

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
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MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Gnant Room
645 N. Janacek Road, Brookfield, WI

Wednesday, May 14, 2025

Architectural Review Committee

6:00 p.m

AGENDA

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
- a. April 9, 2025 Meeting Minutes
- 5) Old Business:
 - a. None.
- 6) New Business:
 - a. Adrian Mois (Nova Signs), representing Brookfield Animal Hospital, is requesting approval for two wall mounted signs, monument sign tenant panels, and permanent window signage, located at 18000 W Bluemound Road.
 - b. Dan Schaefer (Sign Works), representing Thrivent, is requesting approval for replacing an existing monument sign with a new monument sign with tenant panel signs, located at 20935 Swenson Drive.
 - c. Dan Anheuser (Bazaar Home Decorating) is requesting approval for installation of two new wall mounted signs, located at 21950 Watertown Road.
 - d. Dave Salkin (Signs & Lines by Stretch), representing Bombshell Theater, is requesting approval for installation of a wall mounted sign and monument sign tenant panels, located at 19700 West Bluemound Road.
 - e. Ryan Janssen (Avery & Birch) is requesting final approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.
 - f. Jim Taylor (Oscar's Frozen Custard) is requesting preliminary and final approval for a new drive-thru on the property located at 21165 Highway 18 and adjacent property to the east.
 - g. Luke Sebald (Keller, Inc), representing Bancroft Engineering, is requesting preliminary and final approval for an addition to an existing manufacturing building, located at 21550 Doral Road.
- 7) Communication and Announcements.
- 8) Adjourn.

Posted this 8th day of May, 2025

*Bryce Hembrook
Town Planner*

TOWN OF BROOKFIELD
ARCHITECTURAL REVIEW COMMITTEE MINUTES
April 9, 2025

The regular meeting of the Architectural Review Committee was held in the East Conference Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER

Supervisor Steve Kohlmann called the meeting to order at 6:00 p.m. with the following people present: Town Planner Bryce Hembrook; and Committee members, Richard Diercksmeier, Alan Lee, and Matt Paris. Town Supervisor John Charlier attended via Zoom.

2) MEETING NOTICES

Planner Hembrook reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA

Motion by Paris to approve the agenda.

Seconded by Lee.

Motion carried unanimously.

4) APPROVAL OF MINUTES

Motion by Paris to approve the minutes of the March 12, 2025 minutes as presented.

Seconded by Lee.

Motion carried unanimously.

5) OLD BUSINESS

a. None.

6) NEW BUSINESS

a. Lisa Burck (Innovative Signs) representing Innovative Signs, requesting review and approval for a permanent freestanding monument sign, located at 21700 Doral Road.

Hembrook reviewed the proposal as outlined in the SEH Staff report, including the following: The sign is proposed to be internally illuminated, and is approximately 60 square feet including the support structure and 6 ½ feet high. Hembrook noted that the location is very close to the 5-foot setback requirement and described options to meet the setback. Address numerals are included near the top of the sign. A nighttime rendering is provided and the proposed colors are blue, yellow, and white. Chad Schultz with Innovative Signs indicated that he could make the necessary changes to meet the setback. The sign is parallel to Doral Road.

Motion by Lee to approve a permanent freestanding monument sign for Innovative Signs, located at 21700 Doral Road as presented.

Seconded by Diercksmeier.

Further discussion:

None.

Motion carried unanimously.

b. Jamie Papini, representing Olive Garden, requesting review and approval for a proposed garbage enclosure in the parking area, located at 18180 West Bluemound Road.

Alex Kaeding was present to represent Olive Garden, and reported that new renderings had been submitted. Hembrook reviewed the proposal. The materials are basically the same as the current enclosure. The original plan was to expand

the existing enclosure; however, the Town Engineer and Hembrook determined that the access drive would not meet code, thus the reason for new renderings. The second enclosure would be closer to the building. Hembrook noted that the Architectural Review Committee (ARC) may refer this to the Town Board for their review since this alters the site plan. The material is a combination of brick and concrete. There is still a shed on the parcel. Bollards would be on the back of the enclosure. Paris stated that he would like to approve without Town Board approval. Kohlmann noted that Town Board is usually interested in dumpster enclosures. Charlier added that this is not as visible and would approve as is without Town Board review. Kohlmann stressed that Hembrook should work with the applicant on bollard placement. Kaeding noted that typically is to set them in between 18 – 24 inches from the back inside of the enclosures. The current bollards are 2 feet.

Motion by Paris to approve a garbage enclosure in the parking area for Olive Garden located at 18180 West Bluemound Road pending Hembrook's review for bollards and aesthetics.

Seconded by Lee.

Further discussion:
None.

Motion carried unanimously.

- c. Brian Green (Silver Leaf Signs & Graphics), representing Regus Sign, requesting review and approval for a permanent wall sign, located at 20225 Watertower Boulevard.

Hembrook described the proposed sign as follows: it would be 65.28 square feet with internally illuminated LED individual channel letters and one red dot. It will be located on the southeast corner of the building, which is quite close to a multi-family development to the south. Hembrook included that the code mentions that internally illuminated signs shall not face lands zoned or used for single-family or duplex use. The adjacent residential development would not fall under this requirement and therefore internally illuminated signs are allowed, but are still subject to ARC's approval. There is currently one sign on the building, and code mentions there is a maximum of two wall mounted signs per building for buildings principally used as offices, which is the case for this building. Proposed signage appears to meet code requirements, except for the sign area as outlined in the staff report, due to the lack of right-of-way. The ARC may decide to allow an exception if they believe the proposed sign meets the intent and purpose of the code.

Motion by Lee to approve a permanent wall sign for Regus Sign, located at 20225 Watertower Boulevard as presented.

Seconded by Diercksmeier.

Further Discussion:
None.

Motion Carried unanimously.

- d. Mat Szula (Top Dog Remodeling) is requesting preliminary and final approval for the construction of a storage building for the property located at 1500 North Springdale Road.

Hembrook reviewed the proposal as outlined in the staff report, and noted that the Plan Commission (PC) reviewed and recommended approving conceptual, preliminary and final because it is a smaller scale project; with the contingency that the applicant update plans for grading, landscaping, lighting, and include information on the trash enclosure before it goes to Town Board. Mat Szula indicated the materials would match the existing buildings (after current remodeling project).

Motion by Paris to recommend preliminary and final approval for the construction of a storage building for the property located at 1500 North Springdale Road as presented.

Seconded by Lee.

Further Discussion:

None.

Motion carried unanimously.

- e. Ryan Janssen (Avery & Birch) is requesting recommendation for preliminary approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.

Hembrook reviewed the proposal as outlined in the staff report, including the following: the building is proposed at 16,550 square feet, single story, with approximately 85 parking stalls. There is one access drive, which PC does not see as an issue, however turning radius' need to be verified. The look of the building is white with black trim. Existing trees on the west side will remain. Hembrook informed Ryan Janssen that a lighting plan would need to be submitted for the whole property, not just the parking area. Setbacks and total floor area meet requirements. Comments from the Fire Department and Sanitary District were noted as in the staff report. Cutting back the island in the parking lot was mentioned to allow for a larger turning radius. It was the consensus that this proposal is much more appealing than one previously submitted, which was for a 3-story building.

Motion by Paris to recommend preliminary approval of a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle.

Seconded by Lee.

Further Discussion:

None.

Motion carried unanimously.

- f. David Wimmer and Nick Wimmer (Wimmer Communities) are requesting review and approval for amended architectural plans for the Town Center building (building #2 in the Poplar Creek Town Center development) for the property located at 20200 West Bluemound Road and 20500 Crosstown Avenue.

Hembrook noted that building #2 is located between the hotel in the Poplar Creek Development and Discount Tire to the east. Hembrook noted the location of a sign for Poplar Creek Town Center is along Bluemound Road. David Wimmer reported that the main entry for the residential component was on the west side (Brooktown Blvd) which was directly across from the Marriott Center underground parking garage. Wimmer wants to relocate the main entry to the north side of the building, directly across from the other residential buildings. Another change is to the parking garage access. There are two floors of parking, and the original plan was to have all access from the northeast corner. The change is there are now two access points, one for the lowest garage parking is from the north, and the second level of parking is accessed from the west, directly across from the Marriott Center garage. The last change that the center courtyard is proposed to be opened up to Bluemound, instead of enclosed. The sign that was originally proposed along Bluemound Road would be changed to be part of the entrance to the courtyard and architectural in nature, with a metal I-beam c-channel across the gap and signage for the development would be there. Materials for the building were clarified. Hembrook noted that the site plan is changing slightly, so Plan Commission will review, and Town Board will review all changes. Kohlmann inquired whether the signage size is allowed by code. Charlier asked if the sign is illuminated, and Wimmer responded that it would be a halo, backlit sign similar to other signs on the property. The site lighting plan is the same as what was previously approved. Paris would like details if there are any lighting changes. Kohlmann asked if there will be glow lighting at the very top of the building, and Wimmer confirmed there is.

Motion by Charlier to approve amended architectural plans for the Town Center building (building #2 in the Poplar Creek Town Center development) for the property located at 20200 West Bluemound Road and 20500 Crosstown Avenue as presented.

Seconded by Lee.

Further discussion:

None.

Motion carried unanimously.

g. Review proposed Sign Code amendments and provide feedback to Plan Commission.

Hembrook reported that many of the changes are for clarification, and when permits are required. Recommendation for setback for temporary signs was changed from 10 feet to 5 feet. Awning and canopy signs were added, since that has come up recently. Interior oriented sign (not facing right-of-way) clarification was mentioned. Handling violations is proposed to be added to the code. Hembrook noted there was a Supreme Court case that changed the way signs can be regulated by municipalities. Any suggestions should be directed to Bryce. Paris would like to see “bandit” signs that such as for painters, or landscapers (yard-type signs) be addressed. Those types of signs cannot be in the right-of-way. Grammatical errors will be checked for, Hembrook is asking for content related suggestions. Kohlmann asked about holiday/ seasonal decorations, especially permanent lights on houses. Hembrook had discussion regarding this and it could be in the nuisance chapter of the code, as opposed to the sign area. Paris suggested a light with a sign embedded (beacon sign) should be addressed. Hembrook noted that beacon signs fall under “prohibited” signs. Kohlmann suggested prohibiting “beacon” or “projected” signage. Hembrook asked if a “beacon” or “projected” sign were proposed on an internal part of a property, would the ARC be open to approving that. Response was generally leave as is, can grant an exception if it is appropriate.

7) COMMUNICATION AND ANNOUNCEMENTS

None.

8) ADJOURN

Motion by Paris to adjourn at 7:14 pm.

Seconded by Lee.

Motion carried unanimously.

Respectfully submitted,
Bryce Hembrook, Town Planner

BH/lr



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for All of Us®

TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Architectural Review Committee

FROM: Bryce Hembrook, AICP
Town Planner

REPORT DATE: May 8, 2025
ACC MEETING DATE: May 14, 2025

RE: ARC Staff Report – May 2025 Agenda Items

Brookfield Animal Hospital – Sign Review

Applicant: Adrian Mois (Nova Signs) – Representing Brookfield Animal Hospital

Location: 18000 W Bluemound Rd (Harvard Square)

Request: Approval of two wall mounted signs, monument sign tenant panels, and permanent window signage.

- Nova Signs is proposing to install two wall mounted signs on Brookfield Animal Hospital’s tenant space, and replacing monument sign tenant panels. The applicant is also proposing window signage that does not meet the typical code requirements.
- Wall Signs
 - Entrance Sign - 40.76 square foot LED internally illuminated individual channel letter sign.
 - Side of building sign – 72.75 square foot LED internally illuminated individual channel letter sign.
 - Both signs are predominantly navy blue channel letters with black trim. The raceway will match the building façade color (looks to be off-white/cream).
 - Allowable Size:
 - Facing South towards Bluemound Road: 52’ of tenant frontage area.
 - Allowed = 41.6 square feet.
 - Meets requirement.
 - Facing Woelfel Road: 92 feet of tenant frontage area.
 - Allowed = 73.6 square feet
 - Meets requirement
 - Proposed signage appears to meet code requirements.
- Monument Sign Tenant Panels
 - The sign will be approximately 7.8 square feet each, the same size as the existing inserts.
 - Navy background and white lettering.
- Window Signs
 - The proposal includes wall signage proposed. The proposed window signage does not meet code requirements but the ARC can approve as presented at their discretion. These window signs would generally be permanent.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 501 Maple Avenue, Delafield, WI 53018-9351
SEH is 100% employee-owned | sehinc.com | 262.646.6855 | 888.908.8166 fax

Thrivent – Sign Review

Applicant: Dan Schaefer (Sign Works) – Representing Thrivent

Location: 20935 Swenson Drive

Request: Approval for replacing an existing monument sign

- Applicant is requesting to replace the existing on-site monument sign with a new monument sign.
- Proposed sign
 - 24 square foot (64" x 54") non-illuminated multi-tenant monument sign
 - The monument will be mostly gray, with 5 black, 8" tall each, tenant panels. The building address will be in 8" black letters at the bottom of the sign.
 - The sign will be at least 5' from the property line.
 - The proposed sign will be replacing an existing sign that does not meet the minimum setback requirements.
 - There is also an existing freestanding address sign on the property.
- Proposed sign meets all code requirements, except the 1 freestanding sign per parcel requirement. Having both a freestanding tenant sign and a freestanding address sign is consistent with what is already there. It is also consistent with other properties in the area.

Bazaar Home Decorating – Sign Review

Applicant: Dan Anheuser – Representing Bazaar Home Decorating

Location: 21950 Watertown Road

Request: Approval for installation of two new wall-mounted signs.

- Applicant is requesting to add one sign to the southwest and northwest exterior walls. Both signs will be the same size and configuration.
- Proposed sign
 - Each sign will be 39.7 square feet and internally illuminated – 79.4 square feet total.
 - The words "Hunter Douglas" 22" tall and "By BAZAAR" 12" tall will be in black perforated vinyl (illuminated white at night), and the Hunter Douglass logo will be in orange.
 - The sign appears to extend less than 12" from the wall.
 - Allowable Size:
 - Along Watertown Road: 75' of tenant frontage area.
 - Allowed = 60 square feet.
 - Meets requirement.
 - Facing parking lot to northwest: 70 feet of tenant frontage area.
 - Not facing public right of way but would be allowed 56 square feet if the ARC determines to allow the sign and uses the typical sign area requirement (.8sf per linear foot).
 - Does not meet requirement but the ARC can grant exceptions at their discretion.
 - The proposed signs meet all other code requirements.

Bombshell Theater – Sign Review

Applicant: Dave Salkin (Signs & Lines by Stretch) – Representing Bombshell Theater

Location: 19700 W Bluemound Road

Request: Approval for installation of a wall mounted sign and monument sign tenant panels.

- The signs have already been installed prior to submitting sign applications and ARC review. Planner Hembrook contacted Bombshell and informed them they need to submit applications to the Town and have their signs reviewed by ARC.
- Applicant is requesting approval for one wall mounted sign and monument sign tenant panels.
- Wall Sign
 - 21.9 square foot non-illuminated sign.
 - The sign has the words “BOMBSHELL STUDIO THEATER” in 12” tall brown letters.
 - The sign does not extend out from the wall.
 - Proposed sign meets all code requirements
- Monument sign replacements
 - Double-sided tenant panels
 - The inserts will be vinyl, with black background and “BOMBSHELL STUDIO THEATER” written in a combination of black and white lettering.
 - The replacements are the same size as the existing sign pannels.
 - Proposed sign meets all code requirements

Avery & Birch – Final Approval

Applicant: Ryan Janssen (Avery & Birch)

Location: 21055 Crossroads Circle

Request: Final approval of a new building consisting of a one-story salon suite facility

- Received approval for a three-story facility in 2024 but have since changed their plans. Applicant is now proposing a single-story 16,550 square foot building that will be used for luxury salon suite rentals.
- Each one of the suites is occupied by a self-employed beauty professional. Avery and Birch does not provide beauty services we simply act as a landlord for our multi-tenant buildings. This use for this submittal is similar to the last approval except for the proposed building is now a single-story building.
- Zoning District = B-2 Limited General Business District
- Currently a vacant 3.67 acre parcel in an office park.
 - This parcel has received two approvals in the past few years. First, Quest Interiors received final approval for their facility on the subject property in 2023, but decided to no longer pursue the project. Avery and Birch received final approval in 2024 but have since changed their plans.
- The applicant no longer intends to split the property into two.
- Proposed structure = 16,550 total square foot facility with salon suites.
- Approximately 86 parking stalls currently proposed, including 4 handicap stalls.
 - The proposed use is likely considered a personal service use, which requires one space per 200 square feet of gross floor area, plus one space per employee for the work shift with the largest number of employees.
 - According to the code, 82 parking spaces are required for the square footage and the number of employees is unknown at this time.
 - The proposed site plan shows one drive access to Crossroads Circle.
- Proposed setbacks:
 - Front = 154’
 - Side = 107’ north and 101’ south

- Rear = 77'
- All building setbacks will meet code requirements.
- The pavement setbacks appear to meet requirements.
- Sum total of floor area
 - Proposed = 10.3% of lot area.
 - Required = No less than 6,000sf or 15% of the lot area, whichever is less. Shall not exceed 50% of lot area.
 - Requirement is met.
- No building height dimensions were provided but the building will likely meet the 45' height requirement.
- Lighting
 - Lighting Plan was submitted and under review.
- Landscaping
 - Landscaping appears to meet code requirements.
- Signage
 - A proposed sign is included in the packet
- There are single-family residences directly to the west of the subject property, but only one of the adjacent parcels is zoned residential. The applicant intends to keep the existing landscaping to serve as a buffer for the residential properties.

The development review team has provided some initial feedback regarding the plans, but most of the comments or concerns can be addressed later in the review process.

Sanitary District No.4

- The applicant is working with Sanitary District to address certain items.

Final Approval

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

Oscars – Preliminary and Final

Applicant: Jim Taylor (Oscars Frozen Custard)

Location: 21165 Highway 18

Request: Preliminary and Final approval

- Oscar's Frozen Custard has occupied this site for decades but a fire recently significantly damaged the building beyond repair. The applicant is proposing to construct a new building which will be slightly larger but generally in the same location as the last building. The applicant also owns the adjacent parcel to the east of the subject parcel and conceptual plans were reviewed by the Plan Commission and Town Board for this site.
- The applicant is proposing to construct a 4,815 square foot restaurant building with two drive thru lanes and one pick up window and an outdoor dining area.
- Zoning District = B-2 Limited General Business District.

- Lot size = .864 acres.
- Proposed Use = Drive-thru restaurant.
 - Permitted as a conditional use.
- Proposed setbacks:
 - Street (Hwy 18) = 79'
 - Street (Swenson Dr) = 107'
 - Side (west) = 40'
 - Side (east) = 24'
 - All building setbacks will meet code requirements.
- Parking
 - Code requirement: One space per 50 square feet of gross dining area, plus one space per two employees for the work shift with the largest number of employees. Restaurants with drive-through facilities shall provide sufficient space for four waiting vehicles at each drive-through service lane.
 - Parking required: Dining area (2,100sf) = 42 stalls; employees (10) = 5 stalls; total stalls required: 47
 - Proposed: 51 parking spaces on the subject parcel, 3 of which are ADA stalls. Also proposing 8 parking spaces on the adjacent property owned by the applicant. The applicant intends to have a shared access/parking agreement for a future development.
 - The site plan shows a potential access connection on the northeast side of the property.
- Drive-through lanes
 - The site plan shows 2 drive-through lanes and 1 pickup window. Generally, a stacking length of 100 feet is desirable and 40 feet of distance between the pick up window and the access drive is preferred. Overall, it looks like sufficient stacking length is provided.
- Lighting
 - Town Engineer is currently reviewing for conformance.
- Landscaping
 - Town Engineer is currently reviewing for conformance.

Development Review Team Feedback

The Development Review Team has reviewed the plans and there are a few items that will need to be addressed prior to final approval by the Town Board. The team will review and provide any updates if available. The Town Engineer's first review letter is included in the packet.

Bancroft Engineering – Preliminary and Final

Applicant: Luke Sebald (Keller, Inc), representing Bancroft Engineering

Location: 21550 Doral Road

Request: Preliminary and Final approval

- Bancroft Engineering manufactures automated welding equipment and are looking to expand their operations.
- The subject property is located on the north side of Doral Road and there is an existing building that is approximately 12,286 square feet.
- Proposed Size = 7,653 sf addition
 - Total = 19,939 sf
- Zoning District = M-1 Limited Manufacturing District
- Lot size = 1.11 acres.

- Existing/Proposed Use = Manufacturing/Light Industrial.
- Proposed setbacks:
 - Street (Doral Rd) = No Change.
 - Side (west) = 10'
 - Side (east) = 20.5'
 - Rear = 17.5'
 - All building setbacks will meet code requirements.
- Sum total of floor area
 - Proposed = 41.2% of lot area.
 - Required = Sum total of the floor area of the principal building and all accessory buildings shall be not less than 8,000 square feet or 20% of the lot area, whichever is less. Also, sum total of the floor area of the principal building and all accessory buildings shall not exceed 50% of the lot area.
 - Requirement is met.
- Parking
 - Code requirement: 1 space per employee for the work shift with the largest number of employees.
 - There are 20 existing parking spaces.
 - According to the application, it appears that 20 spaces are required due to the number of employees. This can be confirmed at the meeting.
 - The existing parking area is expected to remain the same. The applicant is proposing to add new asphalt to the south of the proposed addition and add a new concrete loading dock.
 - Much of the existing pavement does not meet the 10' paving setback but is grandfathered in. There is pavement proposed to the east of the new building addition that will not meet typical pavement setback. The Fire Department is requiring a 20' fire access drive in this location to access the east side of the building and the north side.
- Architectural requirements for manufacturing districts
 - The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. Fifty percent of a facade facing a street shall be finished with brick, decorative masonry, glass panel, or other appropriate finished facade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 20 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.
- Outdoor Storage
 - If garbage and refuse containers are stored outdoors, these should be screened from the street and neighboring properties. If outdoors, this will need to be shown on future site plans and renderings are required showing the materials and colors of these enclosures.
 - No articles, goods, material, finished or unfinished product, incinerators, storage tanks, refuse containers, or like equipment shall be kept outdoors, exposed to public view, or exposed to view from adjacent buildings and property.
 - The Plan Commission may recommend the outdoor display of product or merchandise when it makes a finding that such display is essential to a business or industrial use.
- Lighting
 - Town Engineer is still reviewing. Review should be completed by the time of the meeting and the Town Planner can provide an update.
- Landscaping

- Not proposing to add landscaping.

Development Review Team Feedback

Town Engineer Comments

1. Verify the redeveloped site is meeting the parking requirements in the Town Ordinance (Section 17.06(3)).
2. It appears that the additional impervious area is under 0.5 acres and total disturbance is under 1 acre. Therefore, Town and State stormwater requirements do not need to be met.
3. It's anticipated that the asphalt to the east of the existing building will see excessive wear and tear during construction. It may be a good idea to show this asphalt as being replaced.
4. Provide an erosion control plan.
5. Provide turning templates for the largest vehicle that would access the site (including emergency vehicles) to verify proper turning movements can be made.

Note: Still reviewing lighting plan. Will update as soon as possible.

Sanitary District No. 4 Comments

1. We will need more details for the watermain (size, materials, details). The watermain and hydrant will be considered public so it will need to be in an easement and turned over to the town. The hydrant appears that it will be in the parking lot, bollards or some type of protection from vehicles should be installed.
2. Is the Fire Department supportive of the proposed hydrant location?

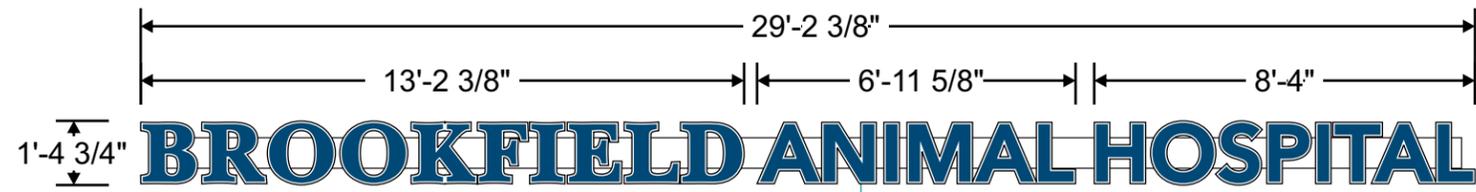
These comments have been forwarded to the project engineer and will be addressed as the review progresses.

Preliminary Approval

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. Preliminary approval recommended by the Architectural Review Committee and granted by the Plan Commission shall expire within six months unless final project plans are presented to the Plan Commission.

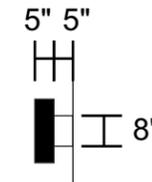
Final Approval

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.



A

29'-2 3/8" x 1'-4 3/4" = 40.76 SF



Side View

A Channel Letters: 3/16" White acrylic faces with translucent vinyl applied 1st surface to match colors shown and 1/2" white keyline around perimeter of letters. Faces to have 1" black trimcap. 5" deep, .063" thick aluminum returns. Return exterior painted black, interiors painted high reflective white. .090" thick aluminum cinched/welded backs

B Raceway: 5" x 8" Extruded Aluminum Raceway painted to match wall color, actual color TBD.

Illumination: White LED Illumination. All electrical componenets to be UL Listed. All power supplies located inside raceway.

Installation: Channel Letters stud flush mounted to raceway. Raceway flush mounted to facade with min. 3/8" threaded rod and appropriate anchors for wall material.

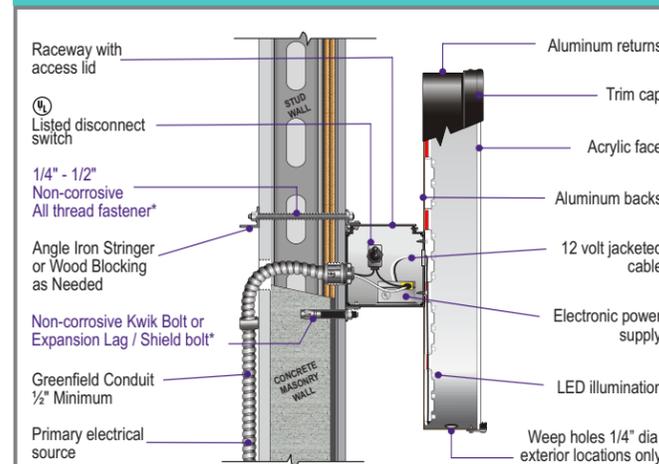
Quantity: (1) One Required

-  Navy Blue
PMS 7693
-  Raceway Color to Match
Wall, Actual Color TBD
-  Matthews Paint
Standard Black
Satin Finish

Nighttime View



FACE LIT | RACEWAY, CENTER | GENERIC INSTALL



***MOUNTING METHOD:**
(Use appropriate method following wall inspection)
Thru bolt - all thread fasteners w/ wood blocking or angle iron stringer
Toggle bolts w/ hollow core- plywood backing
Kwik Bolts or Expansion lag bolts & shields w/ solid concrete

SEE TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS
ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 800.4
ALL TO BE ELECTRICALLY GROUNDING PER N.E.C. 250. ALL POWER SUPPLIES TO BE VIBRO PER I.L. 24.2.1
GROUNDING AND BONDING PER N.E.C. 250.90-252.96
SIGN TO MEET N.E.C. ARTICLE 680 STANDARDS FOR ELECTRICAL SIGNS, GROUNDING & BONDING
AS PER N.E.C. 250.90 & NEC 600.7



T 847.929.4333 W scoutsp.com

Veterinarian Partners

18000 W Bluemound Rd
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

Channel Letters on Raceway

SIGN TYPE/SIGN ID

SV

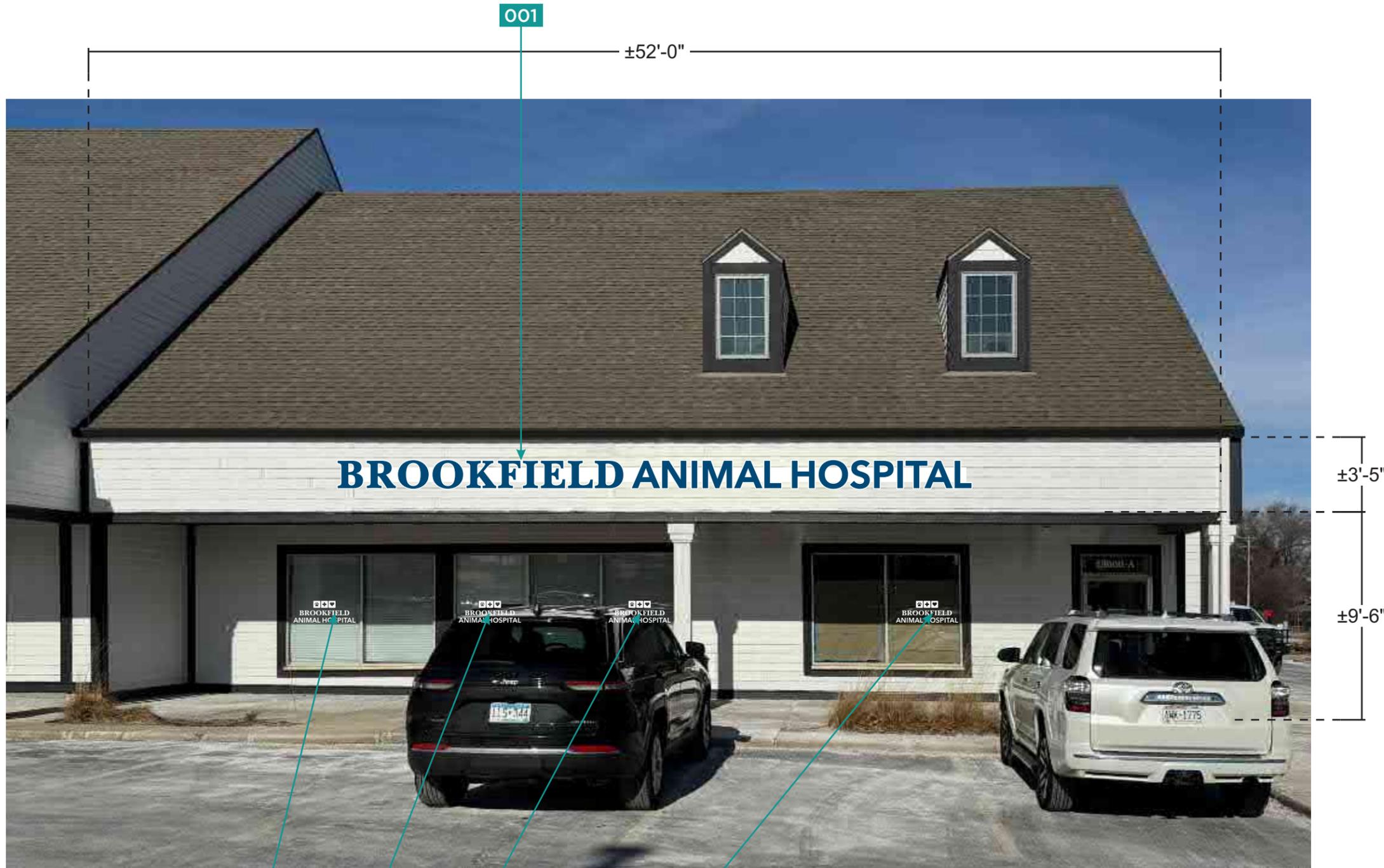
DESIGNER/DRAWN BY

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001

Channel Letters on Raceway - North Elevation

Scale: 3/16" = 1' 0"



001a

VINYL TO BE PLACED ON EVERY OTHER WINDOW, CENTERED VERTICALLY AND HORIZONTALLY



T 847.929.4333 W scoutsp.com

Veterinarian Partners

18000 W Bluemound Rd
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

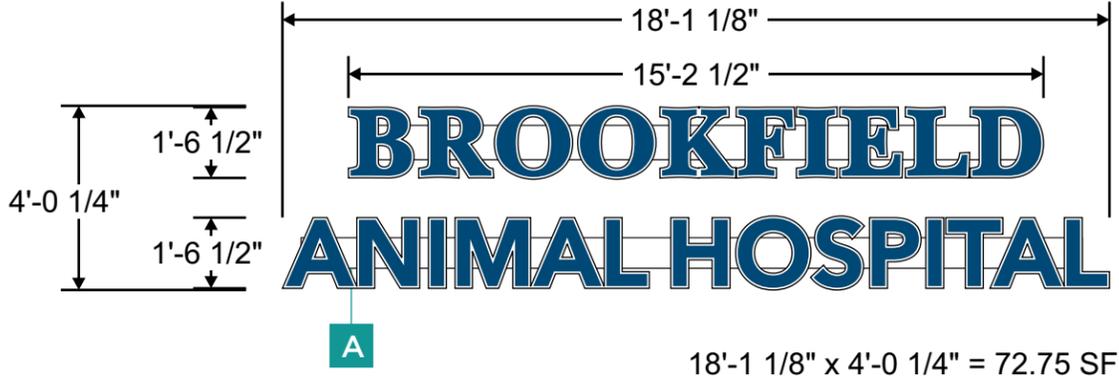
Channel Letters on Raceway

SIGN TYPE/SIGN ID

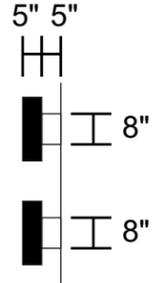
SV

DESIGNER/DRAWN BY

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18'-1 1/8" x 4'-0 1/4" = 72.75 SF



Side View

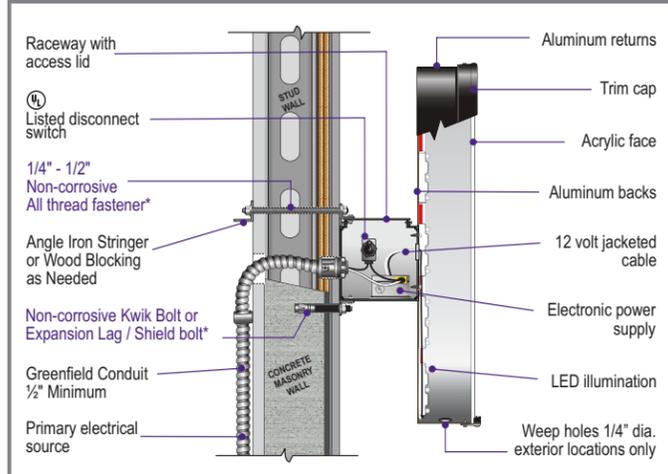
- A Channel Letters:** 3/16" White acrylic faces with translucent vinyl applied 1st surface to match colors shown and 1/2" white keyline around perimeter of letters. Faces to have 1" black trimcap. 5" deep, .063" thick aluminum returns. Return exterior painted black, interiors painted high reflective white. .090" thick aluminum cinched/welded backs
- B Raceway:** 5" x 8" Extruded Aluminum Raceway painted to match wall color, actual color TBD.
- Illumination:** White LED Illumination. All electrical componenets to be UL Listed. All power supplies located inside raceway.
- Installation:** Channel Letters stud flush mounted to raceway. Raceway flush mounted to facade with min. 3/8" threaded rod and appropriate anchors for wall material.
- Quantity:** (1) One Required

-  Navy Blue
C: 100, M: 76, Y: 30, K: 14
-  Raceway Color to Match Wall, Actual Color TBD
-  Matthews Paint Standard Black Satin Finish

Nighttime View



FACE LIT | RACEWAY, CENTER | GENERIC INSTALL



***MOUNTING METHOD:**
(Use appropriate method following wall inspection)
Thru bolt - all thread fasteners w/ wood blocking or angle iron stringer
Toggle bolts w/ hollow core- plywood backing
Kwik Bolts or Expansion lag bolts & shields w/ solid concrete

SEE TO BE U.L. LISTED AND SHALL MEET N.E.C. STANDARDS
UL Laboratories
ELECTRIC SIGN

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED, APPROVED AND MARKED PER N.E.C. 800. ALL TO BE ELECTRICALLY GROUNDING PER N.E.C. 250. ALL POWER SUPPLIES TO BE UL LISTED PER N.E.C. 250.2. GROUNDING AND BONDING PER N.E.C. 250.90-250.94.96. SIGN TO MEET N.E.C. ARTICLE 68. STANDARDS FOR ELECTRICAL SIGNS, GROUNDING & BONDING. AS PER N.E.C. 250.90 & N.E.C. 600.7



T 847.929.4333 W scoutsp.com

Veterinarian Partners

18000 W Bluemound Rd
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

Channel Letters on Raceway

SIGN TYPE/SIGN ID

SV

DESIGNER/DRAWN BY

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PROJECT ADDRESS

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PROJECT ID

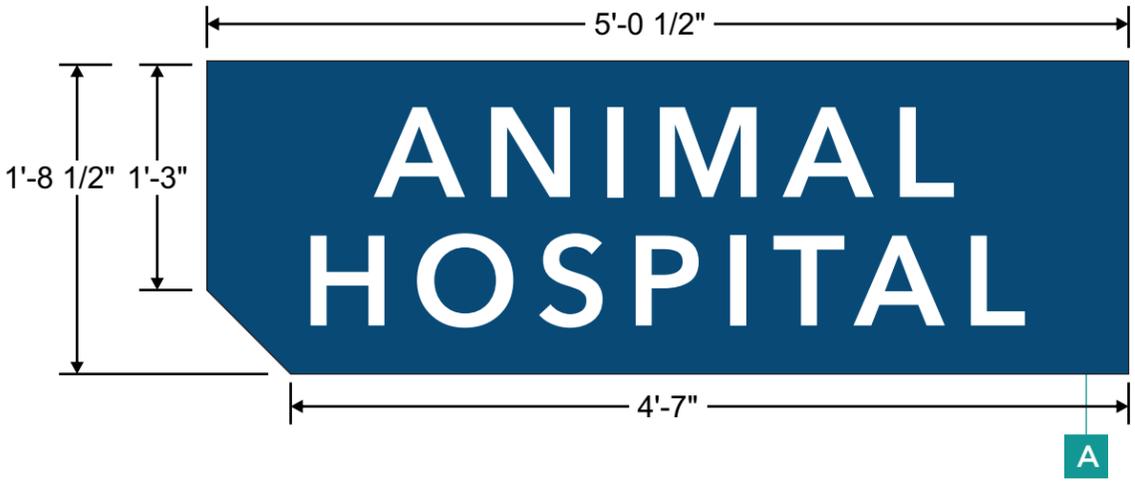
Channel Letters on Raceway

SIGN TYPE/SIGN ID

SV

DESIGNER/DRAWN BY

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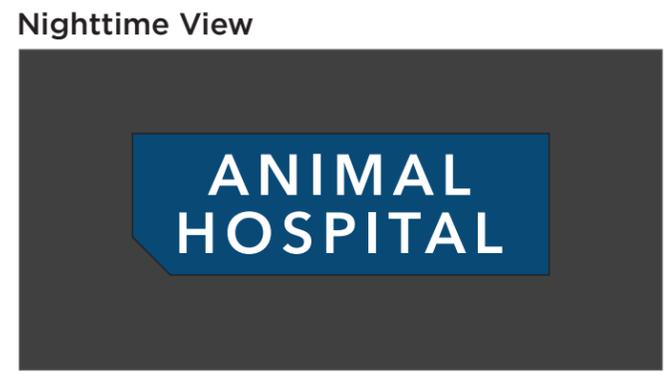


A Face Replacements: .090" Thick routed aluminum faces painted color shown. 1/2" thick white acrylic to push through face 1/4" with 1/8" routed shoulder for retention from back side

Install: Attached to sign cabinet with screws through face. Screw heads painted to match face.

Quantity: (2) Two Faces Required for Existing Double Face Sign

- Matthews Paint
Navy Blue
C: 100, M: 76, Y: 30, K: 14
- White Acrylic



Proposed



T 847.929.4333 W scoutsp.com

Veterinarian Partners

18000 W Bluemound Rd
Brookfield, WI 53045

PROJECT ADDRESS

02/12/25

DATE

#6- 04/23/25 SV

REVISION DATE/DRAWING VERSION

2441

PROJECT ID

Face Replacements

SIGN TYPE/SIGN ID

SV

DESIGNER/DRAWN BY

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<p>BROOKFIELD ANIMAL HOSPITAL</p>	<p>WELLNESS DENTISTRY SURGERY DIAGNOSTICS</p> <p>brookfieldah.com</p>	<p>BROOKFIELD ANIMAL HOSPITAL</p>	<p>BROOKFIELD ANIMAL HOSPITAL</p>	<p>SAME-DAY APPOINTMENTS ACCEPTING NEW PATIENTS ONLINE BOOKING 24/7</p> <p>brookfieldah.com</p>
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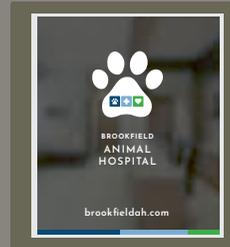
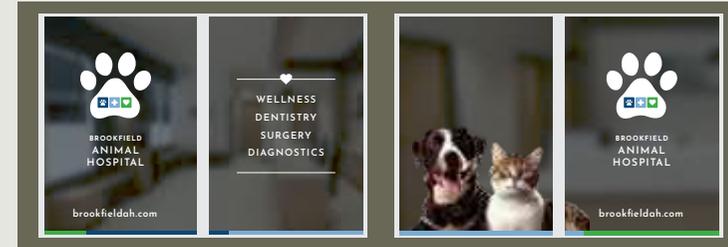
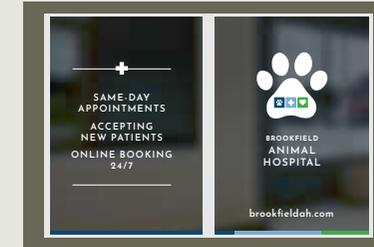
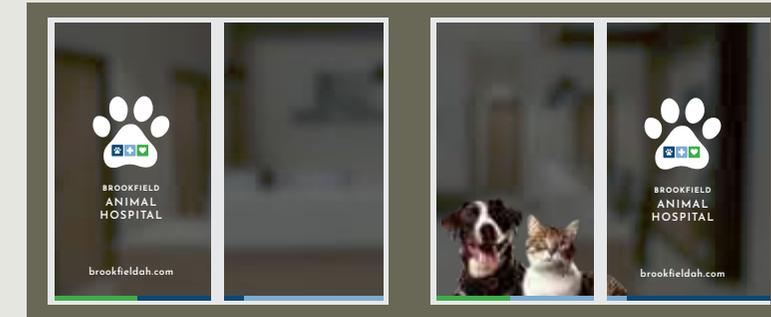
<p>BROOKFIELD ANIMAL HOSPITAL</p>	<p>BROOKFIELD ANIMAL HOSPITAL</p>
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BROOKFIELD
ANIMAL
HOSPITAL

MONDAY-FRIDAY
9A-5P
brookfieldah.com



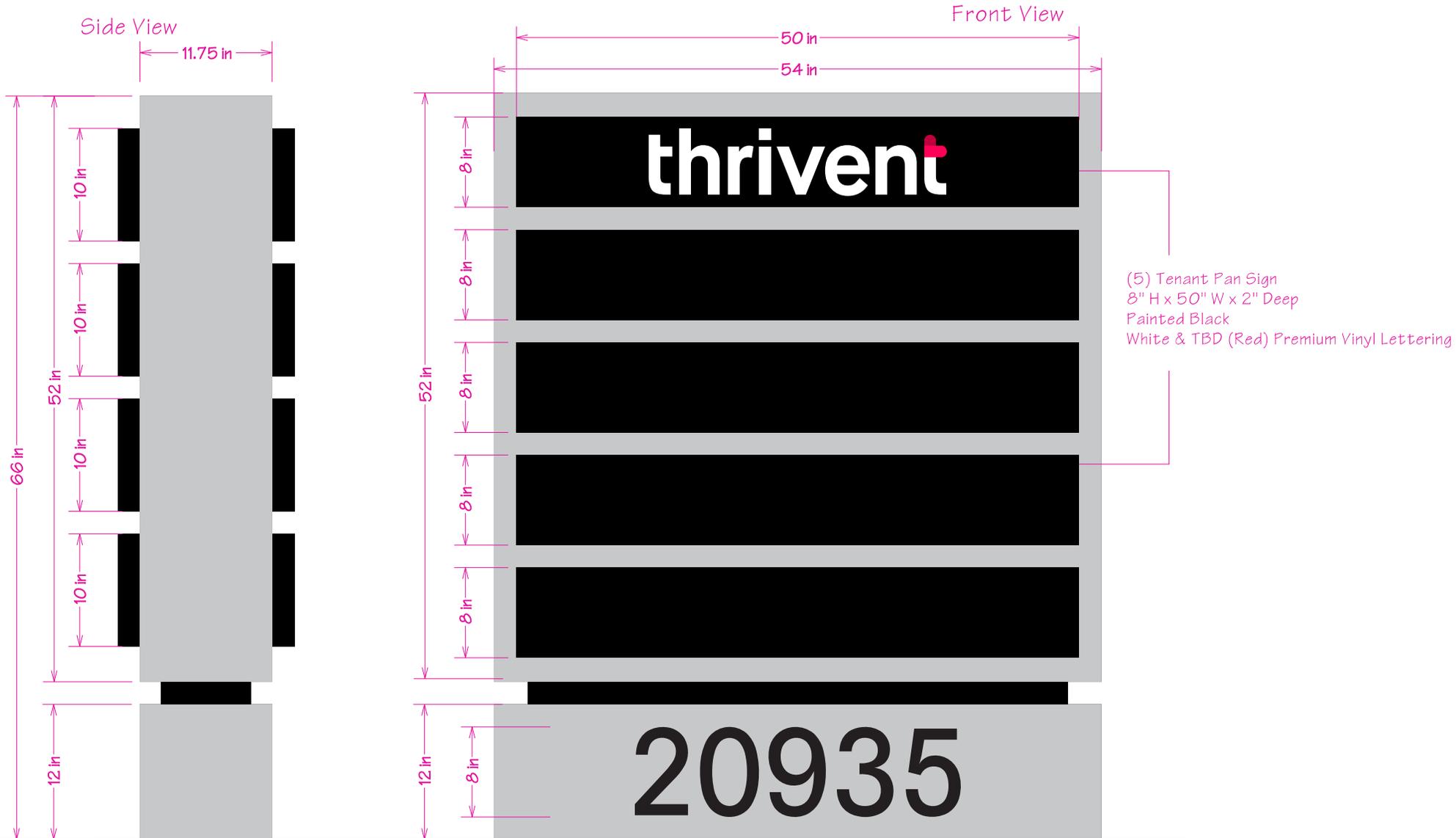
BROOKFIELD 1



BROOKFIELD 2

Qty One NEW - Double Sided - Non-Illuminated Monument Sign
Sign Painted: Black N293 & 41342SP Brushed Aluminum (Metallic Silver)
Address - 1/4" Aluminum - blind mounted - Painted Black N293
Tenant Panels - 2" Deep Pan Signs - Mounted to Monument Sign
Lettered with White & TBD (Red) Premium Vinyl Lettering

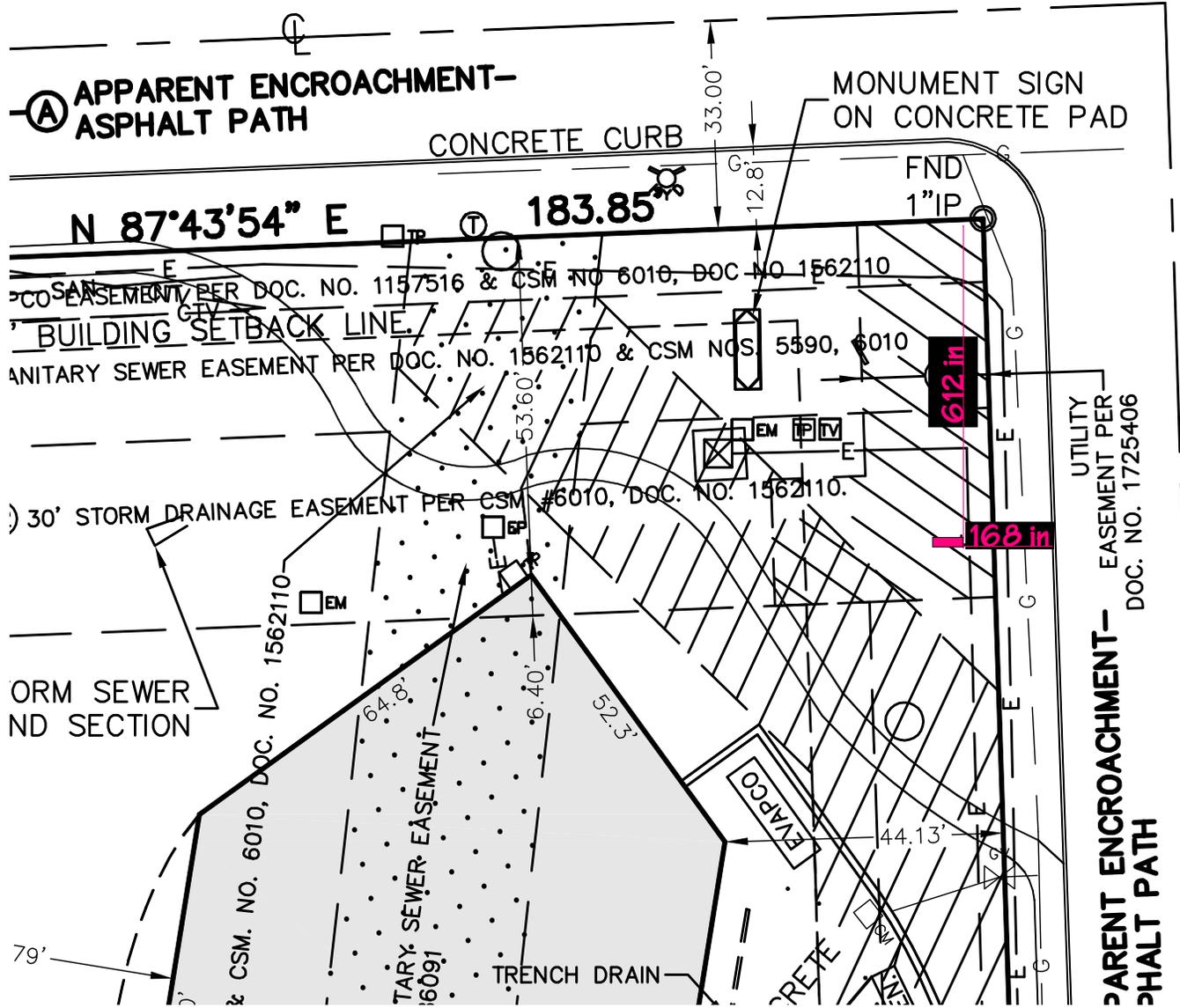
OPTION C



SWENSON DRIVE

66' WIDE PUBLIC RIGHT OF WAY

Ⓐ APPARENT ENCROACHMENT- ASPHALT PATH



UTILITY EASEMENT PER DOC. NO. 1725406

APPARENT ENCROACHMENT- ASPHALT PATH

BAZAAR

BLINDS • WINDOW FASHIONS • CLOSETS

21950 WATERTOWN ROAD, WAUKESHA, WI. 53186



21700 DORAL ROAD
WAUKESHA WI 53186
262.432.1330
www.innovative-signs.com





Customer

Bazaar Home Decorating Center

Date	Project Manager
03/11/2025	Ben P.

Order #	Designer
EST - 14927	Brian H.

Trim Cap	Surveyor
Black	Ben P.

Return	Acrylic Faces
Black	7328 White

Return Depth	Mounting
5 in	<input checked="" type="checkbox"/> Raceway <input type="checkbox"/> Flush Mounted

Location & Electrical Specifications

Electrical Location: Top Left Side
 20 AMP to 120 or 277 VAC
 (6ft whips unless specified)

Materials & Specifics

- Channel Letters - Face Lit**
- White 7100K LED's
 - Raceway mounted letters & logo
 - Perforated vinyl for all letters
 - Translucent cut vinyl for logo
 - 'By Bazaar'

Colors

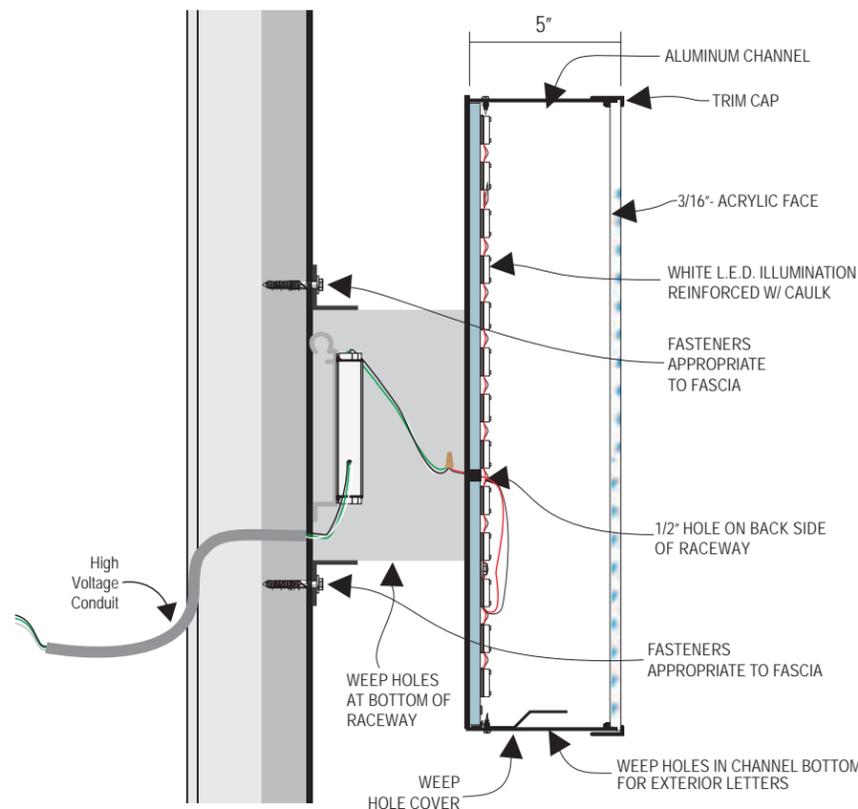
- 7328 White acrylic
- 3M block out
- 3M Black Perforated Vinyl
- 3M 3630-44 Orange
- Raceway Color: SW 7031 Mega Greige

Revisions

- Revision 1:
- Revision 2:

BUILD

RACEWAY MOUNTED CHANNEL LETTERS



3D RENDERING



HARDWARE

- Bolts:**
- Screws:**
- Backing needed:**

SURVEY NOTES

WALL MATERIAL

- Sheet Rock/Drywall
- Aluminum Composite
- Split Block
- Brick
- Needs Backing
- Has Backing
- Needs Access
- Has Access

Scroll Down
For Next Page



Before



After - Day



After - Night



Please zoom to see full detail

Before



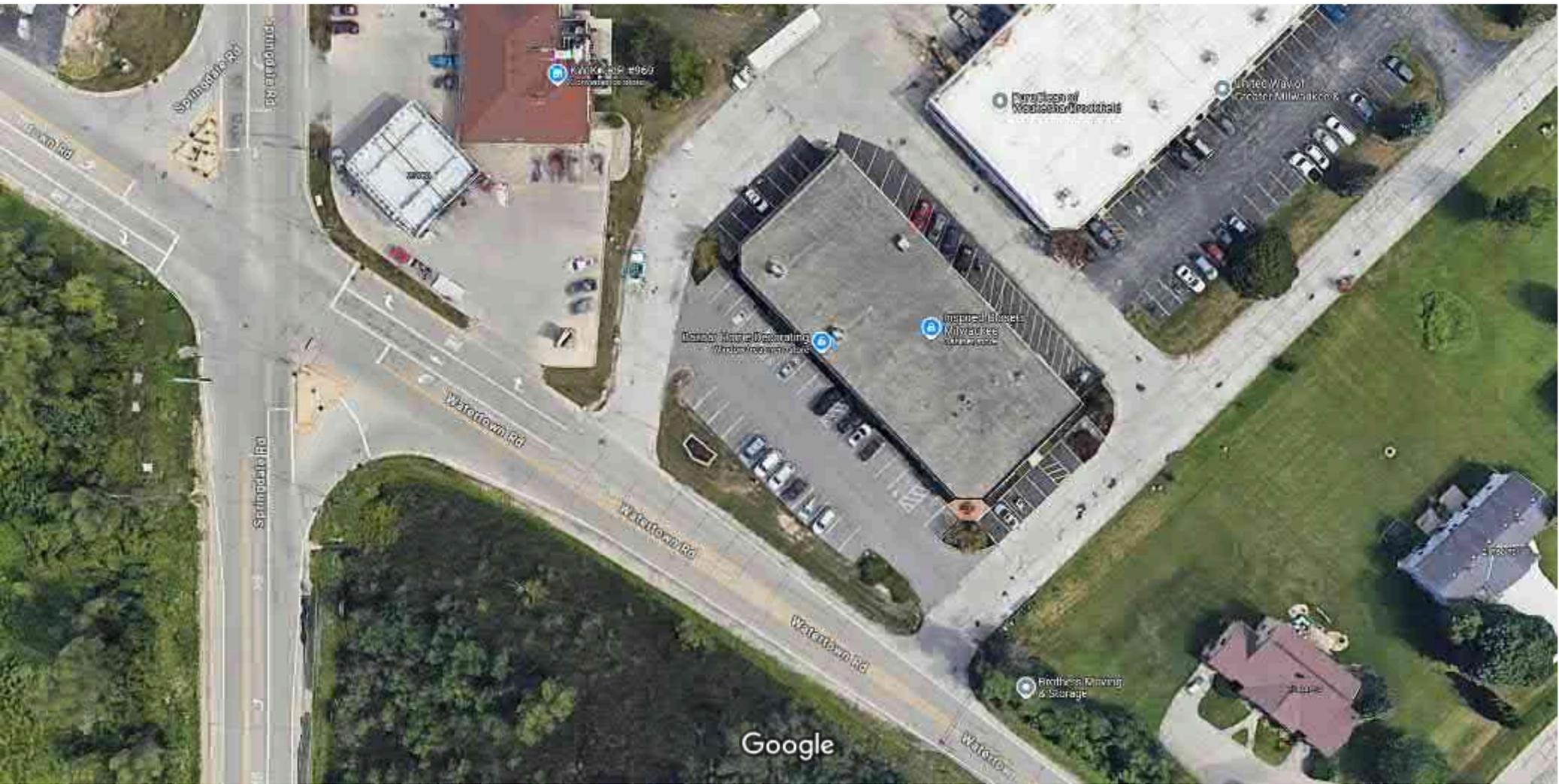
After - Day



After - Night



Please zoom to see full detail



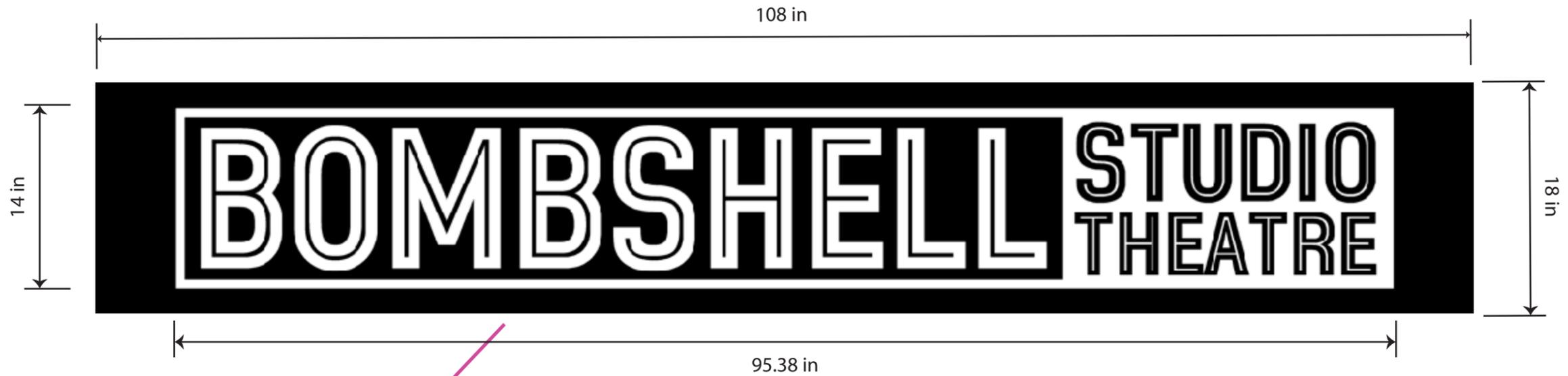
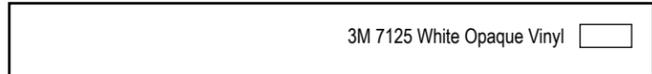
Quote #: 60390
Job #: 60361

CLIENT / PROJECT: **Bomshell Theatre Company - Tenant Panels**

QUOTE # **60390** SALES ORDER # **60361**

VERSION: **3**

Color/ Material Key:



CLIENT: **Bomshell Theatre Company**
PROJECT: **Tenant Panels**



EXISTING



QTY: 2

- TENANT PANEL VINYL REPLACEMENT
- REMOVE EXISTING PANELS FROM SITE, BRING BACK TO SIGNS & LINES TO REMOVE EXISTING GRAPHICS & INSTALL NEW GRAPHICS
- REINSTALL PANELS AT INDICATED TENANT SLOT

PRODUCTION DRAWING

DESIGN LAYOUTS ARE COPYRIGHT © 2025



ARTWORK CHARGE: One customer requested revision allowed per drawing/ estimate. There will be an artwork charge for any customer requested revisions.

Designer: Patty Blicharz Date: 03.04.2025

Project: Tenant Panels Install Address: 19700 West Bluemound Road, Brookfield, WI

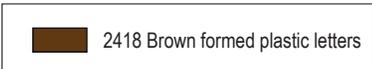
Sales Person: Dave Salkin Project Manager: Dave Salkin

I have checked the DETAILS of this proof and approve the design. Signs & Lines by Stretch is not responsible for typographical errors. My signature authorizes Signs & Lines by Stretch to proceed with production of this order. I understand that I will be charged for product and labor, even if I cancel the order after this date.
Approval: _____ Date: _____

REVISIONS	DESCRIPTION
01: _____	Revision
02: _____	Revision
03: _____	Revision
04: _____	Revision
05: _____	Revision
06: _____	Revision

W240 S3990 Rockwood Circle
Waukesha, WI 53189
(262) 544 - 9628
www.slines.net

Color/ Material Key:



263 in

12 in BOMBSHELL STUDIO THEATRE

QTY: 1 SET FORMED PLASTIC LETTERS

Gemini Formed Letters
12"H letters - Total Width 263"
Font: Helvetica Round Face
Color: 2418 Brown
Stud Mount-Standard



SAMPLE FONT IN BROWN COLOR



Letters to be centered
left to right and top to bottom
in the available space.

PRODUCTION DRAWING

DESIGN LAYOUTS ARE COPYRIGHT © 2025



ARTWORK CHARGE: One customer requested revision allowed per drawing/ estimate. There will be an artwork charge for any customer requested revisions.

Designer: Patty Blicharz Date: 03.07.2025

Project: Bombshell Theatre Company

Install Address: 19700 W. Bluemound Rd, Brookfield, WI 53045

Sales Person: Dave Salkin

Project Manager: Dave Salkin

I have checked the DETAILS of this proof and approve the design. Signs & Lines by Stretch is not responsible for typographical errors. My signature authorizes Signs & Lines by Stretch to proceed with production of this order. I understand that I will be charged for product and labor, even if I cancel the order after this date.

Approval: _____ Date: _____

01: XXXXXX - ATO - Revision
02: XXXXXX - ATO - Revision
03: XXXXXX - ATO - Revision
04: XXXXXX - ATO - Revision
05: XXXXXX - ATO - Revision
06: XXXXXX - ATO - Revision

CONSTRUCTION PLANS
FOR
AVERY & BIRCH
21055 CROSSROADS CIRCLE
TOWN OF BROOKFIELD, WISCONSIN

LEGEND

- SECTION CORNER MONUMENT
- FOUND 1" IRON PIPE OR AS NOTED
- POST
- UTILITY POLE
- GUY POLE
- GUY WIRE
- CULVERT
- UTILITY PEDESTAL
- ELECTRIC PEDESTAL
- SEPTIC FACILITY
- SEPTIC CLEANOUT
- TV MANHOLE
- YARD LIGHT
- INLET
- SOIL TEST LOCATION W/ ELEV.
- WELL
- WIRE FENCE
- SILT FENCE
- RECORD DIMENSION (XXXXXX)
- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- OVERHEAD POWER/UTILITY
- UNDERGROUND GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND CABLE
- EXISTING SPOT ELEVATION (x1007.0)
- EXISTING CONTOUR (-1008)
- PROPOSED SPOT ELEVATION (x1008)
- PROPOSED CONTOUR (-1008)
- PROPOSED DRAINAGE DIRECTION
- SOIL TYPE (F08)
- PROPOSED YARD GRADE (FG 1008.0)
- STRAW LOG DITCH CHECK
- RIPRAP

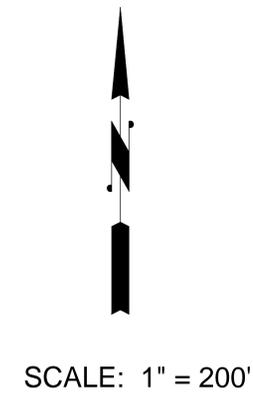
NOTES:
1) A LEGEND SHOWING SPECIAL SYMBOLS, LINE TYPES, ETC. IS SHOWN HEREON.
2) UNDERGROUND UTILITIES MUST BE LOCATED BY "DIGGERS HOTLINE" PRIOR TO START OF CONSTRUCTION.



**SUBJECT
PROPERTY**

GENERAL NOTES:

1. BEARINGS ARE REFERENCED TO THE CERTIFIED SURVEY MAP NO. 6536, IN WHICH WEST LINE OF THE NE 1/4 OF SEC. 31-7-20 WAS TAKEN TO BEAR S02°06'31"W.
2. Vertical datum is based on North American Vertical Datum of 1988.
3. ALL SITE IMPROVEMENTS AND CONSTRUCTION SHOWN ON THE PLANS SHALL CONFORM TO THE CURRENT TOWN OF BROOKFIELD CONSTRUCTION STANDARDS. WHERE THE PLANS DO NOT COMPLY, IT SHALL BE THE SOLE RESPONSIBILITY AND EXPENSE OF THE DEVELOPER TO MAKE REVISIONS TO THE PLANS AND/OR CONSTRUCTED INFRASTRUCTURE TO COMPLY.



DESCRIPTION	SHEET NO.
SITE PLAN	C100
GRADING, PAVING & DRAINAGE PLAN	C200
UTILITY PLAN	C300
EROSION CONTROL PLAN	C400
DETAILS	C500 - C501

DEVELOPER:
Ryan Janssen
Ryan's Buying LLC
13416 Watertown Plank Rd. #245
Elm Grove, WI 53122
Phone: 414-736-3066
Email: ryan@ryansbuying.com

ENGINEER:
Mark R. Ellena, PE
Ellena Engineering Consultants, LLC
700 Pilgrim Parkway, Suite 100
Elm Grove, WI 53122
Phone: 262-791-6183
Email: mellenae@eeceng.com

SURVEYOR:
TBD

APPROVAL AGENCY:
Town of Brookfield

DATE	DESCRIPTION

EEC
ELLENA ENGINEERING CONSULTANTS, LLC
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
Phone: 262-791-6183 Fax: 866-457-2584 Email: mellenae@eeceng.com

AVERY & BIRCH SALON SUITE FACILITY
TOWN OF BROOKFIELD, WI
COVER SHEET

WISCONSIN
MARK R. ELLENA
E-24090
WALES, WI
PROFESSIONAL ENGINEER
Mark R. Ellena
DATE: 03-26-25
BY: MARK R. ELLENA, PE

SHEET NUMBER
C000



SITE DATA TABLE		PROPOSED
PROPERTY AREA :		160,300 S.F.
TOTAL BUILDING FLOOR AREA :		16,550 S.F.
FLOOR AREA RATIO :		16,550 / 160,300 = 10.3%
TOTAL PAVED SURFACE AREA (including concrete areas) :		33,880 S.F.
TOTAL OPEN AREA (GREEN SPACE):		109,870 S.F.
LANDSCAPE SURFACE AREA RATIO		109,870 / 160,300 = 68.5%
LOT COVERAGE RATIO		31.5%
TOTAL PARKING :	REQUIRED: 81	PROVIDED: 85
HC PARKING :	REQUIRED: 4	PROVIDED: 4 (1 VAN)

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PROVIDED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

DATE	DESCRIPTION

EEC
ELLENA ENGINEERING CONSULTANTS, LLC
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
 Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@eeecng.com

AVERY & BIRCH SALON SUITE FACILITY
TOWN OF BROOKFIELD, WI
SITE PLAN

WISCONSIN
 MARK R. ELLENA
 E-24090
 WALES, WI
 PROFESSIONAL ENGINEER
 DATE: 03-26-25
 BY: MARK R. ELLENA, PE
 SCALE: 1"=30'

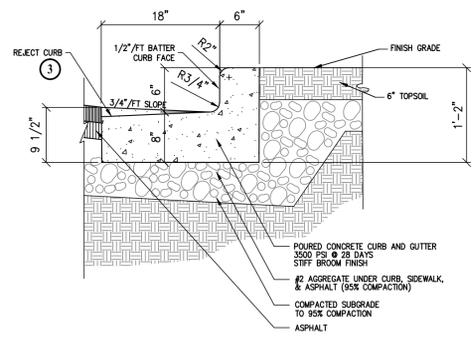
SHEET NUMBER
C100

GENERAL CONSTRUCTION SPECIFICATIONS:

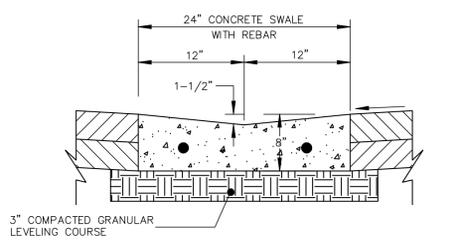
- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtained by the contractor prior to commencing work.
- All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
- All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
- All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
- The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
- The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
- Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
- Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
- Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
- All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.

GENERAL SPECIFICATIONS FOR PRIVATE STORM SEWER:

- All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition, and the Town Ordinances and the State of Wisconsin Standard Specifications for Sewer and Water Construction in Wisconsin.
- The private storm sewer design, permitting, construction, installation, supervision, maintenance, inspection AND testing shall be in accordance with the Town of Brookfield Plumbing Inspection Department and the State of Wisconsin, Chapter SPS 382. All permits must be obtained by the contractor prior to commencing work.
- Private Storm Sewers shall be PVC (solid wall), DR-26 OR HDPE, per the State of Wisconsin Plumbing Code, Chapter SPS 382. Catch Basins and Inlets shall be precast concrete structures in accordance with the Standard Specifications for Sewer & Water Construction in Wisconsin (SEE DETAIL PLAN SHEET).



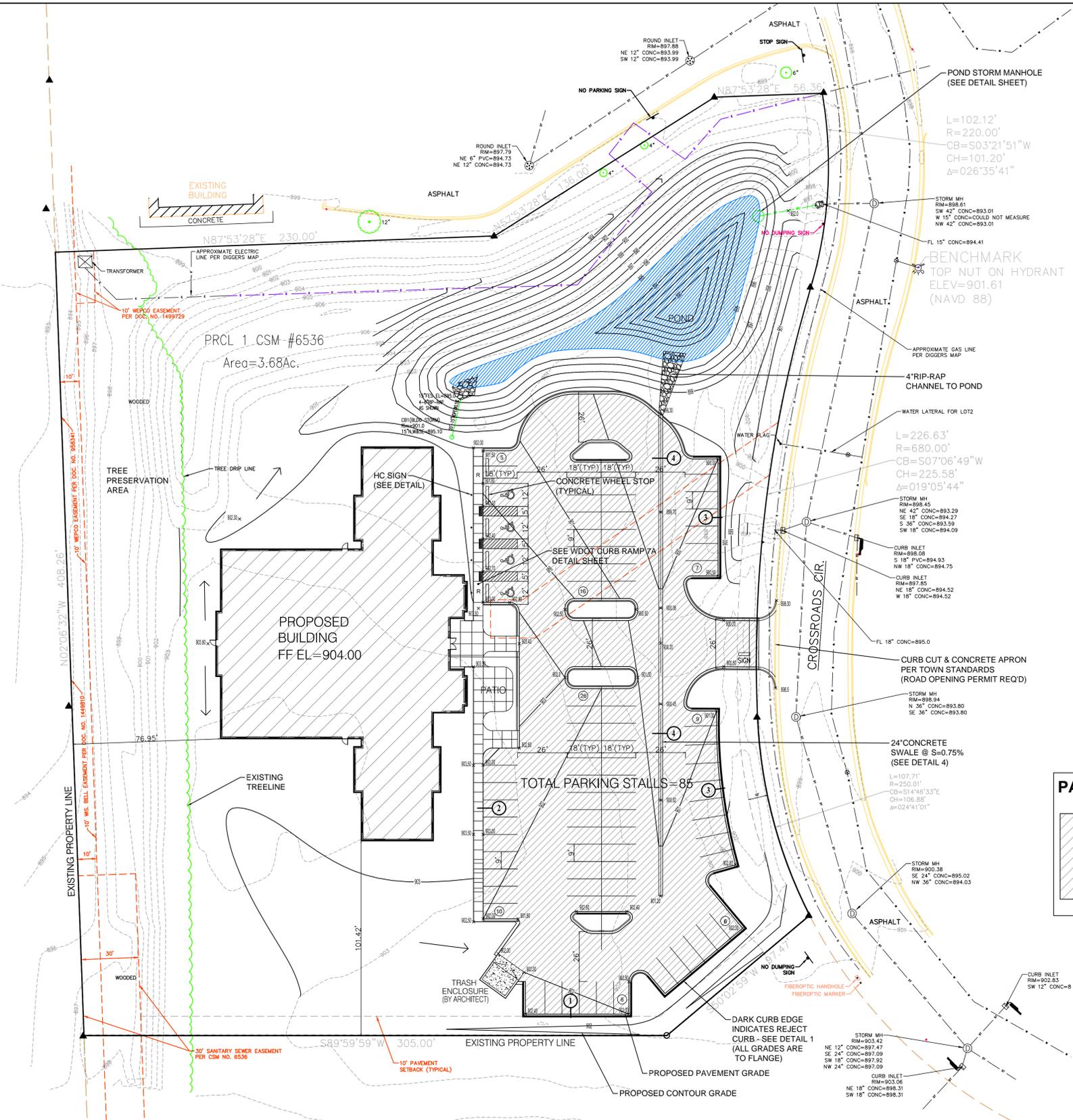
CONCRETE CURB & GUTTER
NO SCALE 1



24" CONCRETE SWALE
NO SCALE 4

NOTE: ALL UNDERGROUND CONTRACTOR ARE REQUIRED TO FIELD LOCATE EXISTING UTILITIES, STORM SIZE & INVERT PRIOR TO CONSTRUCTION. OBTAIN ALL TOWN OF BROOKFIELD PERMITS PRIOR TO CONSTRUCTION.

THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PERFORMED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.



PAVEMENT LEGEND:

- STANDARD DUTY PAVEMENT
- 4" ASPHALT PAVEMENT (2 LIFTS)
- 8" - 3/4" GRAVEL BASE



DATE	DESCRIPTION

ELLENA ENGINEERING CONSULTANTS, LLC
SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@eecceng.com

GRADING, PAVING & DRAINAGE PLAN
AVERY & BIRCH SALON SUITE FACILITY
TOWN OF BROOKFIELD, WI

WISCONSIN PROFESSIONAL ENGINEER
MARK R. ELLENA
E-24090 WALES, WI
DATE: 03-26-25
BY: MARK R. ELLENA, PE
SCALE: 1"=30'

SHEET NUMBER
C200

NOTE: THIS GRADING PLAN MUST BE APPROVED BY THE TOWN ENGINEER AND BUILDING INSPECTOR.

EROSION CONTROL SPECIFICATIONS AND CONSTRUCTION SEQUENCING:

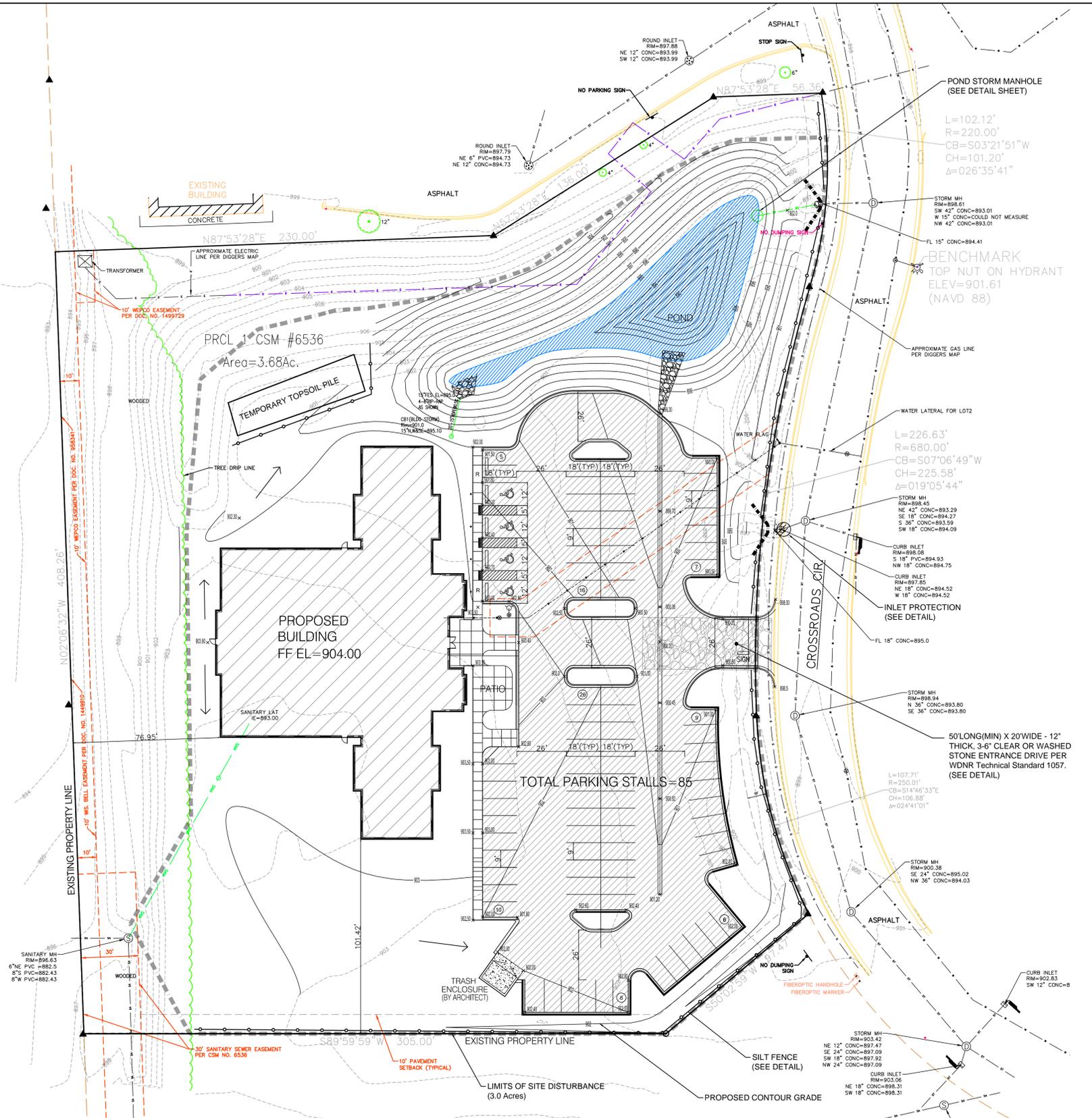
- The timing and sequence of construction is scheduled as follows:
1. Before grading begins the PROJECT SUPERVISOR will stake out the all fence & pond area. The general contractor is charged with installing and maintaining all fences, seeding and other erosion control practices.
 2. A list of all project contacts, phone numbers, e-mail addresses, etc. are on the plan & permit application.
 3. Construction is scheduled to begin on or about _____.
 4. Trucking pad and all fence shall be installed as shown on the plan. Only topsoil in the proposed construction area and stockpiled in a staging area with all fence on low side. Excavate basin area and place fill as shown on the plan. Install basin inlet structure and piping. Make grade after install storm sewers & stone pavement areas. Restore ALL disturbed areas with topsoil, seed, erosion control matting upon completion (Complete by _____).
 5. Install curb and pipe blinder. (Complete by _____)
 6. Erosion control inspections will be performed weekly and after each rain event of 0.5 inches or larger by the general contractor and inspection forms will be filed out and kept on site.
 7. Site work completion is anticipated by _____.
 8. Any disturbed site that remains inactive for greater than 7 days shall be stabilized with temporary measures such as soil treatment, temporary seeding or mulching. "Inactive" means that no site grading, landscaping or utility work is occurring on the site and that rain is not limiting these activities. Frozen soils do not exclude the site from this requirement.
 9. Restoration of all disturbed areas will be stabilized in accordance with the late season stabilization specifications listed below.
 10. After grass is well established all all fences will be removed and permits will request final inspection by the Town.
 11. Seeding rates and mixes shall conform to WADOT Roadway Standard Section 630.

Late Season Stabilization:

- The objective is to stabilize the site with 70% vegetative coverage of all pervious disturbed areas before the end of the growing season. After November 15, no land disturbing activity is permitted outside of active building envelopes, and all other disturbed areas must be stabilized by November 15 per the following schedule:
- a. Permanent Vegetation (Before September 15):
 - i. Seeding: Prepare seedbed and sow seeds per the rates and mixes of Wisconsin Department of Transportation (WISDOT) Roadway Standard Section 630.
 - ii. Erosion Control: Immediately apply mulch, erosion control matting, or other permanent stabilization BMPs as specified in the approved erosion control plans and per DNR technical standards.
 - iii. Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full vegetative cover is obtained, and repair any erosion problems, wash outs, etc.
 - b. Temporary Vegetation (September 15 - October 15):
 - i. Seeding: The above noted seeding mix must include a minimum of 2 lbs. per 1,000 sq. ft. of a temporary cover (i.e., winter wheat or annual ryegrass for fall plantings) per Section 630.
 - ii. Erosion Control: Immediately apply mulch, erosion control matting, or other stabilization BMPs as specified below, following DNR technical standards. The approved plans may be more restrictive:
1. Channel flow (roadside swales, etc.) and Backslope: Stake erosion matting over all the entire channel cross-section and all backslope using a minimum WADOT Erosion Control Product Acceptability (PAL) Class 3 Type A matting, unless otherwise called for in the approved plan.
 2. Other disturbed areas: Apply Type A Soil Stabilizer, mulch and topsoil from the WADOT Product Acceptability List to all disturbed areas that remain exposed.
 3. Inlets/Outfalls: Install sod pods (2 ribs) of all culvert outfalls, and other high-erosion locations in accordance with County standards.
- ii. Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
- c. Dormant Seeding (October 15 - November 15):
 - i. Seeding Rate: Same seed mix as subsection (b) (including temporary cover crop) except the rates for permanent species must applied at 1.5 x WADOT section 630 rates (apply rates of 3-5 lbs./1,000 sq.ft.).
 - ii. Erosion Control:
 1. Channel flow (roadside swales, etc.) and Backslope: Apply Type A soil stabilizer and staked PAL Class 3 Type A erosion matting over the entire channel and all backslope.
 2. Other Areas: Apply Type A Soil Stabilizer from the WADOT Product Acceptability List to all other disturbed areas that remain exposed.
 3. Inlets/Outfalls: Install sod pods (2 ribs) of all culvert outfalls, and other high-erosion locations in accordance with County standards.
 - ii. Maintenance: Inspect all seeded areas weekly. Ensure adequate water is provided until full temporary cover is obtained, and repair any erosion problems, wash outs, etc.
- If construction schedules should change significantly, this plan narrative will be updated and resubmitted.

GENERAL CONSTRUCTION SPECIFICATIONS:

1. All work shall be in accordance with the Standard Specifications for Highway and Structure Construction, State of Wisconsin, Latest Edition; and the Town of Brookfield. All permits must be obtain by the contractor prior to commencing work.
2. All erosion control measures specified on this plan shall meet the design criteria, standards and specifications as set forth by the Town of Brookfield and the Department of Natural Resources Wisconsin Technical Standards.
3. All erosion control devices (i.e., silt fence, gravel entrance, etc.) shall be installed prior to commencing construction.
4. All activities on the site shall be conducted in a logical sequence to minimize the area of bare soil exposed at any one time.
5. The owner shall provide all surveying and construction staking for this contract. All contractors shall exercise care and diligence in protecting the same.
6. The contractor shall notify Diggers Hotline, the local municipality and all government agencies that may be affected by the contractor's operations at least three (3) days before breaking ground.
7. Public roads shall not be closed to traffic at any time. All ingress and egress traffic to the project shall be limited to the gravel entrance to the property.
8. Contractor shall be responsible for maintaining the public streets. Public Streets shall be kept free of silt or dirt tracked from areas under construction by sweeping within 24hrs. Dust generated by construction activities shall be minimized by use of watering or other appropriate methods.
9. Upon completion of the work as specified, respread four (4") inches of salvaged topsoil over all disturbed open space areas outside of the proposed roadway and provide seed, fertilizer and mulch per the Standard Specifications.
10. All disturbed areas shall be re-vegetated within seven days of no disturbance. Highway mix #40 shall be used for seeding with an application rate of 4.0 lbs/1000 sf.



THE BOUNDARY & TOPOGRAPHIC SURVEY WAS PERFORMED BY EXCEL ENGINEERING. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

DATE	DESCRIPTION

ELLENA ENGINEERING CONSULTANTS, LLC
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
 Phone: 262-719-6183 Fax: 866-457-2584
 Email: mellen@eecceng.com

AVERY & BIRCH SALON SUITE FACILITY
 TOWN OF BROOKFIELD, WI

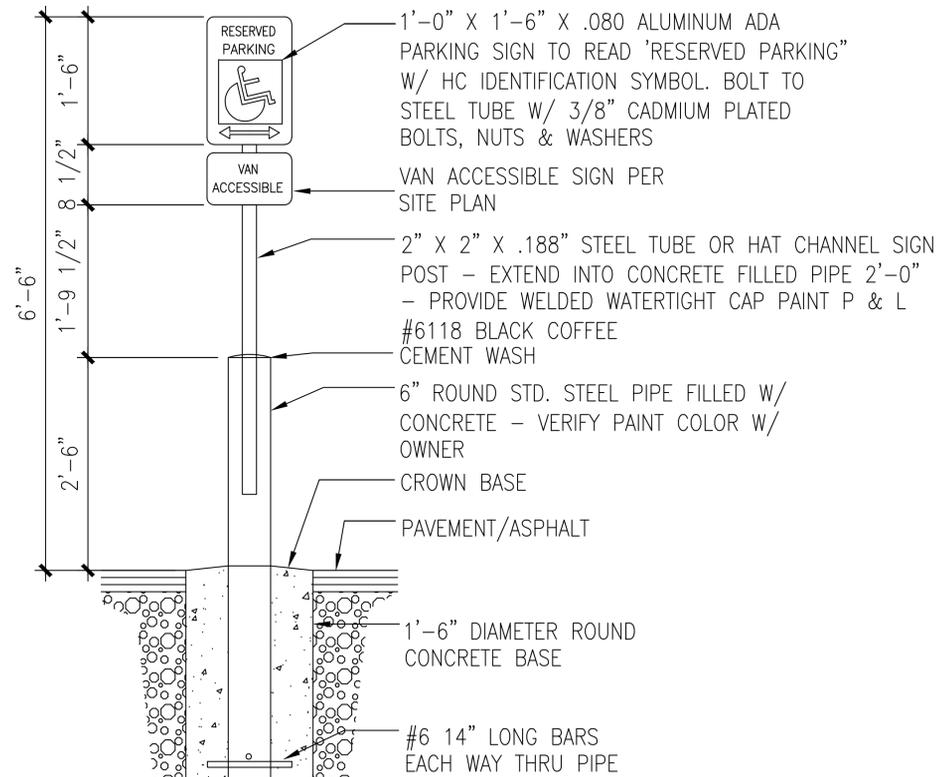
EROSION CONTROL PLAN

WISCONSIN PROFESSIONAL ENGINEER
 MARK R. ELLENA
 E-24090 WALES, WI

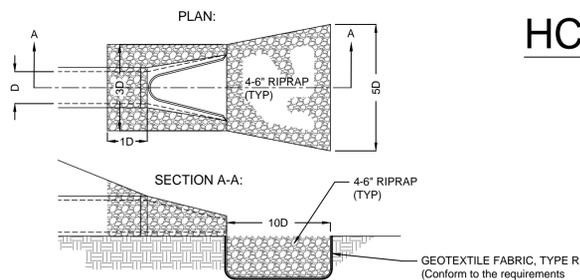
DATE: 03-26-25
 BY: MARK R. ELLENA, PE
 SCALE: 1"=30'

SHEET NUMBER
 C400

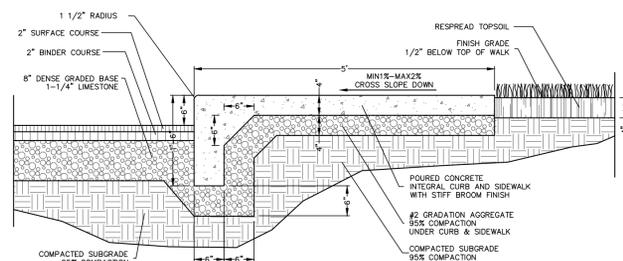




HC SIGN DETAIL

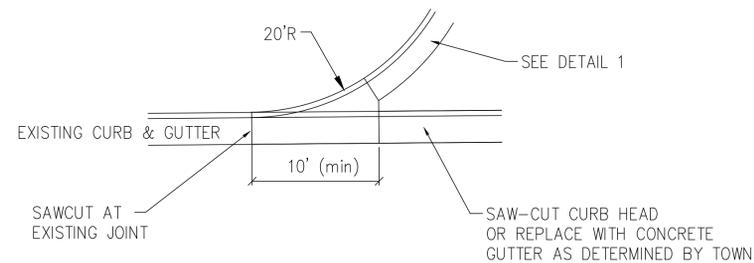


END SECTION TYPICAL RIP RAP DETAIL
NOT TO SCALE (FLARED SPONS REQUIRED ON ALL ENDSECTIONS)

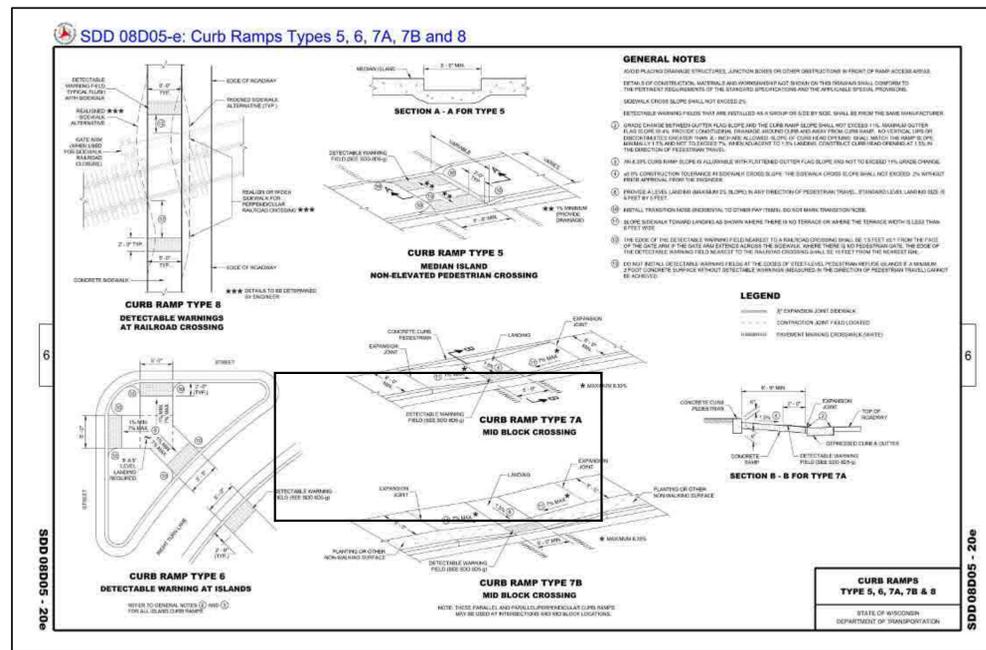


INTEGRAL WALK/CURB DETAIL

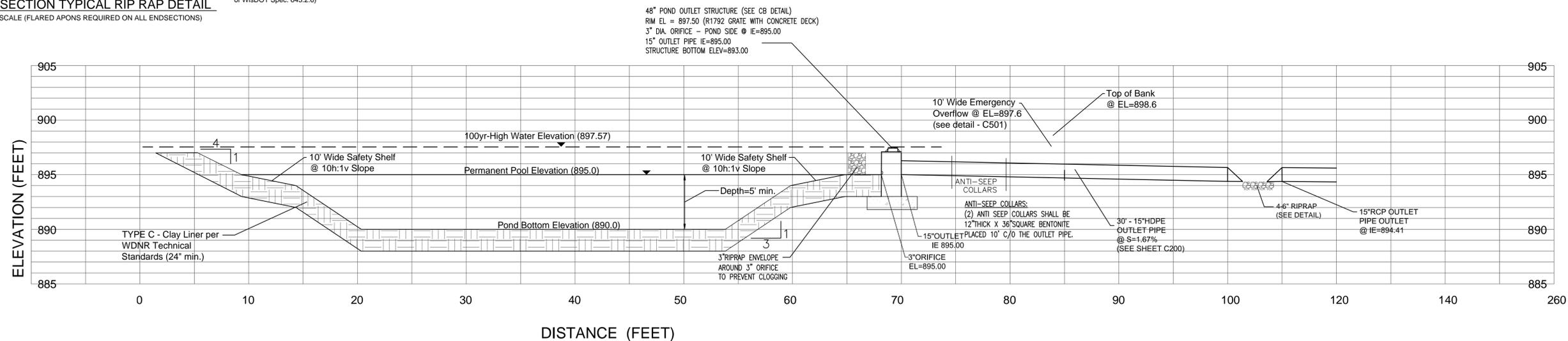
NO SCALE 2



EXTRANCE CURB & GUTTER TRANSITION DETAIL 3



CURB RAMP DETAIL



TYPICAL STORM WATER POND CROSS SECTION

DESCRIPTION	DATE

ELLEN ENGINEERING CONSULTANTS, LLC
 SITE CIVIL ENGINEERING & STORMWATER MANAGEMENT
 700 Pilgrim Parkway - Suite 100 Elm Grove, WI 53122
 Phone: 262-719-6183 Fax: 866-457-2584 Email: mellen@eeceng.com

EVERY & BIRCH SALON SUITE FACILITY
 TOWN OF BROOKFIELD, WI

WISCONSIN PROFESSIONAL ENGINEER
 MARK R. ELLENA
 E-24090
 WALES, WI

DATE: 03-26-25
 BY: MARK R. ELLENA, PE

SHEET NUMBER
 C500

Avery and Birch
beauty studios

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architecture



Avery and Birch
beauty studios

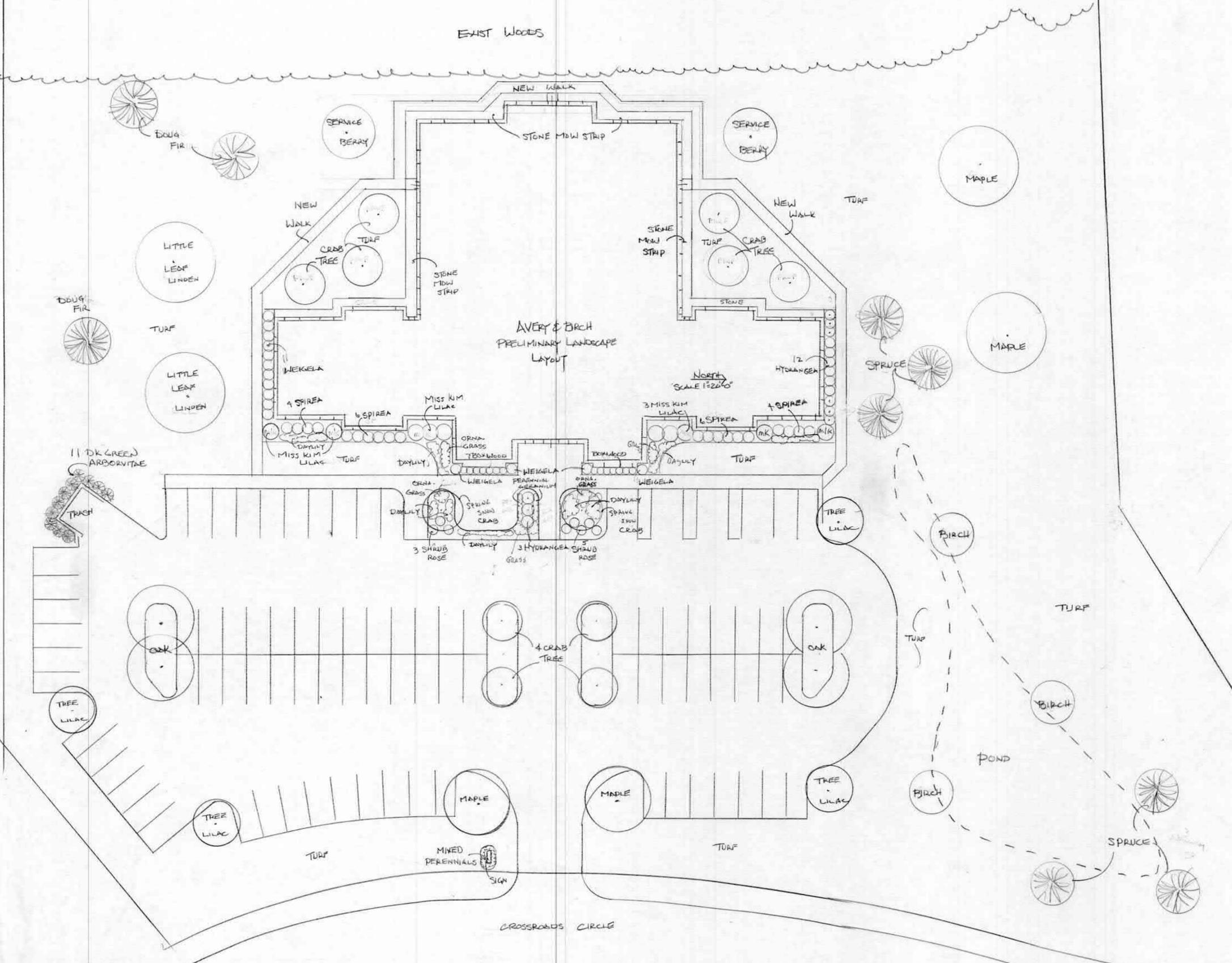
in.studio
architecture



EXIST WOODS

AVERY & BRCH
PRELIMINARY LANDSCAPE
LAYOUT

NORTH
SCALE 1/2" = 1'-0"



11 DK GREEN ARBORVITAE

TRASH

OAK

4 CRAB TREE

OAK

TREE LILAC

TREE LILAC

MAPLE

MIXED PERENNIALS
SIGN

MAPLE

TREE LILAC

BIRCH

POND

BIRCH

SPRUCE

SPRUCE

SPRUCE

MAPLE

MAPLE

LITTLE LEAF LINDEN

DOUG FIR

LITTLE LEAF LINDEN

SERVICE BERRY

SERVICE BERRY

NEW WALK

NEW WALK

STONE MDW STRIP

STONE MDW STRIP

NEW WALK

TURF

TURF

WEIGELA

4 SPIREA

6 SPIREA

MISS KIM LILAC

DAYLILY

ORNA GRASS

SPRING SPRAW CRAB

WEIGELA

PERENNIAL

ORNA GRASS

DAYLILY

SPRING SPRAW CRAB

TURF

3 SHRUB ROSE

DAYLILY

3 HYDRANGEA SHRUB ROSE

GRASS

WEIGELA

PERENNIAL

ORNA GRASS

DAYLILY

SPRING SPRAW CRAB

TURF

TREE LILAC

BIRCH

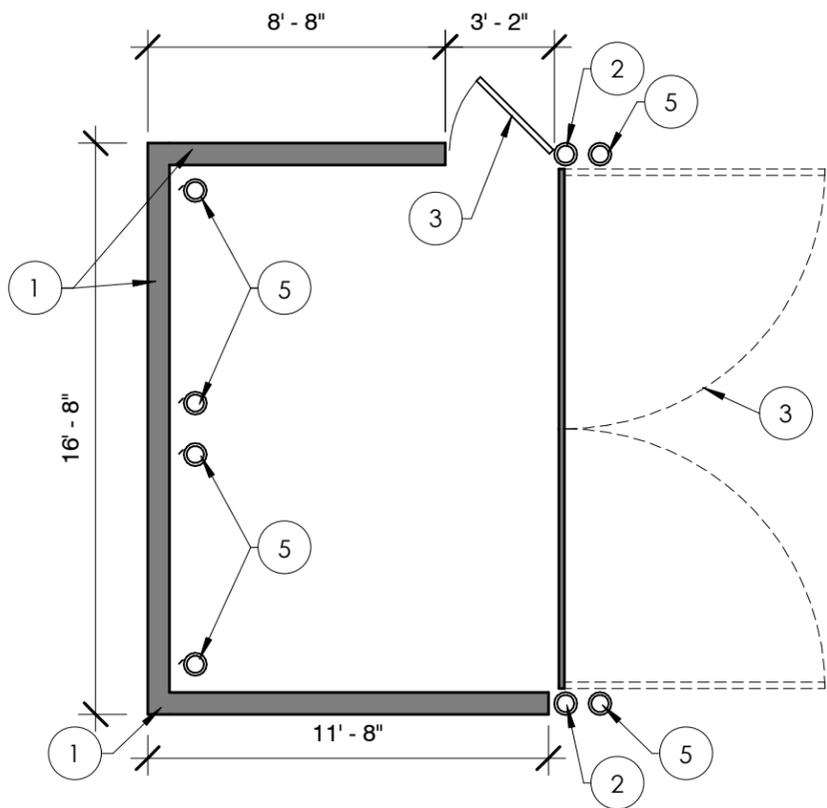
TURF

TURF

TURF

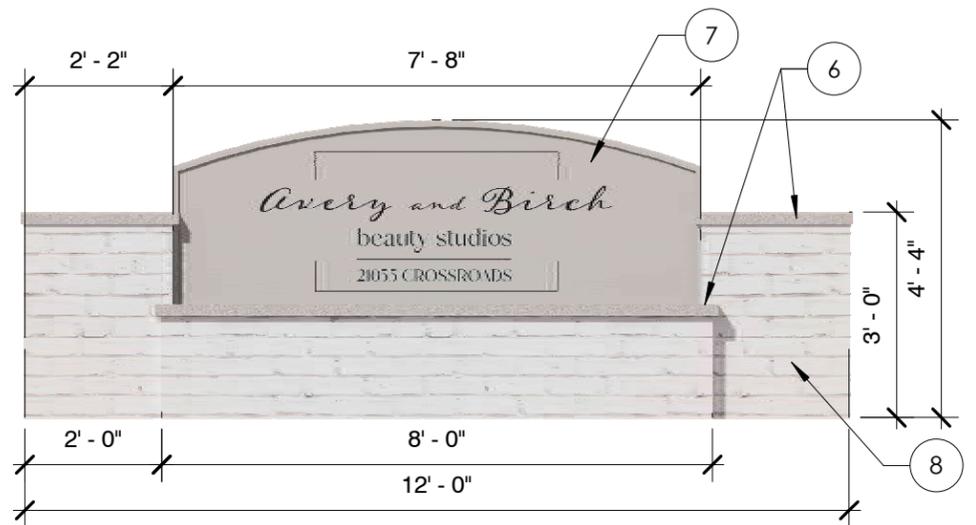
TURF

CROSSROADS CIRCLE



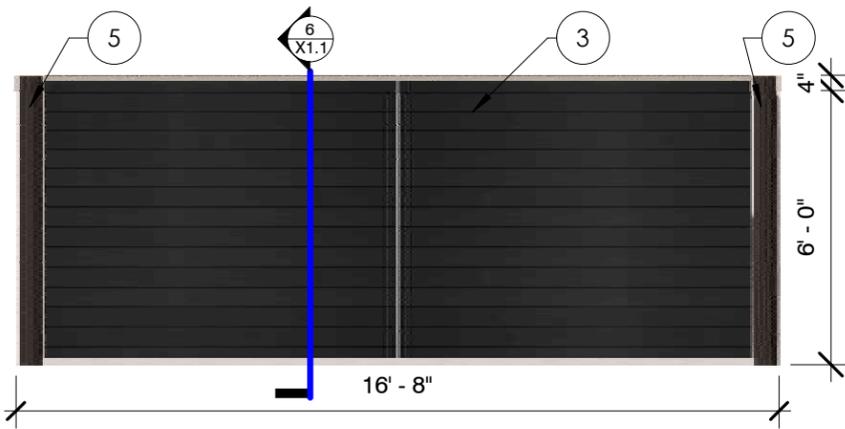
DUMPSTER ENCLOSURE PLAN

3/16" = 1'-0"



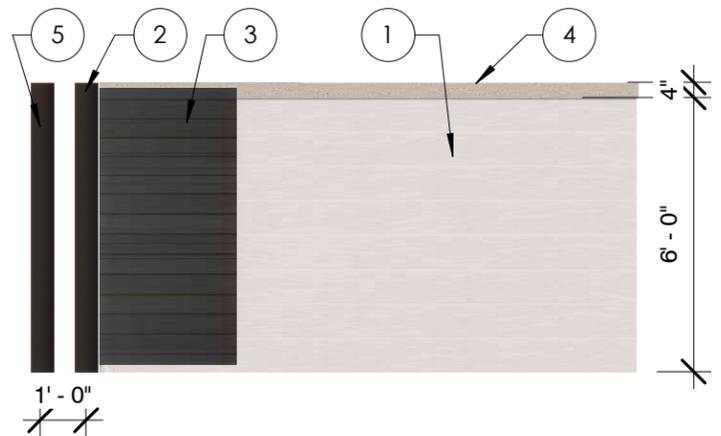
MONUMENT SIGN

3/8" = 1'-0"



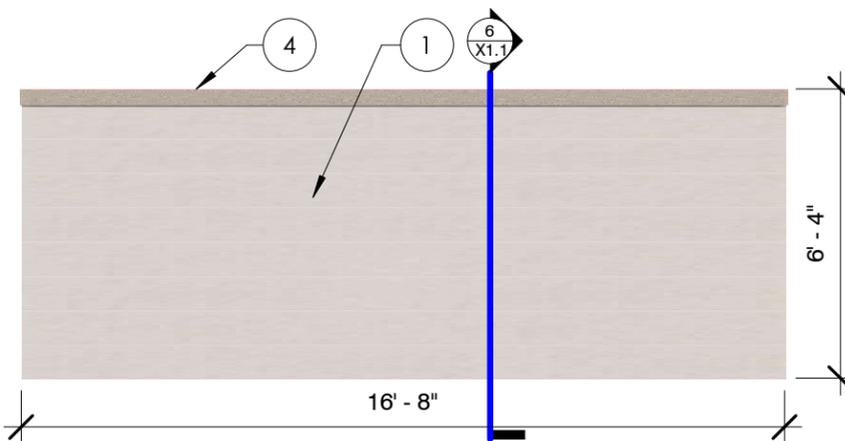
DUMPSTER - FRONT

1/4" = 1'-0"



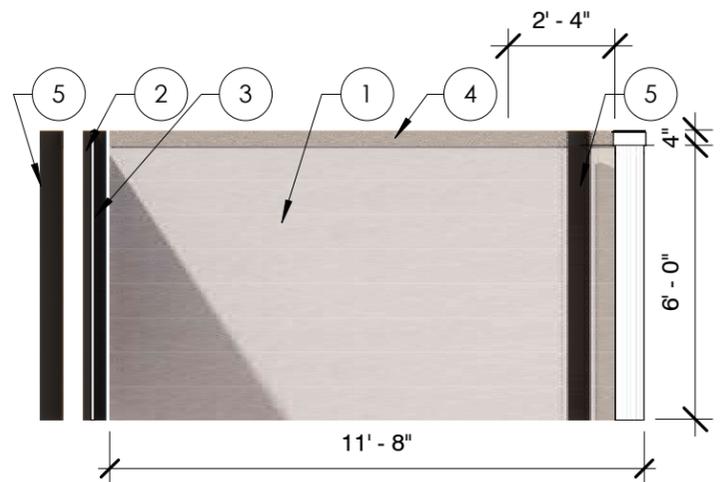
DUMPSTER - SIDE

1/4" = 1'-0"



DUMPSTER - REAR

1/4" = 1'-0"

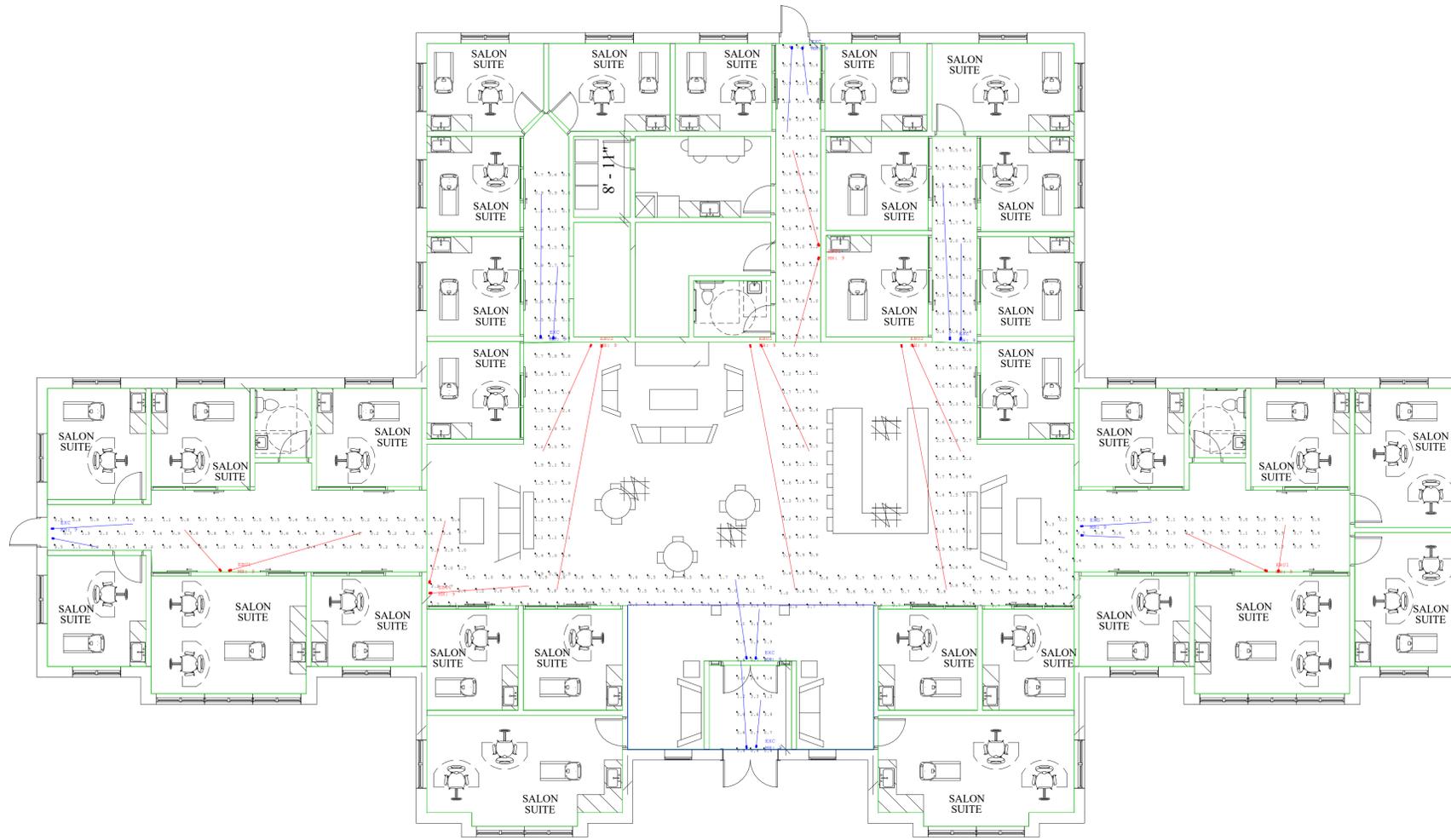


DUMPSTER - SECTION

1/4" = 1'-0"

KEYED GARBAGE ENCLOSURE AND SIGNAGE NOTES

TAG #	DESCRIPTION
1	8"X16" SPLIT FACE BLOCK (CMU-1), COLOR TO MATCH BRICK
2	6" CONCRETE FILLED GALVANIZED STEEL PIPE POSTS FOR GATE SUPPORT. SET 1" INSIDE EDGE OF CMU WALL
3	ENCLOSURE GATE/DOOR COMPOSITE DECKING (COLOR TO MATCH DARK BUILDING ACCENTS) ON PAINTED STEEL DOOR FRAME. PROVIDE DOOR HINGES, LATCHS, AND OTHER REQUIRED HARDWARE, TYP.
4	4" LIMESTONE CAP
5	6" CONCRETE FILLED GALVANIZED STEEL BOLLARD. 6'-4" TALL OUTSIDE OF ENCLOSURE, 4'-0" TALL INSIDE OF ENCLOSURE
6	2" LIMESTONE CAP
7	PREFINISHED METAL SIGN BOX
8	MASONRY BASE (BK-1), MATCH BRICK TO BUILDING



Symbol	Label	Qty	[MANUFAC]	Catalog Number	LLF	Lumens	Watts	Tot. Watts
⊕	EBU1	4	Lithonia Lighting	ELM2L	1.000	260	2	8
⊕	EBU2	3	Lithonia Lighting	ELM4L	1.000	692	5	15
⊕	EXC	7	Lithonia Lighting	ECRG RD	1.000	176	1.6	11.2

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
POE_1	Illuminance	Fc	1.13	5.2	0.2	5.65	26.00
POE_2	Illuminance	Fc	1.31	3.0	0.4	3.28	7.50
POE_3	Illuminance	Fc	1.38	4.8	0.4	3.45	12.00
POE_4	Illuminance	Fc	1.13	3.0	0.4	2.83	7.50
POE_5	Illuminance	Fc	1.03	5.0	0.3	3.43	16.67

1. Standard Reflectance of 80/50/20 unless noted otherwise
2. Not a Construction Document, for Design purposes only
3. Standard indoor calc points @ 30" A.F.F. unless noted otherwise
4. Standard outdoor calc points @ Grade unless noted otherwise
5. CED Pewaukee assumes no responsibility for installed light levels due to field conditions, etc.

CED Lappin Electric
 N24 W23750 Watertown Rd
 Waukesha, WI 53188
 (p) 262-547-5500



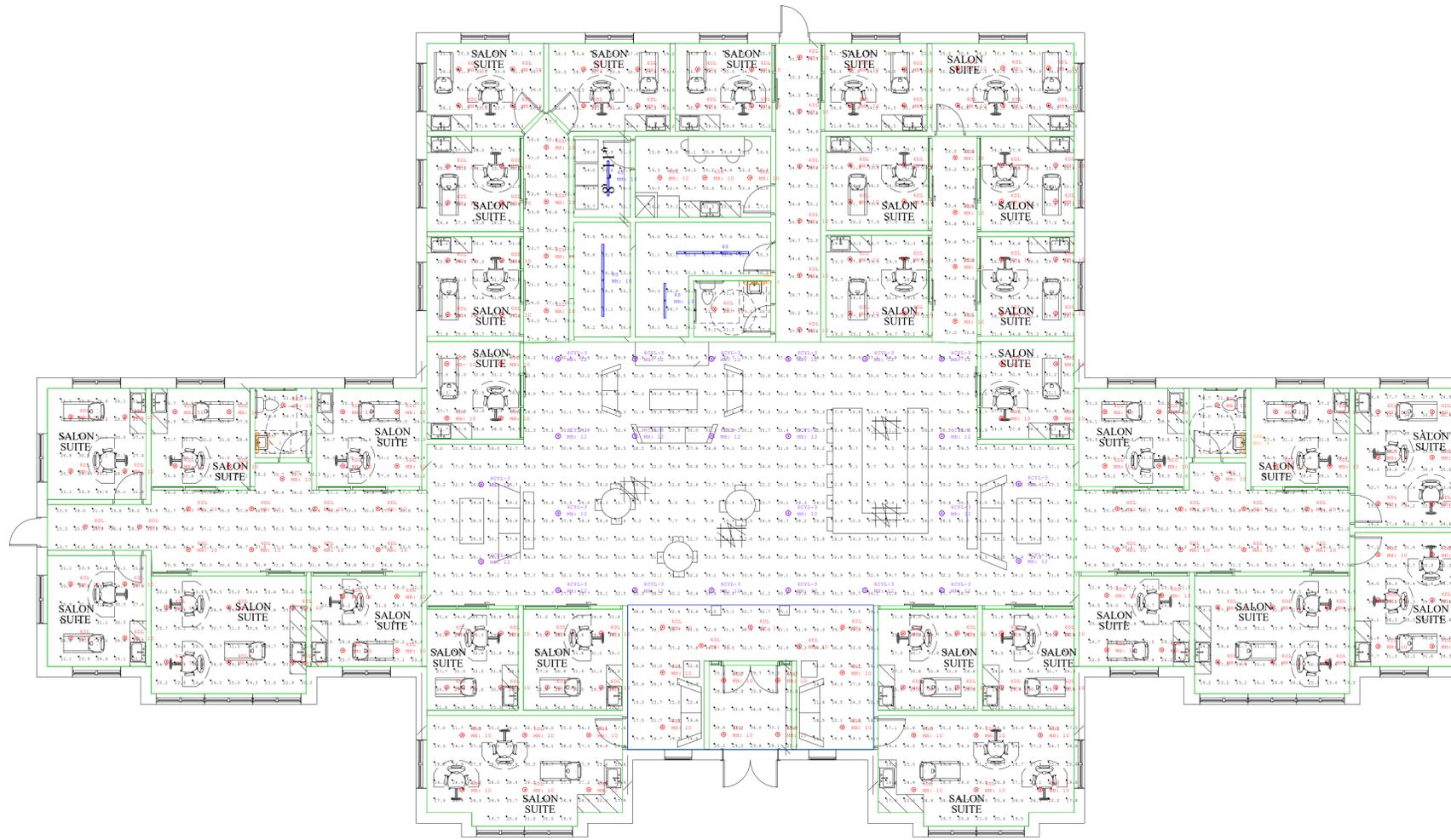
#	Date	Comments

Revisions

QUOTE#
 Drawn By: Nick Rooyakkers
 Date: 4/3/2025

Scale: 1 in = 8 ft

Avery & Birch
 Brookfield, WI



Symbol	Label	Qty	[MANUFAC]	Catalog Number	LLF	Lumens	Watts	Tot. Watts
⊕	6CYL-3	24	Lithonia Lighting	LDN6CYL 35 20 LO6AR LSS	0.950	1982	22.52	540.48
⊕	VAN	3	Lithonia Lighting	FMVCCLS 24IN MVOLT 30K35K40K	0.950	1737	18.12	54.36
⊕	BS	2	Lithonia Lighting	CSS L96 ALO4 MVOLT SWW3 80CRI (8000LM 4000K)	0.950	8415	68.4	136.8
⊕	4S	2	Lithonia Lighting	CSS L48 ALO3 (4000) MVOLT SWW3 (40) 80CRI	0.950	5095	34.81	69.62
⊕	6DL	191	Juno Lighting	WF6 DREG B ALO20 SWW5 90CRI 35K	0.950	1490	15.5	2960.5

Calculation Summary														
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min							
Bathroom 1 Workplane	Illuminance	Fc	21.22	24.7	17.5	1.21	1.41							
Bathroom 2 Workplane	Illuminance	Fc	21.28	24.8	17.6	1.21	1.41							
Bathroom 3 Workplane	Illuminance	Fc	20.55	23.7	17.2	1.19	1.38							
Breakroom Workplane	Illuminance	Fc	21.00	25.5	15.8	1.33	1.61							
Corridor 1 Workplane	Illuminance	Fc	24.62	35.0	15.7	1.57	2.23							
Corridor 2 Workplane	Illuminance	Fc	25.72	37.4	21.6	1.19	1.73							
Corridor 3 Workplane	Illuminance	Fc	26.33	37.0	20.5	1.28	1.80							
Corridor 4 Workplane	Illuminance	Fc	29.58	41.1	12.8	2.31	3.21							
Corridor 5 Workplane	Illuminance	Fc	29.83	40.8	14.7	2.03	2.78							
Lobby Reception Area Workplane	Illuminance	Fc	25.88	46.0	6.1	4.24	7.54							
Misc Room Workplane	Illuminance	Fc	46.62	58.5	35.5	1.31	1.65							
Salon Suite 1 Workplane	Illuminance	Fc	28.39	32.3	23.4	1.21	1.38							
Salon Suite 10 Workplane	Illuminance	Fc	27.14	31.9	21.2	1.28	1.50							
Salon Suite 11 Workplane	Illuminance	Fc	27.58	32.5	21.4	1.29	1.52							
Salon Suite 12 Workplane	Illuminance	Fc	27.13	32.1	20.2	1.34	1.59							
Salon Suite 13 Workplane	Illuminance	Fc	26.50	31.3	20.2	1.31	1.55							
Salon Suite 14 Workplane	Illuminance	Fc	26.58	31.2	21.1	1.26	1.48							
Salon Suite 15 Workplane	Illuminance	Fc	26.57	31.1	21.1	1.26	1.47							
Salon Suite 16 Workplane	Illuminance	Fc	28.36	32.2	23.7	1.20	1.36							
Salon Suite 17 Workplane	Illuminance	Fc	26.99	31.7	21.1	1.28	1.50							
Salon Suite 18 Workplane	Illuminance	Fc	28.78	32.8	24.4	1.18	1.34							
Salon Suite 19 Workplane	Illuminance	Fc	27.53	32.4	21.2	1.30	1.53							
Salon Suite 2 Workplane	Illuminance	Fc	32.96	39.8	24.2	1.36	1.64							
Salon Suite 20 Workplane	Illuminance	Fc	30.47	36.7	24.0	1.27	1.53							
Salon Suite 21 Workplane	Illuminance	Fc	29.00	35.8	21.5	1.35	1.67							
Salon Suite 22 Workplane	Illuminance	Fc	27.49	35.6	18.3	1.50	1.95							
Salon Suite 23 Workplane	Illuminance	Fc	30.98	37.2	24.8	1.25	1.50							
Salon Suite 24 Workplane	Illuminance	Fc	29.46	36.7	21.7	1.36	1.69							
Salon Suite 25 Workplane	Illuminance	Fc	28.97	36.0	21.8	1.33	1.65							
Salon Suite 26 Workplane	Illuminance	Fc	25.93	31.4	19.2	1.35	1.64							
Salon Suite 27 Workplane	Illuminance	Fc	35.50	45.4	24.6	1.44	1.85							
Salon Suite 28 Workplane	Illuminance	Fc	30.47	36.7	24.1	1.26	1.52							
Salon Suite 29 Workplane	Illuminance	Fc	27.56	32.4	21.6	1.28	1.50							
Salon Suite 3 Workplane	Illuminance	Fc	34.43	40.3	27.2	1.27	1.48							
Salon Suite 30 Workplane	Illuminance	Fc	28.77	32.7	24.2	1.19	1.35							
Salon Suite 4 Workplane	Illuminance	Fc	27.54	33.8	19.2	1.43	1.76							
Salon Suite 5 Workplane	Illuminance	Fc	27.06	31.7	21.4	1.26	1.48							
Salon Suite 6 Workplane	Illuminance	Fc	27.56	32.4	21.6	1.28	1.50							
Salon Suite 7 Workplane	Illuminance	Fc	27.12	31.8	21.0	1.29	1.51							
Salon Suite 8 Workplane	Illuminance	Fc	24.66	30.5	17.1	1.44	1.78							
Salon Suite 9 Workplane	Illuminance	Fc	24.67	30.5	17.0	1.45	1.79							
Salon Suite Workplane	Illuminance	Fc	26.98	31.6	21.2	1.27	1.49							
Storage 1 Workplane	Illuminance	Fc	49.09	67.7	34.0	1.44	1.99							
Storage Workplane	Illuminance	Fc	34.55	40.3	28.6	1.21	1.41							
Vestibule Workplane	Illuminance	Fc	30.18	34.9	25.2	1.20	1.38							

- Standard Reflectance of 80/50/20 unless noted otherwise
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- Standard outdoor calc points @ Grade unless noted otherwise
- CED Pewaukee assumes no responsibility for installed light levels due to field conditions, etc.

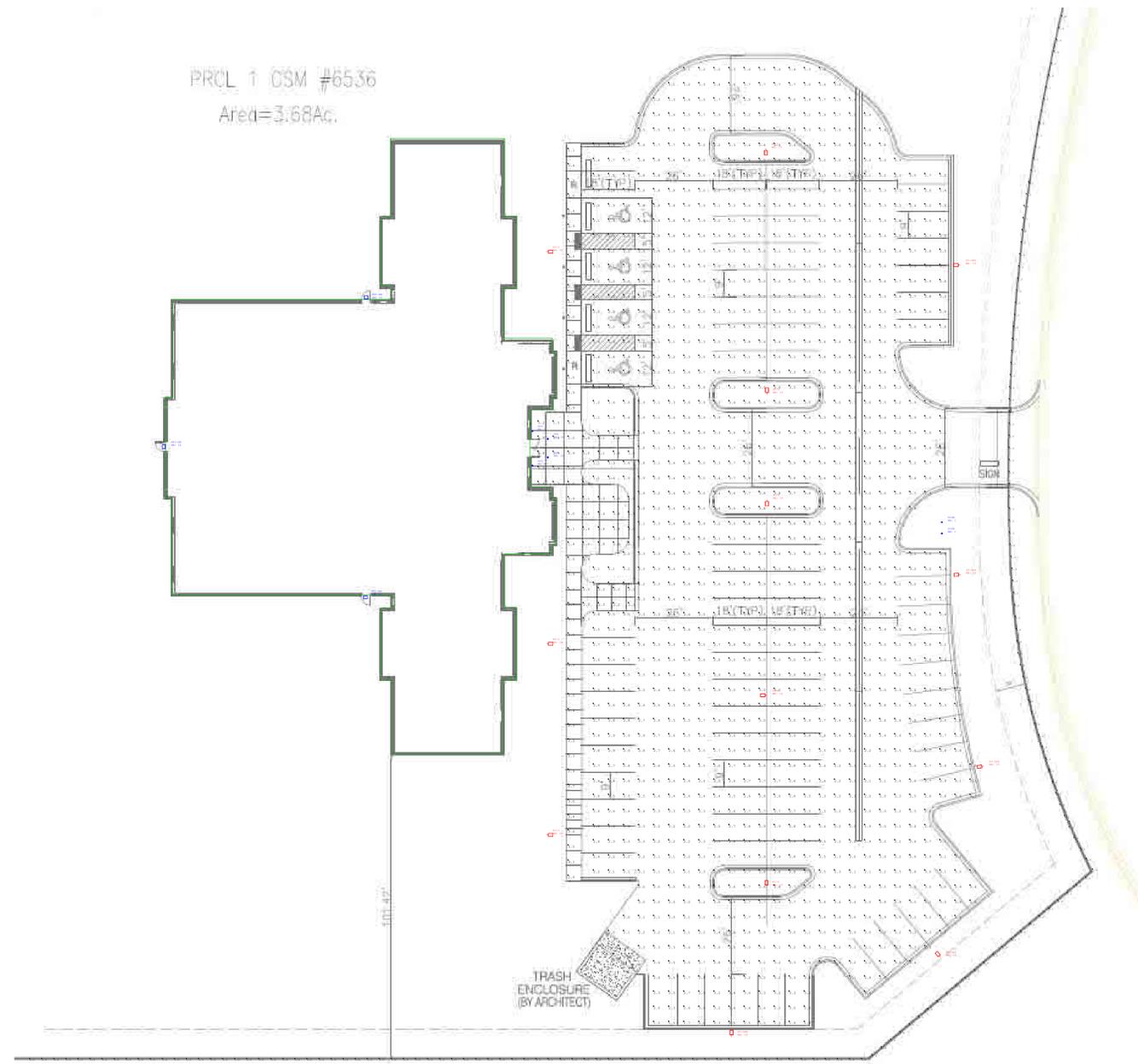


#	Date	Comments

QUOTE#	Drawn By	Date
	Nick Rooyakkers	4/3/2025

Avery & Birch
 Brookfield, WI

PRCL 1 CSM #6536
 Area=3.68Ac.



Symbol	Label	Qty	[MANUFAC]	Catalog Number	LLF	Lumens	Watts	Tot. Watts
⊕	6DL	2	Juno Lighting	WF6 DREG B ALO20 SWW5 90CRI 40K	0.900	1501	15.5	31
□	WP1-EM	3	Chloride	ARC-ACEM-BZ	0.900	7600	16	48
⊕	SIGN	2	Lithonia Lighting	ESXF1 ALO(3,000L) SWW2(5000K) KY DDB	0.900	3076	19.12	38.24
⊕	P3-3HS	5	Lithonia Lighting	RSX1 LED P1 40K R3 HS	0.900	4980	51.34	256.7
⊕	SCO	2		20131LEDDMG	0.900	673	12.61	25.22
⊕	P3-3	3	Lithonia Lighting	RSX1 LED P1 40K R3	0.900	7096	51.34	154.02
⊕	P1-5	5	Lithonia Lighting	RSX1 LED P4 40K R5	0.900	16793	133.14	665.7

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Prop Line	Illuminance	Fc	0.20	0.9	0.0	N.A.	N.A.
Sidewalk	Illuminance	Fc	2.06	5.2	0.9	2.29	5.78
Site	Illuminance	Fc	2.48	4.0	1.0	2.48	4.00

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CED Lappin Electric
 N24 W23750 Watertown Rd
 Waukesha, WI 53188
 (p) 262-547-5500



#	Date	Comments

QUOTE#
 Drawn By: Nick Rooyakkers
 Date: 3/31/2025
 Scale: 1 in = 24ft

Avery & Birch
 Brookfield, WI

SITE DEVELOPMENT PLANS FOR OSCAR'S CUSTARD 21165 EAST MORELAND BOULEVARD WAUKESHA, WI

VICINITY MAP



PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
---	PLAT OF SURVEY
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C201	TRUCK ACCESS PLAN
C300	GRADING PLAN
C400	UTILITY PLAN
C500 - C501	DETAILS
C600	SPECIFICATIONS
L100	SITE LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS
1 OF 1	PHOTOMETRIC PLAN - BY OTHERS

ENGINEER AND LANDSCAPE ARCHITECT:



DEVELOPER / OWNER:

JAMES TAYLOR
W279N2865 ROCKY POINT RD
PEWAUKEE, WI 53072

DESCRIPTION
DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD
TOWN OF BROOKFIELD

TITLE SHEET

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PLAN DATE: 04/30/2025

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:



**Know what's below.
Call before you dig.**

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R.A. Smith, Inc.
DATE: 04/30/2025
SCALE: N.T.S.
JOB NO. 3240290
PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.
DESIGNED BY: CBW
CHECKED BY: MAF

SHEET NUMBER
C000

LEGEND

- BOLLARD
- ⊕ SOIL BORING/MONITORING WELL
- ⚑ FLAGPOLE
- ⊕ MAILBOX
- SIGN
- ☒ AIR CONDITIONER
- ☒ CONTROL BOX
- ⊕ TRAFFIC SIGNAL
- ☒ CABLE PEDESTAL
- ⊕ POWER POLE
- ⊕ GUY POLE
- ⊕ GUY WIRE
- ⊕ LIGHT POLE
- ⊕ SPOT/YARD/PEDESTAL LIGHT
- ⊕ HANDICAPPED PARKING
- ⊕ PULL BOX
- ⊕ ELECTRIC MANHOLE
- ⊕ ELECTRIC PEDESTAL
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC TRANSFORMER
- ⊕ TELEPHONE MANHOLE
- ⊕ TELEPHONE PEDESTAL
- ⊕ UTILITY VAULT
- ⊕ GAS VALVE
- ⊕ GAS METER
- ⊕ GAS WARNING SIGN
- ⊕ STORM MANHOLE
- ⊕ ROUND INLET
- ⊕ SQUARE INLET
- ⊕ STORM SEWER END SECTION
- ⊕ SANITARY MANHOLE
- ⊕ SANITARY CLEANOUT OR SEPTIC VENT
- ⊕ SANITARY INTERCEPTOR MANHOLE
- ⊕ MISCELLANEOUS MANHOLE
- ⊕ IRRIGATION CONTROL BOX
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER SERVICE CURB STOP
- ⊕ WATER MANHOLE
- ⊕ WELL
- ⊕ WATER SURFACE
- ⊕ WETLANDS FLAG
- ⊕ MARSH
- ⊕ CONIFEROUS TREE
- ⊕ DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S—SANITARY SEWER
- STS—STORM SEWER
- W—WATERMAIN
- E—MARKED GAS MAIN
- E—MARKED ELECTRIC
- OHW—OVERHEAD WIRES
- B—BUREAU ELEC. SERV.
- T—MARKED TELEPHONE
- TW—MARKED CABLE TV LINE
- FO—MARKED FIBER OPTIC
- (P)—UTILITY PER PLAN
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION

PLAT OF SURVEY W/ TOPOGRAPHIC DATA & UTILITIES

KNOWN AS: 21165 HIGHWAY "18", WAUKESHA, WISCONSIN

LOT 2 OF CERTIFIED SURVEY MAP NO. 3963, RECORDED ON JANUARY 15, 1981, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 31, PAGE 4-7, AS DOCUMENT NO. 1148662 AND LOT 1 OF CERTIFIED SURVEY MAP NO. 11799, RECORDED ON JANUARY 4, 2019, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN BOOK 119, PAGE 9-13, AS DOCUMENT NO. 4378007, BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30 AND THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

PREPARED FOR: JAMES TAYLOR
SURVEY NO: 154623-KAC

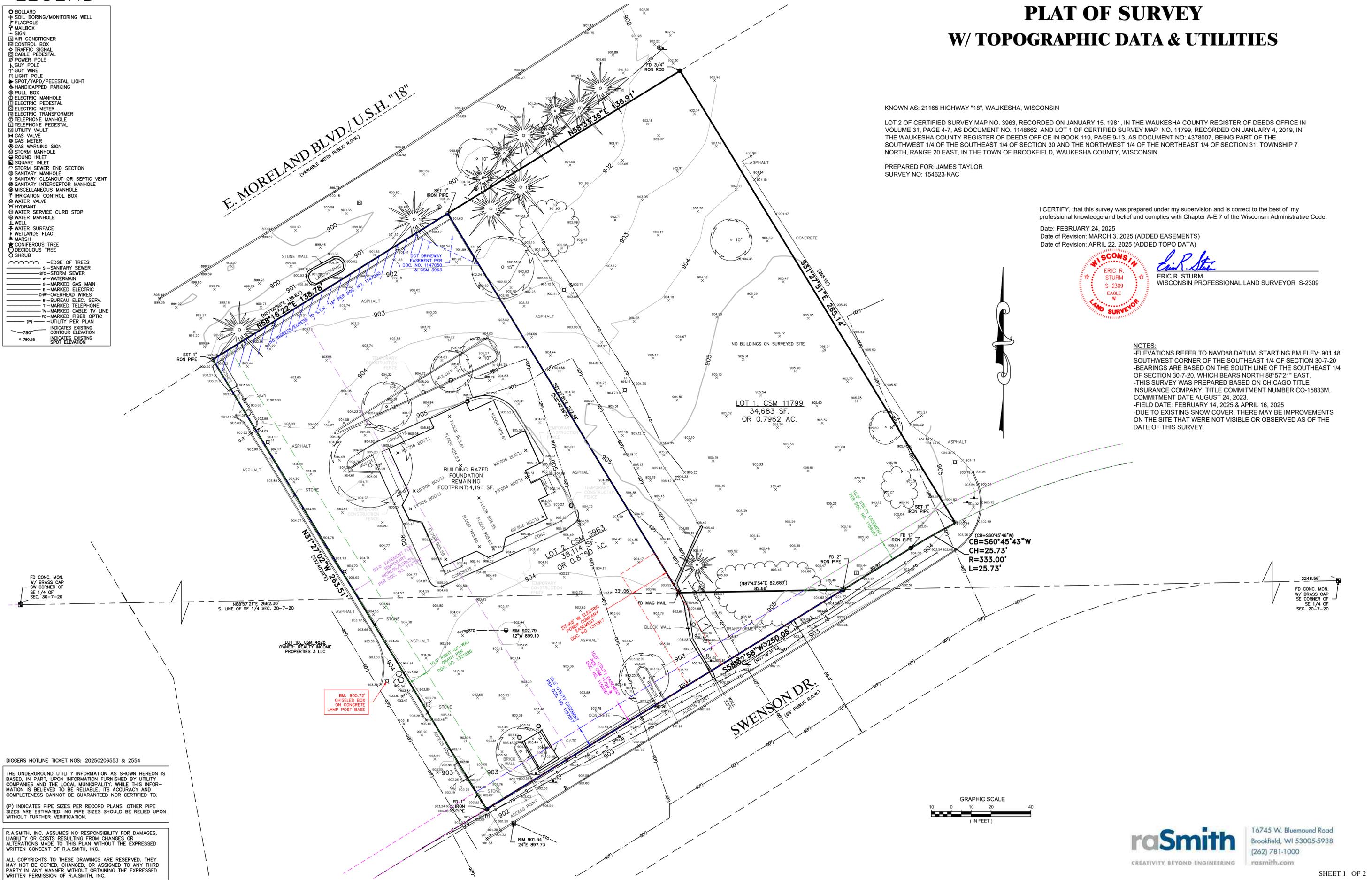
I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.

Date: FEBRUARY 24, 2025
Date of Revision: MARCH 3, 2025 (ADDED EASEMENTS)
Date of Revision: APRIL 22, 2025 (ADDED TOPO DATA)



Eric R. Sturm
ERIC R. STURM
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2309

- NOTES:**
- ELEVATIONS REFER TO NAVD88 DATUM, STARTING BM ELEV: 901.48'
 - SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 30-7-20
 - BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 30-7-20, WHICH BEARS NORTH 88°57'21" EAST.
 - THIS SURVEY WAS PREPARED BASED ON CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER CO-15833M, COMMITMENT DATE AUGUST 24, 2023.
 - FIELD DATE: FEBRUARY 14, 2025 & APRIL 16, 2025
 - DUE TO EXISTING SNOW COVER, THERE MAY BE IMPROVEMENTS ON THE SITE THAT WERE NOT VISIBLE OR OBSERVED AS OF THE DATE OF THIS SURVEY.



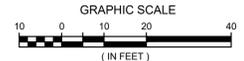
DIGGERS HOTLINE TICKET NOS: 20250206553 & 2554

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

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raSmith
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com



LEGEND

- PROPERTY LINE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED 18" CURB AND GUTTER

GRAPHIC SCALE
0 10 20 40
(IN FEET)

OSCAR'S PROPERTY (ZONED B-2)

PARKING STATISTICS

REQUIRED PARKING: 1 PER 50 SF OF DINING AREA AND 1 PER TWO EMPLOYEES ON LARGEST SHIFT
 DINING AREA = 2,100 SF / 50 SF = 42 STALLS
 EMPLOYEES = 10 / 2 = 6 STALLS
 TOTAL REQUIRED = 48 STALLS

PROPOSED PARKING (WITH SHARED PARKING AGREEMENT):

REGULAR STALLS	56
ADA STALLS	3
TOTAL	59

EXISTING CONDITIONS

SF	ACRES	COVERAGE
TOTAL SITE	38,115	0.88
PERVIOUS SPACE	3,344	0.08
IMPERVIOUS SPACE	34,771	90.9%

PROPOSED CONDITIONS

SF	ACRES	COVERAGE
TOTAL SITE	38,115	0.88
PERVIOUS SPACE	3,510	0.09
IMPERVIOUS SPACE	34,605	90.3%

*REQUIRED GREEN SPACE = 5% OF SURFACE NOT INCLUDING BUILDING AND PATIO AREAS
 REQUIRED GREEN SPACE = (34,605 - 6,405) / 5% = 1,410 SF

FUTURE DEVELOPMENT PROPERTY

EXISTING CONDITIONS

SF	ACRES	COVERAGE
TOTAL SITE	34,683	0.80
PERVIOUS SPACE	30,161	0.69
IMPERVIOUS SPACE	4,522	13.7%

PROPOSED CONDITIONS

SF	ACRES	COVERAGE
TOTAL SITE	34,683	0.80
PERVIOUS SPACE	29,321	0.67
IMPERVIOUS SPACE	5,362	16.2%

- GENERAL NOTES:**
- EXISTING TOPOGRAPHY OBTAINED BY raSmith FEBRUARY 24, 2025.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF BROOKFIELD EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
 - ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB. ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
 - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
 - ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - PAVEMENT SECTIONS SHALL MATCH EXISTING PAVEMENT DESIGN OR APPROVED BY OWNER.

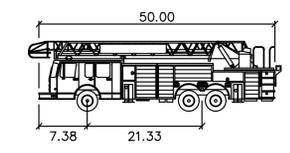
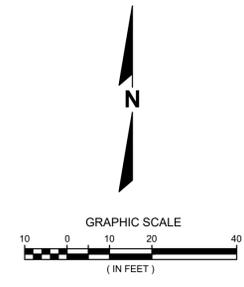


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DESCRIPTION	
DATE	
 16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com CREATIVITY BEYOND ENGINEERING	
OSCAR'S FROZEN CUSTARD TOWN OF BROOKFIELD SITE PLAN	
© COPYRIGHT 2025 R.A. Smith, Inc. DATE: 04/30/2025 SCALE: 1" = 20' JOB NO. 3240290 PROJECT MANAGER: CHRISTOPHER WHITE, P.E. DESIGNED BY: CBW CHECKED BY: MAF SHEET NUMBER C200	

E. MORELAND BLVD./U.S.H. "18"



Pierce Lance 50ft
feet
Width : 7.83
Track : 7.00
Lock to Lock Time : 6.0
Steering Angle : 31.8

NO BUILDINGS ON SURVEYED SITE

PROPOSED OSCAR'S
4815 SF ● FFE 905.60

LOT 1B, CSM 4828
OWNER: REALTY INCOME
PROPERTIES 3 LLC

ROBINSON DR.



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Brookfield, WI 53005-5938
(262) 781-1000
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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD
TOWN OF BROOKFIELD
TRUCK ACCESS PLAN

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DATE: 04/30/2025
SCALE: 1" = 20'
JOB NO. 3240290
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.
DESIGNED BY: CBW
CHECKED BY: MAF
SHEET NUMBER
C201

P:\3240290\Draw\Sheets\3240290-T01.dwg, Truck Access Plan, 4/30/2025 1:51:20 PM, mof2



LEGEND

- PROPERTY LINE
- 840.00 X EXISTING SPOT ELEVATION
- - - 840 EXISTING CONTOURS
- 840.00 PROPOSED CONTOURS
- 840.00 X PROPOSED SPOT GRADES
- (840.00) X PROPOSED TOP OF CURB GRADE
- T/ 840.00 X PROPOSED TOP OF ISLAND GRADE
- ● PROPOSED STORM INLETS / MANHOLES
- - - LIMITS OF DISTURBANCE = 0.86 ACRES

N

GRAPHIC SCALE
0 10 20 40
(IN FEET)

- GENERAL NOTES:**
- ALL SIDEWALKS TO BE SLOPED AT LESS THAN 5.0% AND NO MORE THAN 2.0% CROSS SLOPE
 - THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
 - THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
 - SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. SEE SHEET C100 FOR PLACEMENT OF EROSION CONTROL FACILITIES.
 - THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
 - GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PAD AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
 - NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
 - CONTRACTOR TO VERIFY FIRST FLOOR ELEVATION AND CONTACT ENGINEER IF DISCREPANCIES ARE FOUND.

DATE	DESCRIPTION

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 16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
 rasmith.com

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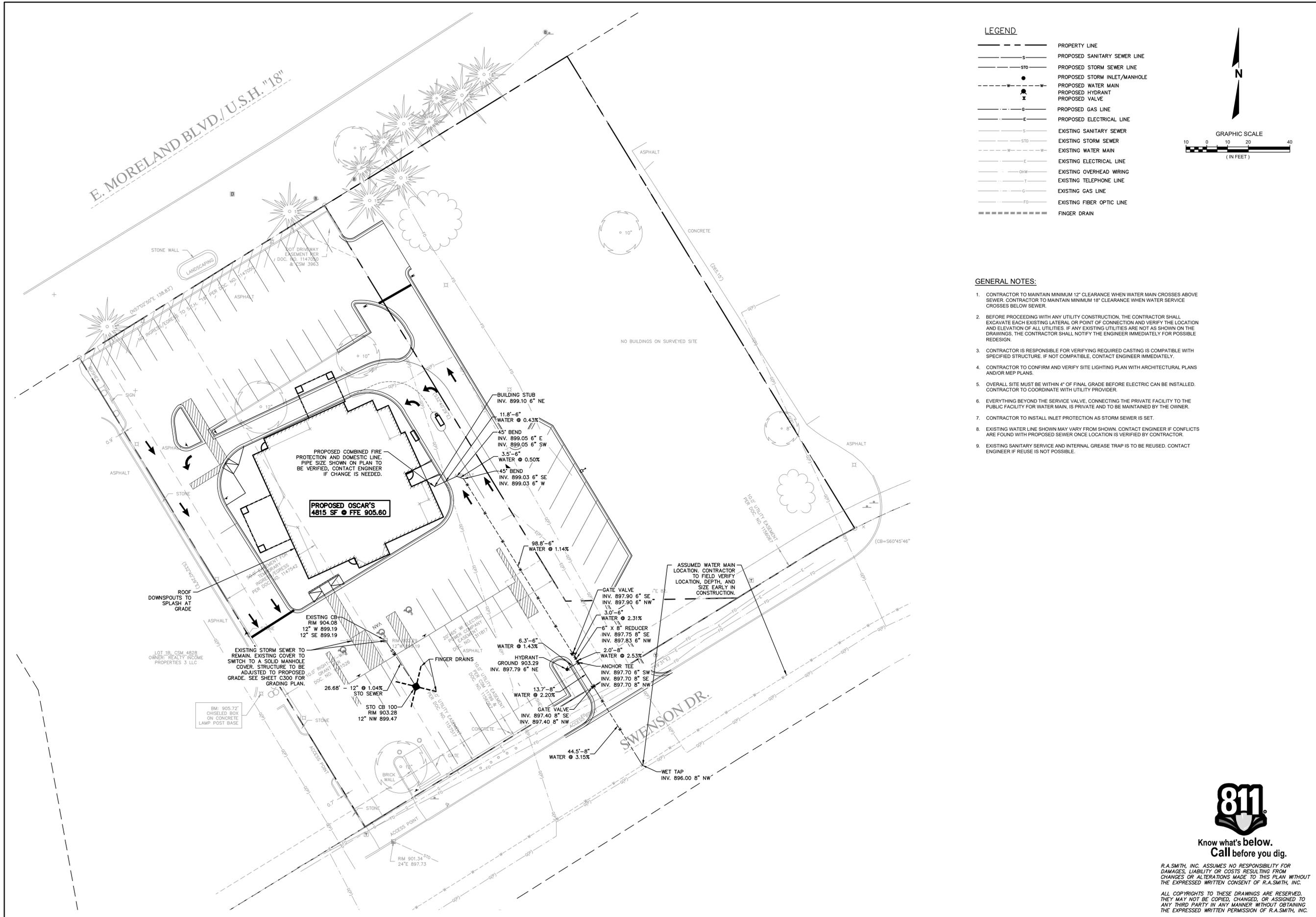
**OSCAR'S FROZEN CUSTARD
 TOWN OF BROOKFIELD
 GRADING PLAN**



Know what's below.
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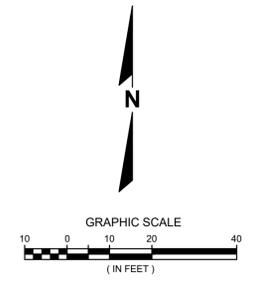
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DATE: 04/30/2025
SCALE: 1" = 20'
JOB NO. 3240290
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.
DESIGNED BY: CBW
CHECKED BY: MAF
SHEET NUMBER
C300



LEGEND

- P — PROPERTY LINE
- S — PROPOSED SANITARY SEWER LINE
- STO — PROPOSED STORM SEWER LINE
- PROPOSED STORM INLET/MANHOLE
- W — PROPOSED WATER MAIN
- G — PROPOSED GAS LINE
- E — PROPOSED ELECTRICAL LINE
- S — EXISTING SANITARY SEWER
- STO — EXISTING STORM SEWER
- W — EXISTING WATER MAIN
- E — EXISTING ELECTRICAL LINE
- OHW — EXISTING OVERHEAD WIRING
- T — EXISTING TELEPHONE LINE
- G — EXISTING GAS LINE
- FO — EXISTING FIBER OPTIC LINE
- — FINGER DRAIN



GENERAL NOTES:

1. CONTRACTOR TO MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER MAIN CROSSES ABOVE SEWER. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER SERVICE CROSSES BELOW SEWER.
2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.
3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH SPECIFIED STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY.
4. CONTRACTOR TO CONFIRM AND VERIFY SITE LIGHTING PLAN WITH ARCHITECTURAL PLANS AND/OR MEP PLANS.
5. OVERALL SITE MUST BE WITHIN 4" OF FINAL GRADE BEFORE ELECTRIC CAN BE INSTALLED. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
6. EVERYTHING BEYOND THE SERVICE VALVE, CONNECTING THE PRIVATE FACILITY TO THE PUBLIC FACILITY FOR WATER MAIN, IS PRIVATE AND TO BE MAINTAINED BY THE OWNER.
7. CONTRACTOR TO INSTALL INLET PROTECTION AS STORM SEWER IS SET.
8. EXISTING WATER LINE SHOWN MAY VARY FROM SHOWN, CONTACT ENGINEER IF CONFLICTS ARE FOUND WITH PROPOSED SEWER ONCE LOCATION IS VERIFIED BY CONTRACTOR.
9. EXISTING SANITARY SERVICE AND INTERNAL GREASE TRAP IS TO BE REUSED. CONTACT ENGINEER IF REUSE IS NOT POSSIBLE.

DATE	DESCRIPTION

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**OSCAR'S FROZEN CUSTARD
TOWN OF BROOKFIELD
UTILITY PLAN**

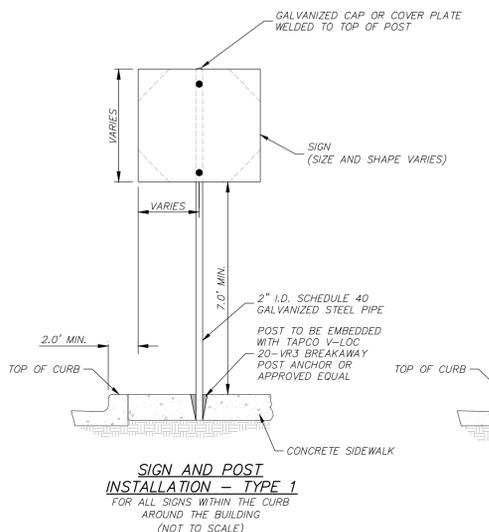


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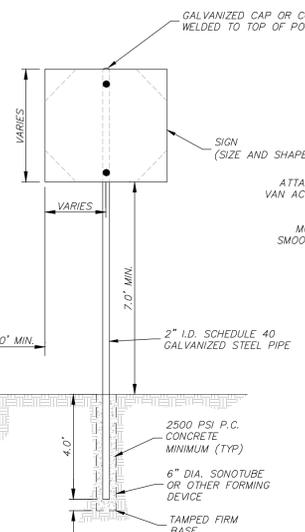
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DESIGNED BY: CBW
CHECKED BY: MAF
SHEET NUMBER
C400

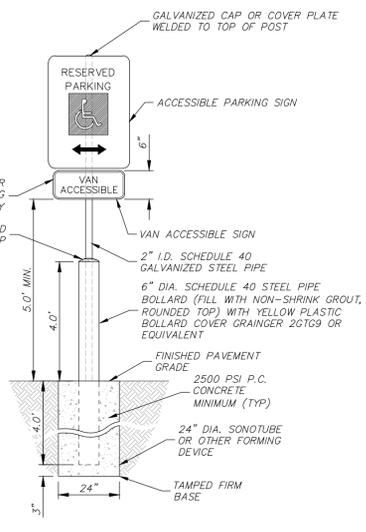
P:\3240290\Draws\Sheets\3240290-UP01.dwg, UTILITY PLAN, 4/30/2025 1:51:44 PM, mcf2



SIGN AND POST INSTALLATION - TYPE 1
FOR ALL SIGNS WITHIN THE CURB AROUND THE BUILDING (NOT TO SCALE)

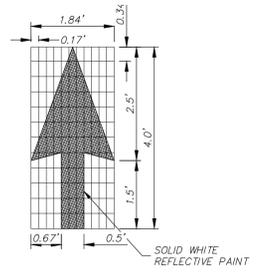


SIGN AND POST INSTALLATION - TYPE 2
FOR ALL SIGNS ON SITE, OUTSIDE THE BUILDING CURB (NOT TO SCALE)

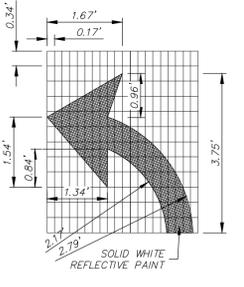


SIGN AND POST INSTALLATION - TYPE 3
FOR ALL ACCESSIBLE PARKING STALLS IN PAVEMENT AREAS (NOT TO SCALE)

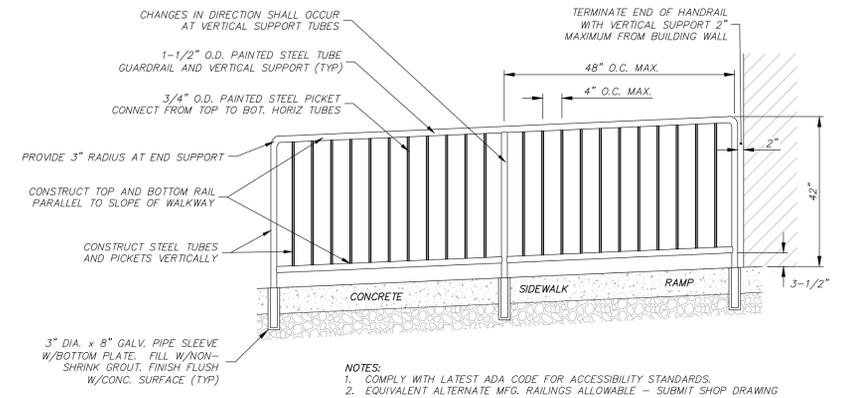
- NOTES:**
- ALL SIGNS SHALL BE MOUNTED TO POSTS BY MEANS OF 5/16" BOLTS. HOLES 3/8" IN DIAMETER, DRILLED THROUGH BOTH SIDES OF POSTS PRIOR TO SIGN INSTALLATION.
 - ALL POST SHALL HAVE A GALVANIZED CAP OR COVER PLATE WELDED TO TOP OF POST.



PARKING LOT DIRECTIONAL ARROW
(NOT TO SCALE)

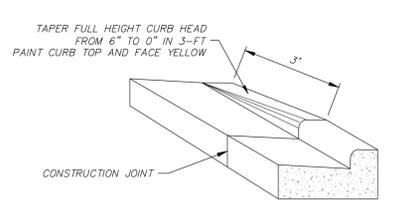


PARKING LOT TURNING ARROW
(NOT TO SCALE)

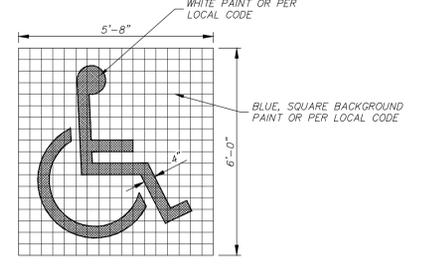


PEDESTRIAN GUARDRAIL ADJACENT TO BUILDING
(NOT TO SCALE)

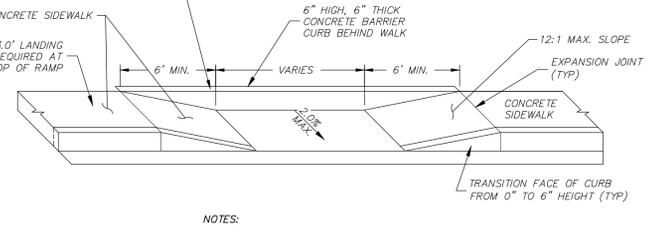
- NOTES:**
- COMPLY WITH LATEST ADA CODE FOR ACCESSIBILITY STANDARDS.
 - EQUIVALENT ALTERNATE MFG. RAILINGS ALLOWABLE - SUBMIT SHOP DRAWING
 - WELD ALL AROUND ALL PIPE CONNECTIONS AND GRIND SMOOTH.
 - ALL PIPES TO BE 1-3/4" DIA. O.D. EXTRA STRENGTH STEEL &
 - BALUSTERS TO BE 3/4" DIA. ROUND BAR.
 - THE ENTIRE RAILING AND GUARD SYSTEM IS TO BE PAINTED "BLACK".
 - ALL EXTERIOR STEEL GUARDRAILS AND RAILING COMPONENTS TO BE "GALVANIZED".
 - SEE SITE PLAN FOR NUMBER OF HANDRAILS AND CONFIGURATION.



CURB HEAD TAPER DETAIL
(NOT TO SCALE)

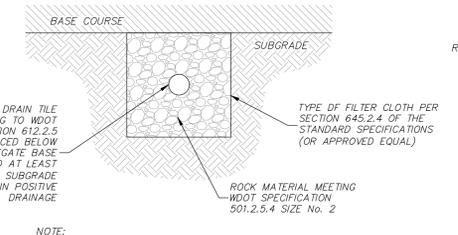


ACCESSIBLE PAINTED SYMBOL DETAIL
(NOT TO SCALE)



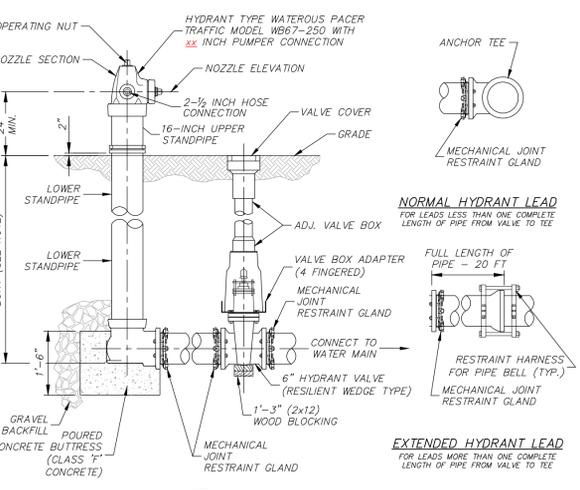
DEPRESSED SIDEWALK RAMP TYPE 7A (PRIVATE SITE)
(NOT TO SCALE)

- NOTES:**
- SURFACE OF CURB RAMP SHALL HAVE A BROOM FINISH OR SIMILAR SLIP RESISTANT SURFACE.



FINGER DRAIN / UNDERDRAIN

- NOTE:** ASTM D-1785 PVC SCH 40 DRAINAGE PIPE WITH TYPICAL 4-ROW PATTERN CONFORMING TO ASTM F-758, INSTALL HOLES UP

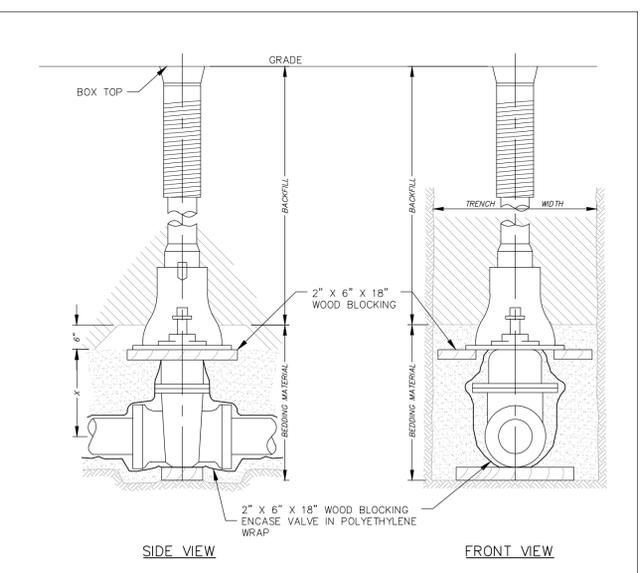


HYDRANT INSTALLATION DETAIL
(NOT TO SCALE)

NORMAL HYDRANT LEAD
FOR LEADS LESS THAN ONE COMPLETE LENGTH OF PIPE FROM VALVE TO TEE

EXTENDED HYDRANT LEAD
FOR LEADS MORE THAN ONE COMPLETE LENGTH OF PIPE FROM VALVE TO TEE

- NOTE:** BURY IS THE DISTANCE FROM GRADE LINE TO BOTTOM OF CONNECTING PIPE.

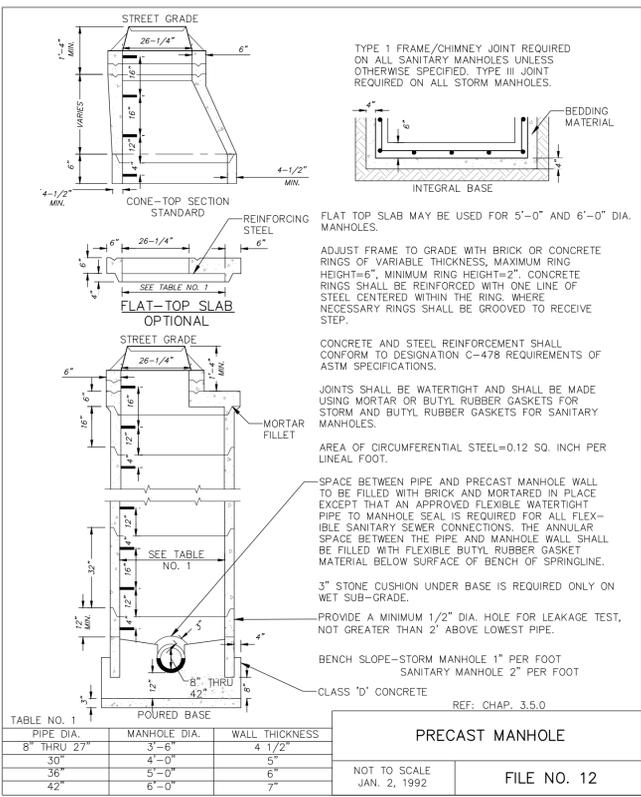


STANDARD GATE VALVE BOX SETTING
FILE NO. 37

PIPE DIA. INCHES	X=SETTING INCHES
2	6
3	7
4	8
6	12
8	13
10	17
12	21
16	30

NOTE: DETAIL FOR USE WITH PUBLIC FACILITIES PROJECTS WITHIN PUBLIC ROW.

REF: CHAP. 4.8.0

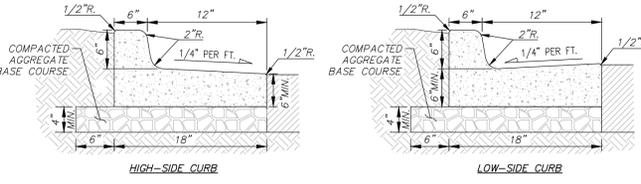


MANHOLE & INLET & CATCH BASIN STRUCTURE DETAIL PER FILE NO. 12.
STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN (NOT TO SCALE)

CATCH BASIN NOTES:

- CATCH BASIN (CB)**
REFER TO FILE NO. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, DETAIL ON THIS SHEET - ABOVE) EXCEPT:
- USE NEENAH CASTING R-2050 WITH TYPE C GRATE AT ALL PAVED FIELD INLET AREAS UNLESS OTHERWISE NOTED ON PLANS.
 - USE 48" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN.

CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.



18" CONCRETE CURB & GUTTER DETAIL
(NOT TO SCALE)

DESCRIPTION

DATE

16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Waukesha, WI | Irving, IL

OSCAR'S FROZEN CUSTARD TOWN OF BROOKFIELD

DETAILS

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DATE: 04/30/2025

SCALE: N.T.S.

JOB NO. 3240290

PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.

DESIGNED BY: CBW

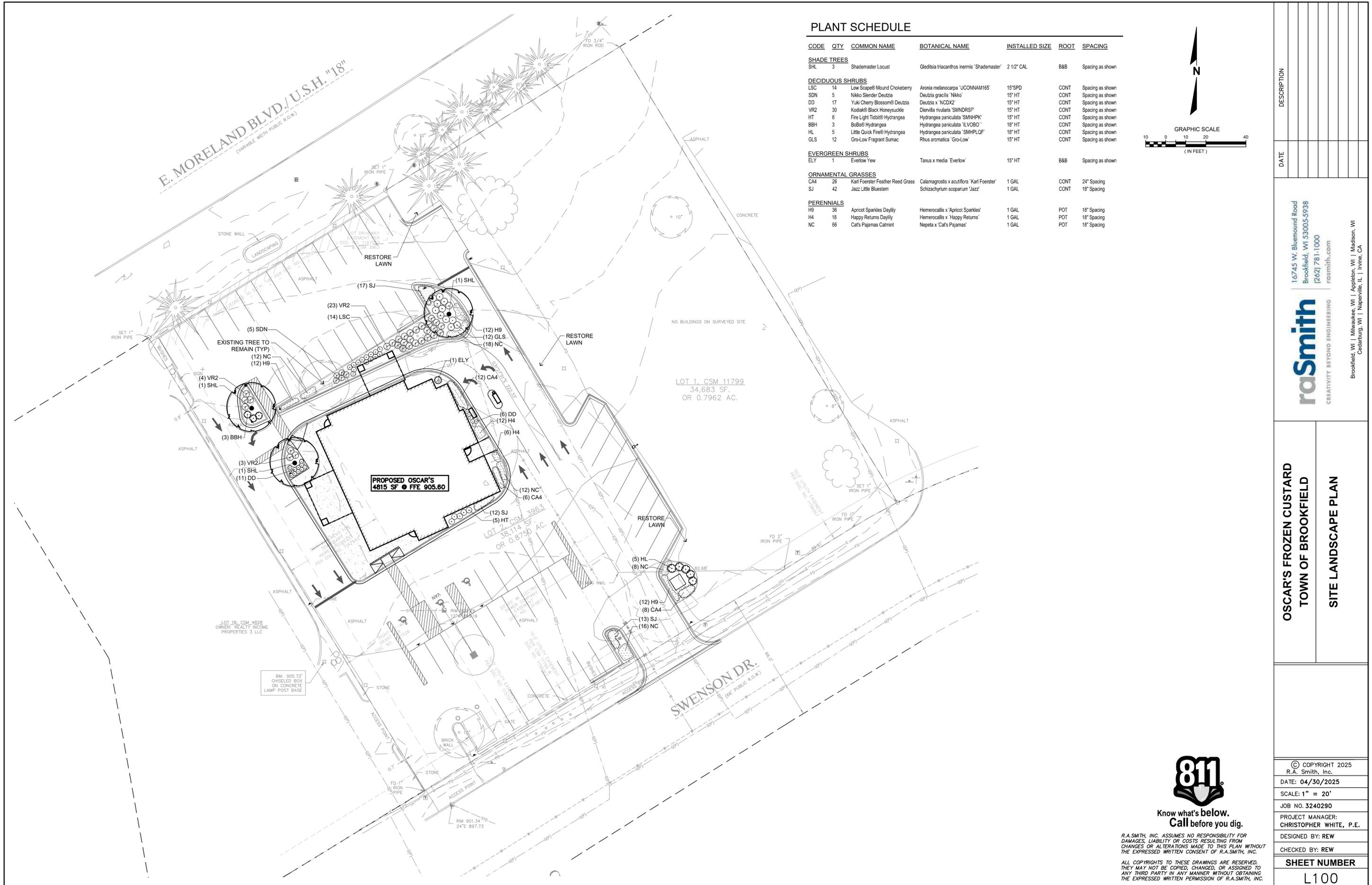
CHECKED BY: MAF

SHEET NUMBER
C501

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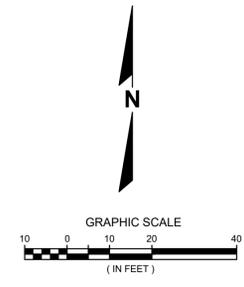
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DIVISION 1 – GENERAL REQUIREMENTS	DIVISION 31 – EARTHWORK	DIVISION 32 – EXTERIOR IMPROVEMENTS	DIVISION 33 – UTILITIES
<p>01 41 00 – REGULATORY REQUIREMENTS</p> <p>1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:</p> <ol style="list-style-type: none"> WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS WISCONSIN EROSION CONTROL PROTECTION ACCEPTABILITY LIST STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION IN WISCONSIN (SSSWCW) WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 381-387 WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED PRODUCT LISTS (APL) GENERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD) UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS LOCAL MUNICIPALITY DEVELOPMENT STANDARDS COUNTY DEVELOPMENT STANDARDS <p>2. THE OWNER, ENGINEER AND MUNICIPALITY SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION ACTIVITIES.</p> <p>3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES OF ALL PERMITS AND FOR ABIDING BY ALL PERMIT REQUIREMENTS AND RESTRICTIONS.</p> <p>4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO INITIATE, MAINTAIN, AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS, AND PROGRAMS IN CONNECTION WITH THE WORK.</p> <p>5. SHOP DRAWINGS AND/OR MANUFACTURER'S PRODUCT DATA SUBMITTALS ARE REQUIRED ONLY IF THE PRODUCT OR METHOD OF CONSTRUCTION IS DIFFERENT FROM THAT SPECIFIED OR IF REQUIRED BY THE MUNICIPAL ENGINEER.</p> <ol style="list-style-type: none"> DOCUMENTS SUBMITTED FOR REVIEW SHALL HAVE THE SPECIFIC MATERIAL, PART, SIZE, ETC., HIGHLIGHTED IN SOME FASHION. EXAMPLE: A FITTING CUT SHEET HAS MULTIPLE PRESSURE RATING FOR DIFFERENT SIZE BENDS. HIGHLIGHT THE PRESSURE CLASS & SIZE TO BE USED ON PROJECT. ALL SUBMITTALS MUST BE FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE CONTRACTOR SHALL SUBMIT A PDF COPY AND AN EXPLANATION AS TO HOW THE SUBSTITUTION MEETS THE PROPOSED DESIGN (PRODUCT SPECIFICATION SHEETS WITHOUT EXPLANATION WILL NOT BE ACCEPTED) TO THE OWNER'S REPRESENTATIVE OR ENGINEER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL NOT PROCEED UNTIL THE OWNER'S APPROVAL IS GIVEN. IN PROJECT SCHEDULING CONTRACTOR SHALL ACCOUNT FOR WORKING DAYS FOR SUBMITTAL REVIEW. IN THE EVENT SUCH SUBSTITUTION IS APPROVED, THE OWNER WILL REQUIRE FROM THE CONTRACTOR A CREDITED DEDUCTION FROM THE CONTRACT AMOUNT EQUAL TO ANY SAVINGS IN MATERIAL COST RESULTING FROM USE OF THE PROPOSED SUBSTITUTE. THE CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR THE QUALITY OF WORK. IF CHANGES OR ADJUSTMENTS ARE RECOMMENDED BY THE CONTRACTOR, THEY MAY BE MADE ONLY UPON WRITTEN APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE. <ol style="list-style-type: none"> ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE CONTRACT DOCUMENTS. THE OWNER OR THEIR REPRESENTATIVE SHALL HAVE THE AUTHORITY TO REJECT MATERIALS, WORKMANSHIP, INTERPRETATION OF THE PLANS AND SPECIFICATIONS BY THE OWNER OR THEIR REPRESENTATIVE SHALL DETERMINE THE AMOUNT OF WORK PERFORMED AND THE QUALITY OF WORK. FAILURE OR NEGLIGENCE ON THE PART OF THE OWNER OR THEIR REPRESENTATIVE TO CONDEMN OR REJECT SUBSTANDARD OR INFERIOR WORK OR MATERIALS SHALL NOT BE CONSTRUED TO IMPLY AN ACCEPTANCE OF SUCH WORK OR MATERIALS, IF IT BECOMES EVIDENT AT ANY TIME PRIOR TO THE FINAL ACCEPTANCE OF THE WORK BY THE OWNER. NEITHER SHALL IT BE CONSTRUED AS BARING THE OWNER, AT ANY SUBSEQUENT TIME, FROM THE RECOVERY OF DAMAGES OR OF SUCH A SUM OF MONEY AS MAY BE NEEDED TO BUILD AROUND ALL PORTIONS OF THE SUBSTANDARD OR INFERIOR WORK OR REPLACEMENT OF IMPROPER MATERIALS, WHENEVER SUCH WORK OR MATERIALS ARE DISCOVERED. INSPECTORS EMPLOYED BY THE OWNER SHALL BE AUTHORIZED TO INSPECT ALL WORK DONE AND ALL MATERIAL FURNISHED. SUCH INSPECTION MAY EXTEND TO ALL OR ANY PART OF THE WORK AND TO THE PREPARATION, FABRICATION OR MANUFACTURE OF THE MATERIALS TO BE USED. THE INSPECTOR IS NOT TO BE AUTHORIZED TO APPROVE ANY REQUIREMENTS OF THE SPECIFICATIONS, NOR IS HE OR SHE AUTHORIZED TO APPROVE OR ACCEPT ANY PORTION OF THE COMPLETED PROJECT. HE SHALL CALL THE ATTENTION OF THE CONTRACTOR TO ANY FAILURE OF THE WORK OR MATERIALS TO CONFORM TO THE SPECIFICATIONS AND SHALL HAVE THE AUTHORITY TO REJECT MATERIALS. ANY DISPUTE BETWEEN THE INSPECTOR AND CONTRACTOR SHALL BE REFERRED TO THE OWNER OR THEIR REPRESENTATIVE. ANY ADVICE WHICH THE INSPECTOR MAY GIVE THE CONTRACTOR SHALL IN NO WAY BE CONSTRUED AS A CONTRACT OR OTHORITY TO RELEASE THE CONTRACTOR FROM FULFILLING THE OBLIGATIONS UNDER THE TERMS OF THE CONTRACT. ALL MATERIALS AND EACH PART OF DETAIL OF THE WORK SHALL BE SUBJECT AT ALL TIMES TO INSPECTION BY THE OWNER OR HIS AUTHORIZED REPRESENTATIVE OR THE AUTHORITY HAVING JURISDICTION OVER THE CONTRACT AND SHALL BE SUBJECT TO THE TRUE INTENT OF THE SPECIFICATIONS IN REGARD TO QUALITY OF MATERIALS, WORKMANSHIP, AND THE DILIGENT EXECUTION OF THE CONTRACT. SUCH INSPECTION MAY INCLUDE MILL, PLANT OR SHOP INSPECTION, AND ANY MATERIAL FURNISHED UNDER THESE SPECIFICATIONS IS SUBJECT TO SUCH REVIEW. THE OWNER OR HIS REPRESENTATIVE SHALL BE ALLOWED ACCESS TO ALL PART OF THE WORK, AND SHALL BE FURNISHED WITH SUCH INFORMATION AND ASSISTANCE BY THE CONTRACTOR AS IS DETERMINED BY THE OWNER OR HIS REPRESENTATIVE, TO MAKE A COMPLETE AND DETAILED INSPECTION. ALL WORKMANSHIP SHALL CONFORM TO THE BEST STANDARD PRACTICE. UNLESS OTHERWISE SPECIFIED, THE SPECIFICATIONS OR RECOGNIZED ASSOCIATION OF MANUFACTURERS AND CONTRACTORS OR INDUSTRIAL MANUFACTURERS SHALL BE USED AS GUIDES FOR THE STANDARDS OF WORKMANSHIP. EXPOSED ITEMS OF WORK SHALL PRESENT A NEAT WORKMANLIKE APPEARANCE AND SHALL BE AS TRUE TO SHAPE AND ALIGNMENT AS POSSIBLE TO OBTAIN WITH MEASURING OR LEVELING INSTRUMENTS GENERALLY USED IN THE RESPECTIVE TYPES OF WORK. ITEMS OF WORK SHALL BE SOUND AND FULLY PROTECTED AGAINST DAMAGE AND PREMATURE DETERIORATION. IT IS SPECIFICALLY UNDERSTOOD THAT IN ALL QUESTIONS OF QUALITY AND ACCEPTABILITY OF WORKMANSHIP, THE CONTRACTOR AGREES TO ABIDE BY THE DECISION OF THE OWNER OR THEIR REPRESENTATIVE. ALL MATERIALS AND WORKMANSHIP NOT CONFORMING TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS SHALL BE CONSIDERED AS DEFECTIVE, AND ALL SUCH MATERIALS, WHEN IN PLACE OR NOT, SHALL BE REJECTED AND SHALL BE REMOVED FROM THE WORK BY THE CONTRACTOR AT HIS EXPENSE. UPON FAILURE ON THE PART OF THE CONTRACTOR TO COMPLY WITH ANY ORDER OF THE OWNER RELATIVE TO THE PROVISIONS OF THIS ARTICLE, THE OWNER SHALL HAVE THE AUTHORITY TO REMOVE AND REJECT DEFECTIVE MATERIAL AND TO DIRECT THE CONTRACTOR TO REPAIR, REWORK AND REPLACEMENT FROM ANY MONIES DUE OR WHICH MAY BECOME DUE TO THE CONTRACTOR. THE CONTRACTOR SHALL KEEP A LEGIBLE COPY OF THE PLANS, SPECIFICATIONS, AND ALL PERMITS AT THE SITE OF THE WORK AT ALL TIMES. AT THE COMPLETION OF THE WORK AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL PROVIDE THE OWNER OR THEIR REPRESENTATIVE WITH A MARKED-UP SET OF DRAWINGS SHOWING ALL CHANGES OR VARIATIONS FROM THE ORIGINAL DRAWINGS. THESE CHANGES SHALL BE MADE ON A SET OF FIELD DRAWINGS AT THE WORK TAKEN PLACE. NOT ALL CHANGES TO THE ORIGINAL SET OF DRAWINGS SHOULD BE KEPT CLEAN IN A LOCATION AT THE SITE WHERE THE OWNER OR THEIR REPRESENTATIVE MAY EXAMINE THEM. THE MARKED-UP DRAWINGS SHALL BE ACCURATE. ARBITRARY MARKINGS ARE OF NO VALUE. CAREFUL MEASUREMENTS SHALL BE MADE TO LOCATE UNDERGROUND EXTERIOR AND UNDERGROUND INTERIOR SEWERS, GAS LINES, WATER LINES, ELECTRICAL CONDUIT AND MISCELLANEOUS PIPING. THE CONTRACTOR IS RESPONSIBLE FOR ALL TRAFFIC CONTROL, TRAFFIC CONTROL PLANS AND PERMITTING FOR ALL WORK TO BE COMPLETED ONSITE OR IN THE PUBLIC RIGHT-OF-WAY. 	<p>31 10 00 – SITE CLEARING & DEMOLITION</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOSTS, STUMPS, RUBBISH, AND OTHER PERSHABLE MATTER INTERFERING WITH NEW CONSTRUCTION. REMOVE EXISTING ABOVE-GRADE AND BUILT-UP STRUCTURES AND LABOR TO COMPLETE THE ITEM IN PLACE. CALL 811 TO NOTIFY UTILITY PROVIDERS, AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES. ISOLATION JOINTS SHALL EXIST AT COMMENCING ANY CONSTRUCTION RELATED ACTIVITY. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. SAW/CUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER. VOIDS LEFT BY REMOVALS SHALL BE LEVELLED TO PREVENT PONDING OF WATER. REMOVE AND DEMOLISH MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION. <p>31 20 00 – EARTH MOVING</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND DRAINAGE DURING CONSTRUCTION. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD OBSERVATIONS AND TESTS. THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED INCAPABLE OF BEING REMOVED BY THE CONTRACTOR. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE WITHIN GREENSPACE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSISTENT IN ONE DIRECTION. DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING CONSTRUCTION SHALL BE PERFORMED WITH A HEAVY DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERGUT IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVATE WATER PONDING, SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND TEMPORARY DITCHES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND SURVEYING, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. TOPSOIL REPLACEMENT DEEP SHALL AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF SIX INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN. TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 12 INCHES. TOPSOIL IN PARKING ISLANDS SHALL BE IN ACCORDANCE WITH THE APPLICABLE WDMR TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE. ALL ACTIVITIES ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS. ALL EXPOSED ITEMS OF WORK SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS AS NEEDED. ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED, DEPENDING UPON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISDOT STANDARD SPECIFICATIONS. WHEAT OR RYE SHALL BE USED FOR TEMPORARY SEED AFTER SEPTEMBER. DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM). ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING, OR OTHER APPROPRIATE MEASURES. THE CONTRACTOR SHALL BE PREPARED FOR REMEDIATION CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC TRUCKS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MEASURES. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ALL SEEDED AREAS SHALL BE FERTILIZED, RESEED, AND MULCHED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER. <p>31 25 00 – EROSION & SEDIMENTATION CONTROLS</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF INSTALLATION OF TEMPORARY AND PERMANENT PRACTICES FOR SEDIMENTATION CONTROL, EROSION CONTROL, SLOPE PROTECTION, AND REMOVAL OF PRACTICES UPON FINAL SITE STABILIZATION. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. INSTALLATION OF PRACTICES SHALL BE IN ACCORDANCE WITH THE APPLICABLE WDMR TECHNICAL STANDARD, OR THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK IF A TECHNICAL STANDARD IS NOT AVAILABLE. ALL PRACTICES SHALL BE INSTALLED PRIOR TO COMMENCING ANY LAND DISTURBING CONSTRUCTION RELATED ACTIVITY. EARTHWORK ASSOCIATED WITH INSTALLATION OF PRACTICES MAY OCCUR CONCURRENTLY. ALL PRACTICES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT AND WARRANTY PERIOD IN CONFORMANCE WITH PERMIT REQUIREMENTS. ALL EXPOSED ITEMS OF WORK SHALL BE ROUTINELY INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS OF A RAINFALL GREATER THAN 0.5 INCHES. THE CONTRACTOR IS REQUIRED TO PERFORM INSPECTIONS, KEEP A LOG, AND CONDUCT REPAIRS AS NEEDED. ALL DISTURBED AREAS SHALL DRAIN TO A CONTROL PRACTICE AT ALL TIMES DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED, DEPENDING UPON HOW THE CONTRACTOR GRADES THE SITE, IT MAY BE NECESSARY TO INSTALL ADDITIONAL CONTROL PRACTICES IN VARIOUS LOCATIONS THROUGHOUT THE PROJECT SITE. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ANY ADDITIONAL CONTROL PRACTICES NECESSARY TO PREVENT EROSION AND SEDIMENTATION. ALL DISTURBED GROUND LEFT INACTIVE FOR 7 DAYS SHALL BE STABILIZED WITH A TEMPORARY SEED MIXTURE AND MULCH. THE TEMPORARY SEED MIXTURE SHALL BE IN ACCORDANCE WITH SECTION 630 OF WISDOT STANDARD SPECIFICATIONS. WHEAT OR RYE SHALL BE USED FOR TEMPORARY SEED AFTER SEPTEMBER. DISTURBED AREAS THAT CAN NOT BE STABILIZED WITH A DENSE GROWTH OF VEGETATION DUE TO TEMPERATURE OR TIMING OF CONSTRUCTION SHALL BE STABILIZED BY APPLYING ANIONIC POLYACRYLAMIDE (PAM). ALL ACTIVITIES ON THE PROJECT SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. DUST GENERATED BY CONSTRUCTION RELATED ACTIVITIES SHALL BE MINIMIZED BY USE OF WATERING, CALCIUM CHLORIDE SURFACE TREATMENT, CONSTRUCTION SCHEDULING, OR OTHER APPROPRIATE MEASURES. THE CONTRACTOR SHALL BE PREPARED FOR REMEDIATION CONDITIONS BY HAVING APPROPRIATE PUMPS AND FILTER BAGS ONSITE. ALL WATER FROM CONSTRUCTION DEWATERING SHALL BE TREATED PRIOR TO DISCHARGE FROM THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE PROJECT SITE AND PUBLIC ROADS DURING CONSTRUCTION. PUBLIC TRUCKS SHALL BE KEPT FREE OF SEDIMENT TRACKED FROM AREAS UNDER CONSTRUCTION BY DAILY SWEEPING OR OTHER APPROPRIATE MEASURES. FINAL STABILIZATION OF LANDSCAPED AREAS SHALL BE IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN. ALL SEEDED AREAS SHALL BE FERTILIZED, RESEED, AND MULCHED IN ACCORDANCE WITH THE APPROVED LANDSCAPE PLAN TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER. 	<p>32 10 00 – ASPHALT PAVING</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ASPHALT PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW SHALL BE FORMATTED USING WISDOT MIX DESIGN STANDARD DATA INPUT FORM/REPORT 249. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP; TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE INSTALLATION; TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE. (NO MINUS). APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. <p>32 13 00 – CONCRETE PAVING</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS: <ol style="list-style-type: none"> SECTION 405– COLORED AND STAMPED CONCRETE PAVING SECTION 415– CONCRETE PAVEMENT SECTION 416– CONCRETE PAVEMENT REPAIR SECTION 601– CONCRETE CURBING SECTION 602– CONCRETE SIDEWALK AND PATIO PAVING CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M. AIR-ENTRAINMENT SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260. 	<p>32 30 00 – SANITARY SEWERAGE</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 110, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW. POLYVINYL CHLORIDE (PVC) PIPE, AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.1.0.6 AND 8.1.1.4 OF SSSWCW. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.4.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE, PRIVATE WATER MAIN PIPE, AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 400 FEET. PROPOSED SERVICE SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK. THE CONTRACTOR SHALL MAINTAIN ALL VALVE BOXES TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.15.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR. <p>33 30 00 – STORMWATER DRAINAGE</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE STORMWATER DRAINAGE SYSTEM AND ALL APPURTENANCES. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ALL PUBLIC STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW. ALL PRIVATE STORMWATER DRAINAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382 AND MUNICIPALITY DEVELOPMENT STANDARDS. REINFORCED CONCRETE PIPE (RCP) AND END SECTIONS SHALL BE IN ACCORDANCE WITH SECTION 8.6.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM C443. UNLESS NOTED OTHERWISE, 12-INCH DIAMETER RCP SHALL BE CLASS IV, 15-INCH DIAMETER RCP SHALL BE CLASS IV, AND 18-INCH DIAMETER PIPE AND LARGER SHALL BE CLASS III. CORRUGATED METAL PIPE (CMP) AND END SECTIONS SHALL BE 12 GAUGE CONFORMING TO ASTM A760. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE ADS N12 WT IB PIPE CONFORMING TO ASTM F2648 WITH WATER TIGHT JOINTS CONFORMING TO ASTM D3212, GASKETS CONFORMING TO ASTM F477 AND FITTINGS CONFORMING TO ASTM F2306. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3304 WITH PUSH-ON RUBBER GASKETED JOINTS CONFORMING TO ASTM D3212. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.4.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. CATCH BASINS SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. INlets SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 3.6.0 OF SSSWCW AND CONFORM TO ASTM C913. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. AREA DRAINS SHALL BE ADS NYLOPLAST AS APPROVED BY THE WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PLUMBING PRODUCTS REGISTER. FRAMES AND GRATES SHALL BE AS INDICATED. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FRAMES AND GRATES ARE COMPATIBLE WITH PRECAST STRUCTURES PRIOR TO ORDERING. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. ALL CONNECTIONS TO EXISTING STORM SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. FLEXIBLE COMPRESSION COUPLINGS SHALL BE USED IN THE CONNECTION OF DISSIMILAR PIPE MATERIALS. CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE. TRACER WIRE SHALL BE BROWN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.1 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC STORM SEWER PIPE, PRIVATE STORM INTERCEPTOR PIPE, AND BUILDING STORM SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 400 FEET. FIELD THE ENCOUNTERED DURING CONSTRUCTION SHALL BE CONNECTED TO THE STORMWATER DRAINAGE SYSTEM. IF THIS CANNOT BE ACCOMPLISHED, THEN IT SHALL BE REPAIRED WITH NEW PIPE OF SIMILAR SIZE AND MATERIAL. DOCUMENTATION OF SUCH FIELD TILE SHALL BE PROVIDED TO THE OWNER. PROPOSED STORM SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. CONNECTIONS, DOWNSPOUTS SHALL BE PER DETAILS ON THE BUILDING PLUMBING PLAN. THE EXACT LOCATION OF DOWNSPOUTS SHALL BE PER THE ARCHITECTURAL PLANS. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS AND INLETS TO FINISHED SURFACE. AFTER INSTALLATION OF STORMWATER DRAINAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. REPAIR ANY DAMAGE.
<p>01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS</p> <ol style="list-style-type: none"> THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE WITH THIS PLAN. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATE TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES WILL BE ISSUED. OFFICIAL WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE. IF ANY DISCREPANCIES ARE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS ISSUED. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT. 	<p>32 10 00 – ASPHALT PAVING</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ASPHALT PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW SHALL BE FORMATTED USING WISDOT MIX DESIGN STANDARD DATA INPUT FORM/REPORT 249. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP; TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE INSTALLATION; TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE. (NO MINUS). APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL/SY. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK. <p>32 13 00 – CONCRETE PAVING</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS: <ol style="list-style-type: none"> SECTION 405– COLORED AND STAMPED CONCRETE PAVING SECTION 415– CONCRETE PAVEMENT SECTION 416– CONCRETE PAVEMENT REPAIR SECTION 601– CONCRETE CURBING SECTION 602– CONCRETE SIDEWALK AND PATIO PAVING CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M. AIR-ENTRAINMENT SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260. 	<p>33 30 00 – SANITARY SEWERAGE</p> <ol style="list-style-type: none"> WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 110, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW. POLYVINYL CHLORIDE (PVC) PIPE, AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.1.0.6 AND 8.1.1.4 OF SSSWCW. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.4.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH AND WITHIN 5 FEET OF PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. FLEXIBLE COMPRESSION COUPLINGS SHALL BE USED IN THE CONNECTION OF DISSIMILAR PIPE MATERIALS. CLEANOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED FOOT TRAFFIC AREAS. HEAVY DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE. TRACER WIRE SHALL BE BROWN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.1 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC STORM SEWER PIPE, PRIVATE STORM INTERCEPTOR PIPE, AND BUILDING STORM SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER	



PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING
SHADE TREES						
SHL	3	Shademaster Locust	Gleditsia triacanthos inermis 'Shademaster'	2 1/2" CAL	B&B	Spacing as shown
DECIDUOUS SHRUBS						
LSC	14	Low Scape® Mound Chokeberry	Aronia melanocarpa 'UCONNAM165'	15" SPD	CONT	Spacing as shown
SDN	5	Nikko Stender Deutzia	Deutzia gracilis 'Nikko'	15" HT	CONT	Spacing as shown
DD	17	Yuki Cherry Blossom® Deutzia	Deutzia x 'NCDX2'	15" HT	CONT	Spacing as shown
VR2	30	Kodiak® Black Honeysuckle	Diervilla rivularis 'SMNDRSF'	15" HT	CONT	Spacing as shown
HT	6	Fire Light Tidbit® Hydrangea	Hydrangea paniculata 'SMNHPK'	15" HT	CONT	Spacing as shown
BBH	3	BoBo® Hydrangea	Hydrangea paniculata 'LVBOBO'	18" HT	CONT	Spacing as shown
HL	5	Little Quick Fire® Hydrangea	Hydrangea paniculata 'SMHPLOF'	18" HT	CONT	Spacing as shown
GLS	12	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	15" HT	CONT	Spacing as shown
EVERGREEN SHRUBS						
ELY	1	Everlow Yew	Taxus x media 'Everlow'	15" HT	B&B	Spacing as shown
ORNAMENTAL GRASSES						
CA4	26	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing
SJ	42	Jazz Little Bluestem	Schizachyrium scoparium 'Jazz'	1 GAL	CONT	18" Spacing
PERENNIALS						
H9	36	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT	18" Spacing
H4	18	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	1 GAL	POT	18" Spacing
NC	66	Cat's Pajamas Catmint	Nepeta x 'Cat's Pajamas'	1 GAL	POT	18" Spacing



DATE	DESCRIPTION

16745 W. Bluemound Road
 Brookfield, WI 53005-5938
 (262) 781-1000
raSmith
 CREATIVITY BEYOND ENGINEERING
 rasmith.com

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
 Cedarburg, WI | Naperville, IL | Irvine, CA

**OSCAR'S FROZEN CUSTARD
 TOWN OF BROOKFIELD
 SITE LANDSCAPE PLAN**



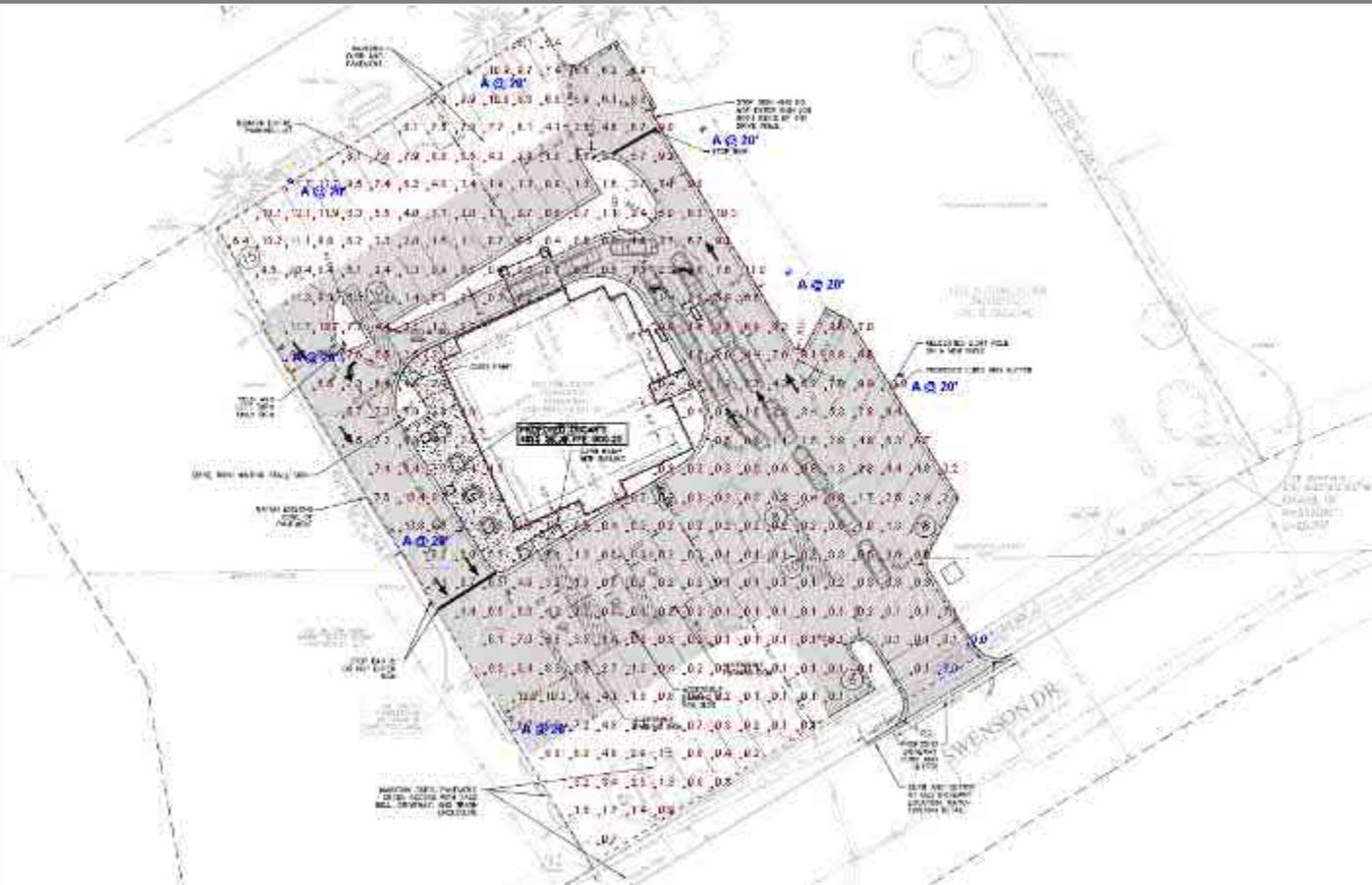
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DATE: 04/30/2025
SCALE: 1" = 20'
JOB NO. 3240290
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.
DESIGNED BY: REW
CHECKED BY: REW
SHEET NUMBER
L100



Layout



Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A	8	Industrial Lighting Products Inc	VAM-28L-U-40-T3-[PMB;SLPF]	Viewpoint Area Light Medium, 28,000 Lumen, 4,000K, Type 3 Polycarbonate Lens	1	28832	0.9	194.69

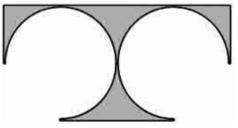
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Layout	+	3.7 fc	12.1 fc	0.0 fc	N/A	N/A

Note

1. Dimensions:
2. Mounting Height: 20
3. Calc Zone: 0
4. Reflectances:

Calculations provided are estimates only.

Designer
Bryan Schneider
Date
04/29/2025
Scale
Not to Scale
Drawing No.
Summary



TDI ASSOCIATES, INC.
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE: (262) 409-2530



OSCAR'S FROZEN
CUSTARD BROOKFIELD

21165 E. Moreland Blvd
Brookfield, WI 53106

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Sheet Title
FIRST FLOOR
OVERALL PLAN

Revision:

No.	Description	Date

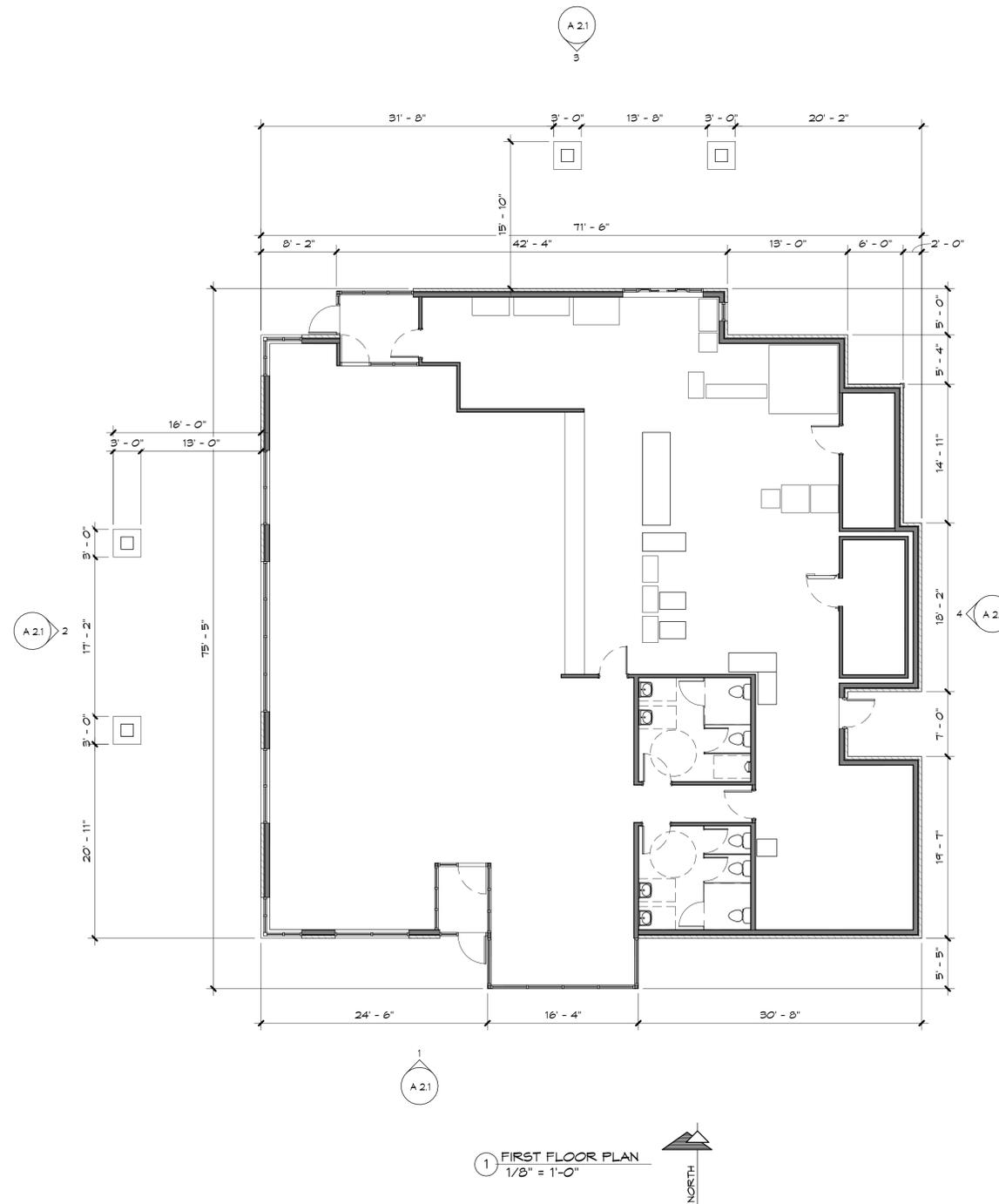
Date: 4/30/2025

Job No. 25104

Drawn By: HAC

Sheet No.

A 1.1





1 NORTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



4 EAST ELEVATION
1/8" = 1'-0"

MATERIAL LEGEND	
NOTE #	MATERIAL
1	6" COMPOSITE SIDING
2	2" VENEER STONE
3	ARCHITECTURAL METAL PANELS
4	STORE FRONT SYSTEM, 1" THERMALLY BROKEN GLASS
5	ALUM. ENTRY DOOR
6	PREFINISHED ALUM. CAP
7	DIMENSIONAL SHINGLES
8	PAINTED E.I.F.S. WALL SYSTEM
9	PREFINISHED ALUM. TRIM
10	OUTDOOR DINING OVERHANG
11	RED FABRIC WINDOW AWNING
12	6" COMPOSITE TRIM
13	PREFINISHED DECORATIVE OVERHANG
14	COLUMN PAINTED TO MATCH TRIM
15	STONE CAP
16	FLAVOR OF THE DAY SIGN - 42 S.F.
17	DECORATIVE CONE FEATURE - 45 S.F.
18	OSCAR'S LOGO SIGN - 25 S.F.
19	1" REVEAL
20	DRIVE THRU OVERHANG
21	OSCAR'S LOGO DRIVE THRU - 41 S.F.
22	STONE SILL/LINTIL
23	DRIVE THRU WINDOW
24	PAINTED INSULATED HOLLOW MTL. DOOR



OSCAR'S FROZEN
CUSTARD BROOKFIELD

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Brookfield, WI 53106

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Sheet Title
EXTERIOR
ELEVATIONS

Revision:

No.	Description	Date

Date: 4/30/2025

Job No. 25104

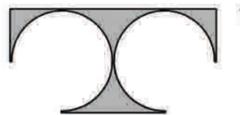
Drawn By: HAC

Sheet No.

A 2.1



OSCARS FROZEN CUSTARD
BROOKFIELD

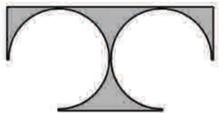


TDI ASSOCIATES, INC.
ARCHITECTURE & PLANNING
25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE 262-499-2539

APRIL 30th, 2025



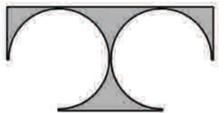
OSCARS FROZEN CUSTARD
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25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE 262-499-2539
APRIL 30th, 2025



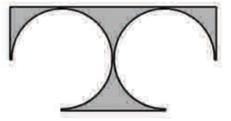
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APRIL 30th, 2025



OSCARS FROZEN CUSTARD
BROOKFIELD



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ARCHITECTURE & PLANNING
25217 SOUTH WIND LAKE ROAD
WIND LAKE, WISCONSIN 53185
PHONE 262-499-2539
APRIL 30th, 2025



Strand Associates, Inc.®
910 West Wingra Drive
Madison, WI 53715
(P) 608.251.4843
www.strand.com

April 29, 2025

Mr. Bryce Hembrook
Town of Brookfield
645 North Janacek Road
Brookfield, WI 53045

Re: Oscar's Custard Redevelopment
Town of Brookfield, Wisconsin (Town)

Dear Bryce,

Strand Associates, Inc.® (Strand) has finished its initial review of the plan package for the Oscar's Custard Redevelopment that was received from the Town on April 22, 2025, for conformance with the Town specifications and general engineering practices. Before construction may begin, the contractor shall submit all required permits for the redevelopment to the state, Wisconsin Department of Natural Resources, Town, and any other relevant agencies. New drawings and a letter describing the revisions should be returned to Strand after the following concerns have been addressed.

Demolition and Erosion Control Plan–Sheet C100

1. Based on Google Street View, there appears to be an existing inlet located within the middle of the parking lot between the front of the building and Swenson Drive. If this is still here, inlet protection should be provided.
2. It is anticipated that the existing asphalt on the site that will remain in place near the existing western entrance off Swenson Drive and the back parking lot will see substantial wear and tear during construction. It is recommended that both areas be replaced with new asphalt like the rest of the site.

Site Plan–Sheet C200

1. Provide details on the proposed asphalt pavement and concrete sidewalk thickness.
2. Pavement marking arrows should be provided on the eastern driveway entrance to indicate whether this is only an entrance driveway or an entrance and exit driveway.
3. Pavement marking arrows should be provided on the western driveway entrance to indicate whether this is only an exit driveway or an entrance and exit driveway.
4. It is not clear whether the sidewalk on the east side of the proposed building is an entrance for customers or a private entry for employees. Regardless, there is no crosswalk pavement marking for safe access to the parking lot.

Mr. Bryce Hembrook
Town of Brookfield
Page 2
April 29, 2025

5. It should be verified that there is sufficient space for four waiting vehicles at each drive-through service lane in accordance with Section 17.06(3)(h)2.i of the Town Zoning Code.
6. Provide signage or pavement marking to discourage vehicles from using the space that will become the access into Lot 1 in the future.

Truck Access Plan–Sheet C201

1. The truck path shown was developed with the “turn wheels from stop” option checked. At every click, the truck was free to turn its wheels as if it was stopped and resulted in the disjointed and nonsmoothed center line path. The truck should be driven through the site again with that option unchecked to verify that it can navigate the site.
2. Provide an exhibit that shows the turning path for the largest delivery vehicle or garbage truck, whichever is larger.

Grading Plan–Sheet C300

1. The pedestrian ramp at the northwest corner has a slope greater than is allowable. Provide a warning field at this ramp. Indicate the ramp slope percentage on the drawings. Please explain the purpose of the two locations where pedestrian pavement markings at this ramp extend into a travel lane to the west, and into the north section of the parking lot.
2. Provide a warning field at the southwest ramp. Indicate the ramp slope percentage on the drawings.
3. Verify where the handicapped accessible signposts will be located for the accessible parking stalls. The current locations appear that the signposts will encroach into the 18-foot-long parking stall.
4. Verify the accessible route for the easternmost handicapped accessible parking stall.
5. It appears the travel lane width between the accessible stalls and the flag of the curb and gutter to the north is only 23 feet in width. Please indicate the actual width of the travel lanes on the drawings.

Utility Plan

1. It is not clear whether new sanitary and water services will be constructed and connect to the existing mains within the Swenson Drive right-of-way. A utility plan should be provided if the proposed utility work will be completed.

Landscape Plan

1. The landscape plan should be provided for review when available.

Mr. Bryce Hembrook
Town of Brookfield
Page 3
April 29, 2025

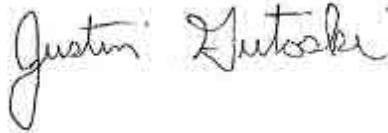
Lighting Plan

1. It should be verified there is no proposed lighting or photometric plan for the site.

Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®

A handwritten signature in black ink that reads "Justin J. Gutoski". The signature is written in a cursive style with a large initial 'J'.

Justin J. Gutoski, P.E.

c: Tom Hagie, Town Administrator, Town of Brookfield
Tony Skof, Town of Brookfield Sanitary District No. 4
Scott Hartung, Department of Public Works Superintendent, Town of Brookfield



April 25, 2025

Town of Brookfield

645 N Janacek Rd

Brookfield, WI 53045

RE: Bancroft Engineering – Building Addition

To Whom It May Concern,

On behalf of Bancroft Engineering, a welding equipment fabricator, we respectfully submit this proposal for a 7,653 square foot addition to their existing facility. This addition will be dedicated to the assembly and loading of welding equipment as well as improving operational efficiency. The architectural design of the addition will match the existing building's aesthetics to ensure a cohesive appearance.

Project Details:

- **Size:** 7,653 square foot addition
- **Purpose:** Assembly and loading of welding equipment
- **Parking:** Existing 20 parking spaces will remain unchanged
- **Employment:** Current workforce of 16 employees, with anticipated increase to 20 employees. Bancroft operates on a single work shift.
- **Timeline:** Construction is planned to begin in Fall 2025, with completion expected in Spring 2026

Variance Request:

To comply with the fire department's requirement for a fire lane, the proposed paving extends to the lot line, which does not meet the town's pavement setback standards. We kindly request a variance for this configuration, supported by the following:

1. The paving is essential to fulfill the fire department's fire lane mandate.
2. The existing drive lane already deviates from the setback requirement, and this addition maintains consistency with the current layout.



Keller

Bancroft Engineering Narrative

We believe this addition will enhance Bancroft Engineering's operations while preserving the site's existing parking and employment structure. The requested variance is critical to ensuring compliance with fire safety standards.

Thank you for your time and consideration of this proposal. We look forward to your feedback and hope to commence construction in Fall 2025, with completion by Spring 2026. Please feel free to contact Keller, Inc. with any questions or additional requirements.

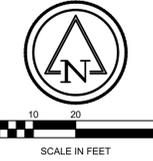
OWNER	Bancroft Engineering 21550 Doral Rd Waukesha, WI 53186
ARCHITECT/ BUILDER	Keller, Inc. Luke Sebald (Project Manager) Chris Manske (Architect) W204 N11509 Goldendale Road Germantown, WI 53022 (262) 250-9710 office (414) 397 0526 cell lsebald@kellerbuilds.com
CIVIL ENGINEER	Axiom Consultants (A Ruekert-Mielke Company) Colin Meisel 1400 Lombardi Ave. Green Bay, WI 54304 (920) 393-6551 office (920) 810-5647 cell cmeisel@ruekert-mielke.com

CSS COMMERCIAL LLC
21700 DORAL RD
TAX KEY: BKFT1126014

POPLAR ENTERPRISES LLO
21600 DORAL RD
TAX KEY: BKFT1126008

FOXHAVEN LLC
TAX KEY: BKFT1083965004

LIFE NAVIGATOR'S TRUST I AND NICHOLE VAN DER MERWE
21500 DORAL RD
TAX KEY: BKFT1126009



Keller
PLANNERS ARCHITECTS BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 520
Kaukauna, WI 54130
Phone (920)766-5795
1-800-236-2534
Fax (920)766-5004

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3308 Nursery Drive
Middleton, WI 53562
Phone (608)445-2245

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Goldendale Rd
Germantown, WI 53022
Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

www.kellerbuilds.com

PROPOSED FOR:
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21550 DORAL RD
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REVISIONS

PROJECT MANAGER: L. SEBALD

DESIGNER: C. MEISEL

DRAWN BY: G. DEPREY

EXPEDITOR: -----

SUPERVISOR: -----

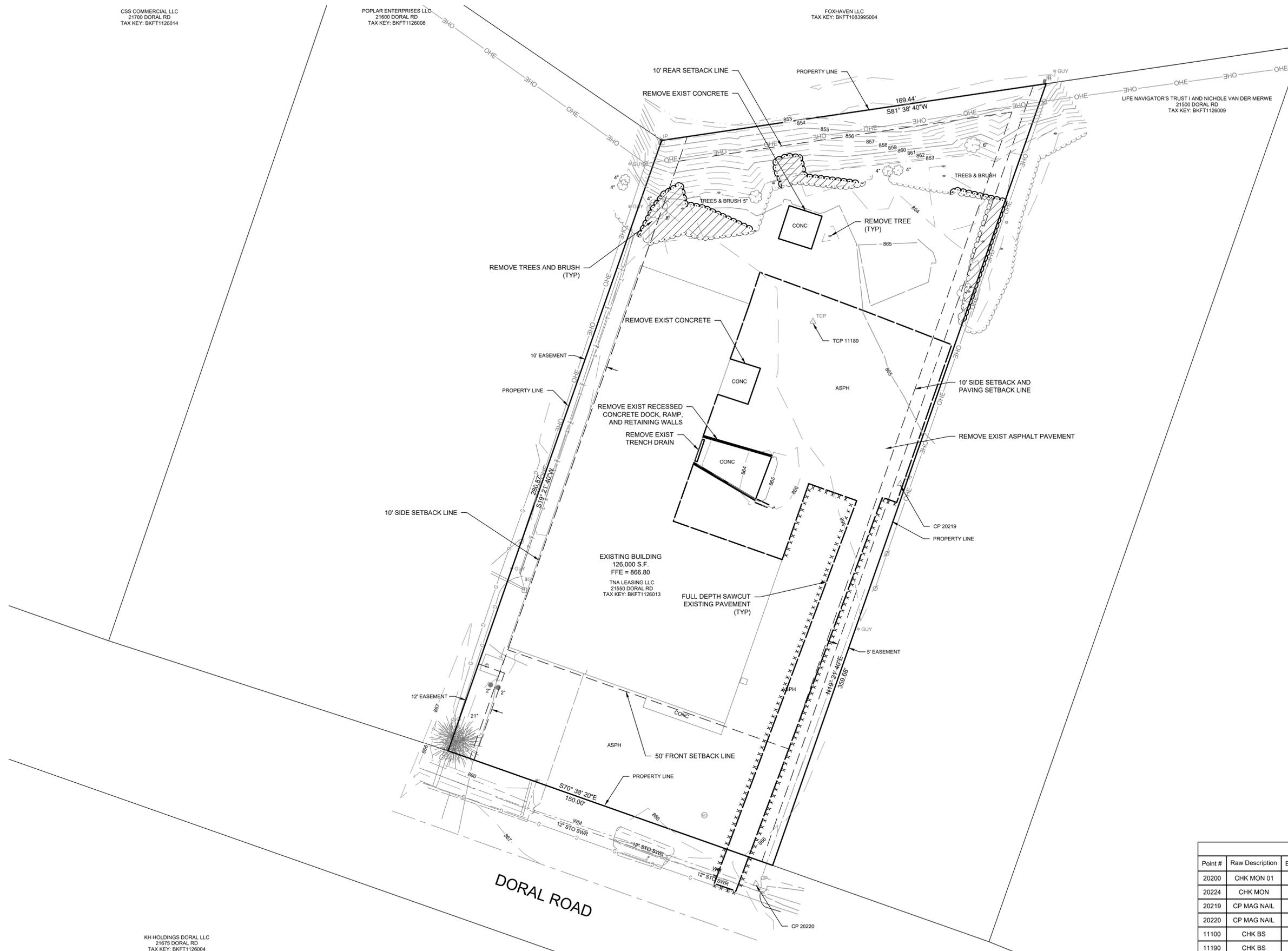
PRELIMINARY NO: -----

CONTRACT NO: -----

DATE: --/--/2025

SHEET: C3.0

Point #	Raw Description	Elevation	Northing	Easting
20200	CHK MON 01	888.82	383969.3950	2453446.1140
20224	CHK MON	842.67	386610.2510	2453406.6970
20219	CP MAG NAIL	865.34	385352.0940	2454768.8730
20220	CP MAG NAIL	865.80	385178.5020	2454705.9150
11100	CHK BS	865.80	385178.5500	2454705.9330
11190	CHK BS	865.37	385352.1160	2454768.8430



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EXISTING CONDITIONS & DEMOLITION PLAN

"ISSUED NOT FOR CONSTRUCTION"

Ruekert • Mielke
Waukesha • Kenosha • Madison
Global Water Center • Fox Valley
www.ruekertmielke.com

KH HOLDINGS DORAL LLC
21675 DORAL RD
TAX KEY: BKFT1126004

POPLAR ENTERPRISES LLC
21600 DORAL RD
TAX KEY: BKFT1126008

FOXHAVEN LLC
TAX KEY: BKFT1083995004

LIFE NAVIGATOR'S TRUST I AND NICHOLE VAN DER MERWE
21500 DORAL RD
TAX KEY: BKFT1126009

10' REAR SETBACK LINE

PROPOSED LIGHT RIP RAP (TYP)

PROPOSED DITCH

PROPOSED SILT FENCE (TYP)

PROPOSED BUILDING
1,233 SF
FF= 866.80

PROPOSED BUILDING
6,420 SF
FF= 866.80

PROPOSED INLET PROTECTION TYPE B

PROPOSED PERIMETER PROTECTION (TYP)

10' SIDE SETBACK AND PAVING SETBACK LINE

EXISTING BUILDING
12,280 S.F.
FFE = 866.80
TNA LEASING LLC
21550 DORAL RD
TAX KEY: BKFT1126013

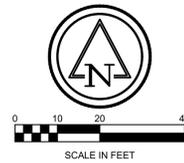
10' SIDE SETBACK LINE

5' EASEMENT

12' EASEMENT

50' FRONT SETBACK LINE

DORAL ROAD



Keller
PLANNERS ARCHITECTS BUILDERS

FOX CITIES
N216 State Road 55
P.O. Box 520
Kaukauna, WI 54130
Phone (920)766-5795
1-800-236-2534
Fax (920)766-5004

MADISON
3308 Nursery Drive
Madison, WI 53562
Phone (608)445-2245

MILWAUKEE
W204 N11509
Goldendale Rd
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Phone (262)250-9710
1-800-236-2534
Fax (262)250-9740

WAUSAU
5605 Lilac Ave
Wausau, WI 54401
Phone (715)849-3141
Fax (715)849-3181

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PROPOSED FOR:
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21550 DORAL RD
WAUKESHA, WISCONSIN

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REVISIONS

PROJECT MANAGER: L. SEBALD
DESIGNER: C. MEISEL
DRAWN BY: G. DEPREY
EXPEDITOR: _____
SUPERVISOR: _____
PRELIMINARY NO: _____
CONTRACT NO: _____
DATE: --/--/2025
SHEET: C4.0

- NOTES:**
- TOTAL SITE AREA: 1.10 ACRES.
 - TOTAL ESTIMATED AREA OF DISTURBANCE: 0.36 ACRES
 - MAINTAIN EXISTING VEGETATION IN STREET RIGHT OF WAY.

- CONSTRUCTION SEQUENCE**
- INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY LAND DISTURBING ACTIVITIES, AS SHOWN ON DRAWINGS AND DIRECTED BY ENGINEER.
 - CLEAR AND GRUB VEGETATION AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.
 - STRIP TOPSOIL AND STOCKPILE IN LOCATION AS SHOWN ON DRAWINGS AND AS DIRECTED BY OWNER. INSTALL PERIMETER SILT FENCE AROUND DOWN SLOPE SIDE OF STOCKPILE. STABILIZE STOCKPILE IMMEDIATELY UPON LAYUP.
 - REMOVE EXISTING STRUCTURE.
 - INSTALL, ADJUST AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES NECESSARY FOR EACH ACTIVE STAGE. MAINTAIN MEASURES AT THE END OF EACH DAY.
 - STAGE CONSTRUCTION BY WORK LOCATION. SUBSEQUENT STEPS MAY BE COMPLETED IN ALTERNATE SEQUENCE DEPENDING UPON CONTRACTOR OPERATIONS.
 - COMPLETE ROUGH GRADING.
 - INSTALL UNDERGROUND WATER DISTRIBUTION, AND STORM SEWER UTILITIES.
 - INSTALL STRUCTURE.
 - PREPARE PAVEMENT SUBGRADE.
 - INSTALL NEW PAVEMENT AND BASE LAYERS.
 - AREAS PLANNED TO BE INACTIVE FOR 7 DAYS OR LONGER SHALL BE TEMPORARILY STABILIZED FOLLOWING DNR TECHNICAL STANDARD 1059 SEEDING. THESE AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF BEING INACTIVE.
 - AREAS BROUGHT TO FINAL GRADE SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS.
 - COMPLETE FINAL RESTORATIONS INCLUDING BUT NOT LIMITED TO: TOPSOIL, TURF GRASS SEED, AND CLASS I TYPE B URBAN EROSION MATTING FOR ALL LAWN RESTORATION AND TOPSOIL, TURF GRASS SEED, AND CLASS II TYPE B EROSION MATTING FOR THE DRAINAGE SWALES AND SLOPES OF 4:1 OR MORE.
 - REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER 80% GROWTH DENSITY HAS OCCURRED IN 100% OF RESTORATION AREAS. CONTRACTOR SHALL OBTAIN OWNER AND ENGINEER APPROVAL PRIOR TO REMOVING THE MEASURE(S). RESTORE DISTURBED AREAS AROUND REMOVED DEVICES AND CLEAN SITE.

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EROSION CONTROL PLAN C4.0

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TAX KEY: BKFT1126014

POPLAR ENTERPRISES L.L.C.
21600 DORAL RD
TAX KEY: BKFT1126008

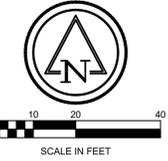
FOXHAVEN LLC
TAX KEY: BKFT1083965004

LIFE NAVIGATOR'S TRUST I AND NICHOLE VAN DER MERWE
21500 DORAL RD
TAX KEY: BKFT1126009

PROPOSED BUILDING
1,233 SF
FF= 866.80

PROPOSED BUILDING
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FF= 866.80

EXISTING BUILDING
12,280 S.F.
FFE = 866.80
TNA LEASING LLC
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5605 Lilac Ave
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REVISIONS table with columns for description and date.

PROJECT MANAGER, DESIGNER, DRAWN BY, EXPEDITOR, SUPERVISOR, PRELIMINARY NO, CONTRACT NO, DATE, SHEET information.

GRADING PLAN C6.0

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KH HOLDINGS DORAL LLC
21675 DORAL RD
TAX KEY: BKFT1126004

DORAL PROPERTIES LLC
21320 DORAL RD
TAX KEY: BKFT1126010

DORAL ROAD



ARC2 LED

Architectural Wall Luminaire



Catalog Number

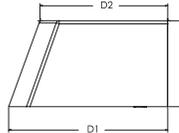
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 9.25"
- Depth (D2):** 7.5"
- Height:** 5"
- Width:** 14"
- Weight:** 11 lbs
(without options)



Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EM, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD

Series	Package	Color Temperature	Voltage	Options	Finish
ARC2 LED	P1 1,500 Lumens	30K 3000K	MVOLT 347 ¹	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ¹	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
	P2 2,000 Lumens	40K 4000K		E8WC Emergency battery backup, CEC compliant (8W, -20°C min) ¹	
	P3 3,000 Lumens	50K 5000K		PE Button type photocell for dusk-to-dawn operation	
	P4 4,000 Lumens			DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) ²	
	P5 6,500 Lumens			SPD6KV 6kV surge protection ¹	
			FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% ²		
			LDS18 18" Fixture leads		

Accessories

Ordered and shipped separately.

- WSB8W DDBXD U Surface - mounted back box (specify finish)

OWNER TO SELECT FINISH

NOTES

- 1 347V not available with E4WH, E8WC and SPD6KV.
- 2 FAO not available with DMG.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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ARC2 LED
Rev. 08/27/24

SHEET INDEX

- C1.0 CONCEPTUAL SITE PLAN
- A1.1 FLOOR PLAN - ENLARGED
- A1.0 FLOOR PLAN - OVERALL
- A2.0 ELEVATIONS

BUILDING & FIRE AREA SQUARE FOOTAGES

FLOOR AREAS	EXISTING	NEW	SUB-TOTAL
SECOND FLOOR	----- S.F.	----- S.F.	----- S.F.
FIRST FLOOR	12,280 S.F.	7,653 S.F.	19,933 S.F.
CANOPIES (COLUMN SUPPORTED)	----- S.F.	----- S.F.	----- S.F.
BASEMENT	----- S.F.	----- S.F.	----- S.F.
BUILDING AREA SUB-TOTALS	12,280 S.F.	7,653 S.F.	19,933 S.F.
MEZZANINES	2,410 S.F.	----- S.F.	2,410 S.F.
FIRE AREA TOTALS	14,690 S.F.	7,653 S.F.	22,343 S.F.
REMODEL AREA TOTALS	----- S.F.	----- S.F.	----- S.F.

BUILDING CODE ANALYSIS

PROJECT ADDRESS
21550 Doral Rd, Waukesha, WI 53186

APPLICABLE CODES
2015 International Building Code (w/ WI Amendments)
ASHRAE Standard 90.1-2013 or 2015 IECC
2015 IEBC (Level # Alteration)

OCCUPANCY
B, F2
Accessory Use
Incidental Use

HEIGHT & AREA
Building Height: --"
Number of Stories: --
Total Building Area: -- S.F.
Total Fire Area: -- S.F.
Mixed Occupancies
Unlimited Area Building

CONSTRUCTION TYPE
Construction Classification 2B
Fire Separation Distance --"

FIRE PROTECTION SYSTEMS
Assumed Sprinkler Type --
Fire Alarm System YES/NO

MEANS OF EGRESS
Occupant Load --
Panic Hardware NO

STRUCTURAL DESIGN
Risk Category --
Design Loads
Roof Live Load -- psf
Walk-on IMP Ceiling Live Load -- psf
Steel Framing
Collateral Load -- psf
Wood Truss
Top Chord Dead Load -- psf
Bottom Chord Load -- psf
Mezzanine/Second Floor/Basement Live Load -- psf
Point Load (Partition) -- psf
Snow Load Criteria
Ground Snow Load (Pg) -- psf
Exposure Factor (Ce) --
Thermal Factor (Ct) --
Wind Loads
Wind Load -- MPH
Surface Roughness --
Exposure Category --
Earthquake Load Criteria
Soil Site Class --
Ss --
S1 --

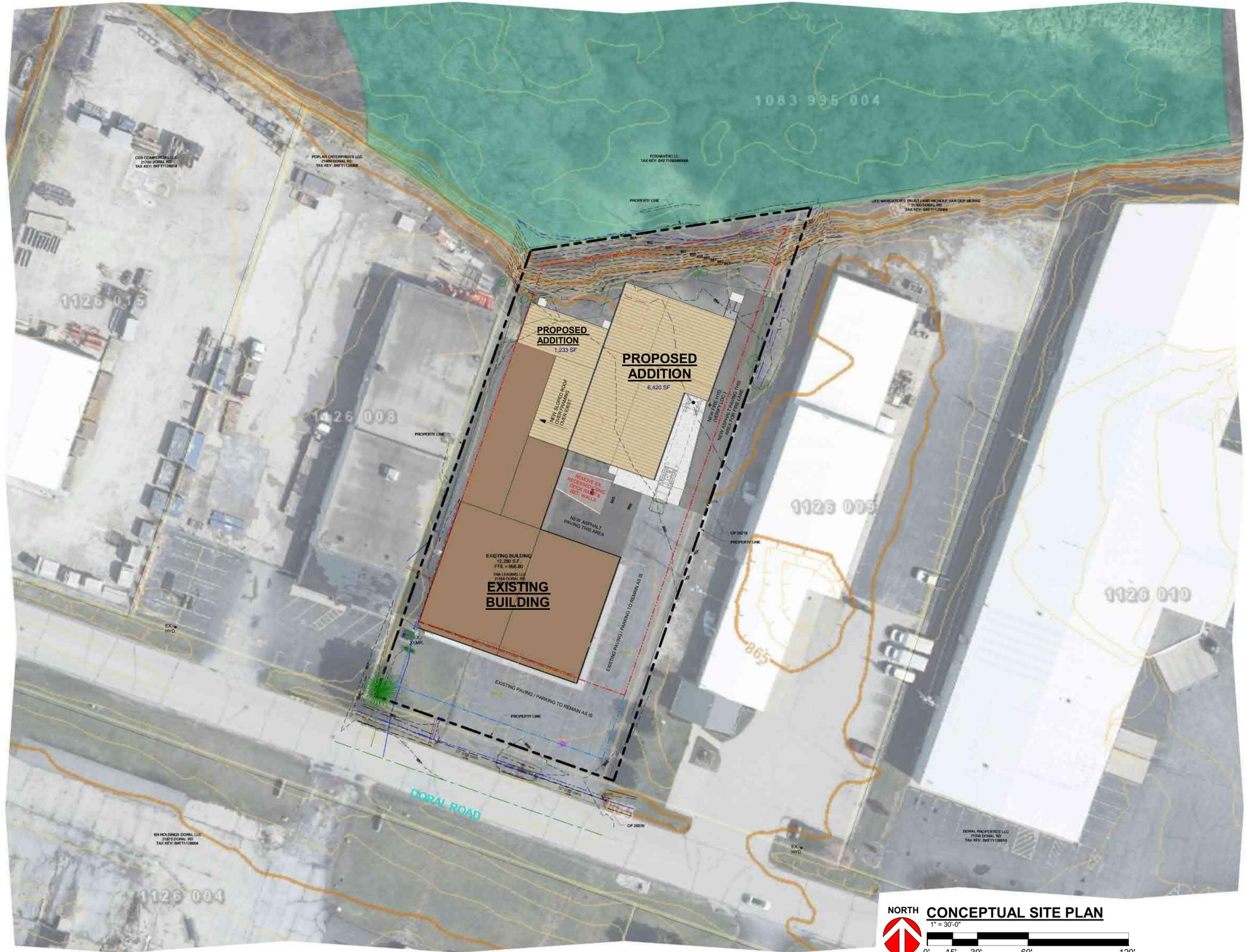
PLUMBING SYSTEMS
Mens WC Required #
Womens WC Required #
Drinking Fountain Required #
Other Source YES/NO
Ambulatory Stall Required YES/NO

MECHANICAL SYSTEMS
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU
NO BOILERS OVER 15PSI AND 10 HORSEPOWER

SITE INFORMATION

SITE CONTENT
Building Size -- S.F. -- %
Hard Surface -- S.F. -- %
Green Space -- S.F. -- %
Parcel Size (Approx.) 48,539 S.F. 1.1143 Acres
Parking Provided -- Stalls
Area of Disturbance -- S.F.

ZONING
Property Zoning M1
Setbacks FY 50'-0" SY 10'-0" RY 10'-0"
Hard Surface Setback 10'-0"
Coverage Limit -- %
Greenspace Requirement -- %
Parking Required 9x18' (1 STALL PER EMPLOYEE FOR SHIFT W/ MOST EMPLOYEES)
Refuse Enclosure YES/NO
RTU SCREENING YES/NO



NORTH CONCEPTUAL SITE PLAN
1" = 30'-0"

THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION, EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.

PROPOSED ADDITION FOR:

BANCROFT ENGINEERING

TOWN OF BROOKFIELD,

WISCONSIN



Keller
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REVISIONS

NO.	DATE	BY
1	04.25.2025	I. HAUN
2		
3		
4		
5		
6		

PROJECT MANAGER:
L. SEBALD

DESIGNER:
C. MANSKE

INTERIOR DESIGNER:

DRAWN BY:
I. HAUN

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:
P25029

CONTRACT NO:

DATE:
04.17.2025

SHEET:
C1.0

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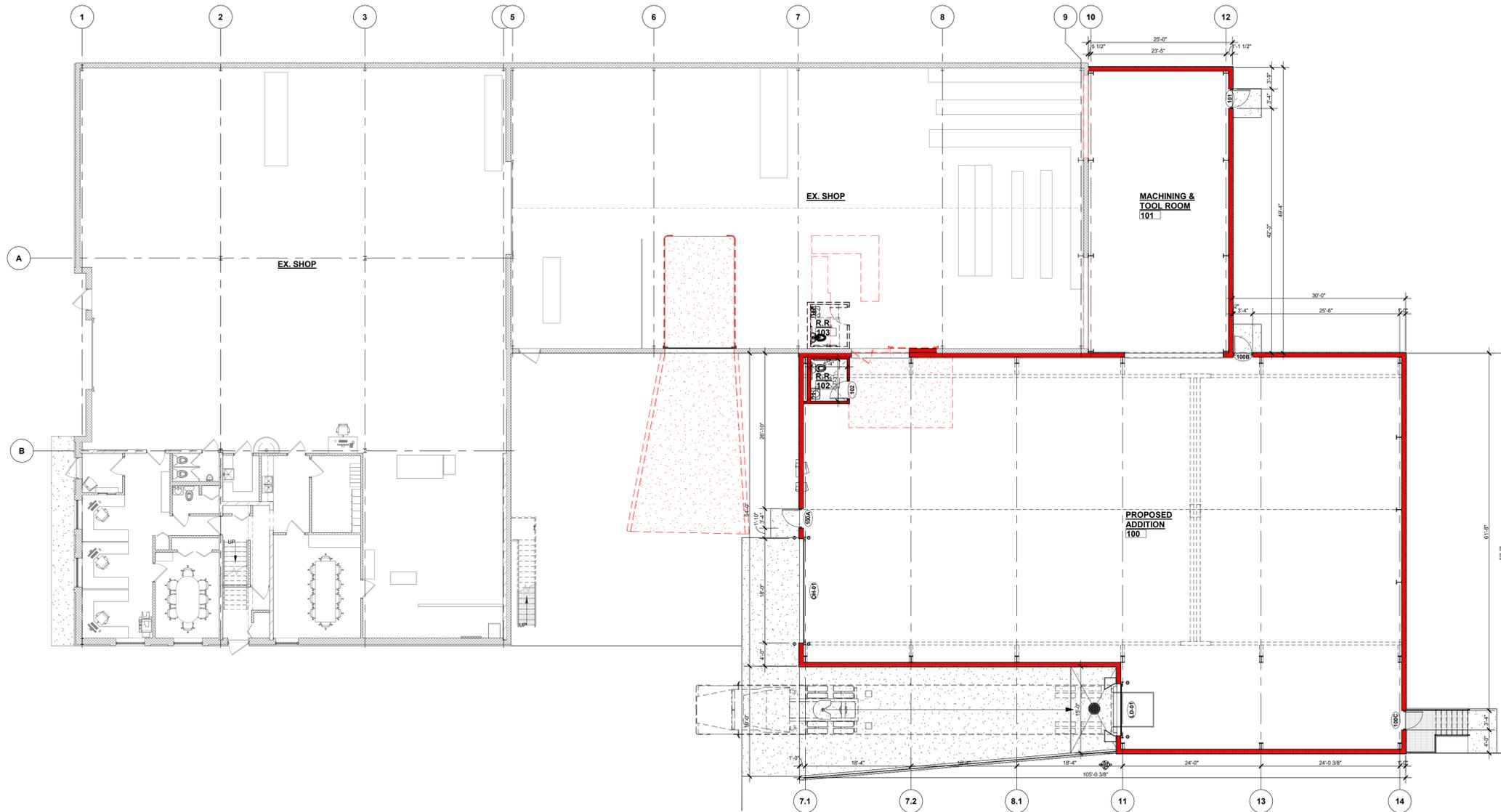
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NORTH
FLOOR PLAN - OVERALL
3/32" = 1'-0"



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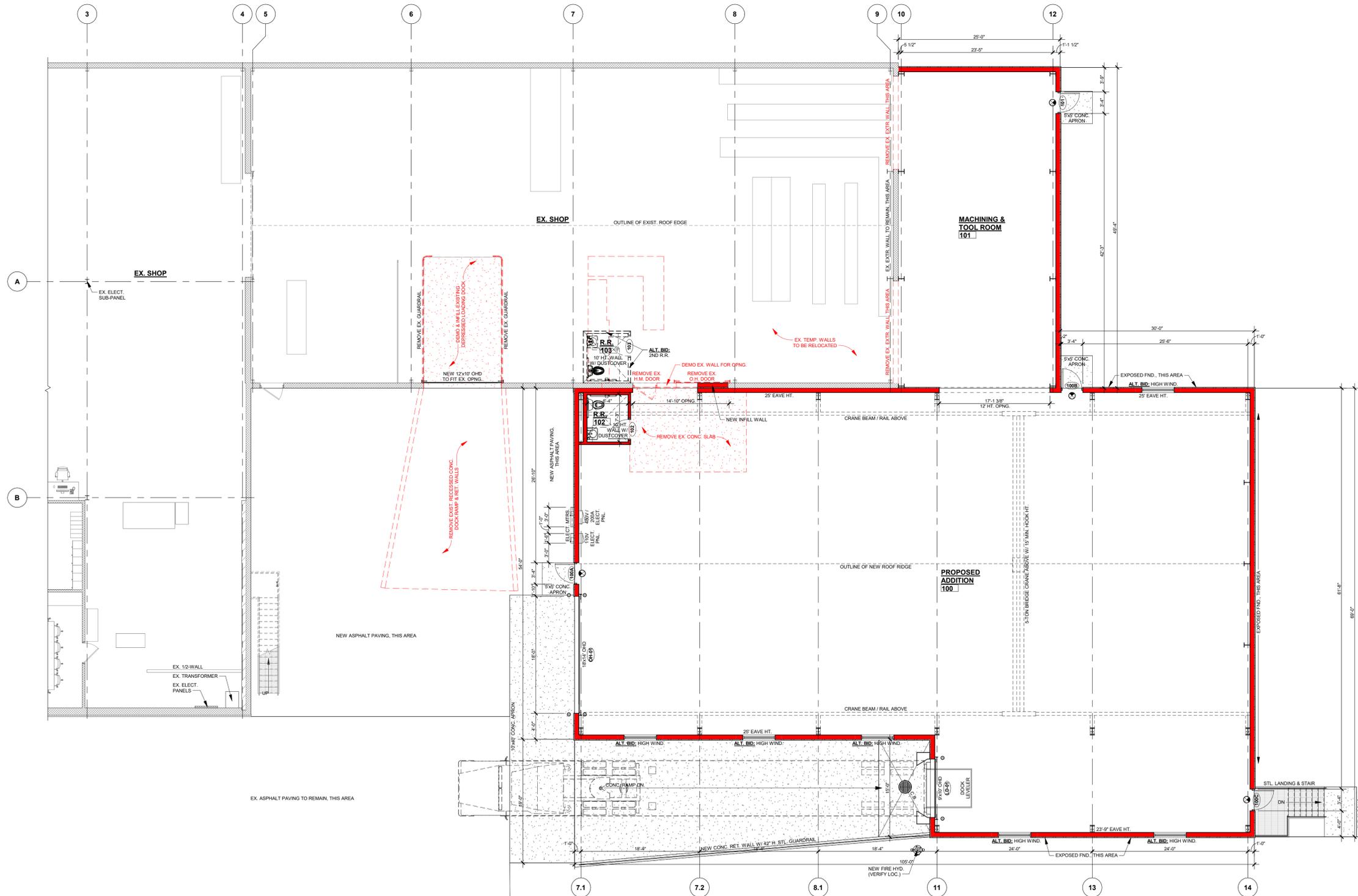
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FLOOR PLAN - ENLARGED
1/8" = 1'-0"

WALL KEY

	NEW WALL/FURRING
	NEW MASONRY/VENEER WALL
	NEW COOLER/FREEZER WALLS
	NEW FOUNDATION WALL
	NEW IMP WALL
	NEW PRECAST WALL
	EXISTING MASONRY WALL
	TYPICAL EXISTING WALL
	DEMO MASONRY WALL
	DEMO WALLS
	FIRE WALL OR FIRE BARRIER

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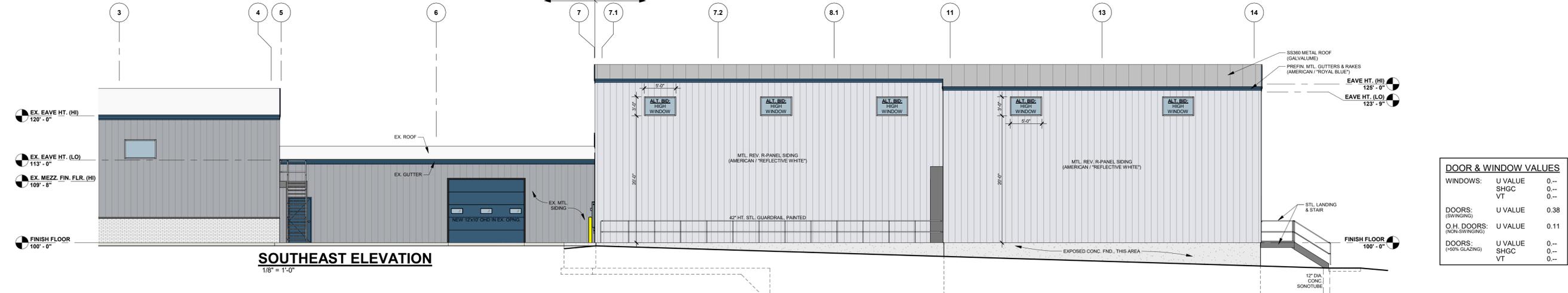
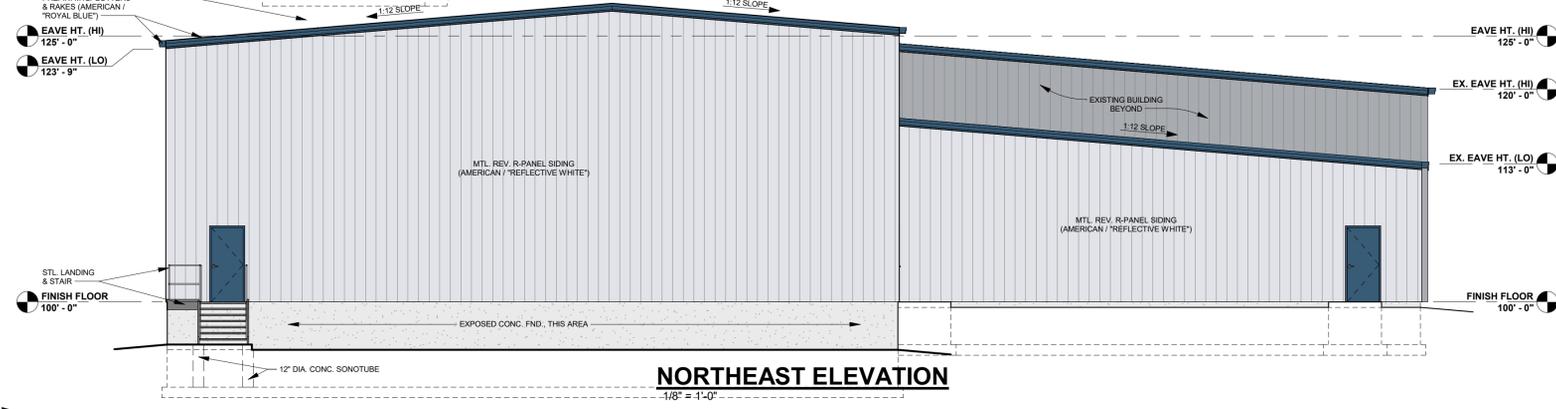
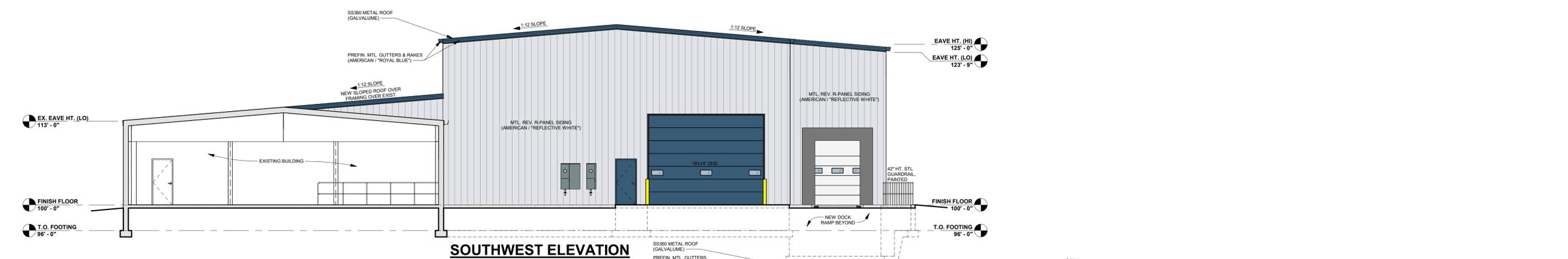
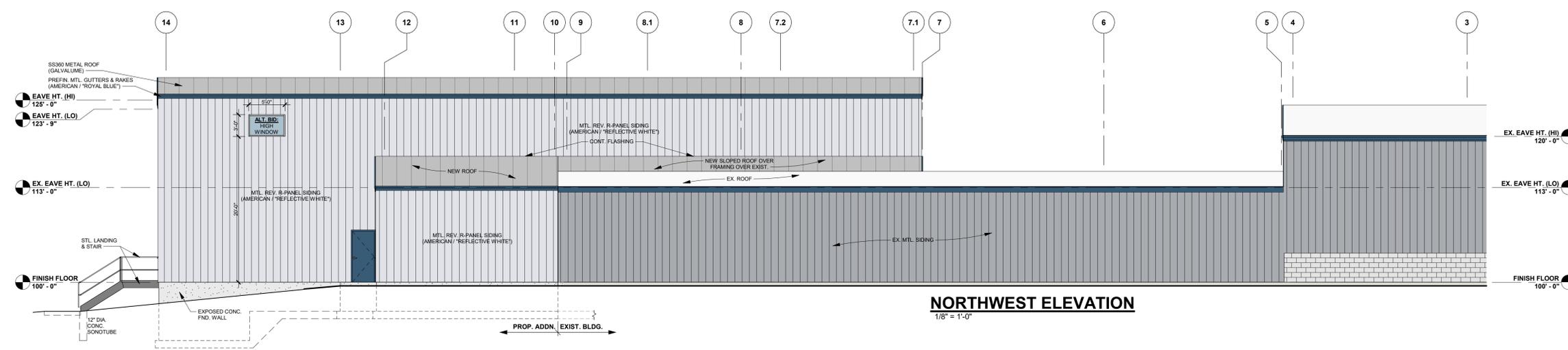
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DOOR & WINDOW VALUES

WINDOWS:	U VALUE	0.--
	SHGC	0.--
	VT	0.--
DOORS:	U VALUE	0.38
(SWINGING)		
O.H. DOORS:	U VALUE	0.11
(W38-SWINGING)		
DOORS:	U VALUE	0.--
(50% GLAZING)	SHGC	0.--
	VT	0.--



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