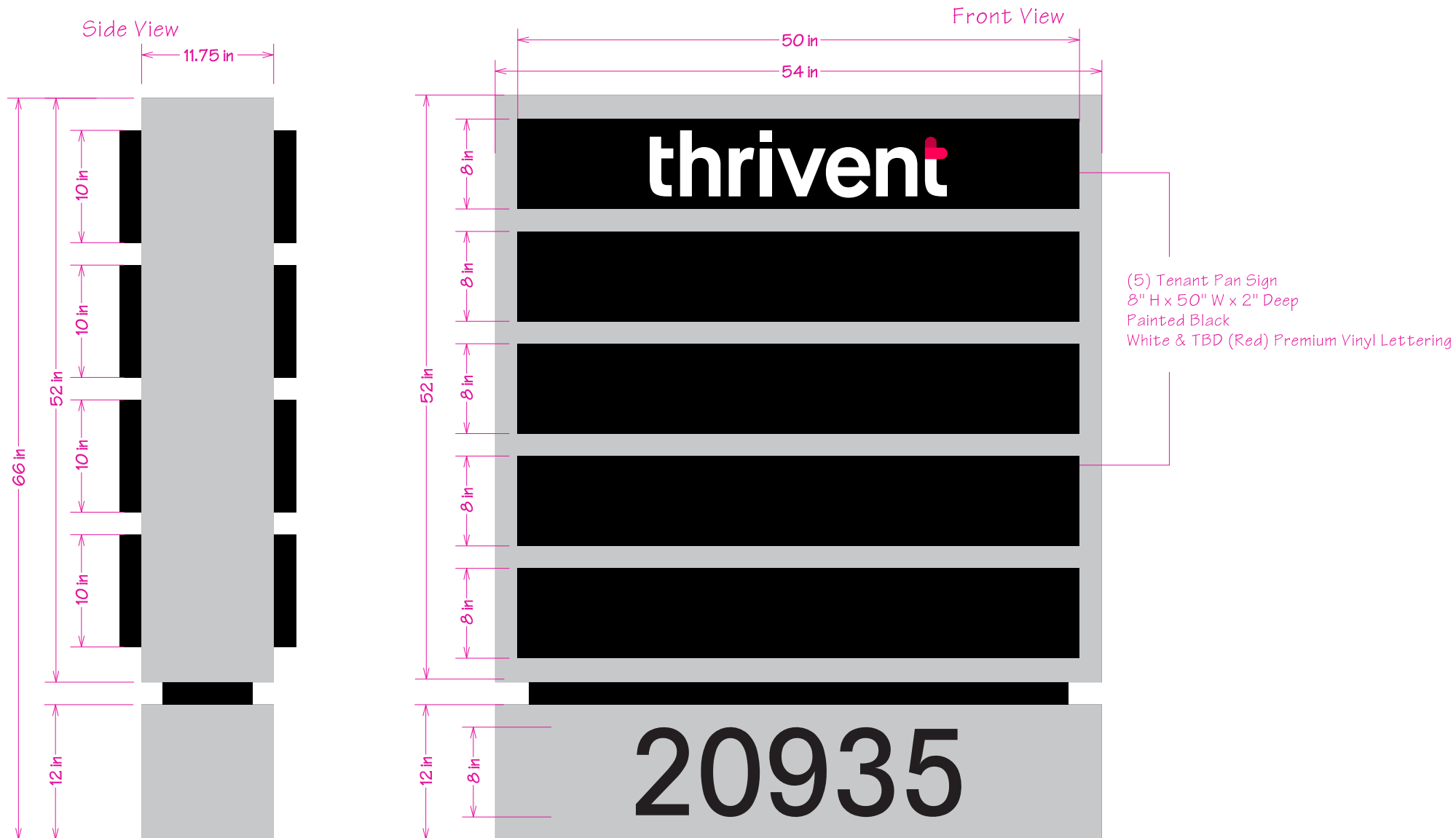
BROOKFIELD 1



BROOKFIELD 2

Qty One NEW - Double Sided - Non-Illuminated Monument Sign  
Sign Painted: Black N293 & 41342SP Brushed Aluminum (Metallic Silver)  
Address - 1/4" Aluminum - blind mounted - Painted Black N293  
Tenant Panels - 2" Deep Pan Signs - Mounted to Monument Sign  
Lettered with White & TBD (Red) Premium Vinyl Lettering

## OPTION C





66' WIDE PUBLIC RIGHT OF WAY

APPARENT ENCROACHMENT-  
ASPHALT PATH

N 87°43'54" E

183.85

MONUMENT SIGN  
ON CONCRETE PAD

FND  
1"IP

~~SANGHAT PER DOC. NO. 1157516 & CSM NO 6010, DOC NO 1562110~~

BUILDING SETBACK LINE.

[illegible]

30' STORM DRAINAGE EASEMENT PER CSM #6010, DOC. NO. 1562110.

FORM SEWER  
AND SECTION

79' -

TARY SEWER EASEMENT -  
16091

TRENCH DRAIN-

~~SECRET~~

UTILITY  
EASEMENT PER-  
DOC. NO. 1725406

## PARENT ENCROACHMENT- CHALK PATH

612 in

**168 in**

# BAZAAR

**BLINDS • WINDOW FASHIONS • CLOSETS**

---

21950 WATERTOWN ROAD, WAUKESHA, WI. 53186



21700 DORAL ROAD  
WAUKESHA WI 53186  
262.432.1330  
[www.innovative-signs.com](http://www.innovative-signs.com)





Customer	
Bazaar Home Decorating Center	
Date	Project Manager
03/11/2025	Ben P.
Order #	Designer
EST - 14927	Brian H.
Trim Cap	Surveyor
Black	Ben P.
Return	Acrylic Faces
Black	7328 White
Return Depth	Mounting
5 in	<input checked="" type="checkbox"/> Raceway <input type="checkbox"/> Flush Mounted

Location & Electrical Specifications

**Electrical Location:** Top Left Side  
20 AMP to 120 or 277 VAC  
(6ft whips unless specified)

Materials & Specifics

- Channel Letters - Face Lit**
- White 7100K LED's
  - Raceway mounted letters & logo
  - Perforated vinyl for all letters
  - Translucent cut vinyl for logo
  - 'By Bazaar'

Colors

- ☐ 7328 White acrylic
- ☒ 3M block out
- ☒ 3M Black Perforated Vinyl
- ☒ 3M 3630-44 Orange
- ☒ Raceway Color: SW 7031 Mega Greige

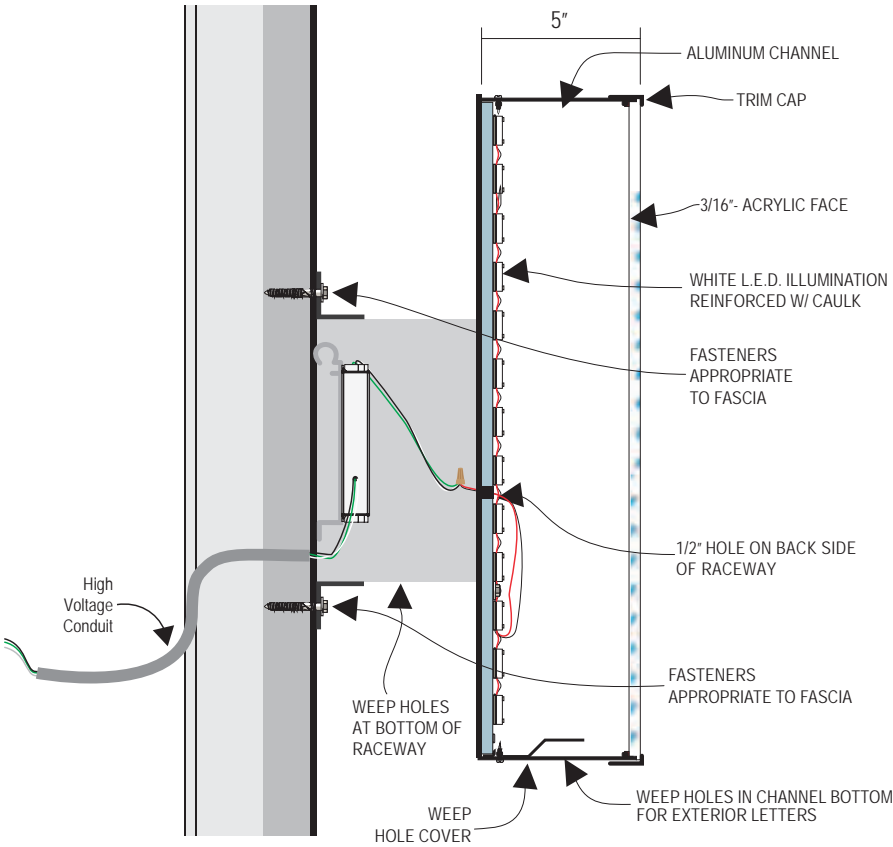
Revisions

- ☐ Revision 1:
- ☐ Revision 2:

BUILD

3D RENDERING

RACEWAY MOUNTED CHANNEL LETTERS



3D RENDERING



HARDWARE	SURVEY NOTES	WALL MATERIAL
<p><b>Bolts:</b></p> <p><b>Screws:</b></p> <p><b>Backing needed:</b></p>		<div><input type="checkbox"/> Sheet Rock/Drywall</div> <div><input type="checkbox"/> Aluminum Composite</div> <div><input checked="" type="checkbox"/> Split Block</div> <div><input type="checkbox"/> Brick</div> <div><input type="checkbox"/> Needs Backing</div> <div><input type="checkbox"/> Has Backing</div> <div><input type="checkbox"/> Needs Access</div> <div><input type="checkbox"/> Has Access</div>

Before



After - Day



After - Night



Please zoom to see full detail



Before



After - Day



After - Night



Please zoom to see full detail





CLIENT: BombsHELL Theatre Company

PROJECT: Tenant Panels

Quote #: 60390

Job #: 60361

CLIENT / PROJECT: Bomshell Theatre Company - Tenant Panels

VERSION: 3

QUOTE # 60390SALES ORDER # 60361

Color/ Material Key:

3M 7125 White Opaque Vinyl

108 in

14 in

18 in

95.38 in

BOMBSHELLSTUDIO THEATRE

4-LEASE

DONOVAN Mirror-Glass

TONY & FRIENDS SALON AND SPA

BOMBSHELLSTUDIO THEATRE

G-Force Fitness

SAGE Salon & Suites

19700

EXISTING

4-LEASE

DONOVAN Mirror-Glass

TONY & FRIENDS SALON AND SPA

4-LEASE

G-Force Fitness

SAGE Salon & Suites

BEAUTIFUL REFLECTIONS FROM DONOVAN

QTY: 2

- TENANT PANEL VINYL REPLACEMENT

- REMOVE EXISTING PANELS FROM SITE, BRING BACK TO SIGNS & LINES TO REMOVE EXISTING GRAPHICS & INSTALL NEW GRAPHICS

- REINSTALL PANELS AT INDICATED TENANT SLOT

PRODUCTION DRAWING

SIGNS & LINES

BY STRETCH

W240 S3990 Rockwood Circle

Waukesha, WI 53189

(262) 544 - 9628

www.slines.net

ARTWORK CHARGE: One customer requested revision allowed per drawing/ estimate. There will be an artwork charge for any customer requested revisions.

Project: Tenant Panels

Sales Person: Dave Salkin

Install Address: 19700 West Bluemound Road, Brookfield, WI

Project Manager: Dave Salkin

I have checked the DETAILS of this proof and approve the design. Signs & Lines by Stretch is not responsible for typographical errors. My signature authorizes Signs & Lines by Stretch to proceed with production of this order. I understand that I will be charged for product and labor, even if I cancel the order after this date.

Approval:

Date:

DESIGN LAYOUTS ARE COPYRIGHT © 2025

Designer: Patty Blicharz

Date: 03.04.2025

REVISIONS

01: - Revision

02: - Revision

03: - Revision

04: - Revision

05: - Revision

06: - Revision



Client Name: Bombshell Theatre Company

## Color/ Material Key:

 2418 Brown formed plastic letters

263 in

12 in **BOMBSHELL STUDIO THEATRE****QTY: 1 SET FORMED PLASTIC LETTERS**

Gemini Formed Letters  
 12"H letters - Total Width 263"  
 Font: Helvetica Round Face  
 Color: 2418 Brown  
 Stud Mount-Standard

## SAMPLE FONT IN BROWN COLOR



Letters to be centered  
 left to right and top to bottom  
 in the available space.

**PRODUCTION DRAWING**

W240 S3990 Rockwood Circle  
 Waukesha, WI 53189  
 (262) 544 - 9628  
 www.slines.net

**ARTWORK CHARGE:** One customer requested revision allowed per drawing/ estimate. There will be an artwork charge for any customer requested revisions.

Project: Bombshell Theatre Company

Install Address: 19700 W. Bluemound Rd, Brookfield, WI 53045

Sales Person: Dave Salkin

Project Manager: Dave Salkin

I have checked the DETAILS of this proof and approve the design. Signs & Lines by Stretch is not responsible for  
 typographical errors. My signature authorizes Signs & Lines by Stretch to proceed with production of this order.  
 I understand that I will be charged for product and labor, even if I cancel the order after this date.

Approval: \_\_\_\_\_

Date: \_\_\_\_\_

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Designer: Patty Blicharz	Date: 03.07.2025
01: XXXXXX - ATO - Revision	
02: XXXXXX - ATO - Revision	
03: XXXXXX - ATO - Revision	
04: XXXXXX - ATO - Revision	
05: XXXXXX - ATO - Revision	
06: XXXXXX - ATO - Revision	



CONSTRUCTION PLANS  
FOR  
AVERY & BIRCH  
21055 CROSSROADS CIRCLE  
TOWN OF BROOKFIELD, WISCONSIN

LEGEND

SECTION CORNER MONUMENT

FOUND 1" IRON PIPE OR AS NOTED

POST

UTILITY POLE

GUY POLE

GUY WIRE

CULVERT

UTILITY PEDESTAL

ELECTRIC PEDESTAL

SEPTIC FACILITY

SEPTIC CLEANOUT

TV MANHOLE

YARD LIGHT

INLET

SOIL TEST LOCATION W/ ELEV.

WELL

WIRE FENCE

SILT FENCE

(XXXXXX) RECORD DIMENSION

ST STORM SEWER

SAN SANITARY SEWER

WM WATER MAIN

OH OVERHEAD POWER/UTILITY

G UNDERGROUND GAS

E UNDERGROUND ELECTRIC

C UNDERGROUND CABLE

x 1007.0 EXISTING SPOT ELEVATION

- 1008 EXISTING CONTOUR

x 1008 PROPOSED SPOT ELEVATION

- 1008 PROPOSED CONTOUR

PROPOSED DRAINAGE DIRECTION

Soil TYPE

FG 1008.0 PROPOSED YARD GRADE

STRAW LOG DITCH CHECK

RIPRAP

NOTES:  
1) A LEGEND SHOWING SPECIAL SYMBOLS, LINE TYPES, ETC. IS SHOWN HEREON.  
2) UNDERGROUND UTILITIES MUST BE LOCATED BY "DIGGERS HOTLINE" PRIOR TO START OF CONSTRUCTION.



SUBJECT  
PROPERTY

GENERAL NOTES:  
1. BEARINGS ARE REFERENCED TO THE CERTIFIED SURVEY MAP NO. 6536, IN WHICH WEST LINE OF THE NE 1/4 OF SEC. 31-7-20 WAS TAKEN TO BEAR S02°06'31"W.  
2. Vertical datum is based on North American Vertical Datum of 1988.  
3. ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CURRENT TOWN OF BROOKFIELD CONSTRUCTION STANDARDS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.

SCALE: 1" = 200'

DEVELOPER:  
Ryan Janssen  
Ryan's Buying LLC  
13416 Watertown Plank Rd. #245  
Elm Grove, WI 53122  
Phone: 414-736-3066  
Email: ryan@ryansbuying.com

ENGINEER:  
Mark R. Ellena, PE  
Ellena Engineering Consultants, LLC  
700 Pilgrim Parkway, Suite 100  
Elm Grove, WI 53122  
Phone: 262-791-6183  
Email: mellenae@eeceng.com

SURVEYOR:  
TBD

APPROVAL AGENCY:  
Town of Brookfield

DESCRIPTION	SHEET NO.
SITE PLAN	C100
GRADING, PAVING & DRAINAGE PLAN	C200
UTILITY PLAN	C300
EROSION CONTROL PLAN	C400
DETAILS	C500 - C501

DATE

DESCRIPTION

ELLENA ENGINEERING CONSULTANTS, LLC  
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT  
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122  
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellenae@eeceng.com

AVERY & BIRCH SALON SUITE FACILITY  
TOWN OF BROOKFIELD, WI

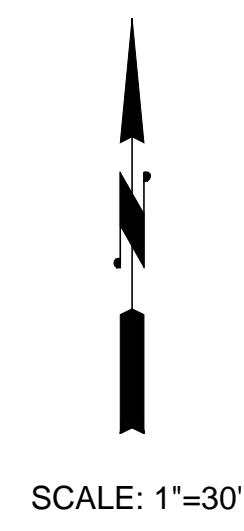
COVER SHEET

DATE: 03-26-25  
BY: MARK R. ELLENA, PE

SHEET NUMBER

C000






SITE DATA TABLE		
		PROPOSED
PROPERTY AREA :		160,300 S.F.
TOTAL BUILDING FLOOR AREA :		16,550 S.F.
FLOOR AREA RATIO :		16,550 / 160,300 = 10.3%
TOTAL PAVED SURFACE AREA (including concrete areas) :		33,880 S.F.
TOTAL OPEN AREA (GREEN SPACE):		109,870 S.F.
LANDSCAPE SURFACE AREA RATIO		109,870 / 160,300 = 68.5%
LOT COVERAGE RATIO		31.5%
TOTAL PARKING :	REQUIRED: 81	PROVIDED: 85
HC PARKING :	REQUIRED: 4	PROVIDED: 4 (1 VAN)


THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

DATE

DESCRIPTION

ELLENA ENGINEERING CONSULTANTS, LLC  
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT  
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122  
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@eeceng.com

AYER & BIRCH SALON SUITE FACILITY  
TOWN OF BROOKFIELD, WI

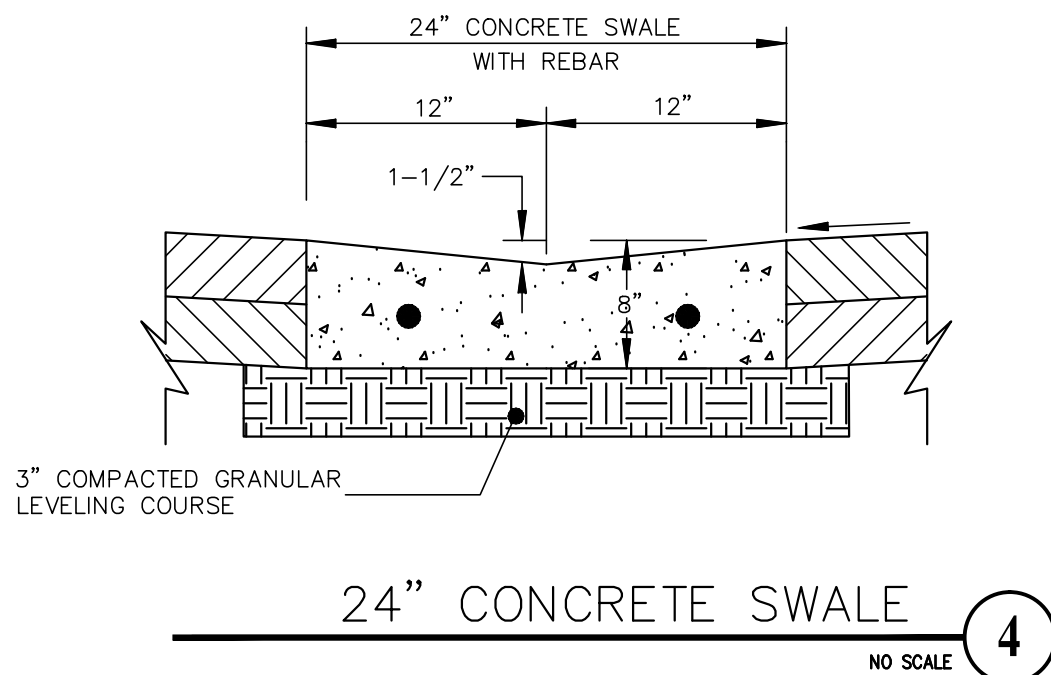
  
DATE: 03-26-25  
BY: MARK R. ELLENA, PE  
SCALE: 1"=30'

SHEET NUMBER  
C100

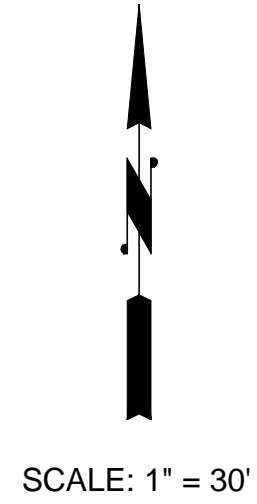
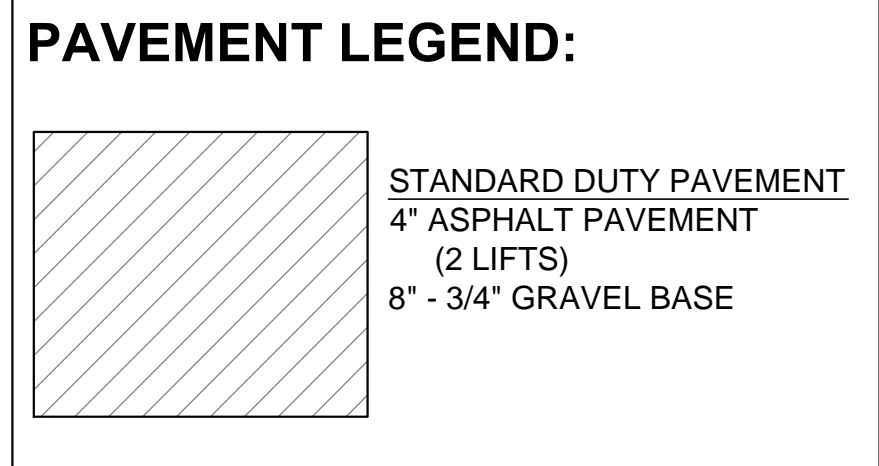


1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtained by the contractor prior to commencing work.
2. All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
3. All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
4. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
5. The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
6. The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
7. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
8. Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt and sediment from areas disturbed from areas under construction by sweeping within 24 hours. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
9. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
10. All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.

1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition, and the Town Ordinances and the State of Wisconsin Standard Specifications for Sewer and Water Construction in Wisconsin.
2. The private storm sewer design, permitting, construction, installation, supervision, maintenance, inspection AND testing shall be in accordance with the Town of Brookfield Plumbing Inspection Department and the State of Wisconsin, Chapter SP8 382. All permits must be obtain by the contractor prior to commencing work.
3. Private Storm Sewers shall be PVC (solid wall), DR-26 OR HDPE, per the State of Wisconsin Plumbing Code, Chapter SP8 382. Catch Basins and Manholes shall be precast concrete structures in accordance with the Standard Specifications for Sewer & Water Construction in Wisconsin (SEE DETAIL PLAN SHEET).



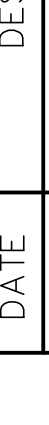

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CANNOT BE GUARANTEED NOR CERTIFIED TO.



SCALE: 1" = 30'

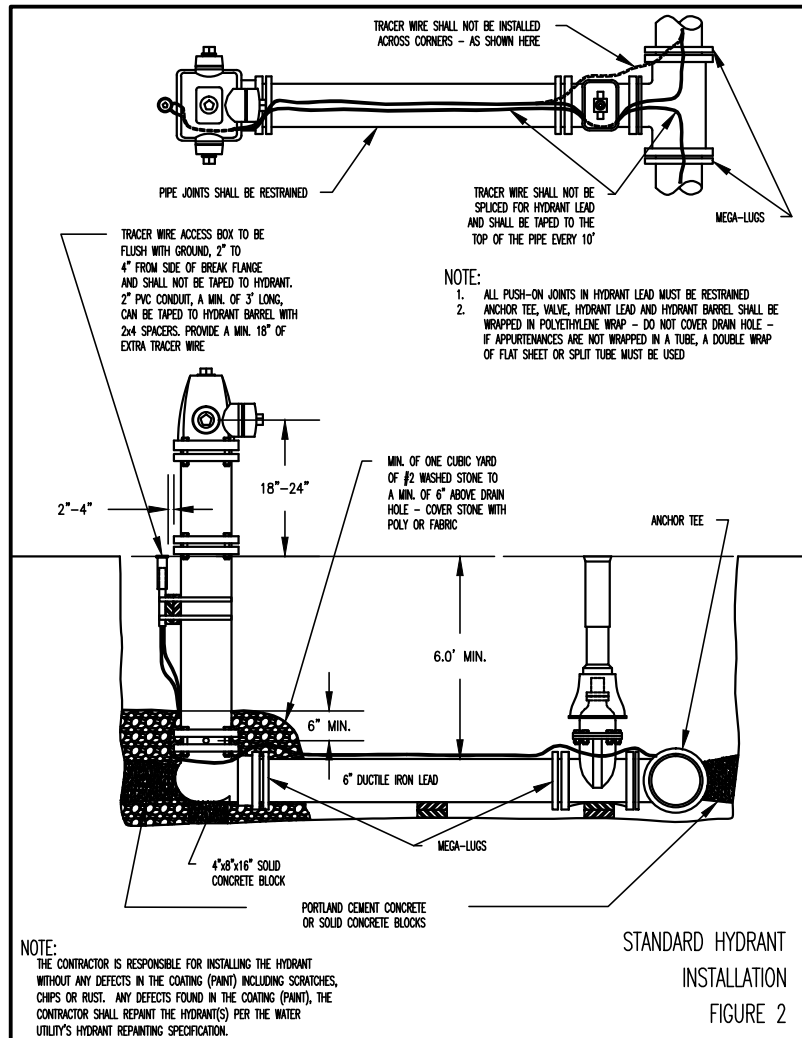


811

		<b>ELLENA ENGINEERING CONSULTANTS, LLC</b> SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122 Phone: 262-719-6183 Fax: 866-457-2584 Email: mellenae@eeceng.com	
<b>AVERY &amp; BIRCH SALON SUITE FACILITY</b> <b>TOWN OF BROOKFIELD, WI</b>		<b>GRADING, PAVING &amp; DRAINAGE PLAN</b>	
		DATE: 03-26-25 BY: MARK R. ELLENA, PE SCALE: 1"=30'	
<b>SHEET NUMBER</b>		<b>C200</b>	

NOTE: THIS GRADING PLAN MUST BE APPROVED BY THE TOWN ENGINEER AND BUILDING INSPECTOR.





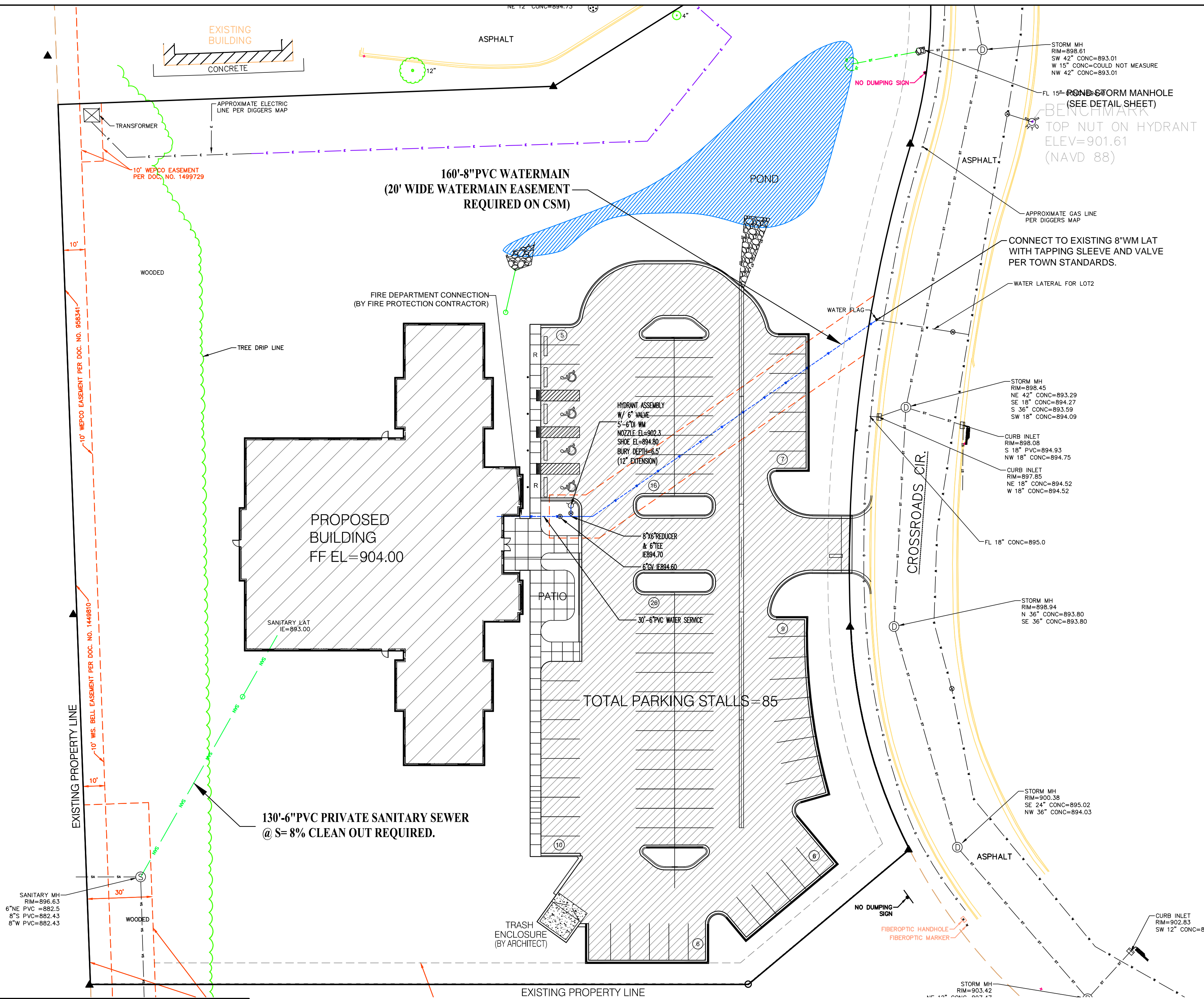
THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PREPARED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

### PRIVATE WATER MAIN, SANITARY & STORM SEWER SPECIFICATIONS:

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; the State of Wisconsin Standard Specifications for Sewer and Water Construction in Wisconsin, the State of Wisconsin Department of Safety and Professional Services Plumbing Code; and the Town Ordinances. **TRACER WIRE REQUIRED ON ALL MAINS.**
- The private water main, sanitary & storm sewer design, permitting, construction, installation, supervision, maintenance, inspection AND testing shall be in accordance with State of Wisconsin, Chapter SPS 382. **All permits must be obtained by the contractor prior to commencing work.**
- Private sanitary laterals shall be PVC (solid wall), ASTM D-3034, DR-35 or 28; or PVC (solid wall), AWWA C-900 per the State of Wisconsin Plumbing Code, Chapter SPS 382 and the Standard Specifications for Sewer & Water Construction in Wisconsin.
- Private Water main laterals shall be PVC (solid wall), AWWA C-900, CLASS 235, DR-18 with Push-On type integral elastomeric bell-spigot joints per the State of Wisconsin Plumbing Code, Chapter SPS 382 AND the Standard Specifications for Sewer & Water Construction in Wisconsin. **6' BURY REQUIRED.**
- MINIMUM BURY DEPTH IS 6.5 FEET ACCORDING TO SECTION 12.4 OF THE TOWN TECHNICAL SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE TOWN SANITARY DISTRICT NO. 4 AND FIELD STAFF A MINIMUM OF 72 HOURS BEFORE THE START OF ANY CONSTRUCTION OR CONNECTION TO EXISTING PUBLIC UTILITIES.
- BUILDING PLUMBER TO PROVIDE SANITARY & WATER MAIN LATERAL SIZING CALCULATIONS FOR ISSUANCE OF BUILDING PERMIT.

### GENERAL CONSTRUCTION SPECIFICATIONS:

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. **All permits must be obtained by the contractor prior to commencing work.**
- All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
- All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
- All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
- The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
- The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
- Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
- Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
- Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
- All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.



AVERY & BIRCH SALON SUITE FACILITY  
TOWN OF BROOKFIELD, WI

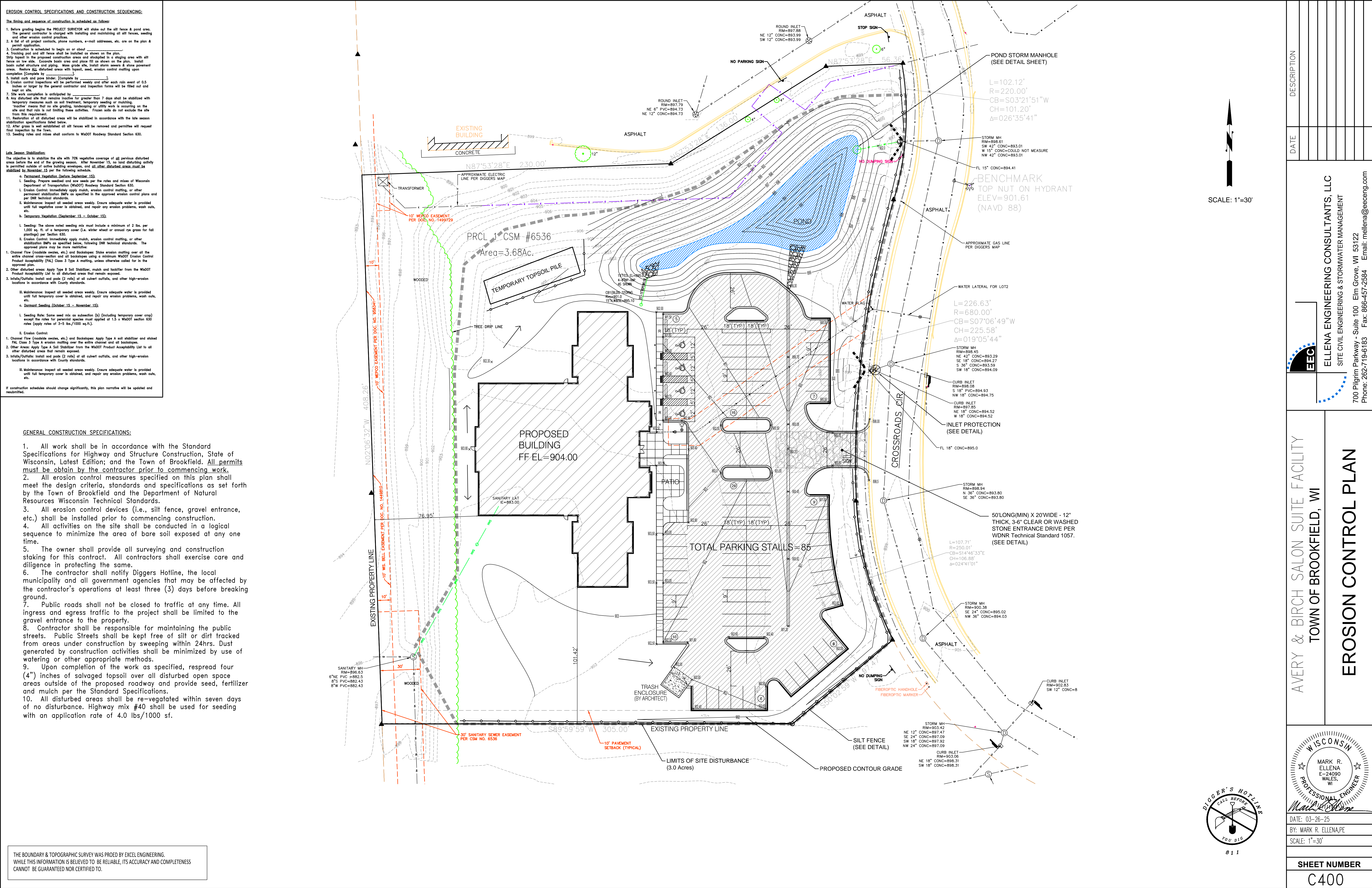
## PRIVATE SANITARY SEWER AND WM PLAN

WISCONSIN  
MARK R. ELLENA  
E-24090  
WALES, WI  
PROFESSIONAL ENGINEER  
DATE: 03-26-25  
BY: MARK R. ELLENA, P.E.  
SCALE: 1"=30'

SHEET NUMBER  
C300

EEC  
ELLENA ENGINEERING CONSULTANTS, LLC  
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT  
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122  
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@eeceng.com















*Avery and Birch*  
beauty studios

**in.**studio  
architecture



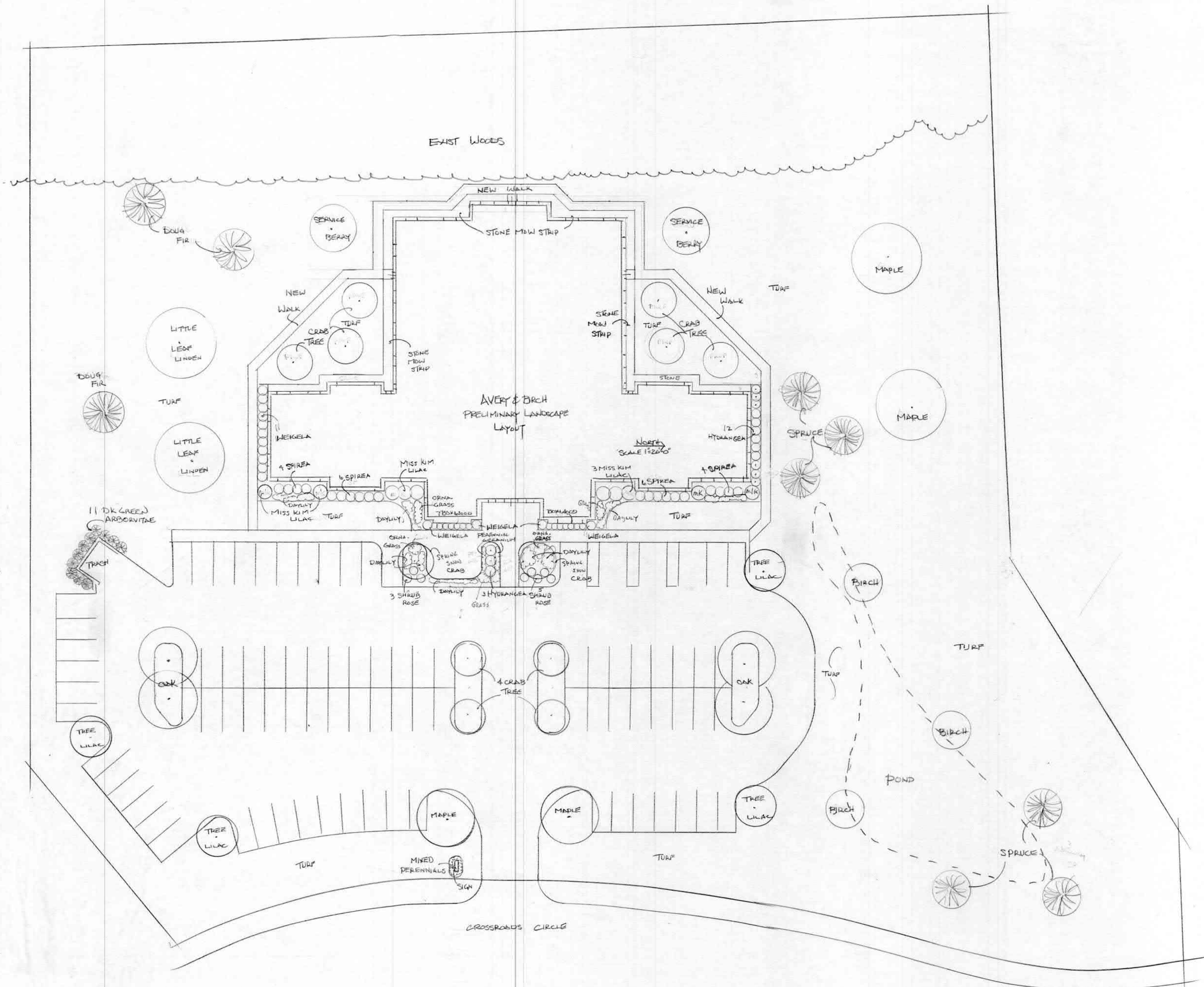


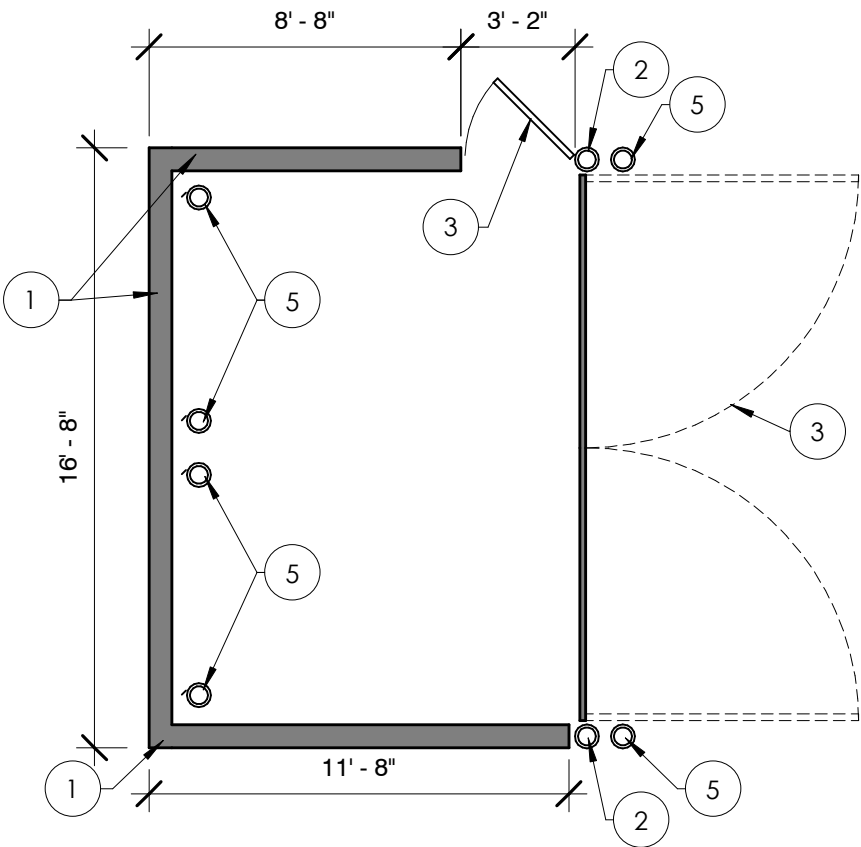
*Avery and Birch*  
beauty studios

**in.**studio  
architecture

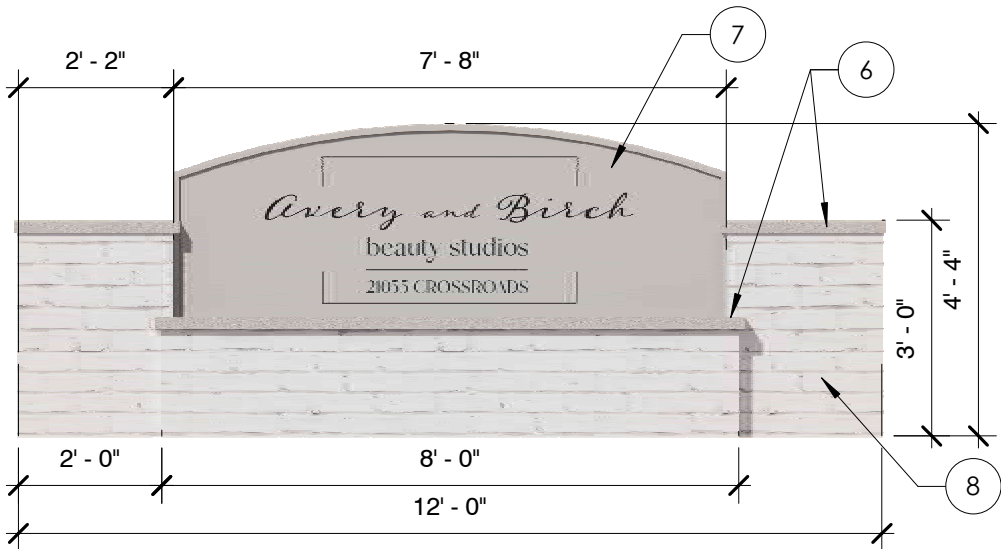




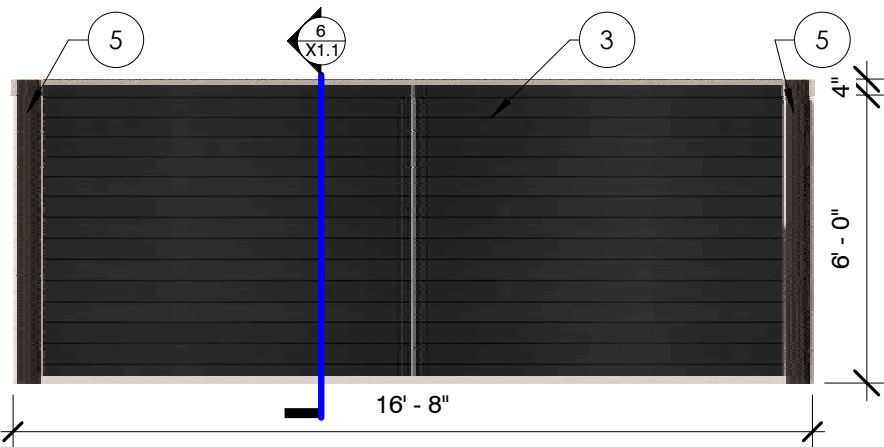




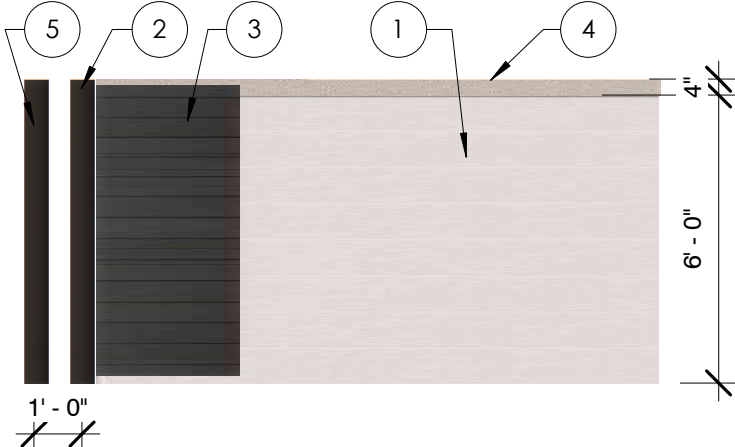
DUMPSTER ENCLOSURE PLAN  
3/16" = 1'-0"



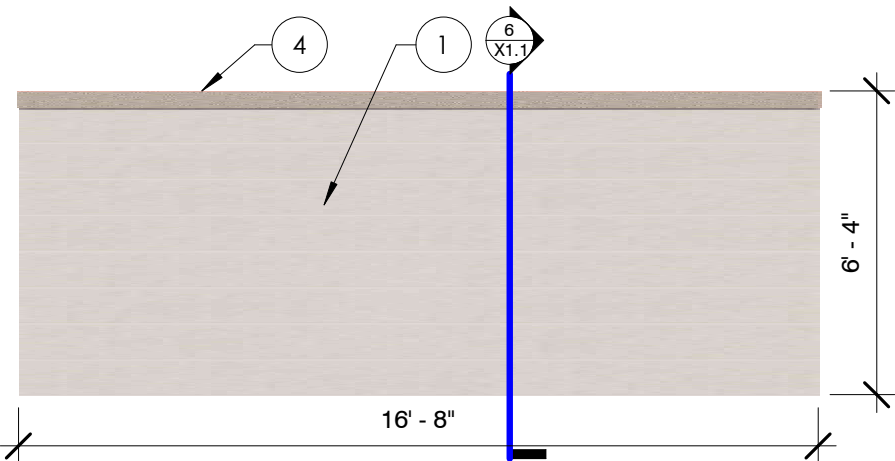
MONUMENT SIGN  
3/8" = 1'-0"



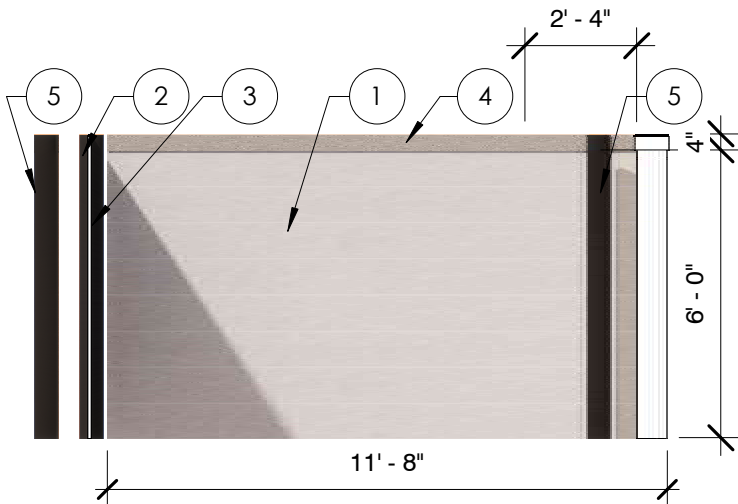
DUMPSTER - FRONT  
1/4" = 1'-0"



DUMPSTER - SIDE  
1/4" = 1'-0"



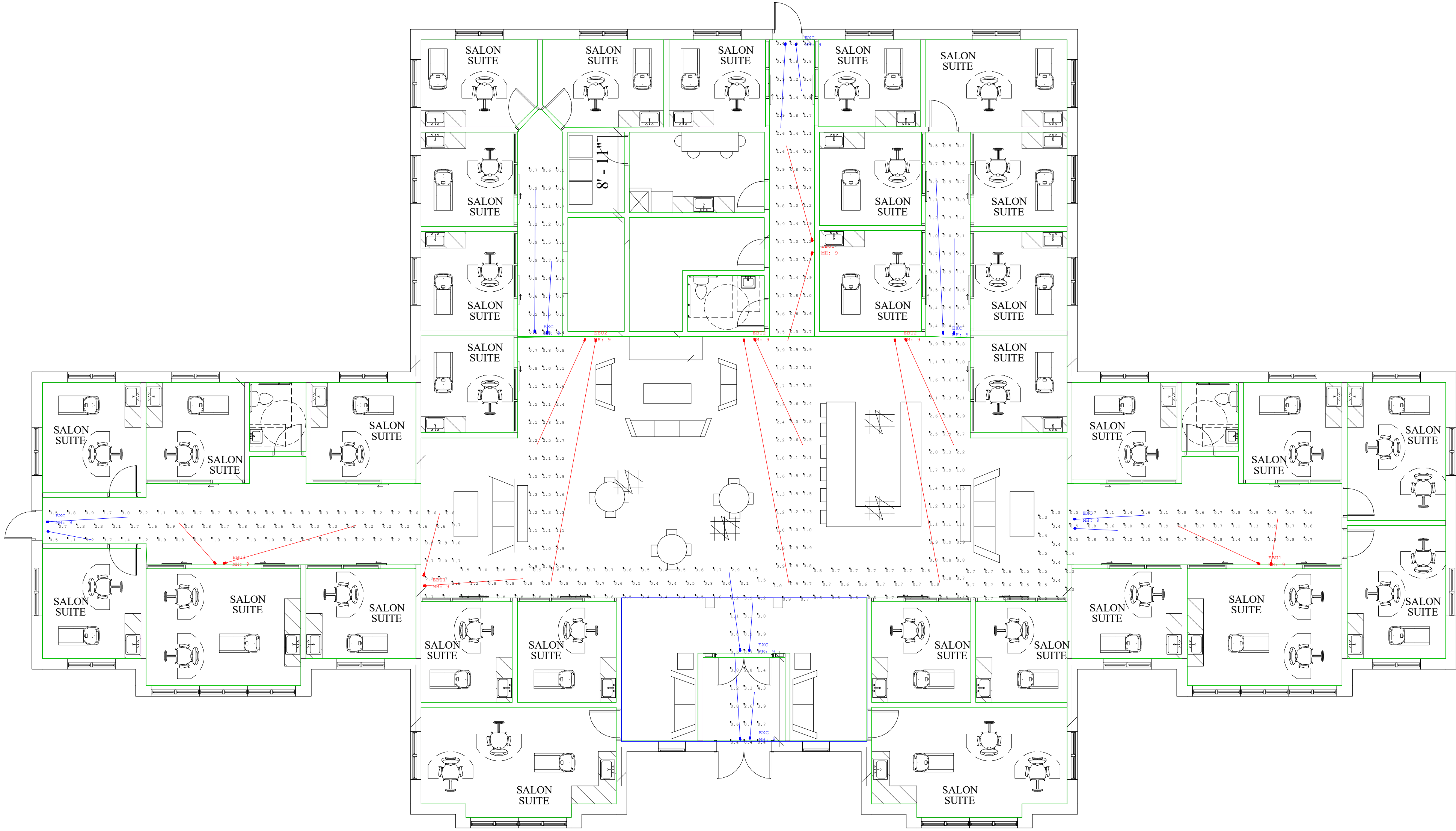
DUMPSTER - REAR  
1/4" = 1'-0"



DUMPSTER - SECTION  
1/4" = 1'-0"

KEYED GARBAGE ENCLOSURE AND SIGNAGE NOTES	
TAG #	DESCRIPTION
1	8"X16" SPLIT FACE BLOCK (CMU-1), COLOR TO MATCH BRICK
2	6" CONCRETE FILLED GALVANIZED STEEL PIPE POSTS FOR GATE SUPPORT. SET 1" INSIDE EDGE OF CMU WALL
3	ENCLOSURE GATE/DOOR COMPOSITE DECKING (COLOR TO MATCH DARK BUILDING ACCENTS) ON PAINTED STEEL DOOR FRAME. PROVIDE DOOR HINGES, LATCHS, AND OTHER REQUIRED HARDWARE, TYP.
4	4" LIMESTONE CAP
5	6" CONCRETE FILLED GALVANIZED STEEL BOLLARD. 6'-4" TALL OUTSIDE OF ENCLOSURE, 4'-0" TALL INSIDE OF ENCLOSURE
6	2" LIMESTONE CAP
7	PREFINISHED METAL SIGN BOX
8	MASONRY BASE (BK-1), MATCH BRICK TO BUILDING





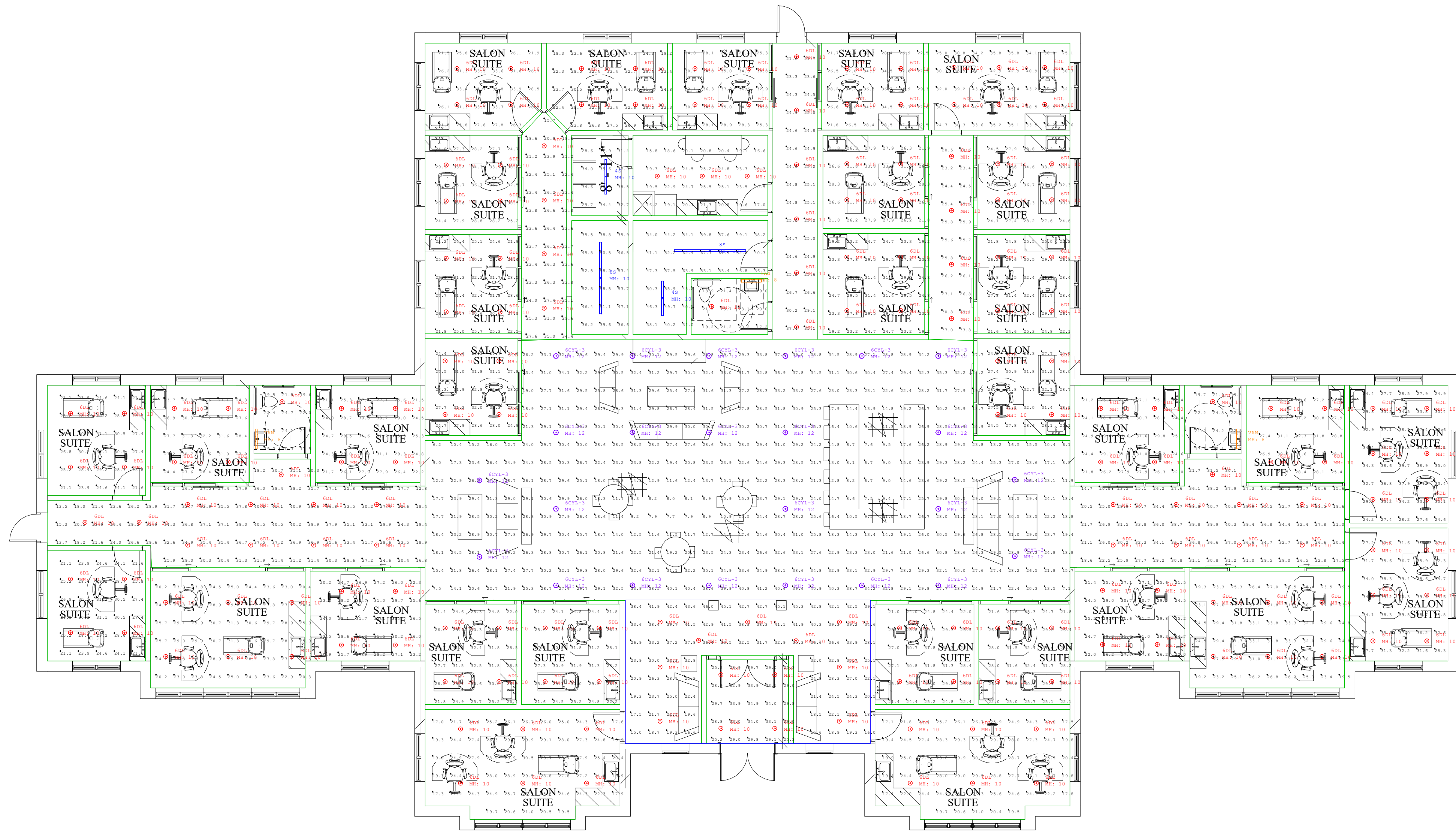
Fixture Schedule								
Symbol	Label	Qty	[MANUFAC]	Catalog Number	LLF	Lumens	Watts	Tot. Watts
⊕	EBU1	4	Lithonia Lighting	ELM2L	1.000	260	2	8
⊕	EBU2	3	Lithonia Lighting	ELM4L	1.000	692	5	15
⊕	EXC	7	Lithonia Lighting	ECRG RD	1.000	176	1.6	11.2






Calculation Summary									
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min		
POE_1	Illuminance	Fc	1.13	5.2	0.2	5.65	26.00		
POE_2	Illuminance	Fc	1.31	3.0	0.4	3.28	7.50		
POE_3	Illuminance	Fc	1.38	4.8	0.4	3.45	12.00		
POE_4	Illuminance	Fc	1.13	3.0	0.4	2.83	7.50		
POE_5	Illuminance	Fc	1.03	5.0	0.3	3.43	16.67		

1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. CED Pewaukee assumes no responsibility for installed light levels due to field conditions, etc.

Revisions			
#	Date	Comments	



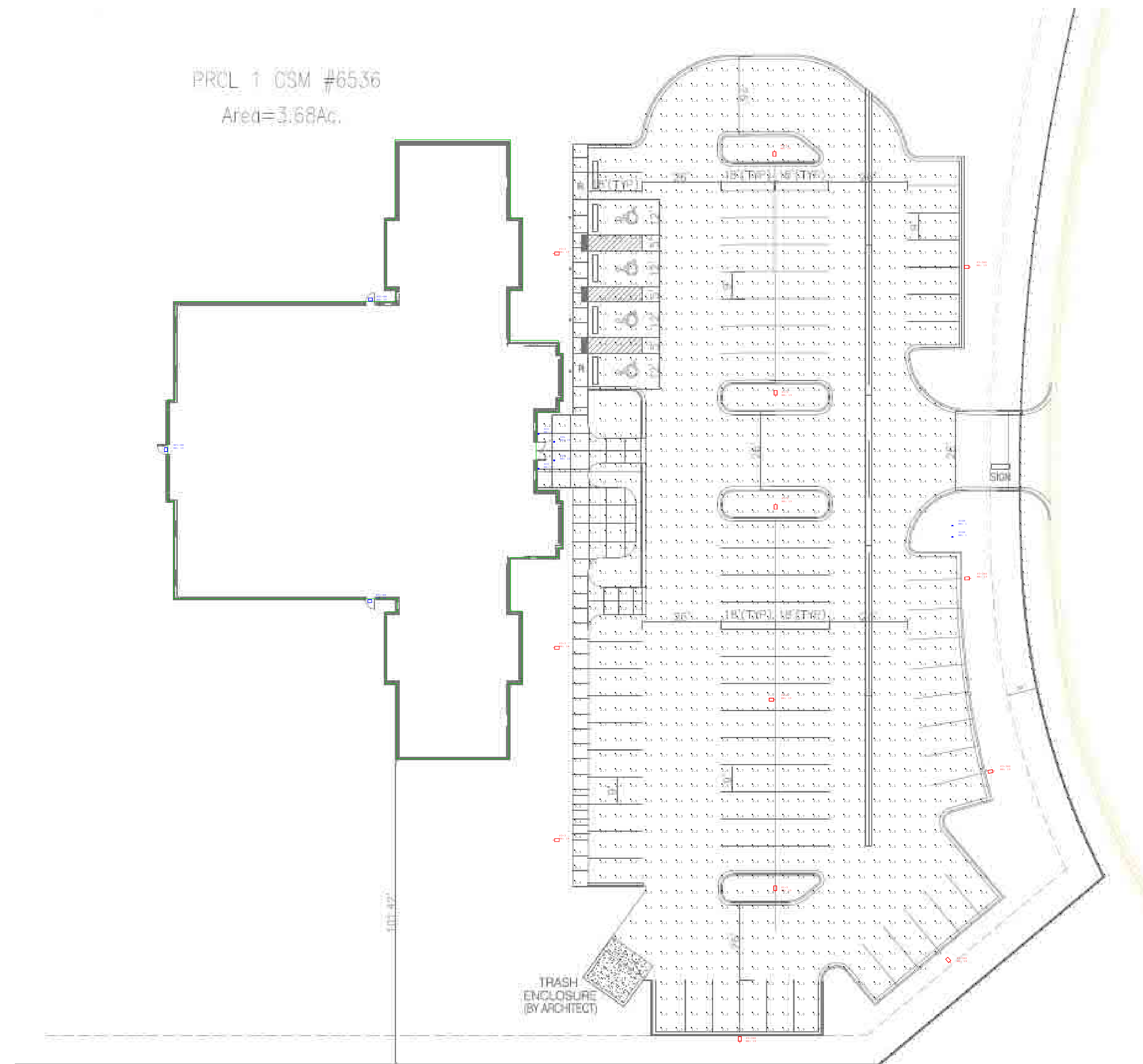









Fixture Schedule								
Symbol	Label	Qty	[MANUFAC]	Catalog Number	LLF	Lumens	Watts	Tot. Watts
	6CYL-3	24	Lithonia Lighting	LDN6CYL 35 20 LO6AR LSS	0.950	1982	22.52	540.48
	VAN	3	Lithonia Lighting	FMVCCLS 24IN MVOLT 30K35K40K	0.950	1737	18.12	54.36
	8S	2	Lithonia Lighting	CSS L96 ALO4 MVOLT SWW3 80CRI (8000LM 4000K)	0.950	8415	68.4	136.8
	4S	2	Lithonia Lighting	CSS L48 ALO3 (4000) MVOLT SWW3 (40 80CRI	0.950	5095	34.81	69.62
	6DL	191	Juno Lighting	WF6 DREG B ALO20 SWW5 90CRI 35K	0.950	1490	15.5	2960.5

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bathroom 1 Workplane	Illuminance	Fc	21.22	24.7	17.5	1.21	1.41
Bathroom 2 Workplane	Illuminance	Fc	21.28	24.8	17.6	1.21	1.41
Bathroom 3 Workplane	Illuminance	Fc	20.55	23.7	17.2	1.19	1.38
Breakroom Workplane	Illuminance	Fc	21.00	25.5	15.8	1.33	1.61
Corridor 1 Workplane	Illuminance	Fc	24.62	35.0	15.7	1.57	2.23
Corridor 2 Workplane	Illuminance	Fc	25.72	37.4	21.6	1.19	1.73
Corridor 3 Workplane	Illuminance	Fc	26.33	37.0	20.5	1.28	1.80
Corridor 4 Workplane	Illuminance	Fc	29.58	41.1	12.8	2.31	3.21
Corridor 5 Workplane	Illuminance	Fc	29.83	40.8	14.7	2.03	2.78
Lobby Reception Area Workplane	Illuminance	Fc	25.88	46.0	6.1	4.24	7.54
Misc Room Workplane	Illuminance	Fc	46.62	58.5	35.5	1.31	1.65
Salon Suite 1 Workplane	Illuminance	Fc	28.39	32.3	23.4	1.21	1.38
Salon Suite 10 Workplane	Illuminance	Fc	27.14	31.9	21.2	1.28	1.50
Salon Suite 11 Workplane	Illuminance	Fc	27.58	32.5	21.4	1.29	1.52
Salon Suite 12 Workplane	Illuminance	Fc	27.13	32.1	20.2	1.34	1.59
Salon Suite 13 Workplane	Illuminance	Fc	26.50	31.3	20.2	1.31	1.55
Salon Suite 14 Workplane	Illuminance	Fc	26.58	31.2	21.1	1.26	1.48
Salon Suite 15 Workplane	Illuminance	Fc	26.57	31.1	21.1	1.26	1.47
Salon Suite 16 Workplane	Illuminance	Fc	28.36	32.2	23.7	1.20	1.36
Salon Suite 17 Workplane	Illuminance	Fc	26.99	31.7	21.1	1.28	1.50
Salon Suite 18 Workplane	Illuminance	Fc	28.78	32.8	24.4	1.18	1.34
Salon Suite 19 Workplane	Illuminance	Fc	27.53	32.4	21.2	1.30	1.53
Salon Suite 2 Workplane	Illuminance	Fc	32.96	39.8	24.2	1.36	1.64
Salon Suite 20 Workplane	Illuminance	Fc	30.47	36.7	24.0	1.27	1.53
Salon Suite 21 Workplane	Illuminance	Fc	29.00	35.8	21.5	1.35	1.67
Salon Suite 22 Workplane	Illuminance	Fc	27.49	35.6	18.3	1.50	1.95
Salon Suite 23 Workplane	Illuminance	Fc	30.98	37.2	24.8	1.25	1.50
Salon Suite 24 Workplane	Illuminance	Fc	29.46	36.7	21.7	1.36	1.69
Salon Suite 25 Workplane	Illuminance	Fc	28.97	36.0	21.8	1.33	1.65
Salon Suite 26 Workplane	Illuminance	Fc	25.93	31.4	19.2	1.35	1.64
Salon Suite 27 Workplane	Illuminance	Fc	35.50	45.4	24.6	1.44	1.85
Salon Suite 28 Workplane	Illuminance	Fc	30.47	36.7	24.1	1.26	1.52
Salon Suite 29 Workplane	Illuminance	Fc	27.56	32.4	21.6	1.28	1.50
Salon Suite 3 Workplane	Illuminance	Fc	34.43	40.3	27.2	1.27	1.48
Salon Suite 30 Workplane	Illuminance	Fc	28.77	32.7	24.2	1.19	1.35
Salon Suite 4 Workplane	Illuminance	Fc	27.54	33.8	19.2	1.43	1.76
Salon Suite 5 Workplane	Illuminance	Fc	27.06	31.7	21.4	1.26	1.48
Salon Suite 6 Workplane	Illuminance	Fc	27.56	32.4	21.6	1.28	1.50
Salon Suite 7 Workplane	Illuminance	Fc	27.12	31.8	21.0	1.29	1.51
Salon Suite 8 Workplane	Illuminance	Fc	24.66	30.5	17.1	1.44	1.78
Salon Suite 9 Workplane	Illuminance	Fc	24.67	30.5	17.0	1.45	1.79
Salon Suite Workplane	Illuminance	Fc	26.98	31.6	21.2	1.27	1.49
Storage 1 Workplane	Illuminance	Fc	49.09	67.7	34.0	1.44	1.99
Storage Workplane	Illuminance	Fc	34.55	40.3	28.6	1.21	1.41
Vestibule Workplane	Illuminance	Fc	30.18	34.9	25.2	1.20	1.38

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4. Standard outdoor calc points @ Grade unless noted otherwise
5. CED Pewaukee assumes no responsibility for installed light levels due to field conditions, etc.





Fixture Schedule								
Symbol	Label	Qty	[MANUFAC]	Catalog Number	LLF	Lumens	Watts	Tot. Watts
	6DL	2	Juno Lighting	WF6 DREG B ALO20 SWW5 90CRI 40K	0.900	1501	15.5	31
	WP1-EM	3	Chloride	ARC-ACEM-BZ	0.900	7600	16	48
	SIGN	2	Lithonia Lighting	ESXF1 ALO(3,000L) SWW2(5000K) KY DDB	0.900	3076	19.12	38.24
	P3-3HS	5	Lithonia Lighting	RSX1 LED P1 40K R3 HS	0.900	4980	51.34	256.7
	SCO	2		20131LEDDMG	0.900	673	12.61	25.22
	P3-3	3	Lithonia Lighting	RSX1 LED P1 40K R3	0.900	7096	51.34	154.02
	P1-5	5	Lithonia Lighting	RSX1 LED P4 40K R5	0.900	16793	133.14	665.7

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Prop Line	Illuminance	Fc	0.20	0.9	0.0	N.A.	N.A.
Sidewalk	Illuminance	Fc	2.06	5.2	0.9	2.29	5.78
Site	Illuminance	Fc	2.48	4.0	1.0	2.48	4.00

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3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. CED Pewaukee assumes no responsibility for installed light levels due to field conditions, etc.

[illegible]



SITE DEVELOPMENT PLANS  
FOR  
OSCAR'S CUSTARD  
21165 EAST MORELAND BOULEVARD  
WAUKESHA, WI

VICINITY MAP

ENGINEER AND LANDSCAPE ARCHITECT:



CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

DEVELOPER / OWNER:

JAMES TAYLOR  
W279N2865 ROCKY POINT RD  
PEWAUKEE, WI 53072



PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
---	PLAT OF SURVEY
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C201	TRUCK ACCESS PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C500 - C501	DETAILS
C600	SPECIFICATIONS
L100	SITE LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS
1 OF 1	PHOTOMETRIC PLAN - BY OTHERS

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

TITLE SHEET

PRELIMINARY  
NOT FOR  
CONSTRUCTION



Know what's below.  
Call before you dig.

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PLAN DATE: 04/30/2025

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

© COPYRIGHT 2025  
R.A. Smith, Inc.  
DATE: 04/30/2025  
SCALE: N.T.S.  
JOB NO. 3240290  
PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.  
DESIGNED BY: CBW  
CHECKED BY: MAF

SHEET NUMBER  
C000

DATE	DESCRIPTION



CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA



LEGEND

- BOLLARD
- + SOIL BORING/MONITORING WELL
- ⚡ FLAGPOLE
- ⚡ MAILBOX
- SIGN
- ⊠ AIR CONDITIONER
- ⊠ CONTROL BOX
- ⊠ TRAFFIC SIGNAL
- ⊠ CABLE PEDESTAL
- ⊠ POWER POLE
- ⊠ GUY POLE
- ⊠ GUY WIRE
- ⊠ LIGHT POLE
- ⊠ SPOT/YARD/PEDESTAL LIGHT
- ⊠ HANDICAPPED PARKING
- ⊠ PULL BOX
- ⊠ ELECTRIC MANHOLE
- ⊠ ELECTRIC PEDESTAL
- ⊠ ELECTRIC METER
- ⊠ ELECTRIC TRANSFORMER
- ⊠ TELEPHONE MANHOLE
- ⊠ TELEPHONE PEDESTAL
- ⊠ UTILITY VAULT
- ⊠ GAS VALVE
- ⊠ GAS METER
- ⊠ GAS WARNING SIGN
- ⊠ STORM MANHOLE
- ⊠ ROUND INLET
- ⊠ SQUARE INLET
- ⊠ STORM SEWER END SECTION
- ⊠ SANITARY MANHOLE
- ⊠ SANITARY CLEANOUT OR SEPTIC VENT
- ⊠ SANITARY INTERCEPTOR MANHOLE
- ⊠ MISCELLANEOUS MANHOLE
- ⊠ IRRIGATION CONTROL BOX
- ⊠ WATER VALVE
- ⊠ HYDRANT
- ⊠ WATER SERVICE CURB STOP
- ⊠ WATER MANHOLE
- ⊠ WELL
- ⊠ WATER SURFACE
- ⊠ WETLANDS FLAG
- ⊠ MARSH
- ⊠ CONIFEROUS TREE
- ⊠ DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S—SANITARY SEWER
- ST—STORM SEWER
- W—WATERMAIN
- E—MARKED GAS MAIN
- E—MARKED ELECTRIC
- OHW—OVERHEAD WIRES
- B—BUREAU ELEC. SERV.
- T—MARKED TELEPHONE
- TV—MARKED CABLE TV LINE
- FO—MARKED FIBER OPTIC
- (P)—UTILITY PER PLAN
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION

PLAT OF SURVEY  
W/ TOPOGRAPHIC DATA & UTILITIES

KNOWN AS: 21165 HIGHWAY "18", WAUKESHA, WISCONSIN

LOT 2 OF CERTIFIED SURVEY MAP NO. 3963, RECORDED ON JANUARY 15, 1981, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 31, PAGE 4-7, AS DOCUMENT NO. 1148662 AND LOT 1 OF CERTIFIED SURVEY MAP NO. 11799, RECORDED ON JANUARY 4, 2019, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN BOOK 119, PAGE 9-13, AS DOCUMENT NO. 4378007, BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30 AND THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

PREPARED FOR: JAMES TAYLOR  
SURVEY NO: 154623-KAC

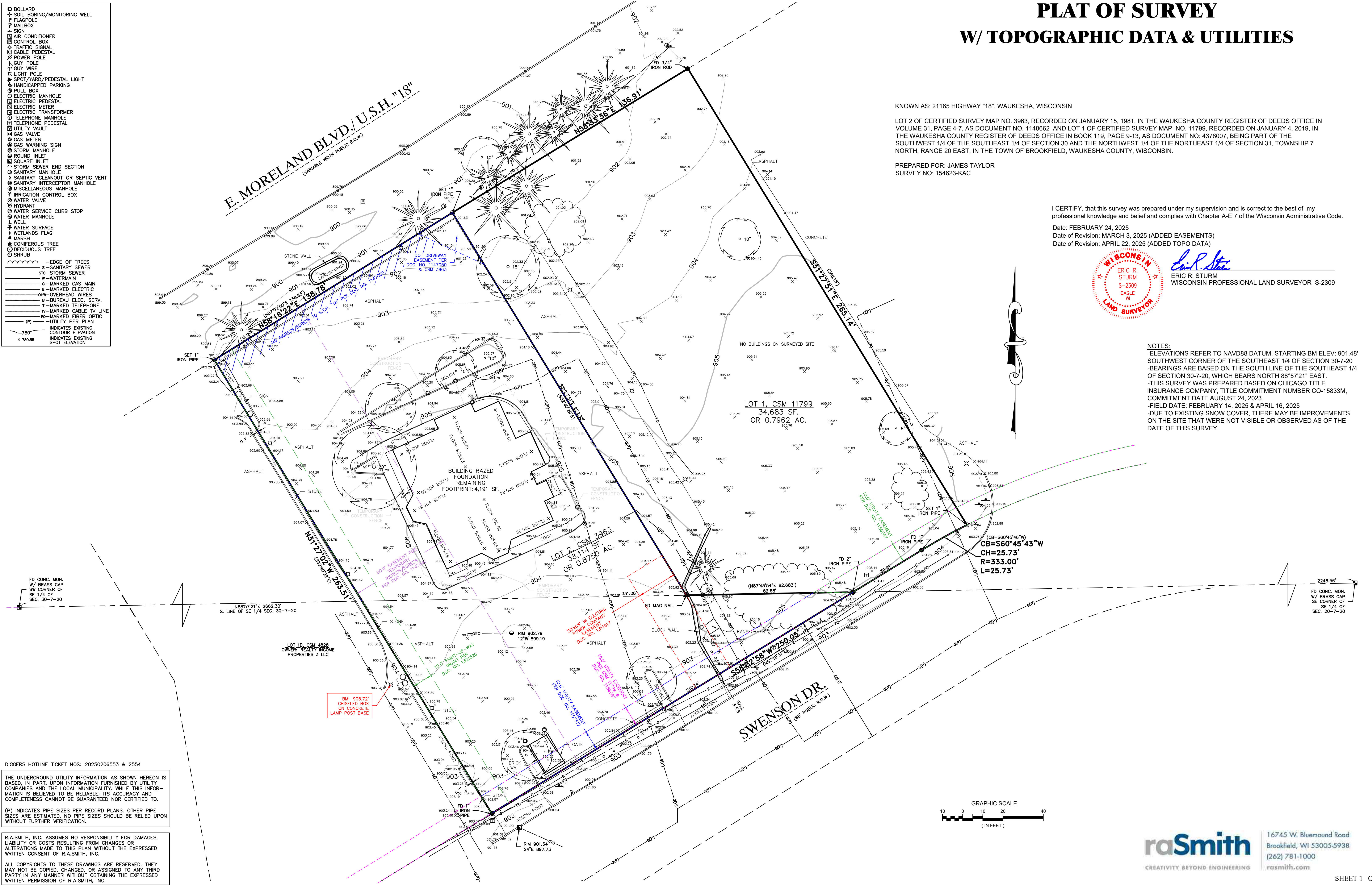
I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.

Date: FEBRUARY 24, 2025  
Date of Revision: MARCH 3, 2025 (ADDED EASEMENTS)  
Date of Revision: APRIL 22, 2025 (ADDED TOPO DATA)



*Eric R. Sturm*  
ERIC R. STURM  
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2309

NOTES:  
-ELEVATIONS REFER TO NAVD88 DATUM. STARTING BM ELEV: 901.48'  
-SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 30-7-20  
-BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 30-7-20, WHICH BEARS NORTH 88°57'21" EAST.  
-THIS SURVEY WAS PREPARED BASED ON CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER CO-15833M, COMMITMENT DATE AUGUST 24, 2023.  
-FIELD DATE: FEBRUARY 14, 2025 & APRIL 16, 2025  
-DUE TO EXISTING SNOW COVER, THERE MAY BE IMPROVEMENTS ON THE SITE THAT WERE NOT VISIBLE OR OBSERVED AS OF THE DATE OF THIS SURVEY.



DIGGERS HOTLINE. TICKET NOS: 20250206553 & 2554

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

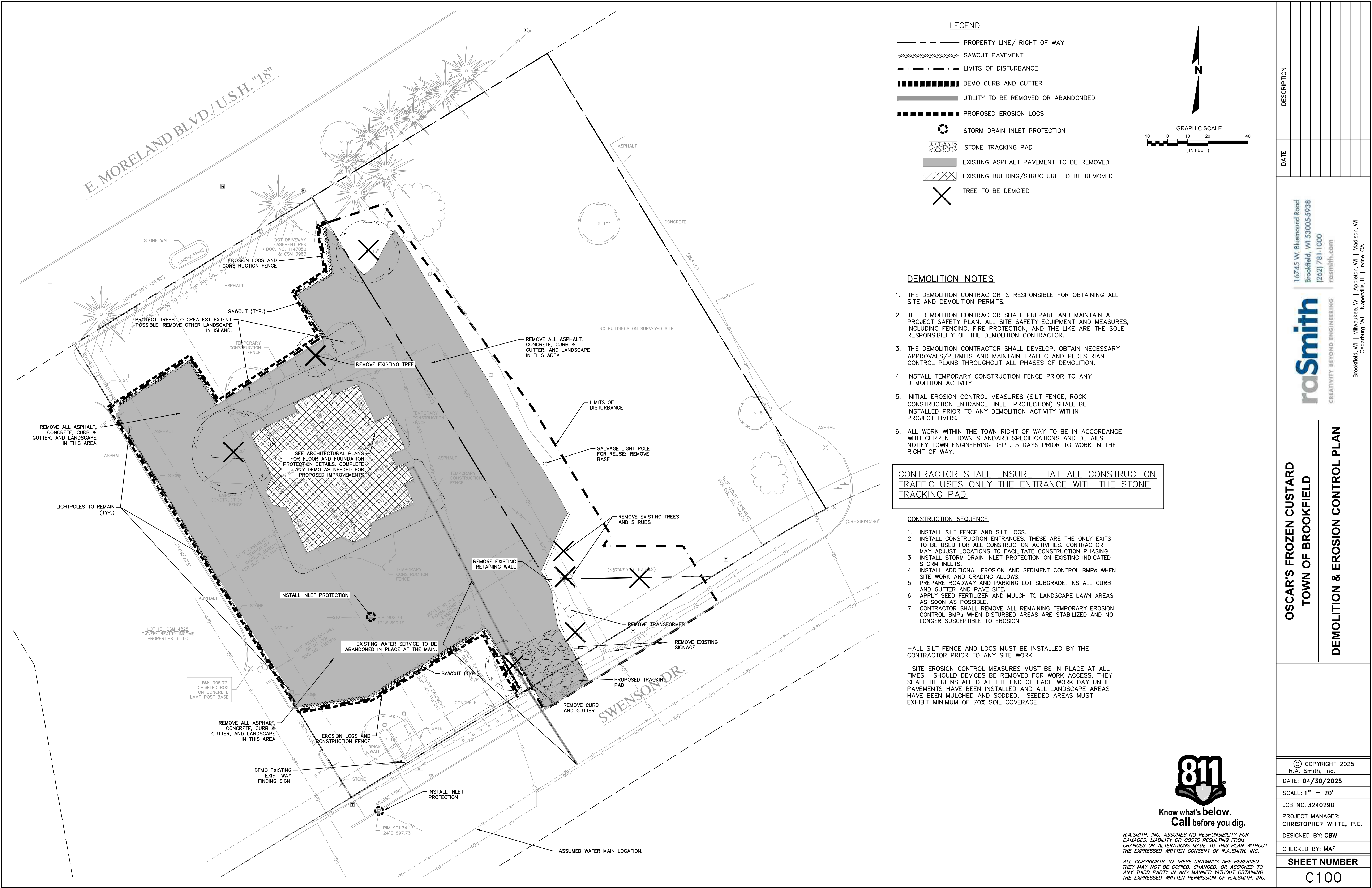
(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

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**raSmith**  
CREATIVITY BEYOND ENGINEERING  
16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com









**LEGEND**

- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED 18" CURB AND GUTTER

GRAPHIC SCALE  
0 10 20 40  
(IN FEET)

**OSCAR'S PROPERTY (ZONED B-2)**

**PARKING STATISTICS**

REQUIRED PARKING: 1 PER 50 SF OF DINING AREA AND 1 PER TWO EMPLOYEES ON LARGEST SHIFT

DINING AREA = 2,100 SF / 50 SF = 42 STALLS  
EMPLOYEES = 10 / 2 = 6 STALLS

TOTAL REQUIRED = 48 STALLS

PROPOSED PARKING (WITH SHARED PARKING AGREEMENT):

REGULAR STALLS	56
ADA STALLS	3
TOTAL	59

**EXISTING CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	38,115	0.88	
PERVIOUS SPACE	3,344	0.08	9.1%
IMPERVIOUS SPACE	34,771	0.80	90.9%

**PROPOSED CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	38,115	0.88	
PERVIOUS SPACE	3,510	0.08	9.1%
IMPERVIOUS SPACE	34,605	0.80	90.9%

\*REQUIRED GREEN SPACE = 5% OF SURFACE NOT INCLUDING BUILDING AND PATIO AREAS  
REQUIRED GREEN SPACE = (34,605 - 6,405)5% = 1,410 SF

**FUTURE DEVELOPMENT PROPERTY**

**EXISTING CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	34,683	0.80	
PERVIOUS SPACE	30,161	0.69	86.3%
IMPERVIOUS SPACE	4,522	0.11	13.7%

**PROPOSED CONDITIONS**

	SF	ACRES	COVERAGE
TOTAL SITE	34,683	0.80	
PERVIOUS SPACE	29,321	0.67	83.8%
IMPERVIOUS SPACE	5,362	0.13	16.2%

**GENERAL NOTES:**

- EXISTING TOPOGRAPHY OBTAINED BY raSmith FEBRUARY 24, 2025.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF BROOKFIELD EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PAVEMENT SECTIONS SHALL MATCH EXISTING PAVEMENT DESIGN OR APPROVED BY OWNER.



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DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
<b>raSmith</b> CREATIVITY BEYOND ENGINEERING	
Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI Cedarburg, WI   Naperville, IL   Irvine, CA	
<b>OSCAR'S FROZEN CUSTARD TOWN OF BROOKFIELD</b>	
<b>SITE PLAN</b>	
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DATE: 04/30/2025	
SCALE: 1" = 20'	
JOB NO. 3240290	
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.	
DESIGNED BY: CBW	
CHECKED BY: MAF	
<b>SHEET NUMBER</b>	
C200	

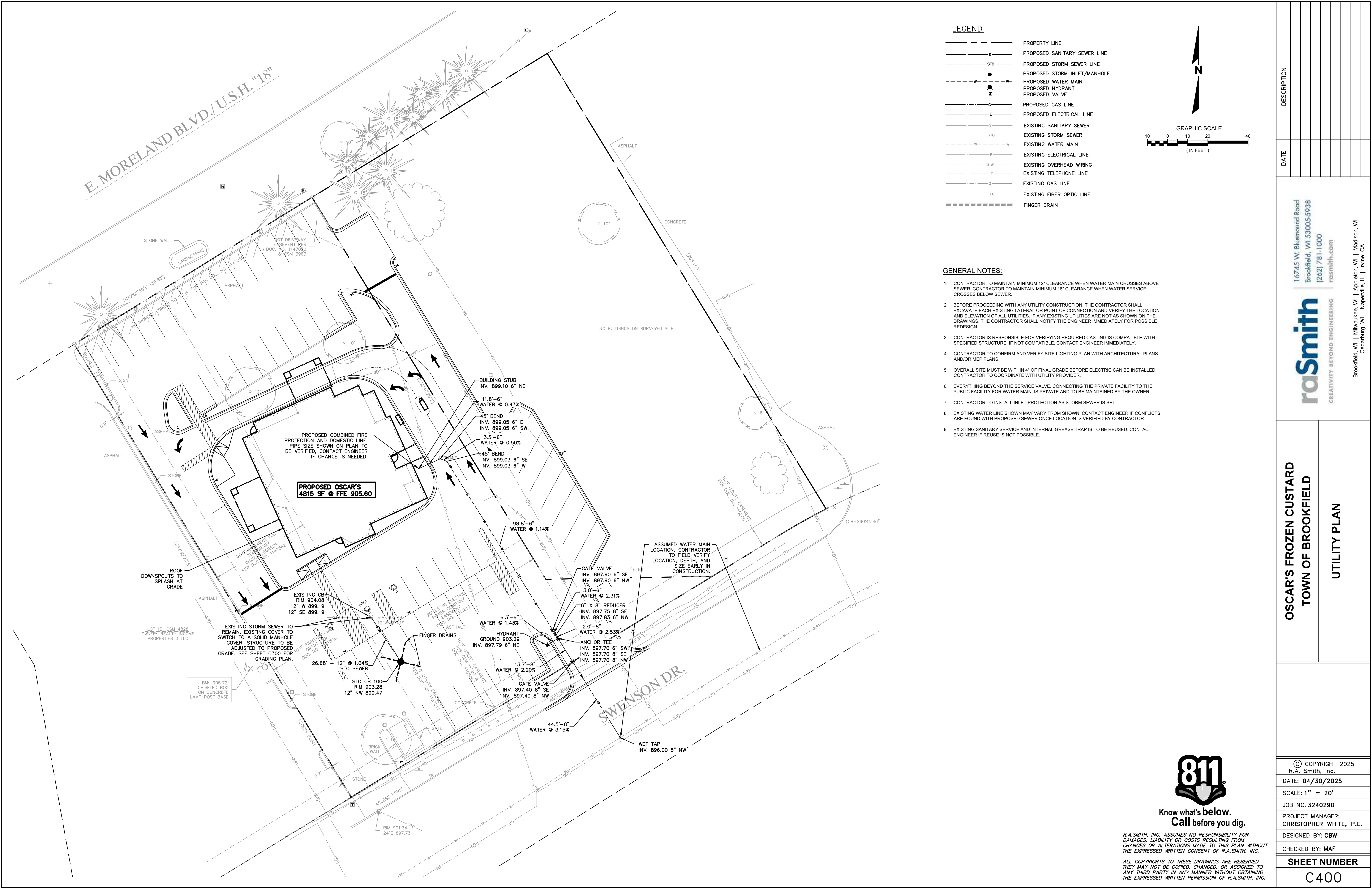






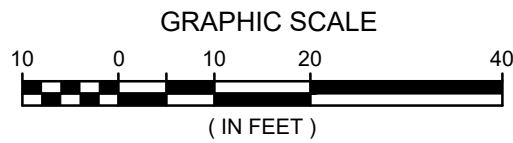






LEGEND

- PROPERTY LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM SEWER LINE
- PROPOSED STORM INLET/MANHOLE
- PROPOSED WATER MAIN
- PROPOSED HYDRANT
- PROPOSED VALVE
- PROPOSED GAS LINE
- PROPOSED ELECTRICAL LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER MAIN
- EXISTING ELECTRICAL LINE
- EXISTING OVERHEAD WIRING
- EXISTING TELEPHONE LINE
- EXISTING GAS LINE
- EXISTING FIBER OPTIC LINE
- FINGER DRAIN



GENERAL NOTES:

- CONTRACTOR TO MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER MAIN CROSSES ABOVE SEWER. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER SERVICE CROSSES BELOW SEWER.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH SPECIFIED STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY.
- CONTRACTOR TO CONFIRM AND VERIFY SITE LIGHTING PLAN WITH ARCHITECTURAL PLANS AND/OR MEP PLANS.
- OVERALL SITE MUST BE WITHIN 4" OF FINAL GRADE BEFORE ELECTRIC CAN BE INSTALLED. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
- EVERYTHING BEYOND THE SERVICE VALVE, CONNECTING THE PRIVATE FACILITY TO THE PUBLIC FACILITY FOR WATER MAIN, IS PRIVATE AND TO BE MAINTAINED BY THE OWNER.
- CONTRACTOR TO INSTALL INLET PROTECTION AS STORM SEWER IS SET.
- EXISTING WATER LINE SHOWN MAY VARY FROM SHOWN. CONTACT ENGINEER IF CONFLICTS ARE FOUND WITH PROPOSED SEWER ONCE LOCATION IS VERIFIED BY CONTRACTOR.
- EXISTING SANITARY SERVICE AND INTERNAL GREASE TRAP IS TO BE REUSED. CONTACT ENGINEER IF REUSE IS NOT POSSIBLE.

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD  
UTILITY PLAN

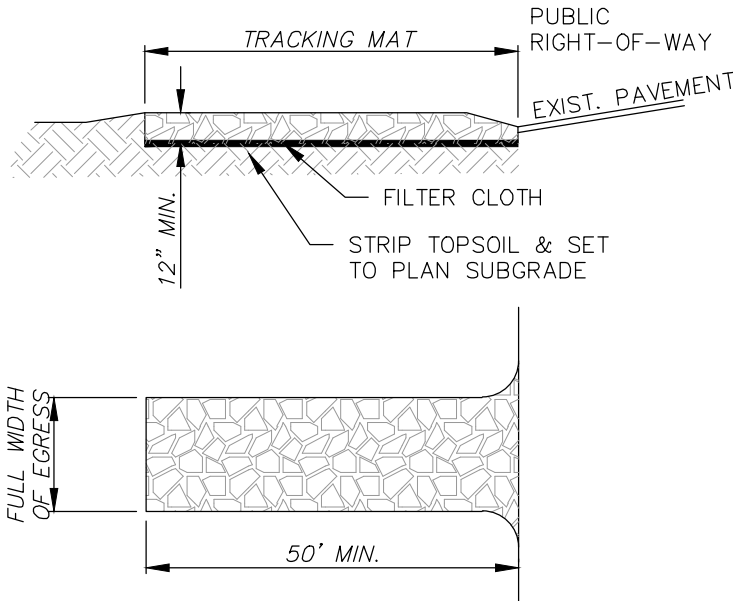
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CONSIDERATIONS:

1. TIRE WASHING AND TRACKING PAD TO CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1057.
2. VEHICLES TRAVELING ACROSS THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
3. THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
4. IT IS ALWAYS PREFERABLE TO PREVENT SEDIMENT FROM BEING DEPOSITED UPON THE ROAD THAN CLEANING THE ROAD LATER. SEDIMENT ON A ROAD CAN CREATE A SAFETY HAZARD AS WELL AS A POLLUTION PROBLEM.
5. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORKING DAY.

NOTES:

A. TRACKING PAD:

1. THE TRACKING PAD SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE SITE.
2. THE AGGREGATE FOR THE TRACKING PAD SHALL BE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION OF TABLE 1 OF THE WISCONSIN DNR TECHNICAL STANDARD 1057. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) 2018 STANDARD SPECIFICATION, SECTION 312, SELECT CRUSHED MATERIAL.
3. THE AGGREGATE SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. ON SITES WITH A HIGH WATER TABLE, OR WHERE SATURATED CONDITIONS ARE EXPECTED DURING THE LIFE OF THE PRACTICE, STONE TRACKING PADS SHALL BE UNDERLAIN WITH A WISDOT TYPE R GEOTEXTILE FABRIC TO PREVENT MIGRATION OF UNDERLYING SOIL INTO THE STONE.
4. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT. THE TRACKING PAD SHALL BE A MINIMUM OF 50 FEET LONG.
5. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. FLOWS SHALL BE DIVERTED AWAY FROM TRACKING PADS OR CONVEYED UNDER AND AROUND THEM BY USING A VARIETY OF PRACTICES, SUCH AS CULVERTS, WATER BARS, OR OTHER SIMILAR PRACTICES.

B. TIRE WASHING:

IF CONDITIONS ON THE SITE ARE SUCH THAT THE SEDIMENT IS NOT REMOVED FROM VEHICLE TIRES BY THE TRACKING PAD, THEN TIRES SHALL BE WASHED UTILIZING PRESSURIZED WATER BEFORE ENTERING A PUBLIC ROAD.

1. THE WASHING STATION SHALL BE LOCATED ON-SITE ON AN AREA THAT IS STABILIZED AND DRAINS INTO A SUITABLE SEDIMENT TRAPPING OR SETTLING DEVICE.
2. THE WASH RACK SHALL CONSIST OF A HEAVY GRATING OVER A LOWERED AREA. THE RACK SHALL BE STRONG ENOUGH TO SUPPORT THE VEHICLES THAT WILL CROSS IT.
3. THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
4. A MINIMUM 12-INCH THICK PAD SHALL BE MAINTAINED.

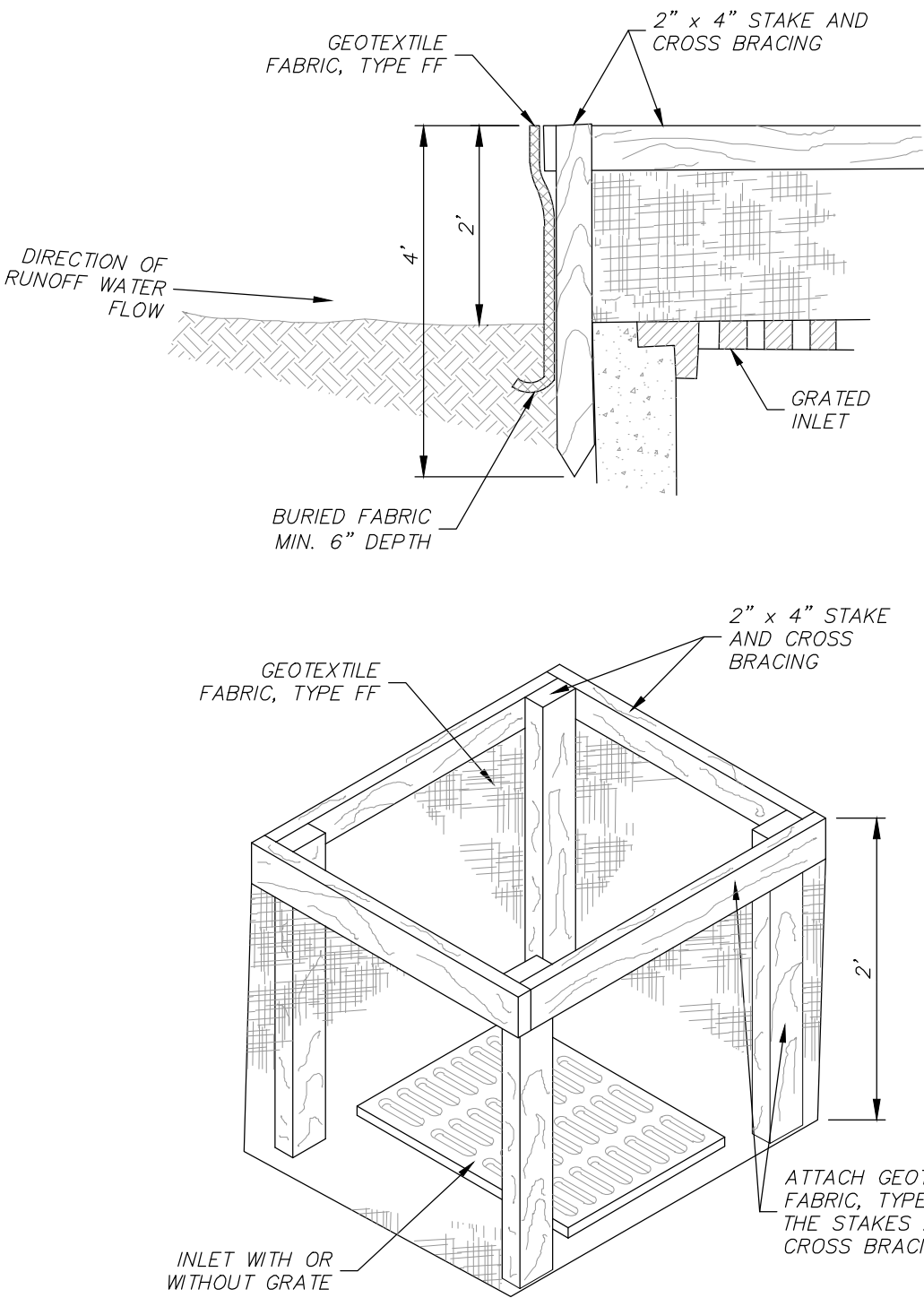
STONE TRACKING PAD AND TIRE WASHING  
(NOT TO SCALE)

NOTES:

1. SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
2. SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
3. WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

4. INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
5. A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
6. SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
7. CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
  - A) TWIST METHOD--OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
  - B) HOOK METHOD--HOOK THE END OF EACH SILT FENCE LENGTH.
8. SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
9. DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
10. SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
11. SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



INLET PROTECTION, TYPE A

- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4, THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- 4 SIDE FLAPS SHALL BE A MAXIMUM OF 2' LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

GENERAL NOTES:

INLET PROTECTION DEVICES SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD 1060 AND BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WISDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.

TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.

TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS HAVE BEEN ESTABLISHED.

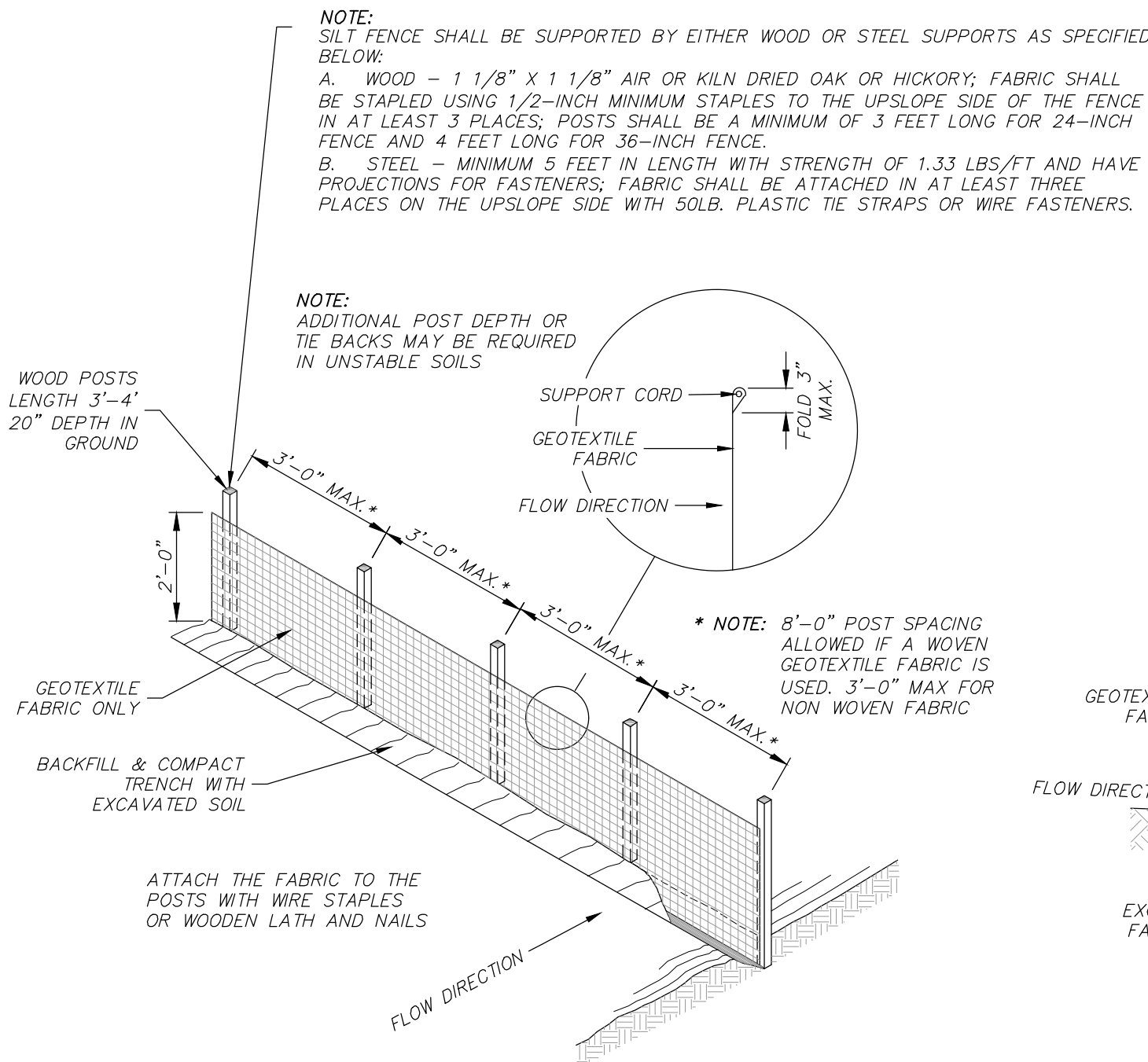
TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BOX WHEN TYPE D INLET DEVICES CANNOT BE USED.

TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB HEADS.

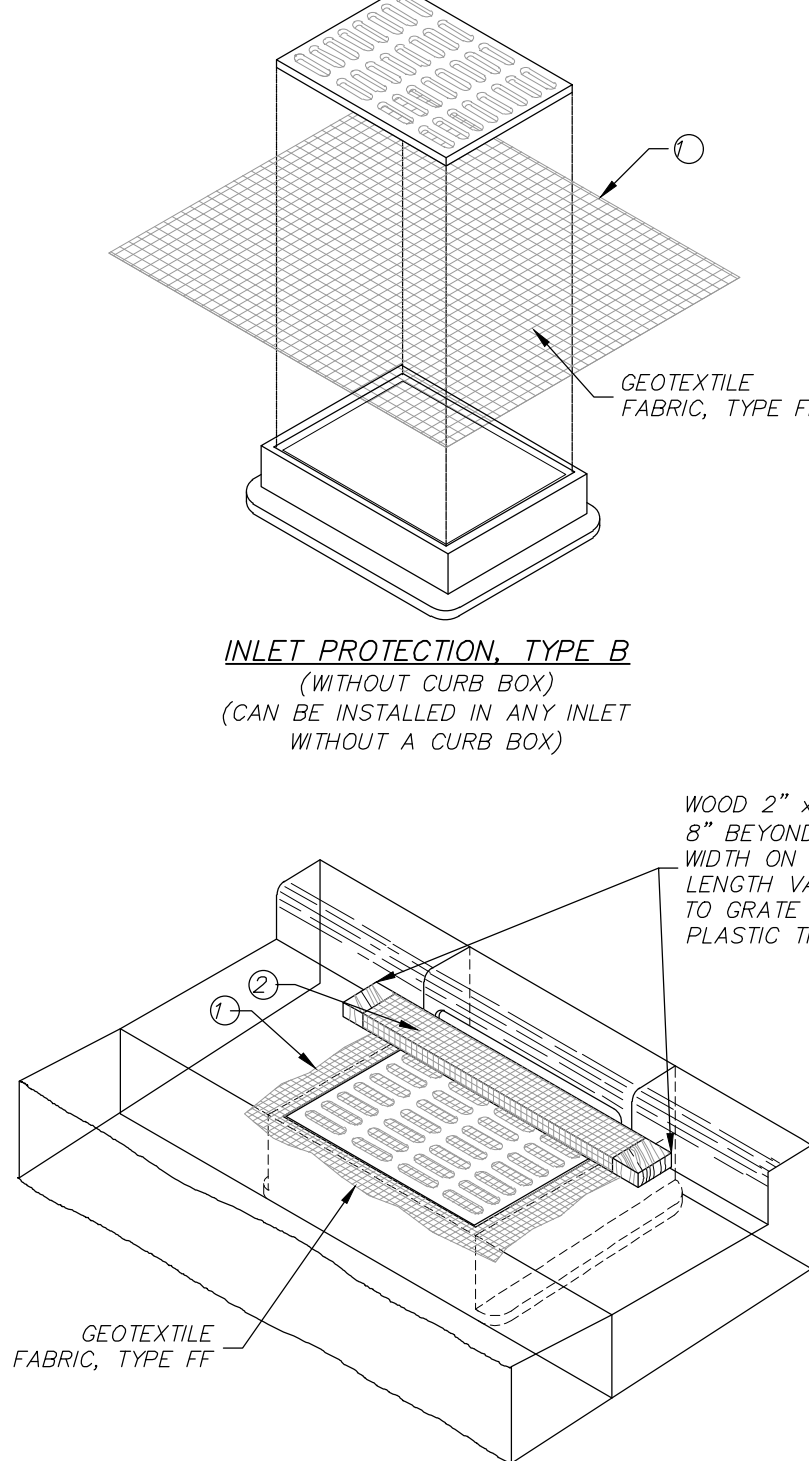
TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROADWAY AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE INLET FILTERING IS NEEDED.

TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.

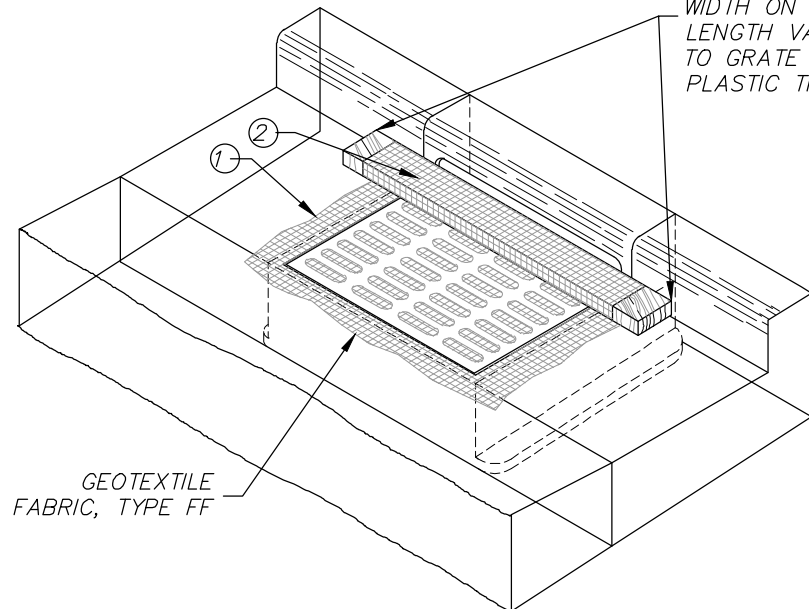
GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.



SILT FENCE  
(NOT TO SCALE)



INLET PROTECTION, TYPE B  
(WITHOUT CURB BOX)  
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C  
(WITH CURB BOX)

INSTALLATION NOTES:

TYPE B & C:  
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

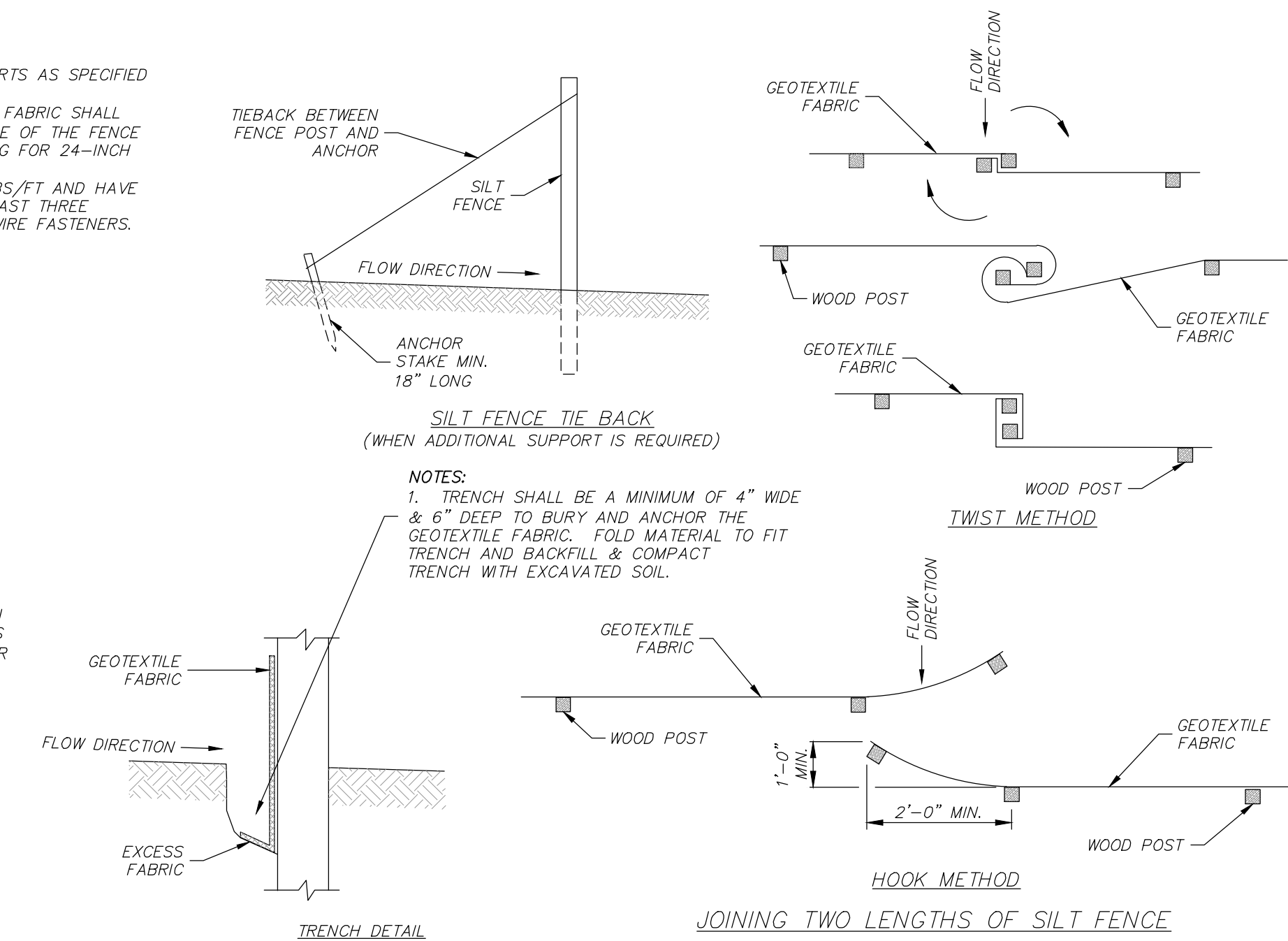
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D:  
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CATCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

STORM DRAIN INLET PROTECTION  
(NOT TO SCALE)



SILT FENCE TIE BACK  
(WHEN ADDITIONAL SUPPORT IS REQUIRED)

- NOTES:
1. TRENCH SHALL BE A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.

JOINING TWO LENGTHS OF SILT FENCE

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OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

EROSION CONTROL DETAILS

DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

raSmith  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

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DATE: 04/30/2025

SCALE: N.T.S.

JOB NO. 3240290

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

DESIGNED BY: CBW

CHECKED BY: MAF

SHEET NUMBER

C500

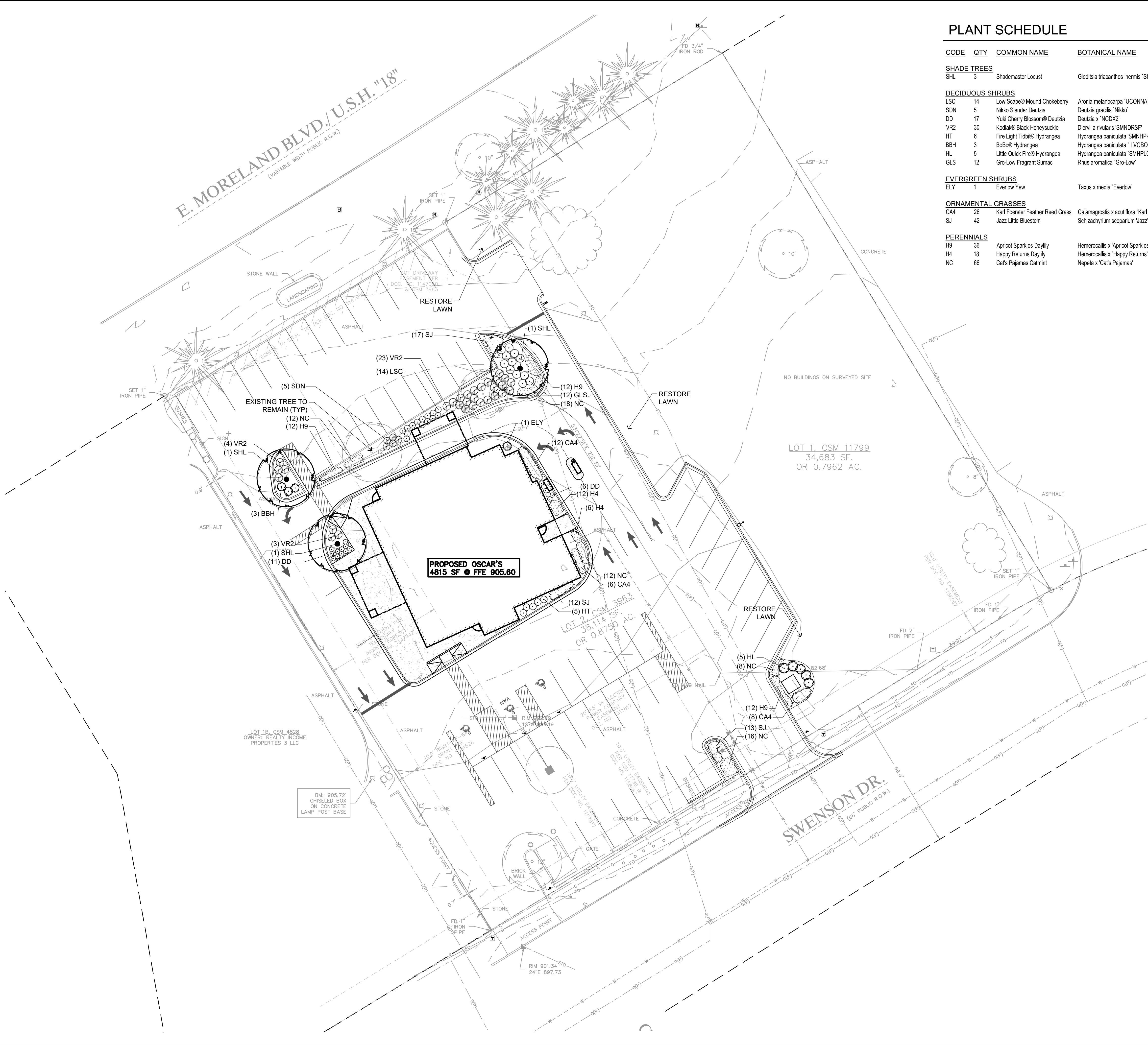






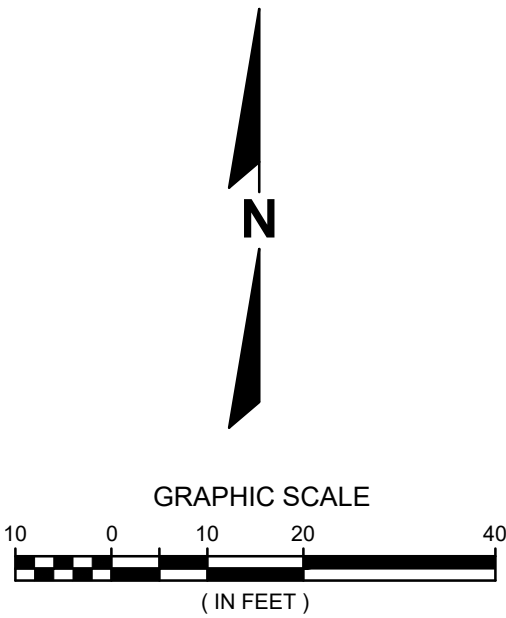
DIVISION 1 – GENERAL REQUIREMENTS		DIVISION 31 – EARTHWORK		DIVISION 32 – EXTERIOR IMPROVEMENTS		DIVISION 33 – UTILITIES			
01 41 00 – REGULATORY REQUIREMENTS		31 10 00 – SITE CLEARING & DEMOLITION		32 10 00 – WATER DISTRIBUTION		33 10 00 – WATER DISTRIBUTION			
<p>1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:</p> <p>a. WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS</p> <p>b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST</p> <p>c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)</p> <p>d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 381-387</p> <p>e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION</p> <p>f. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED PRODUCT LISTS (APL)</p> <p>g. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)</p> <p>h. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)</p> <p>i. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS</p> <p>j. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES</p> <p>k. MUNICIPALITY DEVELOPMENT STANDARDS</p> <p>l. COUNTY DEVELOPMENT STANDARDS</p>		<p>1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATTER INTERFERING WITH NEW CONSTRUCTION.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. CALL 811 TO NOTIFY UTILITY PROVIDERS, AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.</p> <p>4. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.</p> <p>5. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.</p> <p>7. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.</p> <p>8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.</p> <p>9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.</p> <p>10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.</p> <p>11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.</p> <p>12. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER.</p> <p>13. VOIDS LEFT BY REMOVALS SHALL BE LEVELLED TO PREVENT PONDING OF WATER.</p> <p>14. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.</p>		<p>1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPLACEMENT OF TOPSOIL.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.</p> <p>4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED AS EROSION CONTROL MATERIAL. EXCAVATED MATERIAL SHALL BE USED FOR FILL OR AS BARRING OVER THE EXCAVATION.</p> <p>5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.</p> <p>6. EXCAVATED WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING IS DRIED, PROTECT ADJACENT AREAS FROM RECEIVING PAINT OR EPOXY.</p> <p>7. DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDUM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVATE WATER PONDING. SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND ADJACENT AREAS.</p> <p>11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SLOPE. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.</p> <p>12. TOPSOIL REPLACEMENT DEPTH SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF SIX INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.</p> <p>13. TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 12" BY 18" IN ORDER TO INSURE LONG TERM PLANT HEALTH. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.</p>		<p>1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 811, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>4. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW.</p> <p>6. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW.</p> <p>7. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.</p> <p>8. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.</p> <p>16. 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CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.</p> <p>26. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK.</p> <p>27. THE CONTRACTOR SHALL MAINTAIN ALL VALVE BOXES TO FINISHED SURFACE.</p> <p>28. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.1.5.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.1.6.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.</p>		<p>12. CLEANSOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. 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01 41 00 – REGULATORY REQUIREMENTS		31 20 00 – EARTH MOVING		32 17 00 – PAVEMENT MARKING		33 40 00 – STORMWATER DRAINAGE			
<p>a. DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC., HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS &amp; SIZE TO BE USED ON PROJECT. ALL SUBMITTALS NOT BEING IDENTIFIED IN THE WORKSHEET BEING USED WILL BE REJECTED.</p> <p>b. THE CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DESIGN (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR 5 WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM USE OF THE PROPOSED SUBSTITUTE.</p> <p>6. THE CONTRACTOR'S RESPONSIBILITY AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. ANY CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.</p> <p>a. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS, THE OWNER OR THEIR REPRESENTATIVE'S WRITTEN INSTRUCTIONS, AND THE QUALITY AND ACCEPTABILITY OF MATERIALS FURNISHED, WORK PERFORMED, AND WORKMANSHIP. INTERPRETATION OF THE PLANS AND SPECIFICATIONS BY THE OWNER OR THEIR REPRESENTATIVE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND THE QUALITY OF THE WORK.</p> <p>b. FAILURE OR NEGLIGENCE ON THE PART OF THE OWNER OR THEIR REPRESENTATIVE TO CONDEMN OR REJECT SUBSTANDARD OR INFERIOR WORK OR MATERIALS SHALL NOT BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR MATERIALS, IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER. NEITHER SHALL IT BE CONSTRUED AS BARRING THE OWNER, AT ANY SUBSEQUENT TIME, FROM THE RECOVERY OF DAMAGES OR OF SUCH A SUM OF MONEY AS MAY BE NEEDED TO BUILD ANEW ALL PORTIONS OF THE SUBSTANDARD OR INFERIOR WORK OR REPLACEMENT OF IMPROPER MATERIALS WHEN SUCH MATERIALS OR WORK ARE DISCOVERED.</p> <p>c. INSPECTORS EMPLOYED BY THE OWNER SHALL BE AUTHORIZED TO INSPECT ALL WORK DONE AND ALL MATERIAL FURNISHED. SUCH INSPECTION MAY EXTEND TO ALL OR ANY PART OF THE WORK AND TO THE PREPARATION, FABRICATION OR MANUFACTURE OF THE MATERIALS TO BE USED. THE INSPECTOR IS NOT AUTHORIZED TO REMOVE ANY REQUIREMENTS OF THE SPECIFICATIONS, NOR IS HE AUTHORIZED TO APPROVE OR ACCEPT ANY PORTION OF THE COMPLETED PROJECT. HE SHALL CALL THE ATTENTION OF THE CONTRACTOR TO ANY FAILURE OF THE WORK OR MATERIALS TO CONFORM TO THE SPECIFICATIONS AND REQUIREMENTS OF THE CONTRACT. ANY DISPUTE BETWEEN THE INSPECTOR AND CONTRACTOR SHALL BE REFERRED TO THE OWNER OR THEIR REPRESENTATIVE. ANY ADVICE WHICH THE INSPECTOR MAY GIVE THE CONTRACTOR SHALL IN NO WAY BE CONSTRUED AS BINDING THE ENGINEER IN ANY WAY OR RELEASING THE CONTRACTOR FROM FULFILLING ANY OF THE TERMS OF THE CONTRACT.</p> <p>d. ALL MATERIALS AND EACH PART OF DETAIL OF THE WORK SHALL BE SUBJECT AT ALL TIMES TO INSPECTION BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE OR THE AUTHORITY HAVING JURISDICTION AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE SPECIFICATIONS IN REGARD TO QUALITY OF MATERIALS, WORKMANSHIP, AND THE DILIGENT EXECUTION OF THE CONTRACT. SUCH INSPECTION MAY INCLUDE MUD, PLANT OR SHOP INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO INSPECTION BY THE OWNER OR HIS REPRESENTATIVE. THE OWNER SHALL ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION.</p> <p>e. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE. UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE STANDARDS OF WORKMANSHIP.</p> <p>f. ALL EXPOSED ITEMS OF WORK SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS GENERALLY USED IN THE RESPECTIVE TYPES OF WORK. ITEMS OF WORK SHALL BE SOUND AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DETERIORATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY AND ACCEPTABILITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE OWNER OR THEIR REPRESENTATIVE.</p> <p>g. ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REPLACE SUCH DEFECTIVE MATERIAL AND TO DEDUCT THE COST OF SUCH REMOVAL AND REPLACEMENT FROM ANY MONIES DUE OR WHICH MAY BECOME DUE TO THE CONTRACTOR.</p> <p>h. THE CONTRACTOR SHALL KEEP A LEGIBLE COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES.</p> <p>i. AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE OWNER OR THEIR REPRESENTATIVE WITH A MARKED-UP SET OF DRAWINGS SHOWING ALL CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON A SET OF FINAL DRAWINGS. THE WORK TAKES PLACE, NOT AFTER THE WORK IS COMPLETE, BUT BEFORE THE DRAWINGS SHOULD BE KEPT CLEAN IN A LOCATION AT THE SITE WHERE THE OWNER OR THEIR REPRESENTATIVE MAY EXAMINE THEM.</p> <p>j. THE MARKED-UP DRAWINGS SHALL BE ACCURATE. ARBITRARY MARKINGS ARE OF NO VALUE. CAREFUL MEASUREMENTS SHALL BE MADE TO LOCATE UNDERGROUND EXTERIOR AND UNDERGROUND INTERIOR SEWERS, GAS LINES, WATER LINES, ELECTRICAL CONDUIT AND MISCELLANEOUS PIPING.</p> <p>7. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ON-SITE OR IN THE PUBLIC RIGHT-OF-WAY.</p>		<p>1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPLACEMENT OF TOPSOIL.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.</p> <p>4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED AS EROSION CONTROL MATERIAL. EXCAVATED MATERIAL SHALL BE USED FOR FILL OR AS BARRING OVER THE EXCAVATION.</p> <p>5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.</p> <p>6. EXCAVATED WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING IS DRIED, PROTECT ADJACENT AREAS FROM RECEIVING PAINT OR EPOXY.</p> <p>7. DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDUM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVATE WATER PONDING. SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND ADJACENT AREAS.</p> <p>11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SLOPE. 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01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS		DIVISION 32 – EXTERIOR IMPROVEMENTS							





PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING
SHADE TREES						
SHL	3	Shademaster Locust	Gleditsia triacanthos inermis 'Shademaster'	2 1/2" CAL	B&B	Spacing as shown
DECIDUOUS SHRUBS						
LSC	14	Low Scape® Mound Chokeberry	Aronia melanocarpa 'UCONNAM165'	15" SPD	CONT	Spacing as shown
SDN	5	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT	Spacing as shown
DD	17	Yuki Cherry Blossom® Deutzia	Deutzia x 'NCDX2'	15" HT	CONT	Spacing as shown
VR2	30	Kodiak® Black Honeysuckle	Diervilla rivularis 'SMNDRSF'	15" HT	CONT	Spacing as shown
HT	6	Fire Light Tidbit® Hydrangea	Hydrangea paniculata 'SMNHPK'	15" HT	CONT	Spacing as shown
BBH	3	BoBo® Hydrangea	Hydrangea paniculata 'ILVOBO'	18" HT	CONT	Spacing as shown
HL	5	Little Quick Fire® Hydrangea	Hydrangea paniculata 'SMHPLQF'	18" HT	CONT	Spacing as shown
GLS	12	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT	Spacing as shown
EVERGREEN SHRUBS						
ELY	1	Everlow Yew	Taxus x media 'Everlow'	15" HT	B&B	Spacing as shown
ORNAMENTAL GRASSES						
CA4	26	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing
SJ	42	Jazz Little Bluestem	Schizachyrium scoparium 'Jazz'	1 GAL	CONT	18" Spacing
PERENNIALS						
H9	36	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT	18" Spacing
H4	18	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	1 GAL	POT	18" Spacing
NC	66	Cat's Pajamas Catmint	Nepeta x 'Cat's Pajamas'	1 GAL	POT	18" Spacing



DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

SITE LANDSCAPE PLAN

© COPYRIGHT 2025  
R.A. Smith, Inc.  
DATE: 04/30/2025  
SCALE: 1" = 20'  
JOB NO. 3240290  
PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.  
DESIGNED BY: REW  
CHECKED BY: REW

**SHEET NUMBER**  
L100

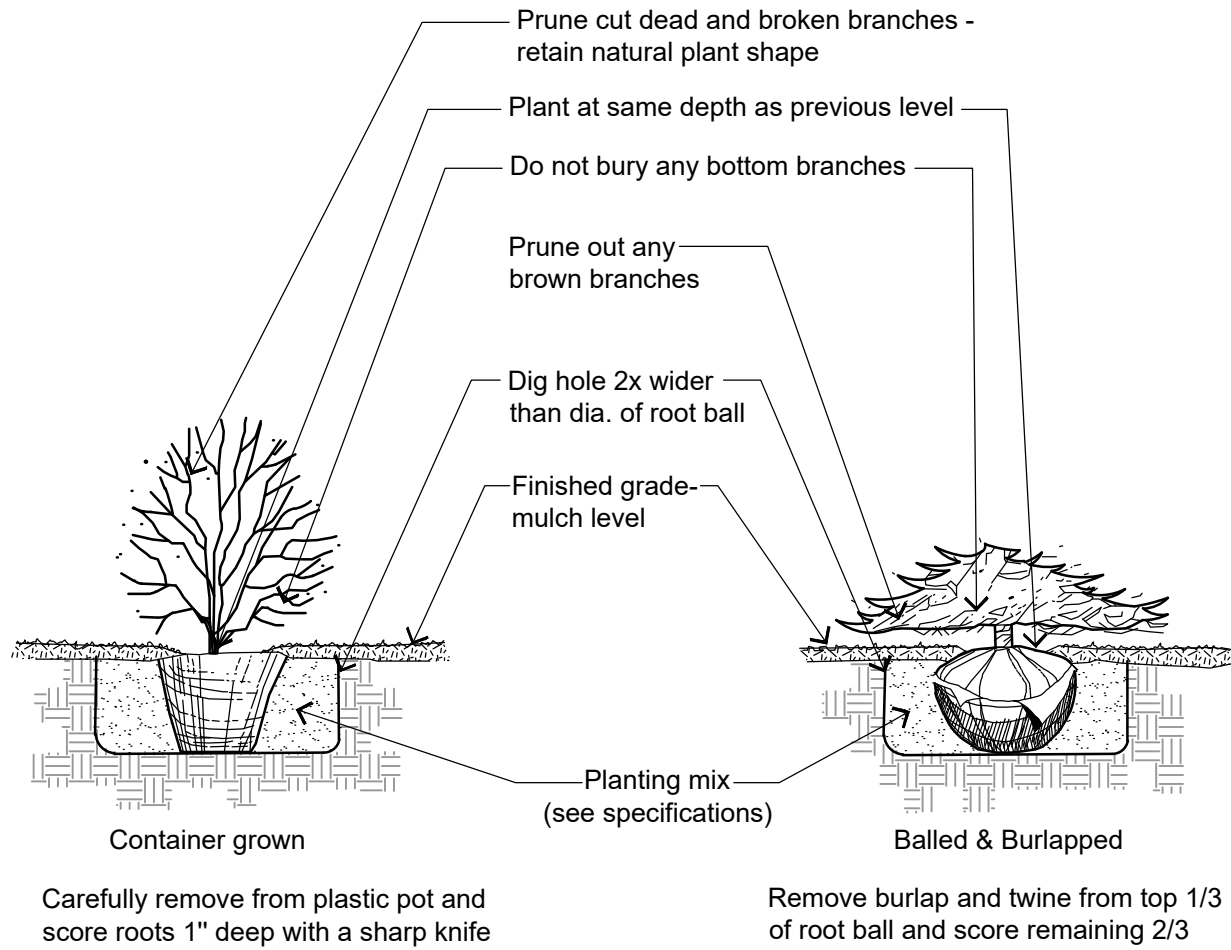
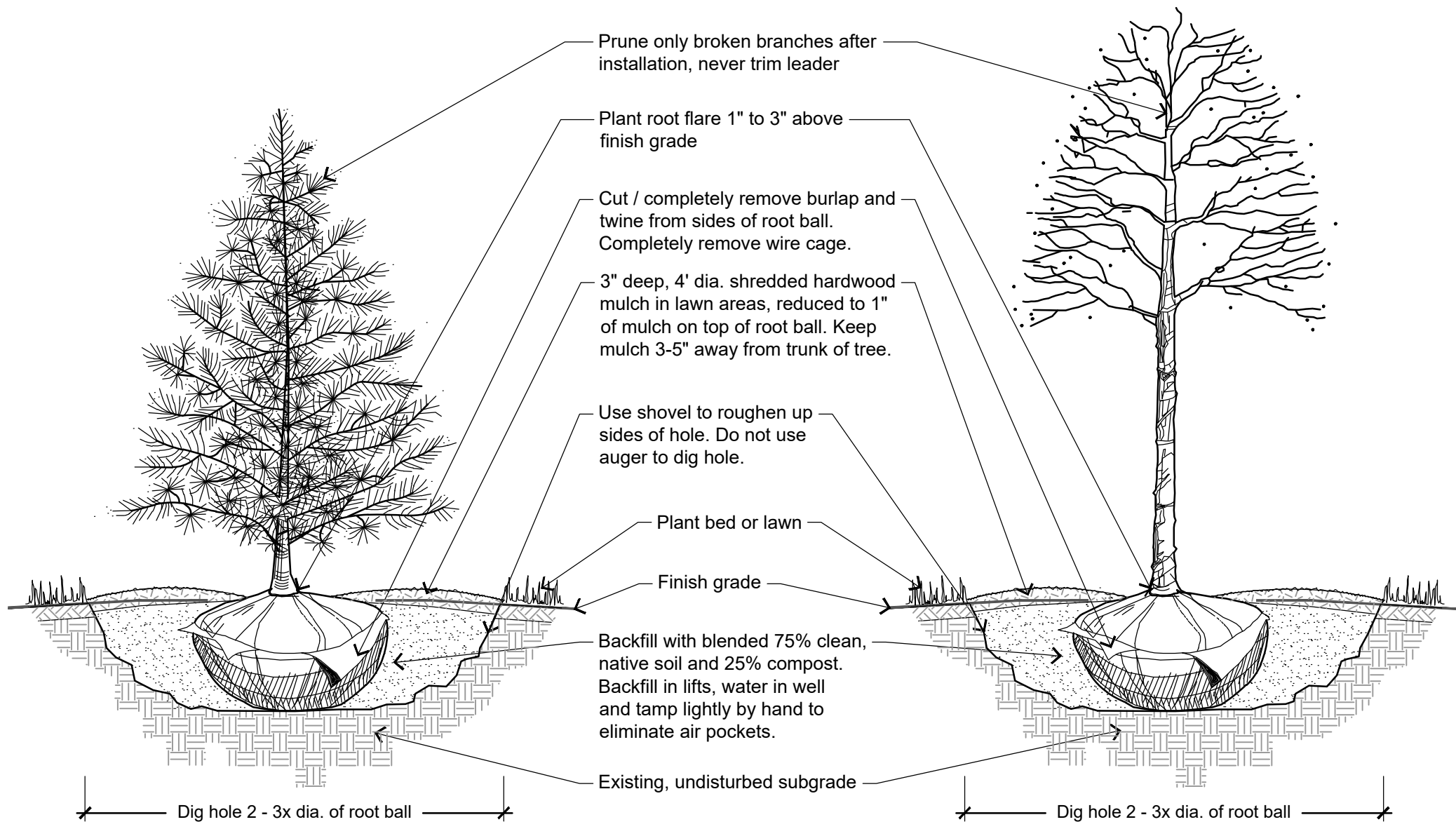


Know what's below.  
Call before you dig.

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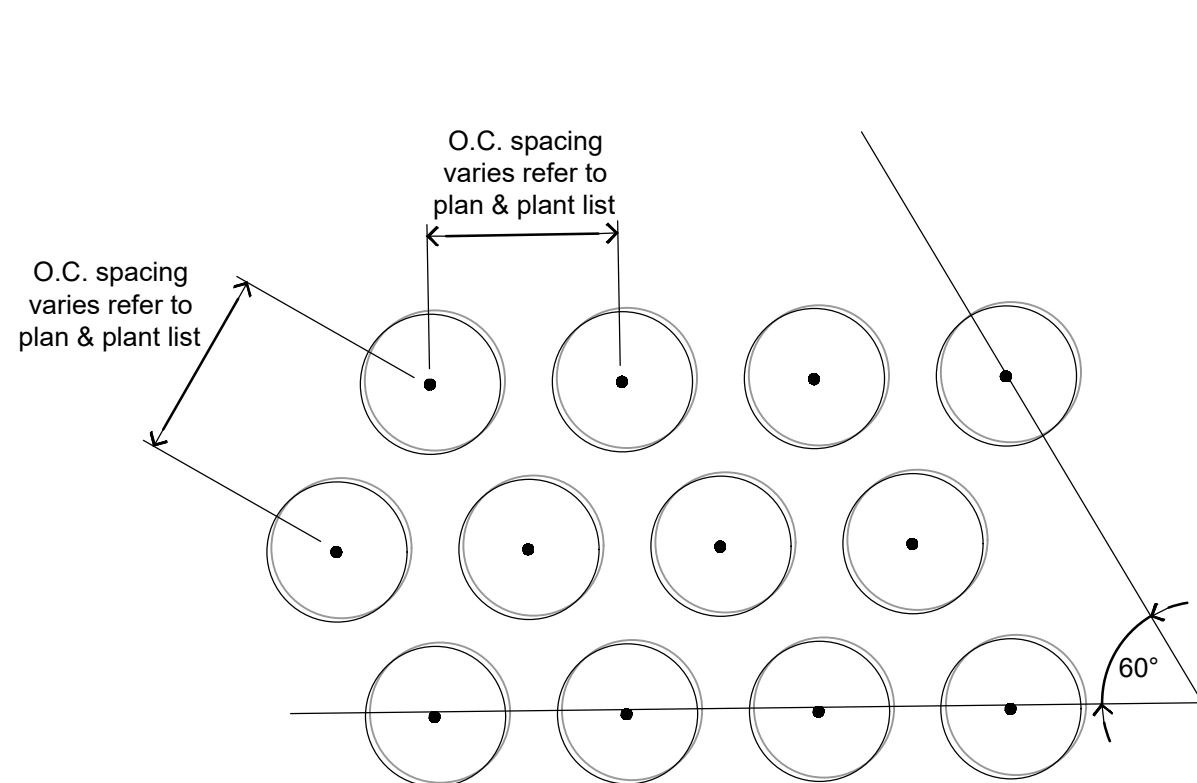
PLANTING DETAILS



1 TREE PLANTING DETAIL  
NOT TO SCALE

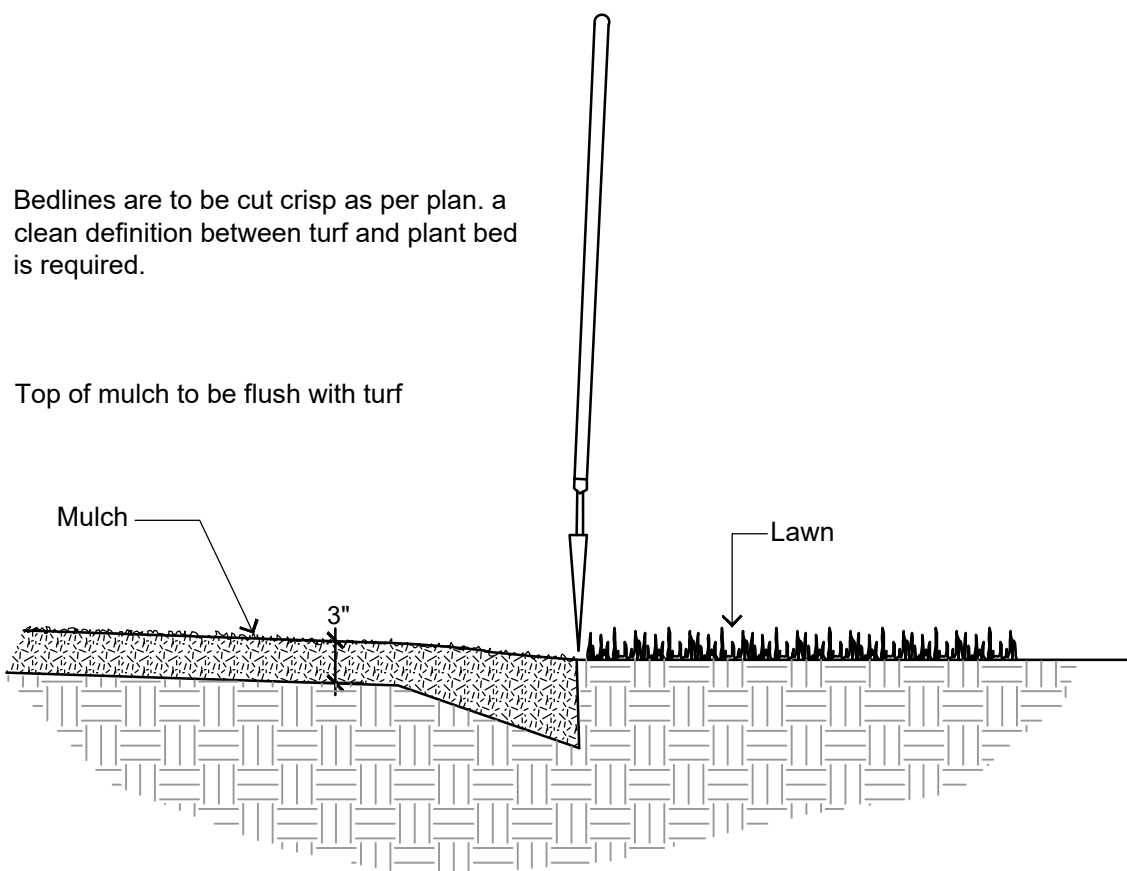
P-PL-TREE-07

2 SHRUB PLANTING DETAIL  
NOT TO SCALE



3 PLANTING LAYOUT  
NOT TO SCALE

P-PL-PLO-01



4 SHOVEL CUT PLANT BED EDGING DETAIL  
NOT TO SCALE

P-PL-BDEG-01

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side walls of tree pit prior to installation. Once tree has been placed into the hole, it is at the correct depth and vertical alignment and will no longer be moved; brace root ball by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.  
  
Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"- 5" away from trunk of tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.  
  
An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Seed mix for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas(OPTIONAL): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

OSCAR'S FROZEN CUSTARD

TOWN OF BROOKFIELD

LANDSCAPE NOTES AND DETAILS

DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

raSmith  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA



Know what's below.  
Call before you dig.

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R.A. Smith, Inc.

DATE: 04/30/2025

SCALE: -

JOB NO. 3240290

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

DESIGNED BY: REW

CHECKED BY: REW

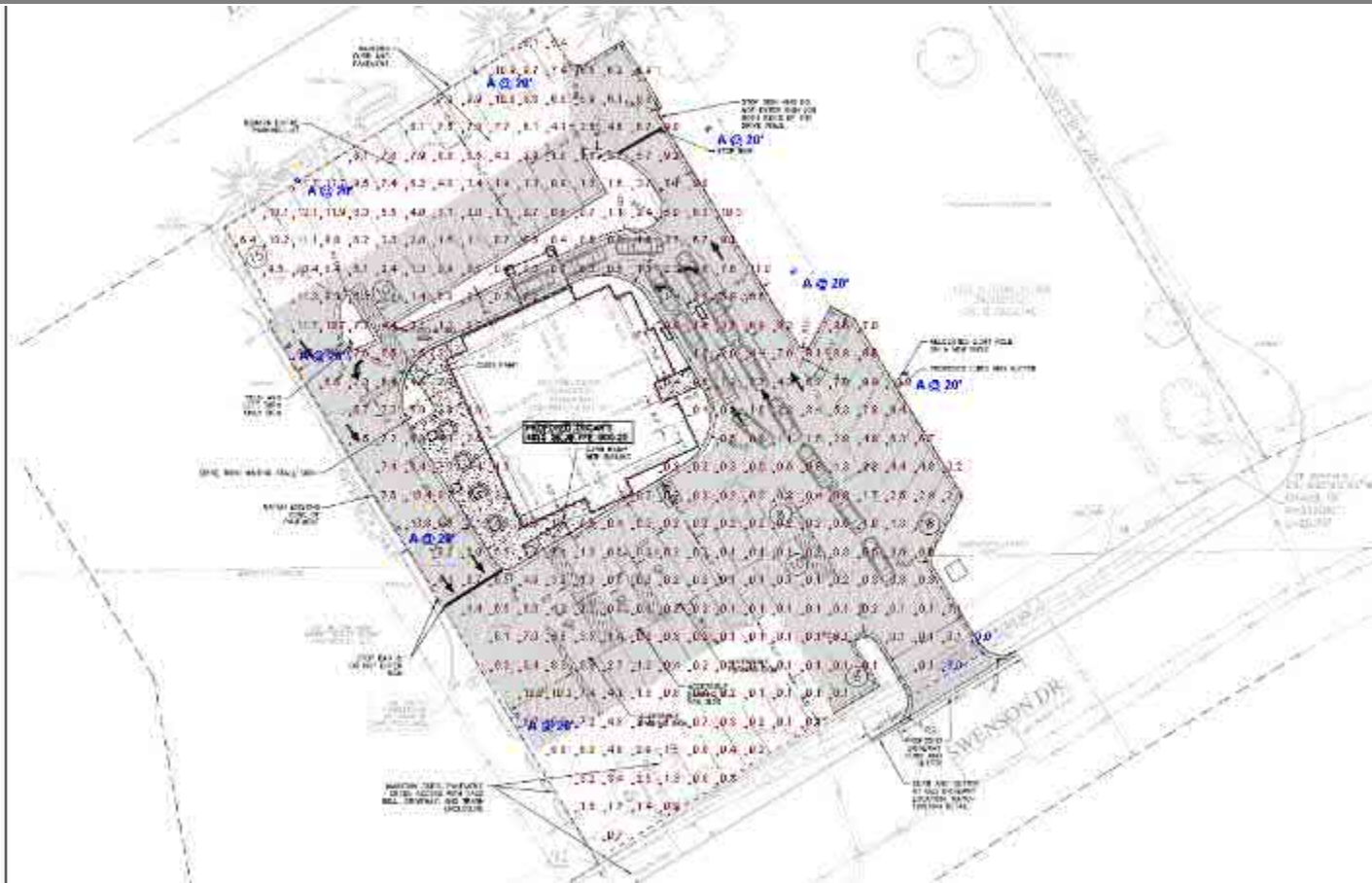
SHEET NUMBER

L200





## Layout



### Schedule

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	<b>A</b>	8	Industrial Lighting Products Inc	VAM-28L-U-40-T3-[PMB;SLPF]	Viewpoint Area Light Medium, 28,000 Lumen, 4,000K, Type 3 Polycarbonate Lens	1	28832	0.9	194.69

### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Layout	<b>+</b>	3.7 fc	12.1 fc	0.0 fc	N/A	N/A

### Note

1. Dimensions:
2. Mounting Height: 20
3. Calc Zone: 0
4. Reflectances:

Calculations provided are estimates only.

### Designer

Bryan Schneider

### Date

04/29/2025

### Scale

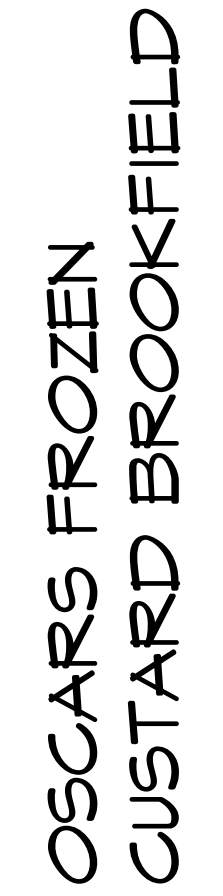
Not to Scale

### Drawing No.

### Summary



25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE: (262) 409 - 2530



21163 E Moreland Blvd  
Bookfield, WI 53186

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Sheet Title  
FIRST FLOOR  
OVERALL PLAN

[illegible]

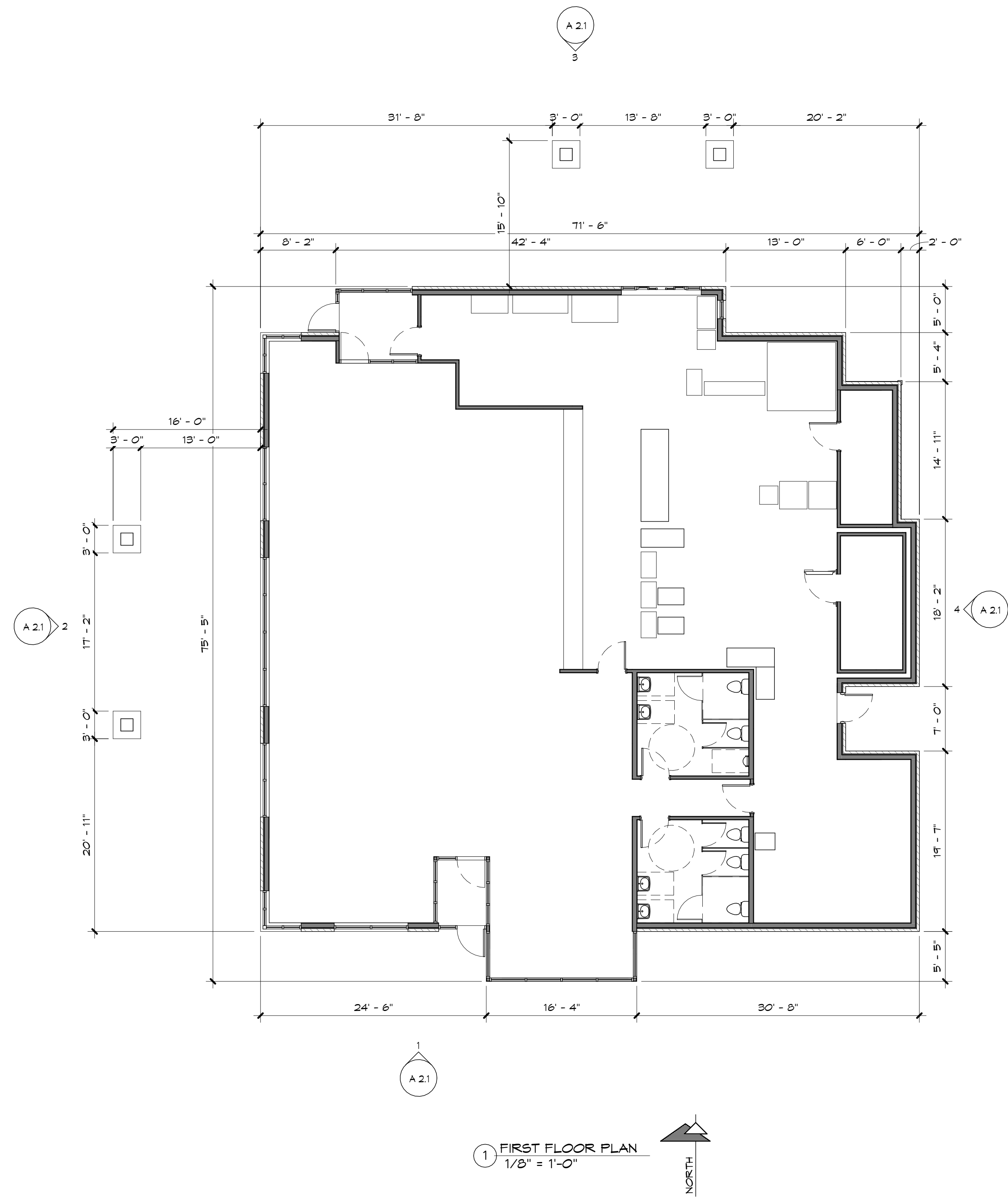
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Ob No. 25104

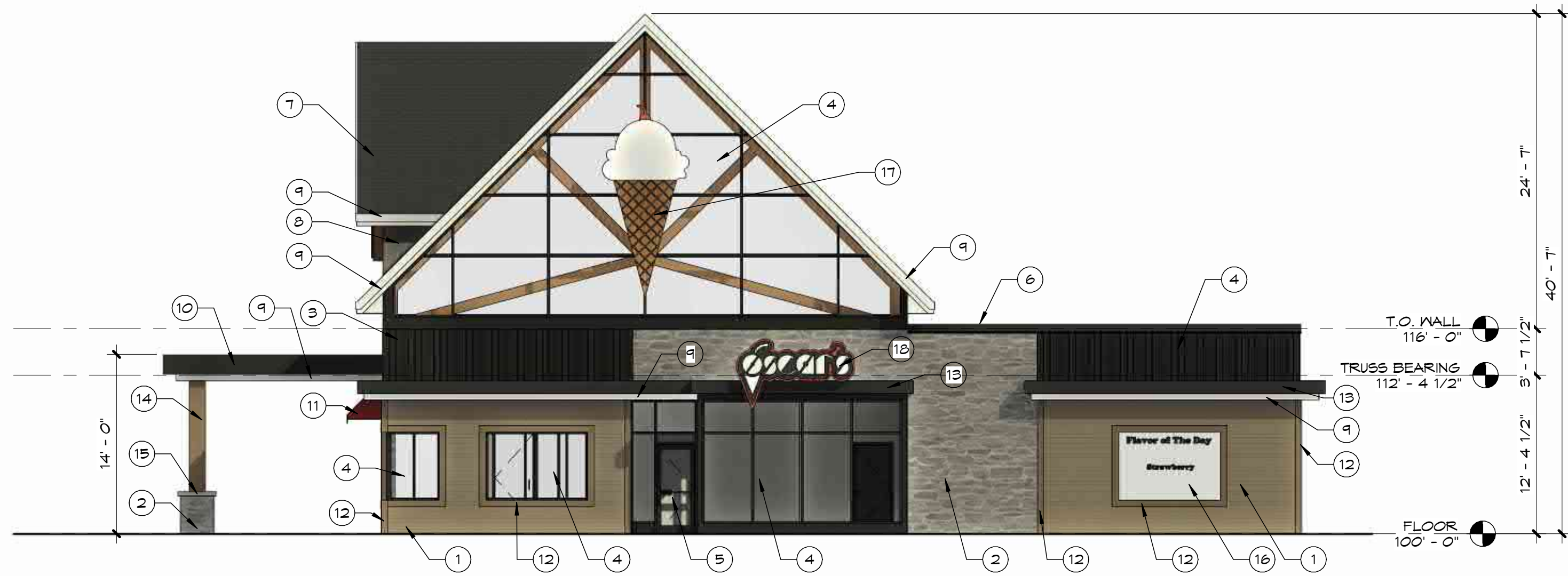
Drawn By: HAC

Sheet No.

# A 1.1







1 NORTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

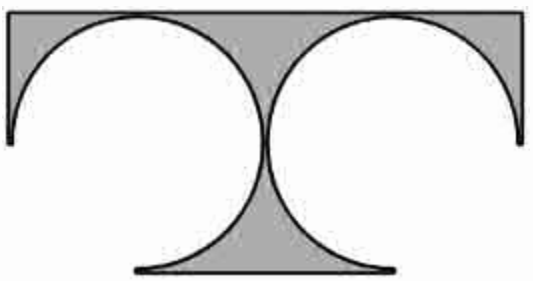


3 SOUTH ELEVATION  
1/8" = 1'-0"



4 EAST ELEVATION  
1/8" = 1'-0"

MATERIAL LEGEND	
NOTE #	MATERIAL
1	6" COMPOSITE SIDING
2	2" VENEER STONE
3	ARCHITECTURAL METAL PANELS
4	STORE FRONT SYSTEM, 1" THERMALLY BROKEN GLASS
5	ALUM. ENTRY DOOR
6	PREFINISHED ALUM. CAP
7	DIMENSIONAL SHINGLES
8	PAINTED E.I.F.S. WALL SYSTEM
9	PREFINISHED ALUM. TRIM
10	OUTDOOR DINNING OVERHANG
11	RED FABRIC WINDOW AWNING
12	6" COMPOSITE TRIM
13	PREFINISHED DECORATIVE OVERHANG
14	COLUMN PAINTED TO MATCH TRIM
15	STONE CAP
16	FLAVOR OF THE DAY SIGN - 42 S.F.
17	DECORATIVE CONE FEATURE - 45 S.F.
18	OSCARS LOGO SIGN - 25 S.F.
19	1" REVEAL
20	DRIVE THRU OVERHANG
21	OSCARS LOGO DRIVE THRU - 41 S.F.
22	STONE SILL/LINTIL
23	DRIVE THRU WINDOW
24	PAINTED INSULATED HOLLOW MTL. DOOR



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE: (262) 409 - 2530



OSCARS FROZEN  
CUSTARD BROOKFIELD

21165 E Norland Blvd  
Brookfield, WI 53186

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Sheet Title  
EXTERIOR  
ELEVATIONS

Revision:		
No.	Description	Date

Date: 4/30/2025

Job No. 25104

Drawn By: HAC

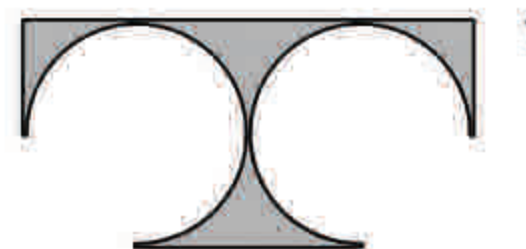
Sheet No.

A 2.1





OSCARS FROZEN CUSTARD  
BROOKFIELD



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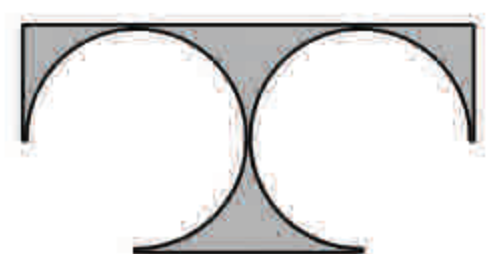
25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-496-2539

APRIL 30th, 2025





OSCARS FROZEN CUSTARD  
BROOKFIELD

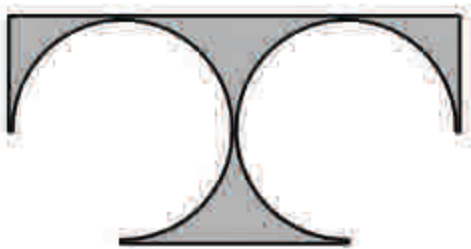


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25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-496-2539  
APRIL 30th, 2025





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BROOKFIELD

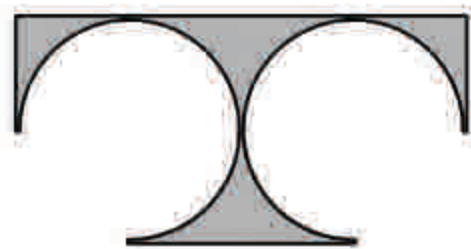


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WIND LAKE, WISCONSIN 53185  
PHONE 262-496-2539  
APRIL 30th, 2025





Strand Associates, Inc.®  
910 West Wingra Drive  
Madison, WI 53715  
(P) 608.251.4843  
www.strand.com

April 29, 2025

Mr. Bryce Hembrook  
Town of Brookfield  
645 North Janacek Road  
Brookfield, WI 53045

Re: Oscar's Custard Redevelopment  
Town of Brookfield, Wisconsin (Town)

Dear Bryce,

Strand Associates, Inc.® (Strand) has finished its initial review of the plan package for the Oscar's Custard Redevelopment that was received from the Town on April 22, 2025, for conformance with the Town specifications and general engineering practices. Before construction may begin, the contractor shall submit all required permits for the redevelopment to the state, Wisconsin Department of Natural Resources, Town, and any other relevant agencies. New drawings and a letter describing the revisions should be returned to Strand after the following concerns have been addressed.

**Demolition and Erosion Control Plan–Sheet C100**

1. Based on Google Street View, there appears to be an existing inlet located within the middle of the parking lot between the front of the building and Swenson Drive. If this is still here, inlet protection should be provided.
2. It is anticipated that the existing asphalt on the site that will remain in place near the existing western entrance off Swenson Drive and the back parking lot will see substantial wear and tear during construction. It is recommended that both areas be replaced with new asphalt like the rest of the site.

**Site Plan–Sheet C200**

1. Provide details on the proposed asphalt pavement and concrete sidewalk thickness.
2. Pavement marking arrows should be provided on the eastern driveway entrance to indicate whether this is only an entrance driveway or an entrance and exit driveway.
3. Pavement marking arrows should be provided on the western driveway entrance to indicate whether this is only an exit driveway or an entrance and exit driveway.
4. It is not clear whether the sidewalk on the east side of the proposed building is an entrance for customers or a private entry for employees. Regardless, there is no crosswalk pavement marking for safe access to the parking lot.



Mr. Bryce Hembrook  
Town of Brookfield  
Page 2  
April 29, 2025

5. It should be verified that there is sufficient space for four waiting vehicles at each drive-through service lane in accordance with Section 17.06(3)(h)2.i of the Town Zoning Code.
6. Provide signage or pavement marking to discourage vehicles from using the space that will become the access into Lot 1 in the future.

#### **Truck Access Plan–Sheet C201**

1. The truck path shown was developed with the “turn wheels from stop” option checked. At every click, the truck was free to turn its wheels as if it was stopped and resulted in the disjointed and nonsmoothed center line path. The truck should be driven through the site again with that option unchecked to verify that it can navigate the site.
2. Provide an exhibit that shows the turning path for the largest delivery vehicle or garbage truck, whichever is larger.

#### **Grading Plan–Sheet C300**

1. The pedestrian ramp at the northwest corner has a slope greater than is allowable. Provide a warning field at this ramp. Indicate the ramp slope percentage on the drawings. Please explain the purpose of the two locations where pedestrian pavement markings at this ramp extend into a travel lane to the west, and into the north section of the parking lot.
2. Provide a warning field at the southwest ramp. Indicate the ramp slope percentage on the drawings.
3. Verify where the handicapped accessible signposts will be located for the accessible parking stalls. The current locations appear that the signposts will encroach into the 18-foot-long parking stall.
4. Verify the accessible route for the easternmost handicapped accessible parking stall.
5. It appears the travel lane width between the accessible stalls and the flag of the curb and gutter to the north is only 23 feet in width. Please indicate the actual width of the travel lanes on the drawings.

#### **Utility Plan**

1. It is not clear whether new sanitary and water services will be constructed and connect to the existing mains within the Swenson Drive right-of-way. A utility plan should be provided if the proposed utility work will be completed.

#### **Landscape Plan**

1. The landscape plan should be provided for review when available.



Mr. Bryce Hembrook  
Town of Brookfield  
Page 3  
April 29, 2025

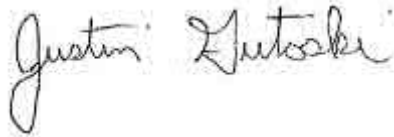
**Lighting Plan**

1. It should be verified there is no proposed lighting or photometric plan for the site.

Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®

A handwritten signature in dark ink, reading "Justin J. Gutoski". The signature is written in a cursive, flowing style.

Justin J. Gutoski, P.E.

- c: Tom Hagie, Town Administrator, Town of Brookfield  
Tony Skof, Town of Brookfield Sanitary District No. 4  
Scott Hartung, Department of Public Works Superintendent, Town of Brookfield





# Keller

## Bancroft Engineering Narrative

---

April 25, 2025

Town of Brookfield

645 N Janacek Rd

Brookfield, WI 53045

**RE:** Bancroft Engineering – Building Addition

To Whom It May Concern,

On behalf of Bancroft Engineering, a welding equipment fabricator, we respectfully submit this proposal for a 7,653 square foot addition to their existing facility. This addition will be dedicated to the assembly and loading of welding equipment as well as improving operational efficiency. The architectural design of the addition will match the existing building's aesthetics to ensure a cohesive appearance.

### **Project Details:**

- **Size:** 7,653 square foot addition
- **Purpose:** Assembly and loading of welding equipment
- **Parking:** Existing 20 parking spaces will remain unchanged
- **Employment:** Current workforce of 16 employees, with anticipated increase to 20 employees. Bancroft operates on a single work shift.
- **Timeline:** Construction is planned to begin in Fall 2025, with completion expected in Spring 2026

### **Variance Request:**

To comply with the fire department's requirement for a fire lane, the proposed paving extends to the lot line, which does not meet the town's pavement setback standards. We kindly request a variance for this configuration, supported by the following:

1. The paving is essential to fulfill the fire department's fire lane mandate.
2. The existing drive lane already deviates from the setback requirement, and this addition maintains consistency with the current layout.





# Keller

## Bancroft Engineering Narrative

---

We believe this addition will enhance Bancroft Engineering's operations while preserving the site's existing parking and employment structure. The requested variance is critical to ensuring compliance with fire safety standards.

Thank you for your time and consideration of this proposal. We look forward to your feedback and hope to commence construction in Fall 2025, with completion by Spring 2026. Please feel free to contact Keller, Inc. with any questions or additional requirements.

<b>OWNER</b>	Bancroft Engineering 21550 Doral Rd Waukesha, WI 53186
<b>ARCHITECT/ BUILDER</b>	Keller, Inc. Luke Sebald (Project Manager) Chris Manske (Architect) W204 N11509 Goldendale Road Germantown, WI 53022 (262) 250-9710 office (414) 397 0526 cell lsebald@kellerbuilds.com
<b>CIVIL ENGINEER</b>	Axiom Consultants (A Ruekert-Mielke Company) Colin Meisel 1400 Lombardi Ave. Green Bay, WI 54304 (920) 393-6551 office (920) 810-5647 cell cmeisel@ruekert-mielke.com



# BANCROFT ENGINEERING

## CITY OF WAUKESHA

## WAUKESHA COUNTY

## WISCONSIN



**Keller**

PLANNERS ARCHITECTS BUILDERS

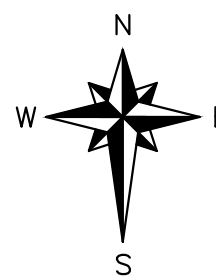
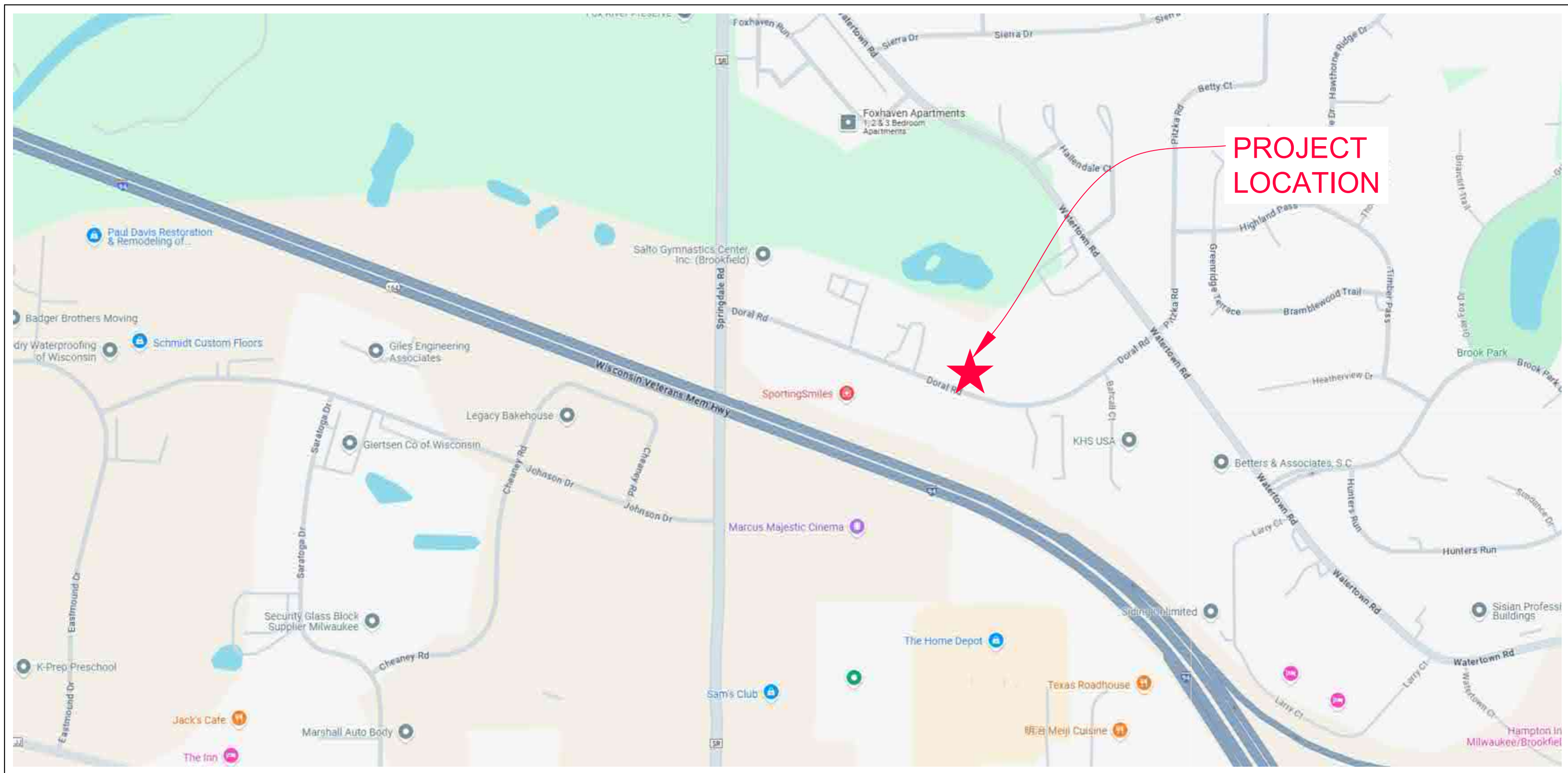
**FOX CITIES**  
N216 State Road 55  
P.O. Box 520  
Kaukauna, WI 54130  
Phone (920)766-5795  
1-800-236-2534  
Fax (920)766-5034

**MADISON**  
3308 Nursery Drive  
Middletown, WI 53562  
Phone (608)445-2245

**MILWAUKEE**  
W204 N11509  
Goldendale Rd  
Germantown, WI 53022  
Phone (262)250-9710  
1-800-236-2534  
Fax (262)250-9740

**WAUSAU**  
5605 Lilac Ave  
Wausau, WI 54401  
Phone (715)849-3141  
Fax (715)849-3181

www.kellerbuilds.com



LOCATION MAP IS NOT TO SCALE

### SHEET INDEX

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	GENERAL NOTES
C3.0	EXISTING CONDITIONS & DEMOLITION PLAN
C4.0	EROSION CONTROL PLAN
C5.0	SITE PLAN
C6.0	GRADING PLAN
C7.0	CONSTRUCTION DETAILS

ORIGINAL PLAN SET  
IS IN COLOR

**Ruekert • Mielke**  
Waukesha • Kenosha • Madison  
Global Water Center • Fox Valley  
[www.ruekertmielke.com](http://www.ruekertmielke.com)

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO. 20245200925) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

**SITE:**  
BANCROFT ENGINEERING  
21550 DORAL RD  
WAUKESHA, WI 53186

**ENGINEER:**  
RUEKERT-MIELKE INC.  
1400 LOMBARDI AVE, GREEN BAY, WI

R & M PROJECT #8341-10196.200  
PROJECT MANAGER: COLIN MEISEL, PE  
PHONE: (920) 876-6382

**COVER SHEET** **C1.0**

"ISSUED NOT FOR CONSTRUCTION"

PROPOSED FOR:

**BANCROFT ENGINEERING**

21550 DORAL RD  
WAUKESHA, WI

WISCONSIN

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### REVISIONS

△	

PROJECT MANAGER: L. SEBALD

DESIGNER: C. MEISEL

DRAWN BY: G. DEPREY

EXPEDITOR: -----

SUPERVISOR: -----

PRELIMINARY NO: -----

CONTRACT NO: -----

DATE: --/--/2025

SHEET: C1.0



GENERAL NOTES:

1. CONTRACTOR TO CONTACT DIGGERS HOTLINE FOR UTILITY LOCATES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY WITH UTILITY COMPANIES IF UTILITY COMPANY'S STAFF IS REQUIRED TO BE ON SITE WHEN CONSTRUCTION ACTIVITIES ARE NEAR UTILITY FACILITIES.
2. LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHOWN SHALL NOT BE TAKEN AS CONCLUSIVE. CONTRACTOR SHALL VERIFY LOCATIONS AS A CONDITION OF THEIR BID AND BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM THEIR ACTIVITIES.
3. CONTRACTOR SHALL TAKE CARE WHEN EXCAVATING AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVERAGE REQUIREMENTS WITH UTILITY COMPANIES.
4. EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM AVAILABLE RESOURCES FOR FIELD LOCATES. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN. CONTRACTOR IS REQUIRED TO VERIFY LOCATION OF EXISTING UTILITIES.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK, UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL PROVIDE STAKING AS NECESSARY TO LAYOUT AND PROVIDE GRADES FOR ANY SECTION OF THE WORK.
7. A COMPETENT REPRESENTATIVE WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR MUST BE AT THE SITE AT ALL TIMES.
8. STAGING AND MATERIAL STORAGE AREAS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE DONE IN A MANNER TO AVOID INTERFERENCE WITH THE OWNER'S ACTIVITIES.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR BARRICADING AREAS OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY.
11. EXISTING FACILITIES TO REMAIN INCLUDING PAVEMENT, SIDEWALKS, BUILDINGS, LANDSCAPING AND TREES SHALL BE PROTECTED DURING CONSTRUCTION.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THEIR WORK FROM ALL DAMAGE INCLUDING THE PUBLIC, OTHER CONTRACTORS, AND THE ENVIRONMENT.
13. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.

UTILITIES AND STORM SEWER:

1. ALL EXISTING SURFACE INFRASTRUCTURE INCLUDING HYDRANTS, VALVES, HANDHOLES, CASTINGS, IRRIGATION SYSTEMS, AND UTILITY PEDESTALS ARE REQUIRED TO BE ADJUSTED TO PROPOSED GRADE BY CONTRACTOR.
2. WHERE NOT IDENTIFIED IN THE CIVIL SPECIFICATION MANUAL, UTILITY MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL STANDARDS AND SPECIFICATIONS FOR UTILITY COMPANIES HAVING JURISDICTION.
3. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND TO PROVIDE MINIMUM REQUIRED DEPTHS OF COVER. ADDITIONAL BENDS AND ASSOCIATED MATERIALS ARE TO BE INSTALLED AS REQUIRED FOR WATER MAINS AND LATERALS.
4. ALL STORM AND SANITARY SEWER PIPES AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT CIVIL SPECIFICATIONS MANUAL AND SUPPLEMENTAL PLAN NOTES HEREIN.
5. STORM SEWER STRUCTURES SHALL BE PRECAST CONCRETE AND THE SIZE AS NOTED ON THE PLANS.
6. TRENCHES SHALL BE BACKFILLED WITH CRUSHED STONE BEDDING WITHIN 1:1 OF PAVEMENT AREAS AND WITH SPOIL IN LANDSCAPING AREAS.
7. STORM SEWER 8-INCHES OR SMALLER CONNECTED TO MAINS OR LATERALS SHALL BE PLACED HORIZONTALLY AT THE SPRING LINE OF THE PIPE WITH A WATER TIGHT CONNECTION.
8. CONNECTIONS TO EXISTING MANHOLES SHALL BE CORED AND A WATER TIGHT SEAL PROVIDED.
9. TRACER WIRE OR OTHER MEANS OF LOCATING UNDERGROUND PIPES SHALL BE INSTALLED ON ALL PIPING PER THE PROJECT CIVIL SPECIFICATIONS MANUAL.
10. ALL DIMENSIONS ARE TO THE CENTERLINE OF UTILITIES AND STRUCTURES.

EROSION CONTROL:

1. CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
2. EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO WDNR BEST MANAGEMENT PRACTICES AND THE CIVIL SPECIFICATIONS MANUAL.
3. EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE PRUNED TO REMOVE LOW HANGING, BROKEN, AND UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
4. ALL AREAS DISTURBED BY CONTRACTOR OPERATIONS SHALL BE PREPARED FOR GRASS SEED BY LOOSENING RUTS AND WORKING THE SOIL AREAS TO A MINIMUM OF 6-INCHES PRIOR TO THE FINE GRADING AND SEEDING. AREAS SHALL HAVE A MINIMUM OF 4-INCHES OF TOPSOIL PLACED, SEEDED, AND MULCHED UNLESS OTHERWISE INDICATED.
5. INSPECTION OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE BY CONTRACTOR ONCE PER WEEK AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 1/2-INCH OR GREATER. EROSION CONTROL REPORTS WILL BE SENT TO EROSIONCONTROL@GREENBAYWI.GOV
6. CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24-HOURS AFTER INSPECTION. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES NOT SHOWN ON THIS PLAN MAY BE NECESSARY AS A RESULT OF CONSTRUCTION PRACTICES OR AS DIRECTED BY OWNER AND/OR ENGINEER.
7. CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OF PROPOSED CHANGES TO THE EROSION CONTROL PLAN AND/OR SEQUENCE PRIOR TO IMPLEMENTING THE CHANGE.
8. EXCESS MATERIAL THAT IS HAULED OFF SITE SHALL BE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL OBTAIN PROPER PERMIT APPROVALS FOR EACH FILL SITE. EROSION AND SEDIMENT CONTROL MEASURES, RESTORATION, AND STABILIZATION AT FILL SITE IS CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO NOTIFY OWNER OF ALL FILL AND BORROW SITES.
9. CONTRACTOR SHALL SWEEP STREETS ADJACENT TO PROJECT AS NEEDED.
10. ALL INSTALLATION, MAINTENANCE, AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE WDNR TECHNICAL STANDARDS.
11. IF DEWATERING IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICES. DISCHARGE OF SEDIMENT LADEN WATER TO THE STORM OR SURFACE WATER IS PROHIBITED.
12. STABILIZE NEWLY GRADED AREAS WITHIN 3 DAYS OF BEING INACTIVE.
13. REMOVE EROSION AND SEDIMENT CONTROL DEVICES AFTER 80% OF VEGETATION HAS BEEN ESTABLISHED IN RESTORED AREAS.

GRADING AND PAVING:

1. ALL SITE CONSTRUCTION INCLUDING GRADING, EXCAVATION, AND PAVEMENT CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CORRESPONDING PROJECT CIVIL SPECIFICATIONS MANUAL AND SUPPLEMENTAL PLAN NOTES HEREIN.
2. CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC MATERIALS FOUND WITH THE SITE IN ACCORDANCE WITH THE PROJECT CIVIL SPECIFICATIONS. LANDSCAPING AREAS SHALL BE GRADED LOW TO ALLOW FOR TOPSOIL PLACEMENT.
3. ALL MATERIAL TESTING SHALL CONFORM TO THE PROJECT CIVIL SPECIFICATIONS. RETESTING AND CORRECTION OF FAILING MATERIAL SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
4. SUBGRADE SHALL BE COMPACTED PRIOR TO PLACEMENT OF BASE AGGREGATE AS REQUIRED IN THE STANDARD SPECIFICATIONS. SUBGRADE SHALL BE PROOF ROLLED PRIOR TO PLACEMENT OF BASE COURSE. AREAS IDENTIFIED AS SOFT AND YIELDING SHALL BE IDENTIFIED FOR REMOVAL PRIOR TO PLACEMENT OF BASE AGGREGATE.
5. BACKFILL AND FILL MATERIALS SHALL BE PLACED IN LAYERS NOT MORE THAN 8-INCHES LOOSE IF COMPACTED WITH HEAVY EQUIPMENT AND NOT MORE THAN 4-INCHES LOOSE IF COMPACTED BY HAND EQUIPMENT.
6. ACCESSIBLE ROUTES AND HANDICAP PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
7. ALL CONCRETE FLATWORK SHALL HAVE A LIGHT BROOMED FINISH.
8. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH A CONTINUOUS 0.5-INCH FIBER EXPANSION JOINT.
9. TWO PAINT COATS SHALL BE APPLIED ON NEW PAVEMENT. THE FIRST COAT SHALL BE AFTER PAVING OPERATIONS HAVE BEEN COMPLETED. THE SECOND COAT SHALL BE APPLIED 30 CALENDAR DAYS AFTER PAVING HAS BEEN COMPLETED.
10. ELEVATIONS ARE TO FLANGE.

LEGEND – CIVIL ENGINEERING DRAWINGS

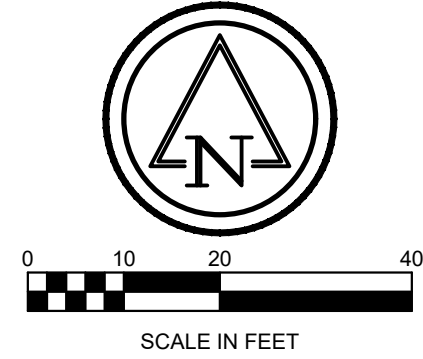
CONTROL	SANITARY SEWER	UTILITIES	WATER MAIN
CHIS	SANITARY MANHOLE	CABLE BOX	EXISTING HYDRANT
CHISELED MARK	SEPTIC SYSTEM	CABLE MANHOLE	EXISTING LOCATOR BOX
CONTROL POINT	SEPTIC TANK COVER	UNDERGROUND TV CABLE	EXISTING SPRINKLER HEAD
IRON PIPE (GENERIC)	SEPTIC VENT	ELECTRIC BOX	EXISTING WATER CURB STOP
IRON PIPE (1" DIA)	SANITARY SEWER	ELECTRIC MANHOLE	EXISTING WATER MAIN BEND
IRON PIPE (2" DIA)	PROPOSED SANITARY MANHOLE	ELECTRIC METER	EXISTING WATER MAIN CROSS
IRON PIPE (1 1/2" DIA)	PROPOSED SANITARY RISER	ELECTRIC PAD	EXISTING WATER MAIN OFFSET
IRON PIPE (2 1/2" DIA)	PROPOSED SANITARY LATERAL	ELECTRIC TRANSFORMER	EXISTING WATER MAIN PLUG
IRON ROD (GENERIC)	PROPOSED SANITARY SEWER	POWER POLE	EXISTING WATER MAIN PLUG W/ AIR RELEASE
IRON ROD (3/4" DIA)	STORM SEWER	UNDERGROUND ELECTRIC	EXISTING WATER MAIN REDUCER
IRON ROD (1 1/4" DIA)	STORM CATCH BASIN	PROPOSED UNDERGROUND ELECTRIC	EXISTING WATER VALVE
MONUMENT	STORM FIELD INLET	PROPOSED UNDERGROUND ELECTRIC	EXISTING WATER VALVE MANHOLE
NAIL	STORM INLET	GAS CURB STOP	EXISTING WELL
PAINT MARK	STORM MANHOLE	GAS MANHOLE	EXISTING YARD HYDRANT
PK NAIL	STORM YARD DRAIN	GAS METER	EXISTING WATER MAIN
RAILROAD SPIKE	STORM SEWER	GAS TEST STATION	EXISTING WATER SERVICE
REFERENCE TIE	CULVERT (SIZE & TYPE NOTED)	GAS VALVE	PROPOSED CURB STOP
SECTION CORNER	PROPOSED STORM INL/CB	GAS VALVE TEST	PROPOSED HYDRANT
SECTION CORNER MONUMENT	PROPOSED STORM MANHOLE	GAS VENT	PROPOSED LOCATOR BOX
TEMPORARY CONTROL POINT	PROPOSED STORM LATERAL	UNDERGROUND GAS MAIN	PROPOSED WATER MAIN BEND (ANGLE NOTED)
USGS MONUMENT	PROPOSED STORM SEWER	PROPOSED UNDERGROUND GAS MAIN	PROPOSED WATER MAIN CROSS
WATER ELEVATION	GENERAL	TELEPHONE BOX	PROPOSED WATER MAIN OFFSET
WETLANDS (SURVEYED LOCATION)	AIR CONDITIONER	TELEPHONE MANHOLE	PROPOSED WATER MAIN PLUG
WETFIELD	CLEAN OUT	UNDERGROUND TELEPHONE	PROPOSED WATER MAIN PLUG W/AIR RELEASE
DITCH	DELINEATOR POST	UNDERGROUND FIBER OPTIC	PROPOSED WATER MAIN TEE
GUARD RAIL	FLAG POLE	PROPOSED UNDERGROUND FIBER OPTIC	PROPOSED WATER VALVE
TOE OF SLOPE	GENERIC HAND HOLE	LANDSCAPE	PROPOSED WATER VALVE MANHOLE
TOP OF BANK	GENERIC MANHOLE	CONIFEROUS MULTIPLE TRUNK TREE	PROPOSED YARD HYDRANT
WETLAND BOUNDARY	GENERIC METER	CONIFEROUS TREE	PROPOSED WATER MAIN
EROSION CONTROL	GENERIC PEDESTAL	DECIDUOUS MULTIPLE TRUNK TREE	PROPOSED SLOPE INTERCEPT
PROPOSED DITCH CHECK	GENERIC VALVE	DECORATIVE ROCK	
PROPOSED EROSION LOGS/EROSION WADDLES	GENERIC VENT	STUMP	
PROPOSED INLET PROTECTION TYPE A	GUY POLE	EDGE OF PLANTER/LANDSCAPE BED	
PROPOSED INLET PROTECTION TYPE B	GUY WIRE	EDGE OF TREES & BRUSH	
PROPOSED INLET PROTECTION TYPE C	LIGHT POLE	FENCE	
PROPOSED INLET PROTECTION TYPE D	MAIL BOX	RAILROAD	
PROPOSED BARRIER FENCE	MARKER POST	RAILROAD SIGNAL BOX	
PROPOSED SILT FENCE	MONITORING WELL	RAILROAD SIGNAL FLASHER	
PROPOSED EROSION MAT	PILING	RAILROAD SPIKE	
PROPOSED RIP RAP	POST	RAILROAD TRACKS	
PROPOSED TRACKING PAD	REVISION LABEL	TRAFFIC SIGNAL	
	SOIL BORING	CONTROL BOX/LIGHTING CABINET	
	UTILITY POLE	PULL BOX	
	YARD LIGHT	TRAFFIC SIGNAL	
		UNDERGROUND LOOP DETECTOR	



CSS COMMERCIAL LLC  
21700 DORAL RD  
TAX KEY: BKFT1126014

POPLAR ENTERPRISES LLO  
21600 DORAL RD  
TAX KEY: BKFT1126008

FOXHAVEN LLC  
TAX KEY: BKFT1083965004



**Keller**  
PLANNERS ARCHITECTS BUILDERS

**FOX CITIES**  
N216 State Road 55  
P.O. Box 520  
Kaukauna, WI 54130  
Phone (920)766-5795  
1-800-236-2534  
Fax (920)766-5004

**MADISON**  
3308 Nursery Drive  
Middleton, WI 53562  
Phone (608)445-2245

**MILWAUKEE**  
W204 N11509  
Goldendale Rd  
Germantown, WI 53022  
Phone (262)250-9710  
1-800-236-2534  
Fax (262)250-9740

**WAUSAU**  
5605 Lilac Ave  
Wausau, WI 54401  
Phone (715)849-3141  
Fax (715)849-3181

www.kellerbuilds.com

**BANCROFT ENGINEERING**

WISCONSIN

21550 DORAL RD  
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REVISIONS

PROJECT MANAGER:

L. SEBALD

DESIGNER:

C. MEISEL

DRAWN BY:

G. DEPREY

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

--/--/2025

SHEET:

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Point Table				
Point #	Raw Description	Elevation	Northing	Easting
20200	CHK MON 01	888.82	383969.3950	2453446.1140
20224	CHK MON	842.67	386610.2510	2453406.6970
20219	CP MAG NAIL	865.34	385352.0940	2454768.8730
20220	CP MAG NAIL	865.80	385178.5020	2454705.9150
11100	CHK BS	865.80	385178.5500	2454705.9330
11190	CHK BS	865.37	385352.1160	2454768.8430

# EXISTING CONDITIONS & DEMOLITION PLAN

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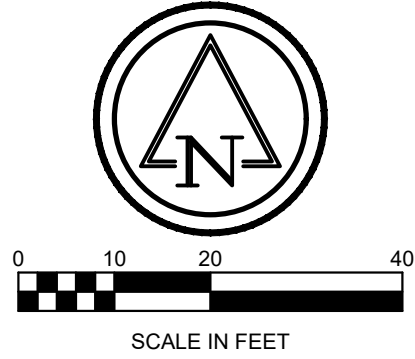
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- NOTES:**
1. TOTAL SITE AREA: 1.10 ACRES.
  2. TOTAL ESTIMATED AREA OF DISTURBANCE: 0.36 ACRES
  3. MAINTAIN EXISTING VEGETATION IN STREET RIGHT OF WAY.

**CONSTRUCTION SEQUENCE**

1. INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY LAND DISTURBING ACTIVITIES, AS SHOWN ON DRAWINGS AND DIRECTED BY ENGINEER.
2. CLEAR AND GRUB VEGETATION AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.
3. STRIP TOPSOIL AND STOCKPILE IN LOCATION AS SHOWN ON DRAWINGS AND AS DIRECTED BY OWNER. INSTALL PERIMETER SILT FENCE AROUND DOWN SLOPE SIDE OF STOCKPILE. STABILIZE STOCKPILE IMMEDIATELY UPON LAYUP.
4. REMOVE EXISTING STRUCTURE.
5. INSTALL, ADJUST AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES NECESSARY FOR EACH ACTIVE STAGE. MAINTAIN MEASURES AT THE END OF EACH DAY.
6. STAGE CONSTRUCTION BY WORK LOCATION. SUBSEQUENT STEPS MAY BE COMPLETED IN ALTERNATE SEQUENCE DEPENDING UPON CONTRACTOR OPERATIONS.
7. COMPLETE ROUGH GRADING.
8. INSTALL UNDERGROUND WATER DISTRIBUTION, AND STORM SEWER UTILITIES.
9. INSTALL STRUCTURE.
10. PREPARE PAVEMENT SUBGRADE.
11. INSTALL NEW PAVEMENT AND BASE LAYERS.
12. AREAS PLANNED TO BE INACTIVE FOR 7 DAYS OR LONGER SHALL BE TEMPORARILY STABILIZED FOLLOWING DNR TECHNICAL STANDARD 1059 SEEDING. THESE AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF BEING INACTIVE.
13. AREAS BROUGHT TO FINAL GRADE SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS.
14. COMPLETE FINAL RESTORATIONS INCLUDING BUT NOT LIMITED TO: TOPSOIL, TURF GRASS SEED, AND CLASS I TYPE B URBAN EROSION MATTING FOR ALL LAWN RESTORATION AND TOPSOIL, TURF GRASS SEED, AND CLASS II TYPE B EROSION MATTING FOR THE DRAINAGE SWALES AND SLOPES OF 4:1 OR MORE.
15. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER 80% GROWTH DENSITY HAS OCCURRED IN 100% OF RESTORATION AREAS. CONTRACTOR SHALL OBTAIN OWNER AND ENGINEER APPROVAL PRIOR TO REMOVING THE MEASURE(S). RESTORE DISTURBED AREAS AROUND REMOVED DEVICES AND CLEAN SITE.



**Keller**

PLANNERS ARCHITECTS BUILDERS

**FOX CITIES**  
N216 State Road 55  
P.O. Box 520  
Kaukauna, WI 54130  
Phone (920)766-5795  
1-800-236-2534  
Fax (920)766-5004

**MADISON**  
3308 Nursery Drive  
Middleton, WI 53562  
Phone (608)445-2245

**MILWAUKEE**  
W204 N11509  
Goldendale Rd  
Germantown, WI 53022  
Phone (262)250-9710  
1-800-236-2534  
Fax (262)250-9740

**WAUSAU**  
5605 Lilac Ave  
Wausau, WI 54401  
Phone (715)849-3141  
Fax (715)849-3181

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REVISIONS

1	

PROJECT MANAGER:

L. SEBALD

DESIGNER:

C. MEISEL

DRAWN BY:

G. DEPREY

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

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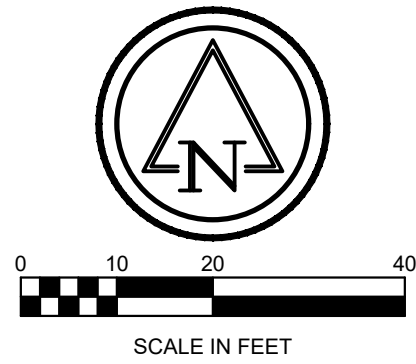


CSS COMMERCIAL LLC  
21700 DORAL RD  
TAX KEY: BKFT1126014

POPLAR ENTERPRISES LLO  
21600 DORAL RD  
TAX KEY: BKFT1126008

FOXHAVEN LLC  
TAX KEY: BKFT1083965004

LIFE NAVIGATOR'S TRUST I AND NICHOLE VAN DER MERWE  
21500 DORAL RD  
TAX KEY: BKFT1126009



**Keller**  
PLANNERS ARCHITECTS BUILDERS

**FOX CITIES**  
N216 State Road 55  
P.O. Box 520  
Kaukauna, WI 54130  
Phone (920)766-5795  
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**SITE PLAN**

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**LEGEND**

- PROPOSED BUILDING
- ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

**PROJECT INFORMATION**

ZONING	M-1 LIGHT MANUFACTURING DISTRICT
LOT AREA	1.11 AC
EXISTING IMPERVIOUS	0.71 AC
PROPOSED IMPERVIOUS	0.83 AC
LAND DISTURBANCE	0.36 AC
GREEN SPACE	0.27 AC

DORAL ROAD

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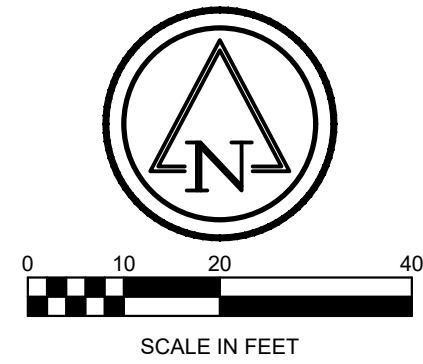
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21675 DORAL RD  
TAX KEY: BKFT1126004



CSS COMMERCIAL LLC  
21700 DORAL RD  
TAX KEY: BKFT1126014

POPLAR ENTERPRISES LLO  
21600 DORAL RD  
TAX KEY: BKFT1126008

FOXHAVEN LLC  
TAX KEY: BKFT1083965004



**Keller**

PLANNERS ARCHITECTS BUILDERS

**FOX CITIES**  
N216 State Road 55  
P.O. Box 520  
Kaukauna, WI 54130  
Phone (920)766-5795  
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W204 N11509  
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Germantown, WI 53022  
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Fax (262)250-9740

**WAUSAU**  
5605 Lilac Ave  
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**GRADING PLAN**

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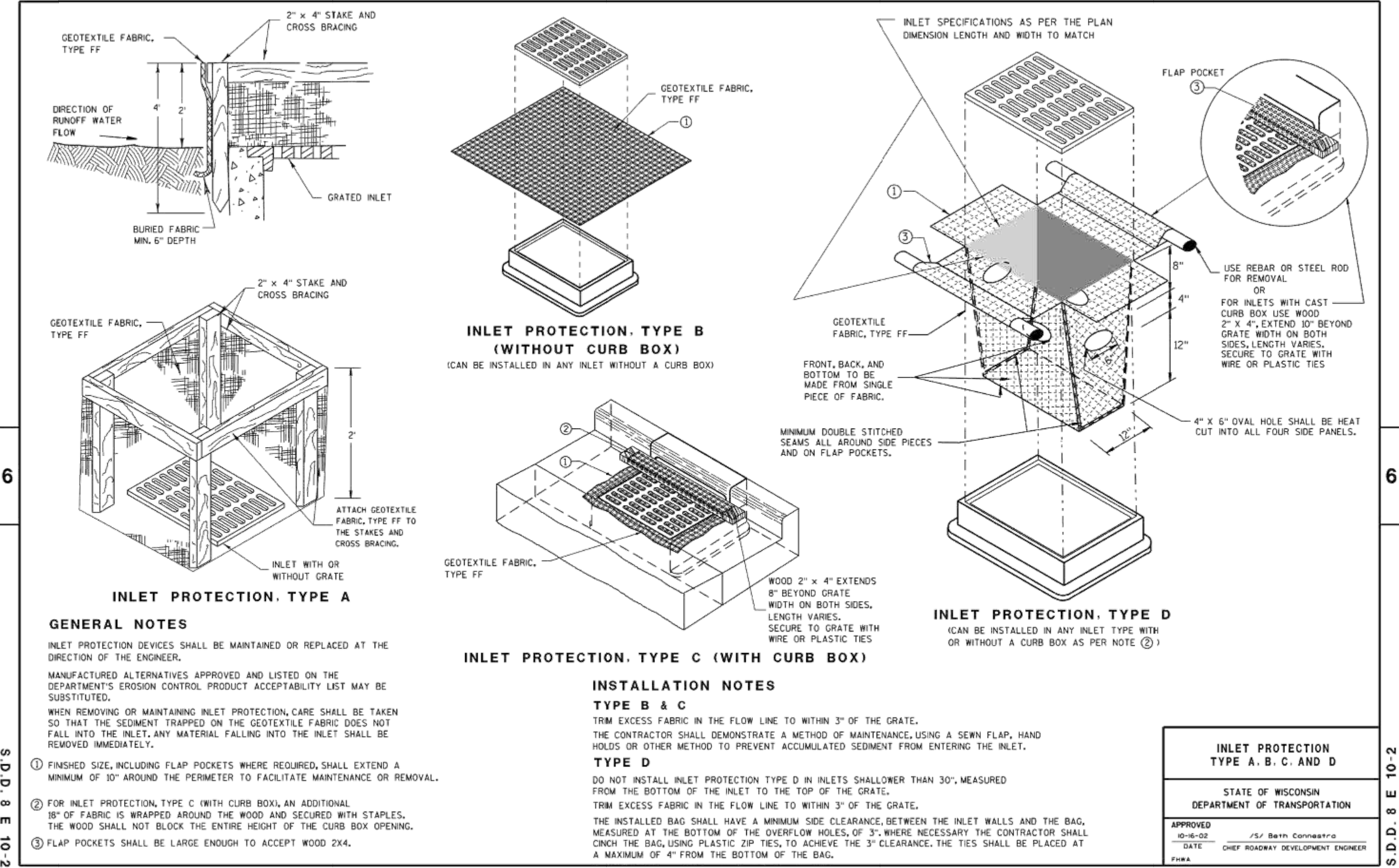
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21675 DORAL RD  
TAX KEY: BKFT1126004

DORAL PROPERTIES LLC  
21320 DORAL RD  
TAX KEY: BKFT1126010

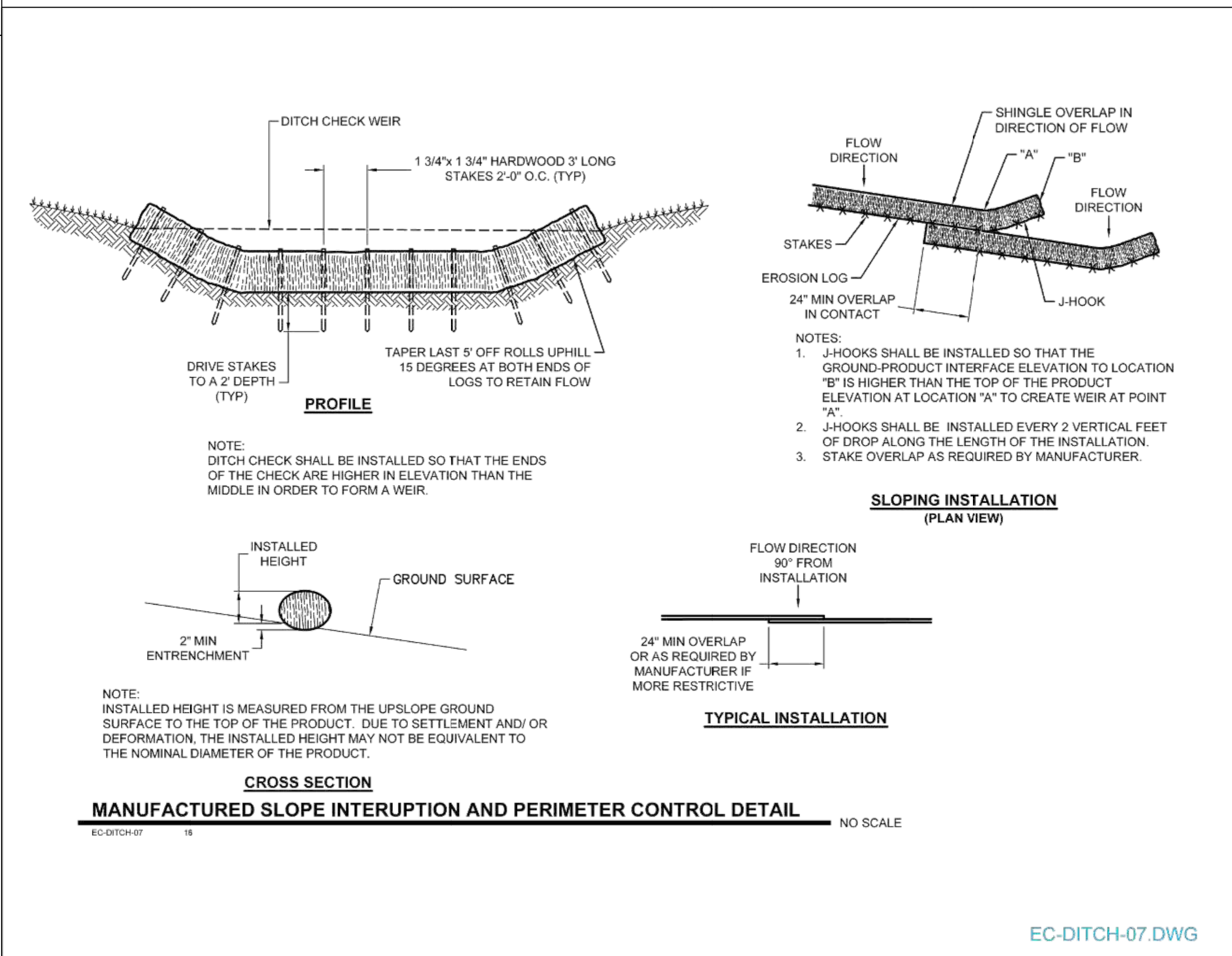
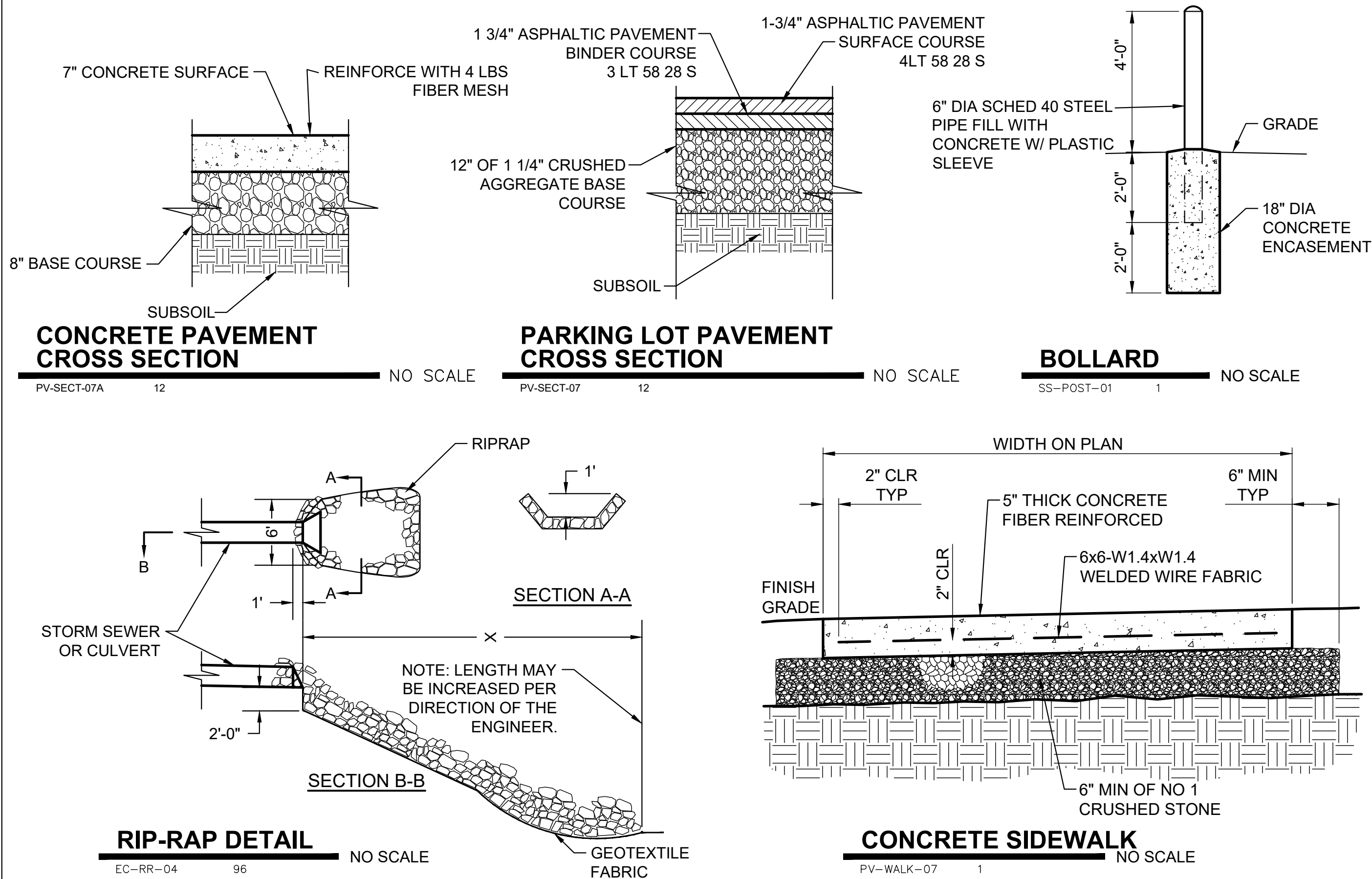
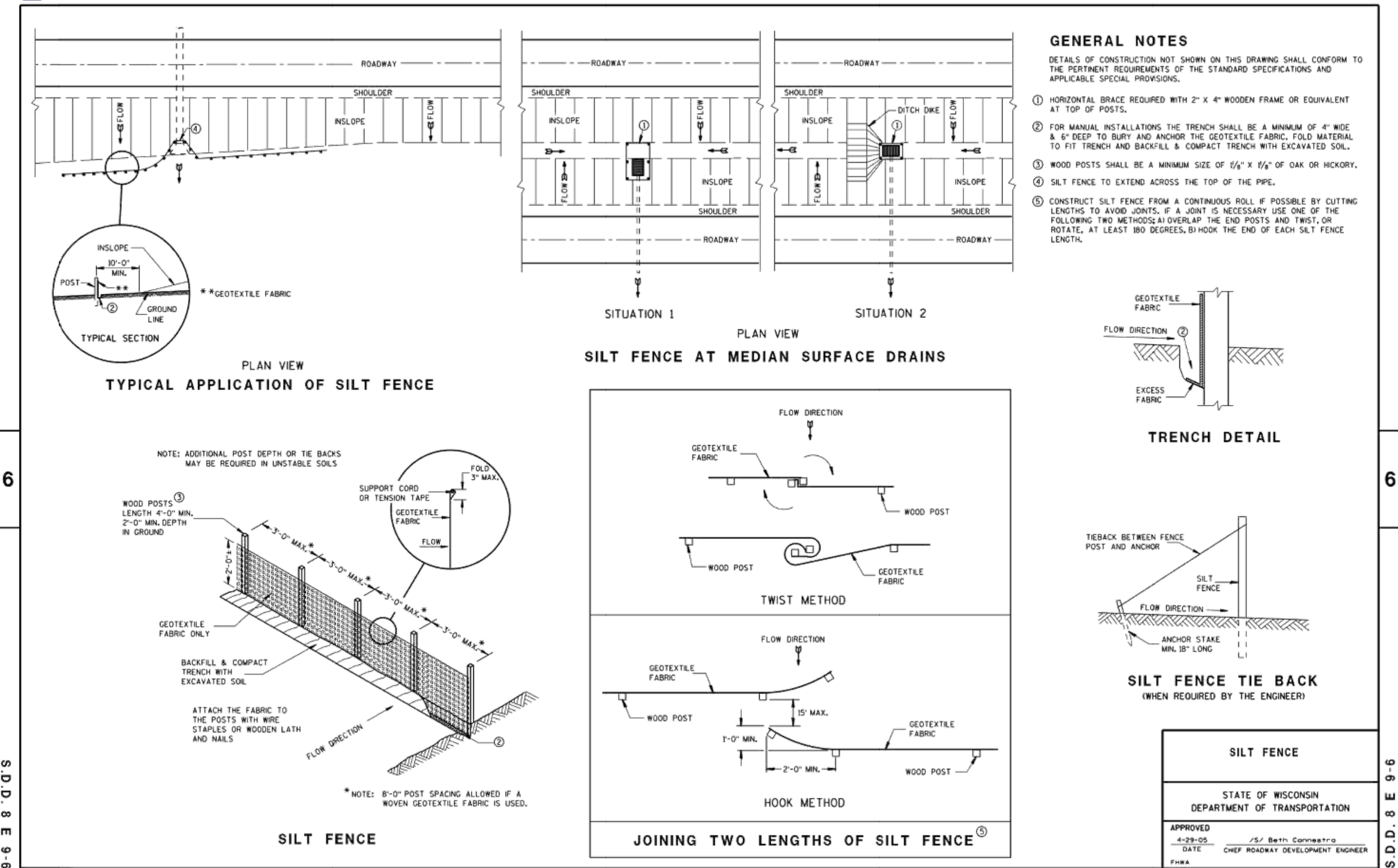
DORAL ROAD



SDD 8e10 Inlet Protection Type A, B, C and D



SDD 8e9 Silt Fence







# ARC2 LED

## Architectural Wall Luminaire



Catalog  
Number

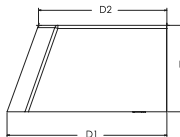
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

**Depth (D1):** 9.25"  
**Depth (D2):** 7.5"  
**Height:** 5"  
**Width:** 14"  
**Weight:** 11 lbs  
(without options)



### Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

### ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

### Ordering Information

#### EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC2 LED	P1 1,500 Lumens	30K 3000K	MVOLT 347 <sup>1</sup>	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) <sup>1</sup>	DDBXD Dark bronze
	P2 2,000 Lumens	40K 4000K		E8WC Emergency battery backup, CEC compliant (8W, -20°C min) <sup>1</sup>	DBLXD Black
	P3 3,000 Lumens	50K 5000K		PE Button type photocell for dusk-to-dawn operation	DNAXD Natural aluminum
	P4 4,000 Lumens			DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>2</sup>	DWHXD White
	P5 6,500 Lumens			SPD6KV 6kV surge protection <sup>1</sup>	DSSXD Sandstone
				FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% <sup>2</sup>	DBBTXD Textured dark bronze
				LDS18 18" Fixture leads	DBLBXD Textured black
					DNATXD Textured natural aluminum
					DWHGXD Textured white
					DSSTXD Textured sandstone

### Accessories

Ordered and shipped separately.

WSB8W DDBXD U

Surface - mounted back box (specify finish)

OWNER TO SELECT FINISH

### NOTES

- 347V not available with E4WH, E8WC and SPD6KV.
- FAO not available with DMG.

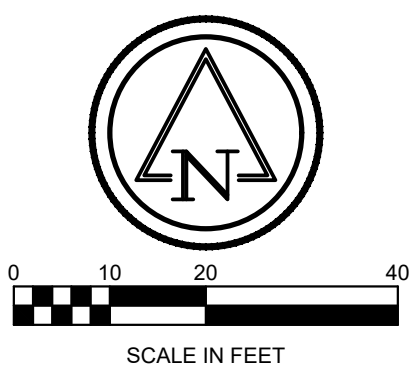


COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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ARC2 LED  
Rev. 08/27/24





- GENERAL NOTES:**
1. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC 2017 AND ALL APPLICABLE LOCAL CODES.
  2. CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
  3. ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING MATERIAL.
  4. CONTROLS ARE NOT PROVIDED AS PART OF THIS WORK. COORDINATE EXTERIOR LIGHTING CONTROLS WITH ENGINEER/CONTRACTOR FOR BUILDING.
  5. INSTALL CONDUIT AND CONDUCTORS TO EACH FIXTURE, TYPE AND SIZE DEPENDS ON AVAILABLE VOLTAGE. CONFIRM AVAILABLE VOLTAGE WITH ENGINEER/CONTRACTOR FOR BUILDING.
  6. FIXTURES TO BE PROVIDED WITH BUTTON PHOTOCELL FOR DUSK TO DAWN OPERATION.

**LIGHTING PLAN KEYNOTES:**

F1: WALL PACK  
MANUFACTURER: LITHONIA  
MODEL #: ARC2 LED P2 40K  
MOUNTING: 16" 9" WALL  
LUMENS: 2,377  
WATTAGE: 16W

TOTAL OUTDOOR LIGHT OUTPUT (EXCLUDES EXISTING LAMPS)			
TAG	QUANTITY	LUMENS	TOTAL LUMENS
F-1	3	2,377	7,131
		TOTAL	7,131

TOTAL SITE ACREAGE: 1.10 AC (47,924 SF)  
PROPOSE BUILDING: 0.46 AC (19,933 SF)  
NET ACREAGE: 0.64 AC (27,991 SF)

LUMENS PER NET ACRE (0.64) = 11,142 LUMENS

CALCULATION POINTS:  
MAX: 2.3 FC  
AVERAGE: 0.7 FC  
MIN: 0.0 FC  
RMS AVG/MIN: 0.25 FC

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**FOX CITIES**  
N216 State Road 55  
P.O. Box 520  
Kaukauna, WI 54130  
Phone (920)766-5795  
1-800-236-2534  
Fax (920)766-5004

**MADISON**  
3308 Nursery Drive  
Madison, WI 53562  
Phone (608)445-2245

**MILWAUKEE**  
W204 N11509  
Goldendale Rd  
Germantown, WI 53022  
Phone (262)250-9710  
1-800-236-2534  
Fax (262)250-9740

**WAUSAU**  
5605 Lilac Ave  
Wausau, WI 54401  
Phone (715)849-3141  
Fax (715)849-3181

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PROPOSED FOR:

**BANCROFT ENGINEERING**

21550 DORAL RD  
WAUKESHA, WISCONSIN

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REVISIONS


PROJECT MANAGER: L. SEBALD

DESIGNER: C. MEISEL

DRAWN BY: G. DEPREY

EXPEDITOR: -----

SUPERVISOR: -----

PRELIMINARY NO: -----

CONTRACT NO: -----

DATE: --/--/2025

SHEET: E1.0

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Waukesha • Kenosha • Madison  
Global Water Center • Fox Valley  
www.ruekertmielke.com

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO. 20245200925) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.



SHEET INDEX

C1.0 CONCEPTUAL SITE PLAN  
A1.1 FLOOR PLAN - ENLARGED  
A1.0 FLOOR PLAN - OVERALL  
A2.0 ELEVATIONS

BUILDING & FIRE AREA  
SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	12,280 S.F.	7,653 S.F.	19,933 S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	12,280 S.F.	7,653 S.F.	19,933 S.F.
MEZZANINES	2,410 S.F.	----- S.F.	2,410 S.F.
FIRE AREA TOTALS	14,690 S.F.	7,653 S.F.	22,343 S.F.
REMODEL AREA TOTALS	----- S.F.	---% OF BUILDING AREA	

BUILDING CODE ANALYSIS

PROJECT ADDRESS  
21550 Doral Rd, Waukesha, WI 53186

APPLICABLE CODES  
2015 International Building Code (w/ WI Amendments)  
ASHRAE Standard 90.1-2013 or 2015 IECC  
2015 IEBC (Level # Alteration)

OCCUPANCY  
B, F2  
Accessory Use  
-----  
Incidental Use  
-----  
High-Piled Combustible Storage NO  
Hazardous Materials NO  
Multiple Control Areas NO

HEIGHT & AREA  
Building Height: --" Maximum Allowed: --"  
Number of Stories: -- Maximum Allowed: --  
Total Building Area: --- S.F. Maximum Allowed: 23,000 S.F. (B, F2)  
Total Fire Area: --- S.F. Maximum Allowed: --- S.F.  
Mixed Occupancies  
Unlimited Area Building NO

CONSTRUCTION TYPE  
Construction Classification 2B  
Fire Separation Distance --"

FIRE PROTECTION SYSTEMS  
Assumed Sprinkler Type --  
Fire Alarm System YES/NO

MEANS OF EGRESS  
Occupant Load --  
Panic Hardware NO

STRUCTURAL DESIGN  
Risk Category --  
Design Loads  
Roof Live Load -- psf  
Walk-on IMP Ceiling Live Load -- psf  
Steel Framing  
Collateral Load -- psf  
Wood Truss  
Top Chord Dead Load -- psf  
Bottom Chord Load -- psf  
Mezzanine/Second Floor/Basemen  
Live Load -- psf  
Point Load (Partition) -- psf  
Snow Load Criteria  
Ground Snow Load (Pg) -- psf  
Exposure Factor (Ce) --  
Thermal Factor (Ct) --  
Wind Loads  
Wind Load -- MPH  
Surface Roughness --  
Exposure Category --  
Earthquake Load Criteria  
Soil Site Class --  
Ss --  
S1 --

PLUMBING SYSTEMS  
Mens WC Required #  
Womens WC Required #  
Drinking Fountain Required #  
Other Source YES/NO  
Ambulatory Stall Required YES/NO

MECHANICAL SYSTEMS  
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU  
NO BOILERS OVER 15PSI AND 10 HORSEPOWER

SITE INFORMATION

SITE CONTENT  
Building Size --- S.F. ---%  
Hard Surface --- S.F. ---%  
Green Space --- S.F. ---%  
Parcel Size (Approx.) 48,539 S.F. 1.1143 Acres  
Parking Provided -- Stalls  
Area of Disturbance --- S.F.

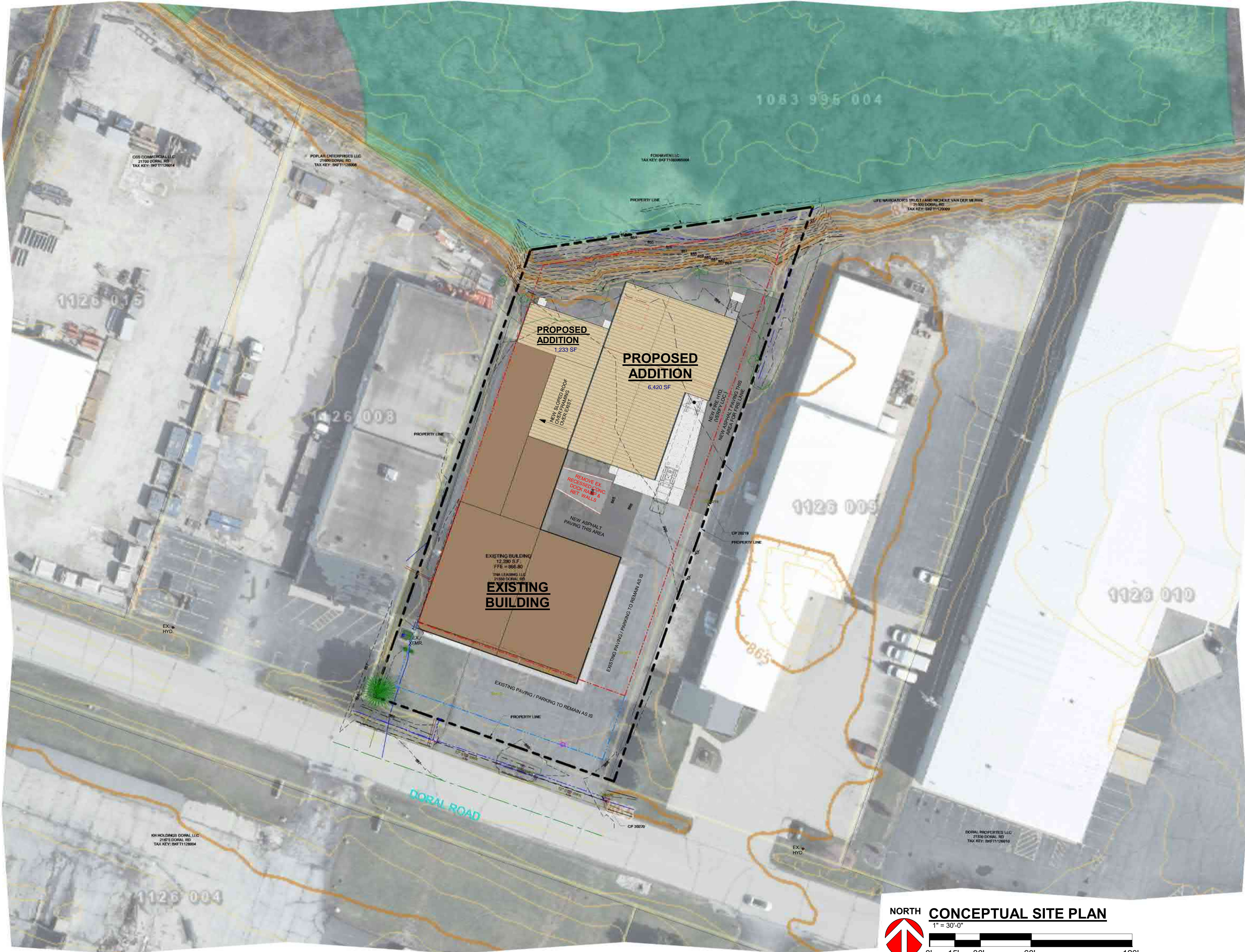
ZONING  
Property Zoning M1  
Setbacks FY 50'-0" SY 10'-0" RY 10'-0"  
Hard Surface Setback 10'-0"  
Coverage Limit --%  
Greenspace Requirement --%  
Parking Required 9x18' (1 STALL PER EMPLOYEE FOR SHIFT W/ MOST EMPLOYEES)  
Refuse Enclosure YES/NO  
RTU SCREENING YES/NO

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BANCROFT ENGINEERING

TOWN OF BROOKFIELD,

WISCONSIN



NORTH  
CONCEPTUAL SITE PLAN  
1" = 30'-0"  
0' 15' 30' 60' 120'

THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION, EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.



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P.O. Box 620  
Kaukauna, WI 54130  
PHONE (920) 766-2795 /  
1-800-236-2534  
FAX (920) 766-5004

MADISON  
711 Lake Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

MILWAUKEE  
W204 N11509  
Coldendale Rd  
Germanstown, WI 53022  
PHONE (262) 250-9770  
1-800-236-2534  
FAX (262) 230-9740

WAUSAU  
5605 Libac Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
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WISCONSIN

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REVISIONS

1	04.25.2025	I. HAUN
2		
3		
4		
5		
6		

PROJECT MANAGER:

L. SEBALD

DESIGNER:

C. MANSKE

INTERIOR DESIGNER:

-----

DRAWN BY:

I. HAUN

EXPEDITOR:

-----

SUPERVISOR:

-----

PRELIMINARY NO:

P25029

CONTRACT NO:

-----

DATE:

04.17.2025

SHEET:

**C1.0**

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P.O. Box 620  
Kaukauna, WI 54130  
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1-800-236-2534  
FAX (920) 766-5004

MILWAUKEE  
W204 N11509  
Coldwater Rd  
Germantown, WI 53022  
PHONE (262) 250-9710  
1-800-236-2534  
FAX (262) 320-9740

MADISON  
711 Lake Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

WAUSAU  
5605 Lake Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
FAX (715) 849-3181

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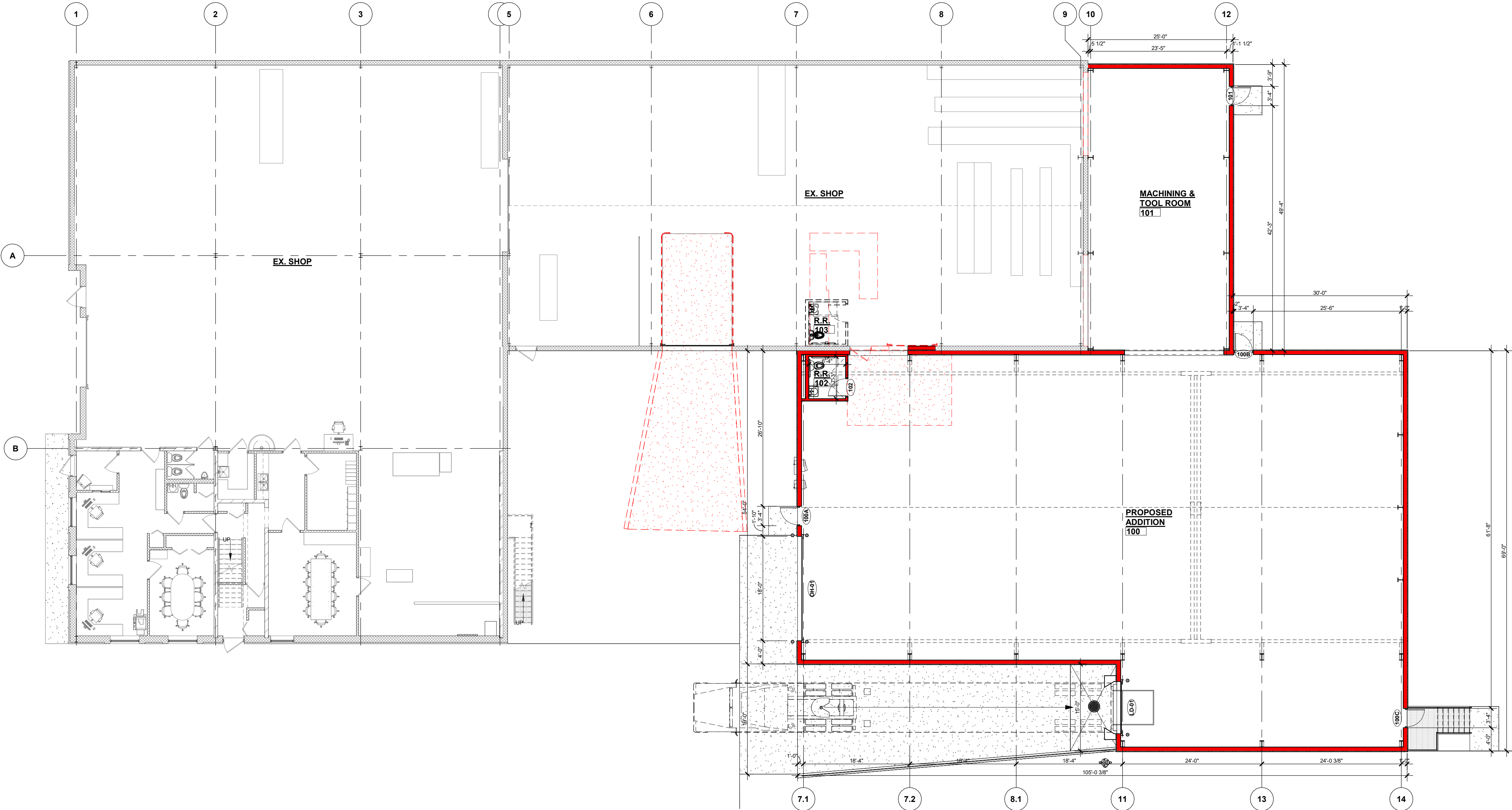
DATE:

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**A1.0**

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**FLOOR PLAN - OVERALL**  
3/32" = 1'-0"

WALL KEY	
	NEW WALL/FURRING
	NEW MASONRY/VENEER WALL
	NEW COOLER/FREEZER WALLS
	NEW FOUNDATION WALL
	NEW IMP WALL
	NEW PRECAST WALL
	EXISTING MASONRY WALL
	TYPICAL EXISTING WALL
	DEMO MASONRY WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER





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N216 State Road 55  
P.O. Box 620  
Kaukauna, WI 54130  
PHONE (262) 766-5795 /  
1-800-236-2534  
FAX (920) 766-5004

MILWAUKEE  
W204 N11509  
Coldwater Rd  
Germanstown, WI 53022  
PHONE (262) 250-9710  
1-800-236-2534  
FAX (262) 250-9740

MADISON  
711 Loh Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

WAUSAU  
5605 Lib Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
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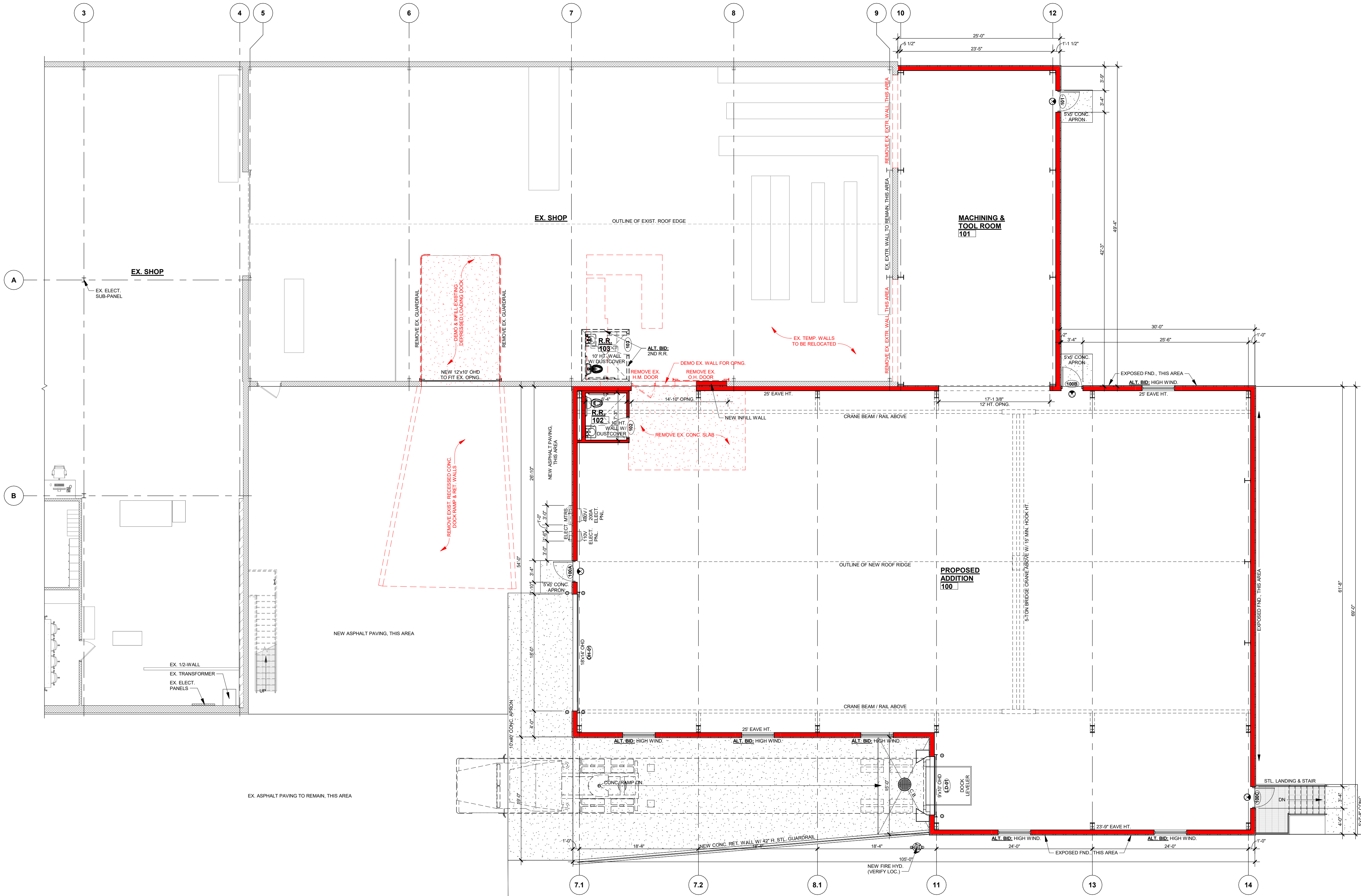
DATE:

04.17.2025

SHEET:

**A1.1**

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**FLOOR PLAN - ENLARGED**

1/8" = 1'-0"

**WALL KEY**

- NEW WALL/FURRING
- NEW MASONRY/VENEER WALL
- NEW COOLER/FREEZER WALLS
- NEW FOUNDATION WALL
- NEW IMP WALL
- NEW PRECAST WALL
- EXISTING MASONRY WALL
- TYPICAL EXISTING WALL
- DEMO MASONRY WALL
- DEMO WALLS
- FIRE WALL OR FIRE BARRIER





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FOX CITIES  
N216 State Road 55  
P.O. Box 620  
Kaukauna, WI 54130  
PHONE (920) 766-2795 /  
1-800-236-2534  
FAX (920) 766-5004

MILWAUKEE  
W204 N11509  
Coldwater Rd  
Germanstown, WI 53022  
PHONE (262) 250-9770  
1-800-236-2534  
FAX (262) 250-9740

MADISON  
711 Loh Dr.  
Sun Prairie, WI 53590  
PHONE (608) 318-2336  
FAX (608) 318-2337

WAUSAU  
5605 Linc Ave  
Wausau, WI 54401  
PHONE (715) 849-3141  
FAX (715) 849-3181

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PROJECT MANAGER:

L. SEBALD

DESIGNER:

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INTERIOR DESIGNER:

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DRAWN BY:

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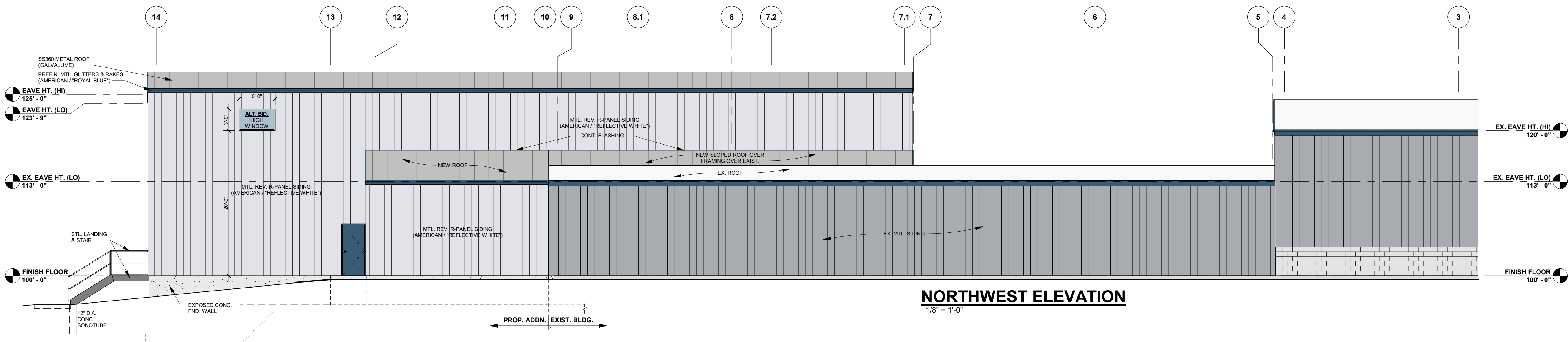
04.17.2025

SHEET:

**A2.0**

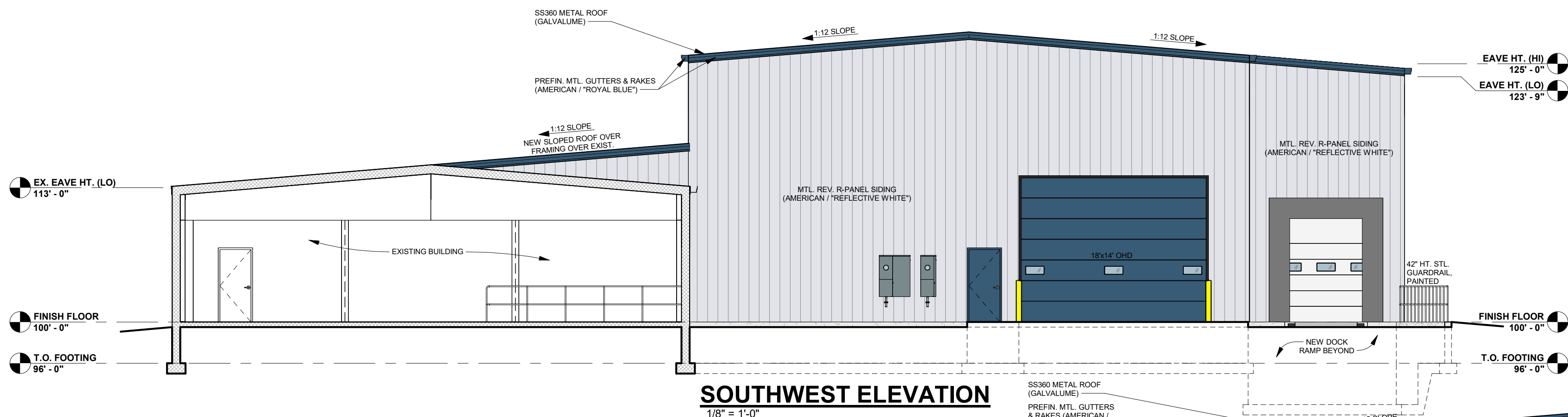
DOOR & WINDOW VALUES

WINDOWS:	U VALUE	0. --
	SHGC	0. --
	VT	0. --
DOORS:	U VALUE	0.38
(SWINGING)		
O.H. DOORS:	U VALUE	0.11
(NON-SWINGING)		
DOORS:	U VALUE	0. --
(90% GLAZING)	SHGC	0. --
	VT	0. --



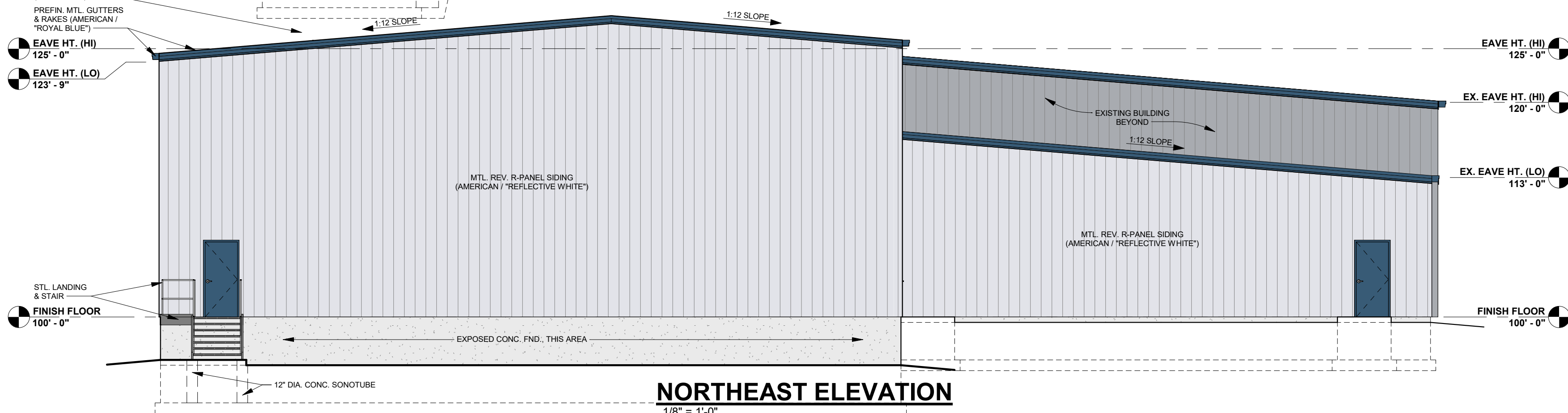
**NORTHWEST ELEVATION**

1/8" = 1'-0"



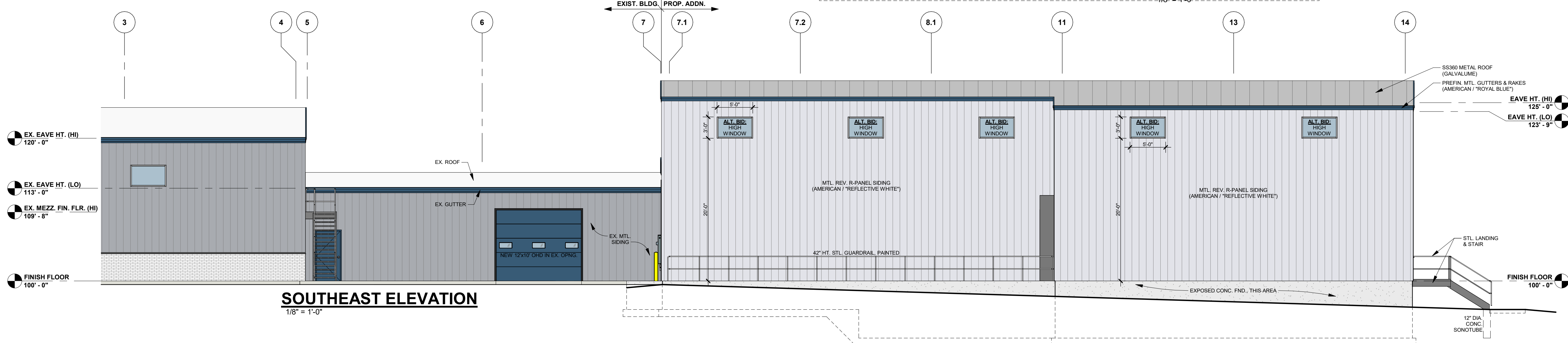
**SOUTHWEST ELEVATION**

1/8" = 1'-0"



**NORTHEAST ELEVATION**

1/8" = 1'-0"



**SOUTHEAST ELEVATION**

1/8" = 1'-0"





# **BANCROFT ENGINEERING**

TOWN OF BROOKFIELD,

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