



## Office of the Town Clerk

Town of Brookfield | 645 N. Janacek Road, Brookfield, WI 53045

Office: 262-796-3788 | Clerk@TownofBrookfield.com

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### MEETING AGENDA

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Tuesday, June 3, 2025  
7 p.m.

Town Board  
Utility District No. 1  
Sanitary District No. 4

Eric Gnant Room  
TOB Municipal Building  
645 N. Janacek Rd., Brookfield, WI

1. Call to Order & Roll Call.
2. Meeting Notices.
3. Approval of Agenda.
4. Approval of Minutes:
  - a. May 20, 2025 meeting of the TB, UD1, SD4.
5. Citizen Comments: Three-minute limit.
6. Old Business: None.
7. New Business:
  - a. Discussion and possible action regarding the Temporary Extension of Premises application for Café Hollander's Beer Garden.
  - b. Discussion and possible action regarding the 2025-2026 Alcohol Establishment Licenses.
  - c. Discussion and possible action regarding the 2025-2026 Secondhand Article/Jewelry Dealer Establishments.
  - d. Discussion and possible action regarding the Resolution 2025-02 Updating the Master Fee Schedule.
  - e. Discussion and possible action regarding appointments to Town Committees, Commissions, and Boards and annual appointments.
  - f. Discussion and possible action regarding Town Hall Campus Signage Proposal.
  - g. Discussion and possible action regarding Ordinance 2025-01 Town of Brookfield Comprehensive Burning Ordinance.
8. Departments, Boards, Committee/Commission Reports/Recommendations:
  - a. Plan Commission:
    1. Discussion and possible action regarding the request by Jim Taylor, representing Oscar's, to approve a conditional use permit for a new drive-thru restaurant on the property located at 21165 Highway 18 and parking on the property to the East.
    2. Discussion and possible action regarding the request by Jim Taylor, representing Oscar's, for preliminary and final approval for a new drive-thru restaurant on the property located at 21165 Highway 18 and parking on the property to the East.
    3. Discussion and possible action regarding the request by Lindsey Chiaverotti's, representing Wisconsin Adult Center d/b/a Brookfield Adult Center, to approve a conditional use permit amendment to allow the expansion of an adult day care center in the B-3 office and professional business district located at 20711 Watertown Road Suite V.
    4. Discussion and possible action regarding the request by Jordan Jackson's, representing The Sandtrap LLC, to set a public hearing date to discuss a conditional use permit request for a golf simulator business located at 17800 West Bluemound Road.
    5. Discussion and possible action regarding the request by Luke Sebald, representing Bancroft Engineering, for preliminary and final approval for an addition to an existing manufacturing building, located at 21550 Doral Road.
9. Approval of Vouchers and Checks.
10. Communication and Announcements.
11. Adjourn.

Posted May 30, 2025

Tom Hagie, Administrator/Interim-Clerk

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meetings to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request such services contact the clerk's office at the above.



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### MEETING MINUTES

---

Tuesday, May 20, 2025  
7 p.m.

Town Board  
Utility District No. 1  
Sanitary District No. 4

Eric Gnant Room  
TOB Municipal Building  
645 N. Janacek Rd., Brookfield, WI

---

1. Call to Order & Roll Call.

Chairman Henderson called the meeting to order at 7:00 p.m.

Present: Chairman Keith Henderson; Supervisors Steve Kohlmann, John Charlier, John Schatzman and Ryan Stanelle.

A quorum was met (5-0).

Staff Present: Attorney Michael Van Kleunen, Fire Chief John Schilling, Police Chief Chris Perket, Officer Adrian Vesnefsky, Sanitary District 4 Superintendent Tony Skof, Administrator/Interim-Clerk Tom Hagie and Deputy Clerk Emily Howells.

2. Meeting Notices.

Hagie confirmed the meeting notices were posted as required by law.

3. Approval of Agenda.

Motion by Charlier to adopt; seconded by Kohlmann.

Motion prevailed by a voice vote (5-0).

4. Approval of Minutes:

a. May 6, 2025 meeting of the TB, UD1, SD4.

Motion by Kohlmann to approve the minutes with changes; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

5. Citizen Comments: Three-minute limit. None.

6. Old Business: None.

7. New Business:

a. Discussion and possible action regarding approval of Waking Daisy Alcohol License.

Motion by Charlier to approve the Waking Daisy Regular Class "B" Beer "Class B" Liquor License with the addition of the Suite #G119; seconded by Kohlmann.

Motion prevailed by a voice vote (5-0).

b. Discussion and possible action regarding the Our Rescue Software MOU.

Motion by Charlier to table the item; seconded by Schatzman.

Motion prevailed by a voice vote (5-0).

c. Discussion and possible action regarding the WisDOT EVTPP.

Motion by Kohlmann approve the WisDOT EVTPP; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

PLEASE NOTE: It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at the above meetings to gather information. No action will be taken by any governmental body other than that specifically noticed. Also, upon reasonable notice, efforts will be made to accommodate the needs of individuals with disabilities through appropriate aids and services. For additional information or to request such services contact the clerk's office at the above.

- d. Discussion and possible action regarding the WTA membership dues.

Motion by Charlier approve the WTA and TAC membership dues; seconded by Kohlmann.

Motion prevailed by a voice vote (5-0).

- e. Discussion and possible action regarding Ordinance 2025-01 Town of Brookfield Comprehensive Burning Ordinance.

No action.

8. Departments, Boards, Committee/Commission Reports/Recommendations:

a. Office of Administration

- 1. Discussion and possible action regarding the Wimmer LOC Release.

Motion by Kohlmann to disperse to Wimmer \$65,938.00; seconded by Charlier.

Motion prevailed by a voice vote (5-0).

b. Sanitary District No. 4

- 1. Discussion and possible action regarding a water rate increase.

No action.

9. Approval of Vouchers and Checks.

Motion by Schatzmann to approve vouchers and checks in the amount of \$374,511.65; seconded by Stanelle.

Motion prevailed by a voice vote (5-0).

10. Communication and Announcements.

- a. Hagie made the announcement that the Poplar Creek Open House will be June 17, 2025.

11. Adjourn.

Motion by Kohlmann to adjourn at 8:03 p.m.; seconded by Charlier.

Motion prevailed by a voice vote (5-0)

Respectfully submitted by,

Tom Hagie, Administrator/Interim-Clerk

18000517

Town of Brookfield  
645 N. Janacek Road  
Brookfield, WI 53045  
(P) 262-796-3788  
(F) 262-796-0339



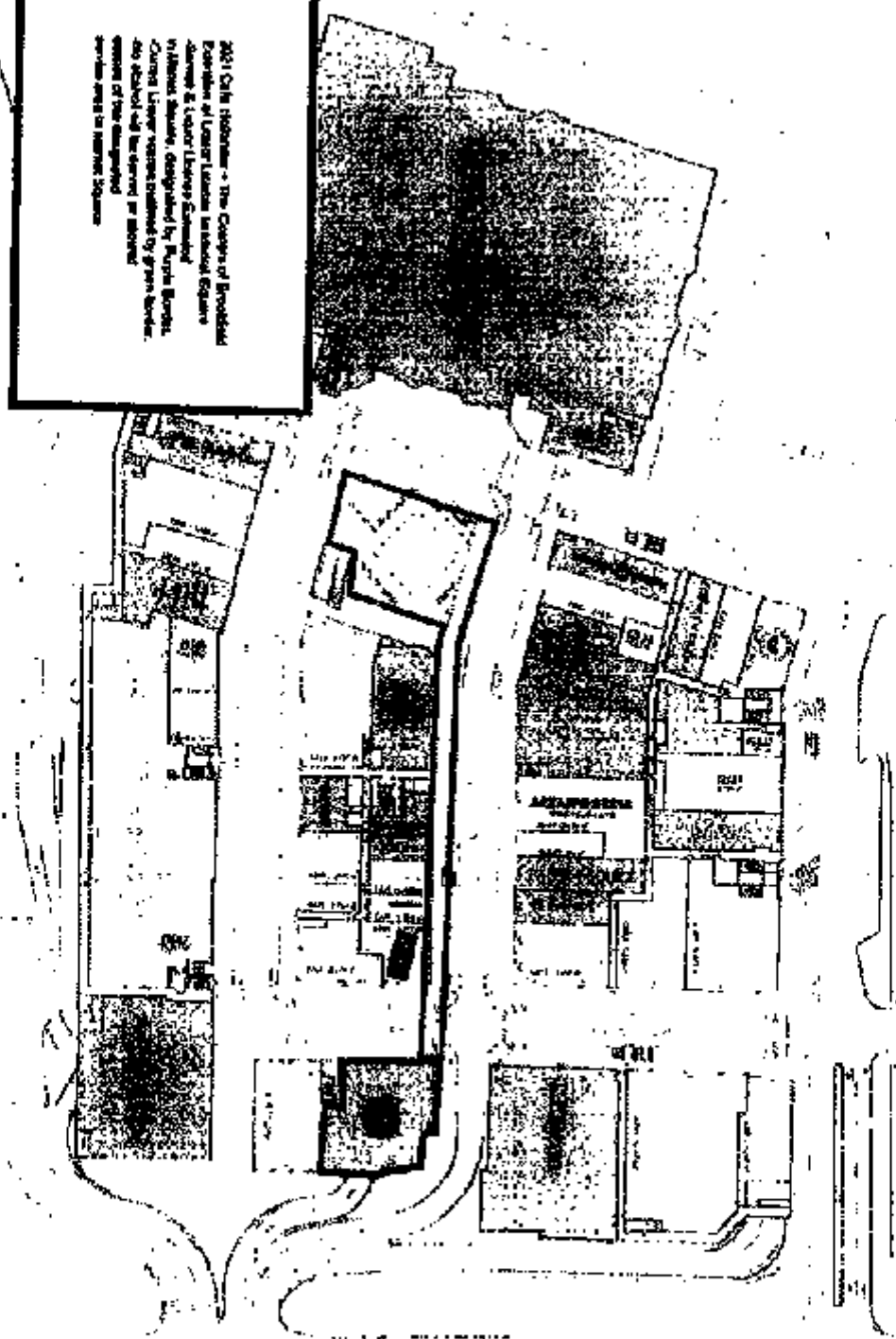
FEE: \$50

### TEMPORARY EXTENSION OF PREMISES APPLICATION FOR ALCOHOL BEVERAGE ESTABLISHMENTS

Applications must be received by the Clerk a minimum of 15 days prior to the date of the event to be considered by the Town Board.

| LICENCEE INFORMATION  |                            |                          |
|---|----------------------------|--------------------------|
| Current License Held: CLASS B BEER & CLASS B LIQUOR   |                            |                          |
| Corporation/LLC Name: THE LOWLANDS GROUP LLC  |                            |                          |
| Business Name: CAFE HOLLANDER   |                            |                          |
| Business Address: 20150 UNION STREET BROOKFIELD, WI 53045   |                            |                          |
| Phone Number: 262-785-4490  |                            |                          |
| EVENT INFORMATION   |                            |                          |
| Event Name: CAFE HOLLANDER BEER GARDEN  |                            |                          |
| Date(s) of Event:<br>JULY 03-SEPT 11 2025 THURS NIGHTS  | Start Time(s):<br>5:00 PM  | End Time(s):<br>10:00 PM |
| PREMISES EXTENSION DETAILS  |                            |                          |
| <p>The area must be located in an area contiguous to the current licensed premises. Please describe below or attach a drawing showing the extension area being requested, including the dimensions of the area, location of exits, etc.:</p> <p>The Corners of Brookfield Market Square at High &amp; Lord St from Cafe Hollander</p> |                            |                          |
| <p>Check all that apply for the premises described above:</p> <p><input type="checkbox"/> I own <input type="checkbox"/> I have Special Occupancy Permit</p> <p><input checked="" type="checkbox"/> I lease <input checked="" type="checkbox"/> I have permission from a special event organization</p>                               |                            |                          |
| SIGNATURE OF SOLE PROPRIETOR, PARTNER, OR AGENT   |                            |                          |
| Print Name: ERIC G WAGNER   |                            |                          |
| Signature: <u>Eric G Wagner</u>   |                            | Date: 05/09/2025         |
| FOR OFFICE USE ONLY   |                            |                          |
| Date Received: 5.9.25   | Board Meeting Date: 6.3.25 |                          |
| Received By: <u>EH</u>  | Approval Date:             |                          |
| Date Paid: 5.9.25   | List of Conditions:        |                          |
| Receipt Number: 18000517  |                            |                          |
| <p>PD Review: <u>CUS PERKINS</u> FD Review: <u>[Signature]</u></p>  |                            |                          |

**2021 Call Response - The Colors of Brooklyn**  
Exhibition at United Nations Secretariat Square  
Admission is 100% Free  
W/Abstract Murals, designed by Purple Purple.  
Current Layer features installed by green borders.  
Also attached will be several art related  
versions of the map  
per the artist's interest Square



10. 11. 1977  
PCALS = 1:1000 7-31

This License must be FRAMED and POSTED in a conspicuous place in the room where Fermented Malt Beverages are drawn or removed for service or sale.

TOWN OF BROOKFIELD  
WAUKESHA COUNTY

APPLICATIONS FOR ALCOHOLIC BEVERAGE LICENSES  
**2025-26**

**NOTICE IS HEREBY GIVEN** that the following applications have been received by the Clerk of the Town of Brookfield, Waukesha County, for alcohol retail licenses for the July 1, 2025 to June 30, 2026 license year:

**CLASS B FERMENTED MALT BEVERAGE AND CLASS B LIQUOR**

Michael Wiederhold for The Speedway Inn, Inc, 18815 W. Bluemound Rd, Brookfield, WI 53045

Jill Bachowski for GMRI, Inc, d/b/a The Olive Garden Italian Restaurant #1237, 18180 W Bluemound Rd, Brookfield, WI 53045

Alexander Polacek for Servant 33, LLC d/b/a The Melting Pot, 19850 W Bluemound Rd, Brookfield, WI 53045

Jackson LaMarvon for Family Entertainment, LLC d/b/a Brookfield Majestic Cinema, 770 N Springdale Rd, Brookfield, WI 53045

Eric Wagner for The Lowlands Group, LLC, d/b/a Café Hollander, 20150 Union Street, Brookfield, WI 53045

Zulf Shariff for Brookfield Pizzeria, Inc. d/b/a Grimaldi's Pizzeria, 20119 Lord St, Suite J-101, Brookfield, WI 53045

Nicole Jamieson for Brookfield Cinema, LLC, d/b/a Silverspot Cinema, 320 Market St, Brookfield, WI 53045

John Piette for Acme Group, Inc. d/b/a Prime Cigar Co, 18900 W. Bluemound Rd, Suite 148, Brookfield, WI 53045

Panos Antonopoulos for Bullwinkles at the Galleria, LLC, d/b/a Bullwinkles at the Galleria, 18900 W. Bluemound Road Suite 100, Brookfield, WI 53045

Alyssa Garris for Comedy Club of Milwaukee, LLC d/b/a Milwaukee Improv, 20110 Lower Union Street, Brookfield, WI 53045

Lakshmikanth Toomu for Hyderabad House Wisconsin, LLC, d/b/a Nawabi Hyderabad House, 19035 W. Bluemound Rd, Brookfield, WI 53045

Mark Ostendorf for Poplar Creek Hospitality, LLC, DBA Courtyard by Marriott / Residence Inn by Marriott, 20300 W Bluemound Rd, Brookfield, WI 53045.

**CLASS B FERMENTED MALT BEVERAGE AND CLASS C WINE**

Charles Yee for EMPS LLC d/b/a Emperor's Kitchen, 18900 W Bluemound Rd. Ste. 200, Brookfield, WI 53045

Chezare Misko for Wisconsin Athletic Club, LLC, d/b/a WAC-Brookfield, 20075 Water Tower Blvd, Brookfield, WI 53045

Theodore Balistreri for Sendik's Corners, LLC, d/b/a Sendik's Food Market, 20222 Lower Union Street, Brookfield, WI 53045

Arlenne Escamilla Teran for El Gaucho Grill LLC d/b/a El Gaucho Grill, 17800 W. Bluemound Road, Ste. 7, Brookfield, WI 53045

Alexander Sharp for Beyond The Board LLC d/b/a Beyond The Board, 17800 W. Bluemound Road, Ste. 4, Brookfield, WI 53045

Jason Brooks for Shake Shack WI, LLC d/b/a Shake Shack, 585 N. Barker Rd., Brookfield, WI 53045

### **CLASS C WINE**

Chi Nguyen for AV Nail Spa Brookfield, Inc, d/b/a Anthony Vince Nail Spa, 290 Lord Street, Brookfield, WI 53045

### **CLASS A FERMENTED MALT BEVERAGE AND CLASS A LIQUOR**

Christina Kessler for 7-Eleven, Inc., d/b/a 7-Eleven #35846J, 21350 W Capitol Dr, Pewaukee, WI 53072

Nathan Eggert for Kwik Trip, Inc, d/b/a Kwik Trip #969, 21980 Watertown Rd, Waukesha, WI 53186

Makayla Olson for Aldi, Inc. d/b/a Aldi #18, 19555 W Bluemound Rd, Brookfield, WI 53045

James Girmscheid for Walgreen Co. d/b/a Walgreens #03615, 21325 E. Moreland Blvd, Waukesha, WI 53186

Robert Olks for Health Hut, Inc. d/b/a Health Hut, 19035 W. Bluemound Rd, Brookfield, WI 53045

Theodore Balistreri for Sendik's Corners, LLC, d/b/a Sendik's Food Market, 20222 Lower Union Street, Brookfield, WI 53045

Robert Rausa for Kinseth Hospitality Company, Inc, d/b/a TRU by Hilton, 20925 Watertown Rd, Waukesha, WI 53186

Amar Sodhi for Anisha LLC d/b/a Taj Grocery, 17800 W. Bluemound Road Ste. 5, Brookfield, WI 53045

Malissa Larscheidt for WRLP Brookfield, LLC d/b/a Hampton Inn Milwaukee/Brookfield, 575 N. Barker Road, Brookfield, WI 53045

Ryan Bazan for Larry Court Hotel Associates, LLC d/b/a Home2Suites Brookfield, 650 Larry Ct., Waukesha, WI 53186

**CLASS A FERMENTED MALT BEVERAGE**

Edward McMahon IV for McMahon Petroleum, LLC, d/b/a Brookfield Corner Pump, 19075 W Bluemound Rd, Brookfield, WI 53045

The Town Board of the Town of Brookfield will consider and receive public input, comment, or concerns regarding July 1, 2024 issuance of the above referenced licenses at its regularly scheduled meeting on Tuesday, June 3, 2025, at 7:00 p.m. at the Brookfield Town Hall, 645 N. Janacek Road, Brookfield, WI 53045.

Interim - Town Clerk Tom Hagie

Published: 5/20, 5/21, 5/22



Wisconsin Department of Agriculture, Trade and Consumer Protection  
Bureau of Consumer Protection  
2811 Agriculture Drive, PO Box 8911, Madison WI 53708-8911  
Phone: (800) 422-7128 FAX: (608) 224-4677 TDD: (608) 224-5058  
Email: [DATCPHotline@wi.gov](mailto:DATCPHotline@wi.gov) Website: [datcp.wi.gov](http://datcp.wi.gov)

## LICENSE APPLICATION for

- Pawnbroker
- Secondhand Jewelry Dealer
- Secondhand Article Dealer
- Secondhand Article Dealer Mall or Flea Market

18000487

Wis. Stat. § 134.71

Completion of this form is mandatory; failure to fully complete this form will result in denial of the license application. Personally identifiable information may be used for purposes other than for which it is originally being collected. Wis. Stat. § 15.04(1)(m).

### CHECK ALL THAT APPLY:

☐ Original application ☒ Renewal

TYPE: ☐ Pawnbroker ☒ Secondhand Jewelry Dealer ☐ Secondhand Article Dealer ☐ Mall or Flea Market

### INSTRUCTIONS:

NATURAL PERSON (INDIVIDUAL) LICENSE – Complete Sections 1, 2, 3 and 6

PARTNERSHIP LICENSE – Complete Sections 1, 2, 3, 4 and 6

CORPORATE LICENSE – Complete Sections 1, 2, 3, 5, and 6

### (SECTION 1) APPLICANT INFORMATION

|  |                           |                             |  |
|--|---------------------------|-----------------------------|--|
| FIRST NAME<br><u>Craig</u>   | MI<br><u>S</u>            | LAST NAME<br><u>Husar</u>   | HOME TELEPHONE NUMBER<br>[REDACTED]                          |
| SEX<br><u>M</u>  | RACE<br><u>Wh</u>         | DATE OF BIRTH<br>[REDACTED] | PLACE OF BIRTH (City, State, Country)<br><u>Milwaukee WI</u> |
| ADDRESS STREET<br>[REDACTED]   | CITY<br><u>Brookfield</u> | STATE<br><u>WI</u>          | ZIP<br><u>53045</u>  |
| LIST ALL STATES APPLICANT PREVIOUSLY RESIDED:<br><u>WI</u>   |                           |                             |  |
| IS APPLICANT A: <input type="checkbox"/> Natural Person (Individual) <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability Company <input type="checkbox"/> Partnership |                           |                             |  |

### (SECTION 2) CONVICTION RECORD

Has the applicant, been convicted or adjudicated of any of the following within the last 10 years where the circumstances of the offense substantially relate to the circumstances of the licensed activity:

|   |   |
|---|---|
| a felony?                                       | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| a misdemeanor?                                  | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| a statutory violation punishable by forfeiture? | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| a county or municipal ordinance violation?      | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

For each "YES" response provide the date of arrest, the nature of the offense and conviction or penalty information:

Attach additional sheets if necessary.

### (SECTION 3) BUSINESS INFORMATION

|   |   |                              |                    |                     |                                       |
|---|---|------------------------------|--------------------|---------------------|---------------------------------------|
| BUSINESS NAME<br><u>Craig Husar</u>               | ADDRESS STREET<br><u>20100 W Bluemound Rd</u>   | CITY<br><u>Brookfield</u>    | STATE<br><u>WI</u> | ZIP<br><u>53045</u> | PHONE NUMBER<br><u>(262) 789-8585</u> |
| OWNER'S NAME<br><u>Craig Husar</u>                | ADDRESS STREET<br><u>Same as Above</u>          | CITY                         | STATE              | ZIP                 | PHONE NUMBER<br>( ) -                 |
| BUSINESS MANGER'S NAME                            | ADDRESS STREET                                  | CITY                         | STATE              | ZIP                 | PHONE NUMBER<br>( ) -                 |
| BUILDING OWNER'S NAME<br><u>Wimmer Bro Realty</u> | ADDRESS STREET<br><u>5300 S 108th St, Ste 1</u> | CITY<br><u>Hales Corners</u> | STATE<br><u>WI</u> | ZIP<br><u>53150</u> | PHONE NUMBER<br>( ) -                 |

**(SECTION 4) LIMITED LIABILITY COMPANY INFORMATION**

Limited Liability Company Name:

List name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 5) PARTNERSHIP INFORMATION**

Partnership Name:

List name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 6) CORPORATION INFORMATION**

Corporation Name:

Lyle Husar DesignsList name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City       | State | Zip   |
|------------------------|-----|----------------|------------|-------|-------|
| Husar, Craig S.        |     |                | Brookfield | WI    | 53045 |
|                        |     |                |            |       |       |
|                        |     |                |            |       |       |
|                        |     |                |            |       |       |

**(SECTION 7) PENALTY NOTICE**

I understand that this license may be denied or revoked for fraud, misrepresentation or false statement contained in the application or for any violation of Wis. Stat. §§ 134.71, 943.34, 948.62 or 948.63.

Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge. I agree to inform the clerk within ten (10) days of any change in the information supplied in this application.

|  |  |
|--|--|
|  |  |
|--|--|

YOUR SIGNATURE

PRINT NAME

Craig S Husar**FOR ADMINISTRATIVE USE ONLY**

| LICENSING AUTHORITY | LICENSE NUMBER ASSIGNED    | DATE EFFECTIVE | CLERK                                      |
|---------------------|----------------------------|----------------|--|
| T. Brookfield       | 25726-PS-02                |                |  |
| FEES RECEIVED:      | Pawnbroker Bond            | \$             | Secondhand Article License                 |
|                     | Pawnbroker License         | \$             | Secondhand Dealer Mall/Flea Market License |
|                     | Secondhand Jewelry License | \$ 500         | TOTAL FEE: \$ 900                          |

**FOR LAW ENFORCEMENT USE ONLY**☒ Recommend Approval ☐ Recommend Denial (Attach explanation.)Investigating Office Signature: CUS PERKESDate: 5-2-25

Print Name of Investigating Officer:



Wisconsin Department of Agriculture, Trade and Consumer Protection  
 Bureau of Consumer Protection  
 2811 Agriculture Drive, PO Box 8911, Madison WI 53708-8911  
 Phone: (800) 422-7128 FAX: (608) 224-4677 TDD: (608) 224-5058  
 Email: [DATCPHotline@wi.gov](mailto:DATCPHotline@wi.gov) Website: [datcp.wi.gov](http://datcp.wi.gov)

## LICENSE APPLICATION for

- Pawnbroker
- Secondhand Jewelry Dealer
- Secondhand Article Dealer
- Secondhand Article Dealer Mall or Flea Market

Wis. Stat. § 134.71

Completion of this form is mandatory; failure to fully complete this form will result in denial of the license application. Personally identifiable information may be used for purposes other than for which it is originally being collected. Wis. Stat. § 15.04(1)(m).

### CHECK ALL THAT APPLY:

☐ Original application ☒ Renewal

TYPE: ☐ Pawnbroker ☐ Secondhand Jewelry Dealer ☒ Secondhand Article Dealer ☐ Mall or Flea Market

### INSTRUCTIONS:

**NATURAL PERSON (INDIVIDUAL) LICENSE** – Complete Sections 1, 2, 3 and 6

**PARTNERSHIP LICENSE** – Complete Sections 1, 2, 3, 4 and 6

**CORPORATE LICENSE** – Complete Sections 1, 2, 3, 5, and 6

### (SECTION 1) APPLICANT INFORMATION

|                             |                          |                               |  |
|-----------------------------|--------------------------|-------------------------------|--|
| FIRST NAME<br><i>Robert</i> | MI                       | LAST NAME<br><i>Settecase</i> | HOME TELEPHONE NUMBER                                |
| SEX<br><i>M</i>             | RACE<br><i>Caucasian</i> | DATE OF BIRTH                 | PLACE OF BIRTH (City, State, Country)<br><i>Chic</i> |
| ADDRESS STREET              | CITY<br><i>Madison</i>   | STATE<br><i>WI</i>            | ZIP<br><i>53703</i>                                  |

LIST ALL STATES APPLICANT PREVIOUSLY RESIDED:

IS APPLICANT A: ☒ Natural Person (Individual) ☐ Corporation ☐ Limited Liability Company ☐ Partnership

### (SECTION 2) CONVICTION RECORD

Has the applicant, been convicted or adjudicated of any of the following within the last 10 years where the circumstances of the offense substantially relate to the circumstances of the licensed activity:

a felony? ☐ YES ☒ NO

a misdemeanor? ☐ YES ☒ NO

a statutory violation punishable by forfeiture? ☐ YES ☒ NO

a county or municipal ordinance violation? ☒ YES ☐ NO

For each "YES" response provide the date of arrest, the nature of the offense and conviction or penalty information:

Attach additional sheets if necessary.

*6.14.21 speedometer violation*

### (SECTION 3) BUSINESS INFORMATION

|  |   |                           |                    |                     |                                       |
|--|---|---------------------------|--------------------|---------------------|---------------------------------------|
| BUSINESS NAME<br><i>Mega Media Solutions</i> | ADDRESS STREET<br><i>1955 W. Bluemound Rd</i> | CITY<br><i>Brookfield</i> | STATE<br><i>WI</i> | ZIP<br><i>53045</i> | PHONE NUMBER<br><i>(262) 432-0770</i> |
| OWNER'S NAME<br><i>Rob Settecase</i>         | ADDRESS STREET                                | CITY<br><i>Madison</i>    | STATE<br><i>WI</i> | ZIP<br><i>53703</i> | PHONE NUMBER                          |
| BUSINESS MANGER'S NAME<br><i>Matt Newton</i> | ADDRESS STREET                                | CITY<br><i>Milwaukee</i>  | STATE<br><i>WI</i> | ZIP<br><i>53202</i> | PHONE NUMBER                          |
| BUILDING OWNER'S NAME<br><i>PAUL Pappas</i>  | ADDRESS STREET<br><i>2244 W. Bluemound</i>    | CITY<br><i>Waukesha</i>   | STATE<br><i>WI</i> | ZIP<br><i>53186</i> | PHONE NUMBER<br><i>(262) 798-1671</i> |

**(SECTION 4) LIMITED LIABILITY COMPANY INFORMATION**Limited Liability Company Name: MMX & LLC

List name, address, and date of birth (DOB) of all members. Attach additional sheets if necessary.

| Name (Last, First, MI) | DOB | Street Address | City    | State | Zip   |
|------------------------|-----|----------------|---------|-------|-------|
| Sattercase, Rob        |     |                | Madison | WI    | 53703 |
|                        |     |                |         |       |       |
|                        |     |                |         |       |       |
|                        |     |                |         |       |       |

**(SECTION 5) PARTNERSHIP INFORMATION**

Partnership Name:

List name, address, and date of birth (DOB) of all members. Attach additional sheets if necessary.

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 6) CORPORATION INFORMATION**

Corporation Name:

List name, address, and date of birth (DOB) of all members. Attach additional sheets if necessary.

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 7) PENALTY NOTICE**

I understand that this license may be denied or revoked for fraud, misrepresentation or false statement contained in the application or for any violation of Wis. Stat. §§ 134.71, 943.34, 948.62 or 948.63.

Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge. I agree to inform the clerk within ten (10) days of any change in the information supplied in this application.

|  |  |
|--|--|
|  |  |
|--|--|

YOUR SIGNATURE



PRINT NAME

Rob Sattercase

**FOR ADMINISTRATIVE USE ONLY**

| LICENSING AUTHORITY | LICENSE NUMBER ASSIGNED    | DATE EFFECTIVE | CLERK                                      |
|---------------------|----------------------------|----------------|--|
| T. Brookfield       | File PN-04                 |                |  |
| FEES RECEIVED:      | Pawnbroker Bond            | \$             | Secondhand Article License                 |
|                     | Pawnbroker License         | \$             | Secondhand Dealer Mall/Flea Market License |
|                     | Secondhand Jewelry License | \$             | TOTAL FEE: \$                              |
|                     |                            |                | \$ 500                                     |

**FOR LAW ENFORCEMENT USE ONLY**☒ Recommend Approval ☐ Recommend Denial (Attach explanation.)Investigating Office Signature: Ans PERINEDate: 5-2-25

Print Name of Investigating Officer:



Wisconsin Department of Agriculture, Trade and Consumer Protection  
 Bureau of Consumer Protection  
 2811 Agriculture Drive, PO Box 8911, Madison WI 53708-8911  
 Phone: (800) 422-7128 FAX: (608) 224-4677 TDD: (608) 224-5058  
 Email: [DATCPHotline@wi.gov](mailto:DATCPHotline@wi.gov) Website: [datcp.wi.gov](http://datcp.wi.gov)

National Rarities in Craig Husar  
 20100 W Bluemound Rd

## LICENSE APPLICATION for

- Pawnbroker
- Secondhand Jewelry Dealer
- Secondhand Article Dealer
- Secondhand Article Dealer Mall or Flea Market

Wis. Stat. § 134.71

Completion of this form is mandatory; failure to fully complete this form will result in denial of the license application. Personally identifiable information may be used for purposes other than for which it is originally being collected. Wis. Stat. § 15.04(1)(m).

### CHECK ALL THAT APPLY:

☐ Original application ☒ Renewal

18000488

TYPE: ☐ Pawnbroker ☒ Secondhand Jewelry Dealer ☐ Secondhand Article Dealer ☐ Mall or Flea Market

### INSTRUCTIONS:

**NATURAL PERSON (INDIVIDUAL) LICENSE** – Complete Sections 1, 2, 3 and 6

**PARTNERSHIP LICENSE** – Complete Sections 1, 2, 3, 4 and 6

**CORPORATE LICENSE** – Complete Sections 1, 2, 3, 5, and 6

### (SECTION 1) APPLICANT INFORMATION

|                              |                   |                             |  |
|------------------------------|-------------------|-----------------------------|--|
| FIRST NAME<br>Dennis         | MI<br>M           | LAST NAME<br>McCaffrey      | HOME TELEPHONE NUMBER<br>[REDACTED]                    |
| SEX<br>Male                  | RACE<br>White     | DATE OF BIRTH<br>[REDACTED] | PLACE OF BIRTH (City, State, Country)<br>St. Louis, MO |
| ADDRESS STREET<br>[REDACTED] | CITY<br>St. Louis | STATE<br>MO                 | ZIP<br>63131   |

LIST ALL STATES APPLICANT PREVIOUSLY RESIDED:

MO

IS APPLICANT A: ☐ Natural Person (Individual) ☐ Corporation ☒ Limited Liability Company ☐ Partnership

### (SECTION 2) CONVICTION RECORD

Has the applicant, been convicted or adjudicated of any of the following within the last 10 years where the circumstances of the offense substantially relate to the circumstances of the licensed activity:

a felony? ☐ YES ☒ NO

a misdemeanor? ☐ YES ☒ NO

a statutory violation punishable by forfeiture? ☐ YES ☒ NO

a county or municipal ordinance violation? ☐ YES ☒ NO

For each "YES" response provide the date of arrest, the nature of the offense and conviction or penalty information:

Attach additional sheets if necessary.

### (SECTION 3) BUSINESS INFORMATION

|   |   |                    |             |              |                                 |
|---|---|--------------------|-------------|--------------|---------------------------------|
| BUSINESS NAME<br>National Rarities LLC    | ADDRESS STREET<br>2190 S Mason rd ste 209 | CITY<br>St. Louis  | STATE<br>MO | ZIP<br>63131 | PHONE NUMBER<br>(888 )787 -1112 |
| OWNER'S NAME<br>Dennis McCaffrey          | ADDRESS STREET<br>[REDACTED]              | CITY<br>St. Louis  | STATE<br>MO | ZIP<br>63122 | PHONE NUMBER<br>(888 )787 -1112 |
| BUSINESS MANGER'S NAME<br>Lauren McIntosh | ADDRESS STREET<br>[REDACTED]              | CITY<br>Manchester | STATE<br>MO | ZIP<br>63021 | PHONE NUMBER<br>(888 )787 -1112 |
| BUILDING OWNER'S NAME<br>Venkat Bodavula  | ADDRESS STREET<br>[REDACTED]              | CITY<br>St. Louis  | STATE<br>MO | ZIP<br>63131 | PHONE NUMBER<br>( ) -           |

**(SECTION 4) LIMITED LIABILITY COMPANY INFORMATION**

Limited Liability Company Name: National Rarities LLC

List name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City      | State | Zip   |
|------------------------|-----|----------------|-----------|-------|-------|
| McCaffrey, Dennis M    |     |                | St. Louis | MO    | 63122 |
| Clough, Louis          |     |                | Denver    | CO    | 80210 |
|                        |     |                |           |       |       |
|                        |     |                |           |       |       |

**(SECTION 5) PARTNERSHIP INFORMATION**

Partnership Name:

List name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 6) CORPORATION INFORMATION**

Corporation Name:

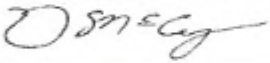
List name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 7) PENALTY NOTICE**

I understand that this license may be denied or revoked for fraud, misrepresentation or false statement contained in the application or for any violation of Wis. Stat. §§ 134.71, 943.34, 948.62 or 948.63.

Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge. I agree to inform the clerk within ten (10) days of any change in the information supplied in this application.

|   |                  |
|---|------------------|
|  | Dennis McCaffrey |
|---|------------------|

YOUR SIGNATURE

PRINT NAME

**FOR ADMINISTRATIVE USE ONLY**

| LICENSING AUTHORITY |                            | LICENSE NUMBER ASSIGNED |  | DATE EFFECTIVE | CLERK |
|---------------------|----------------------------|-------------------------|--|----------------|-------|
| T. Brookfield       |                            | 2526-PS-01              |  |                |       |
| FEES RECEIVED:      | Pawnbroker Bond            | \$                      | Secondhand Article License                 | \$             |       |
|                     | Pawnbroker License         | \$                      | Secondhand Dealer Mall/Flea Market License | \$             |       |
|                     | Secondhand Jewelry License | \$ 500.00               | TOTAL FEE: \$ 500.00                       |                |       |

**FOR LAW ENFORCEMENT USE ONLY**☒ Recommend Approval ☐ Recommend Denial (Attach explanation.)

Investigating Office Signature: CUS PERKINS

Date: 5-2-25

Print Name of Investigating Officer:



Wisconsin Department of Agriculture, Trade and Consumer Protection  
 Bureau of Consumer Protection  
 2811 Agriculture Drive, PO Box 8911, Madison WI 53708-8911  
 Phone: (800) 422-7128 FAX: (608) 224-4677 TDD: (608) 224-5058  
 Email: [DATCPHotline@wi.gov](mailto:DATCPHotline@wi.gov) Website: [datep.wi.gov](http://datep.wi.gov)

18000523

## LICENSE APPLICATION for

- Pawnbroker
- Secondhand Jewelry Dealer
- Secondhand Article Dealer
- Secondhand Article Dealer Mall or Flea Market

Wis. Stat. § 134.71

Completion of this form is mandatory; failure to fully complete this form will result in denial of the license application. Personally identifiable information may be used for purposes other than for which it is originally being collected. Wis. Stat. § 15.04(1)(m).

### CHECK ALL THAT APPLY:

☐ Original application ☒ Renewal

TYPE: ☐ Pawnbroker ☒ Secondhand Jewelry Dealer ☒ Secondhand Article Dealer ☐ Mall or Flea Market

### INSTRUCTIONS:

**NATURAL PERSON (INDIVIDUAL) LICENSE** – Complete Sections 1, 2, 3 and 6

**PARTNERSHIP LICENSE** – Complete Sections 1, 2, 3, 4 and 6

**CORPORATE LICENSE** – Complete Sections 1, 2, 3, 5, and 6

### (SECTION 1) APPLICANT INFORMATION

|                              |                          |                             |  |
|------------------------------|--------------------------|-----------------------------|--|
| FIRST NAME<br><b>DOUGLAS</b> | MI<br><b>L</b>           | LAST NAME<br><b>SPENCER</b> | HOME TELEPHONE NUMBER<br>[REDACTED]                          |
| SEX<br><b>MALE</b>           | RACE<br><b>WHITE</b>     | DATE OF BIRTH<br>[REDACTED] | PLACE OF BIRTH (City, State, Country)<br><b>DELAWARE, PA</b> |
| ADDRESS STREET<br>[REDACTED] | CITY<br><b>WALKESSHA</b> | STATE<br><b>WI</b>          | ZIP<br><b>53189</b>  |

LIST ALL STATES APPLICANT PREVIOUSLY RESIDED:

**NEW JERSEY & WISCONSIN**

IS APPLICANT A: ☐ Natural Person (Individual) ☐ Corporation ☒ Limited Liability Company ☐ Partnership

### (SECTION 2) CONVICTION RECORD

Has the applicant, been convicted or adjudicated of any of the following within the last 10 years where the circumstances of the offense substantially relate to the circumstances of the licensed activity:

|   |   |
|---|---|
| a felony?                                       | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| a misdemeanor?                                  | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| a statutory violation punishable by forfeiture? | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |
| a county or municipal ordinance violation?      | <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO |

For each "YES" response provide the date of arrest, the nature of the offense and conviction or penalty information:

Attach additional sheets if necessary.

### (SECTION 3) BUSINESS INFORMATION

|  |  |                            |                    |                     |                                       |
|--|--|----------------------------|--------------------|---------------------|---------------------------------------|
| BUSINESS NAME<br><b>BROOKFIELD Gold Buyers</b> | ADDRESS STREET<br><b>19035 W. BLUEMOUND RD</b> | CITY<br><b>BROOKFIELD</b>  | STATE<br><b>WI</b> | ZIP<br><b>53045</b> | PHONE NUMBER<br><b>(262) 784-2735</b> |
| OWNER'S NAME<br><b>DOUGLAS SPENCER</b>         | ADDRESS STREET<br>[REDACTED]                   | CITY<br><b>WALKESSHA</b>   | STATE<br><b>WI</b> | ZIP<br><b>53189</b> | PHONE NUMBER<br>[REDACTED]            |
| BUSINESS MANGER'S NAME<br><b>JOANNE LASAGE</b> | ADDRESS STREET<br>[REDACTED]                   | CITY<br><b>DEWAUWEE</b>    | STATE<br><b>WI</b> | ZIP<br><b>53072</b> | PHONE NUMBER<br>[REDACTED]            |
| BUILDING OWNER'S NAME<br><b>GARY STOUTS</b>    | ADDRESS STREET<br>[REDACTED]                   | CITY<br><b>GRAFTON, WI</b> | STATE<br><b>WI</b> | ZIP<br><b>53024</b> | PHONE NUMBER<br>[REDACTED]            |

**(SECTION 4) LIMITED LIABILITY COMPANY INFORMATION**Limited Liability Company Name: Brookfield Gold Buyers DND LLCList name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City     | State | Zip   |
|------------------------|-----|----------------|----------|-------|-------|
| SPENCER Douglas L      |     |                | WAUKESHA | WIS   | 53189 |
| SPENCER DIANE G        |     |                | WAUKESHA | WIS   | 53189 |
|                        |     |                |          |       |       |
|                        |     |                |          |       |       |

**(SECTION 5) PARTNERSHIP INFORMATION**

Partnership Name:

List name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 6) CORPORATION INFORMATION**

Corporation Name:

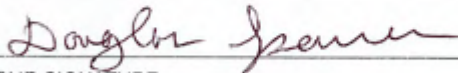
List name, address, and date of birth (DOB) of all members. *Attach additional sheets if necessary.*

| Name (Last, First, MI) | DOB | Street Address | City | State | Zip |
|------------------------|-----|----------------|------|-------|-----|
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |
|                        |     |                |      |       |     |

**(SECTION 7) PENALTY NOTICE**

I understand that this license may be denied or revoked for fraud, misrepresentation or false statement contained in the application or for any violation of Wis. Stat. §§ 134.71, 943.34, 948.62 or 948.63.

Under penalty of law, I swear that the information provided in this application is true and correct to the best of my knowledge. I agree to inform the clerk within ten (10) days of any change in the information supplied in this application.

|   |                 |
|---|-----------------|
|  | DOUGLAS SPENCER |
| YOUR SIGNATURE  | PRINT NAME      |

**FOR ADMINISTRATIVE USE ONLY**

| LICENSING AUTHORITY |                            | LICENSE NUMBER ASSIGNED | DATE EFFECTIVE                             | CLERK     |
|---------------------|----------------------------|-------------------------|--|-----------|
|                     |                            | 2526-PS-03              |  |           |
| FEES RECEIVED:      | Pawnbroker Bond            | \$                      | Secondhand Article License                 | \$ 500.00 |
|                     | Pawnbroker License         | \$                      | Secondhand Dealer Mall/Flea Market License | \$        |
|                     | Secondhand Jewelry License | \$                      | TOTAL FEE: \$                              |           |

**FOR LAW ENFORCEMENT USE ONLY**

|  |   |
|--|---|
| <input checked="" type="checkbox"/> Recommend Approval   | <input type="checkbox"/> Recommend Denial (Attach explanation.) |
| Investigating Office Signature: <u>Chris Parker</u>      | Date: <u>5.30.25</u>  |
| Print Name of Investigating Officer: <u>CHRIS PARKER</u> |   |

5.12.25

STATE OF WISCONSIN:

TOWN OF BROOKFIELD:

WAUKESHA COUNTY:

RESOLUTION #2025-02

---

**RESOLUTION UPDATING THE TOWN OF BROOKFIELD  
MASTER FEE SCHEDULE**

---

**WHEREAS**, under the Town of Brookfield Code, the Town Board for the Town of Brookfield may from time to time update all or portions of its Master Fee Schedule by adoption of a resolution; and

**WHEREAS**, by adoption of this Resolution, the Town Board desires to update certain portions of its Master Fee Schedule, as further shown on the attached **Exhibit A**.

**NOW, THEREFORE, BE IT RESOLVED**, the Town of Brookfield Master Fee Schedule shall be revised and updated in accordance with Exhibit A attached to this Resolution;

**BE IT FURTHER RESOLVED** that all other fees on the Master Fee Schedule shall remain in full force and effect.

Adopted this 3rd day of June, 2025.

BY: \_\_\_\_\_  
Keith Henderson, Chairman

BY: \_\_\_\_\_  
John Charlier, Supervisor

BY: \_\_\_\_\_  
Steve Kohlmann, Supervisor

BY: \_\_\_\_\_  
John R. Schatzman, Sr., Supervisor

BY: \_\_\_\_\_  
Ryan Stanelle, Supervisor

ATTEST: \_\_\_\_\_  
Tom Hagie, Interim-Clerk

EXHIBIT A  
 RESOLUTION 2025-01  
 SCHEDULE OF FEES AND FORFEITURES  
 PROPOSED CHANGES  
 6/3/2025

Clerks Office: **ADD** the following

| Description                                 | Fee                         |
|---|-----------------------------|
| General                                     |                             |
| Late fee for renewals                       | \$ 20.00 per day            |
| Background Check Fee                        | \$ 20.00                    |
|   |                             |
| Other Establishment Licenses                |                             |
| Massage Business License Non-Compliance Fee | \$ 1500 + court cost & fees |

Police Department: **ADD** the following

| Description                                      | Fee    |
|--|--------|
| <u>PERMIT FEES</u>                               |        |
| Massage Business:                                |        |
| 1. License including up to three therapists.     | \$ 150 |
| 2. Fee for each additional therapist over three. | \$ 50  |
| Solicitor Permit:                                |        |
| 1. License including up to three solicitors.     | \$ 150 |
| 2. Fee for each additional solicitor over three. | \$ 50  |

Town of Brookfield  
645 N. Janacek Road  
Brookfield, WI 53045  
(P) 262-796-3788  
(F) 262-796-0339



TO: Town Board  
FROM: Chairman Keith Henderson  
DATE: June 3, 2025  
RE: Requests for Appointment

c – current member  
r - recommendation

Architectural Control Committee (need 5, 2 year term)

c r William (Alan) Lee [REDACTED]

c r Richard Diercksmeier [REDACTED]

c r Dean Pearson [REDACTED]

CDA (need 2, 4 year term)

c r Thomas Koplin [REDACTED]

Board of Review (need 1, annual)

c r Robert Wiseman [REDACTED]

Brookfield Chamber (need 1, annual)

Joint Review Board (need 1, annual)

c r Richard Diercksmeier [REDACTED]

Plan Commission (need 2, 3 year term)

c r Jeremy Watson [REDACTED]

c r Len Smelter [REDACTED]

Police & Fire Commission (need 1, 5 year term)

c r Joe Lewandowski [REDACTED]

Zoning Board of Appeals (need 5, 3 year term)

c r John Marose [REDACTED]

c r Daryl Walther [REDACTED]



---

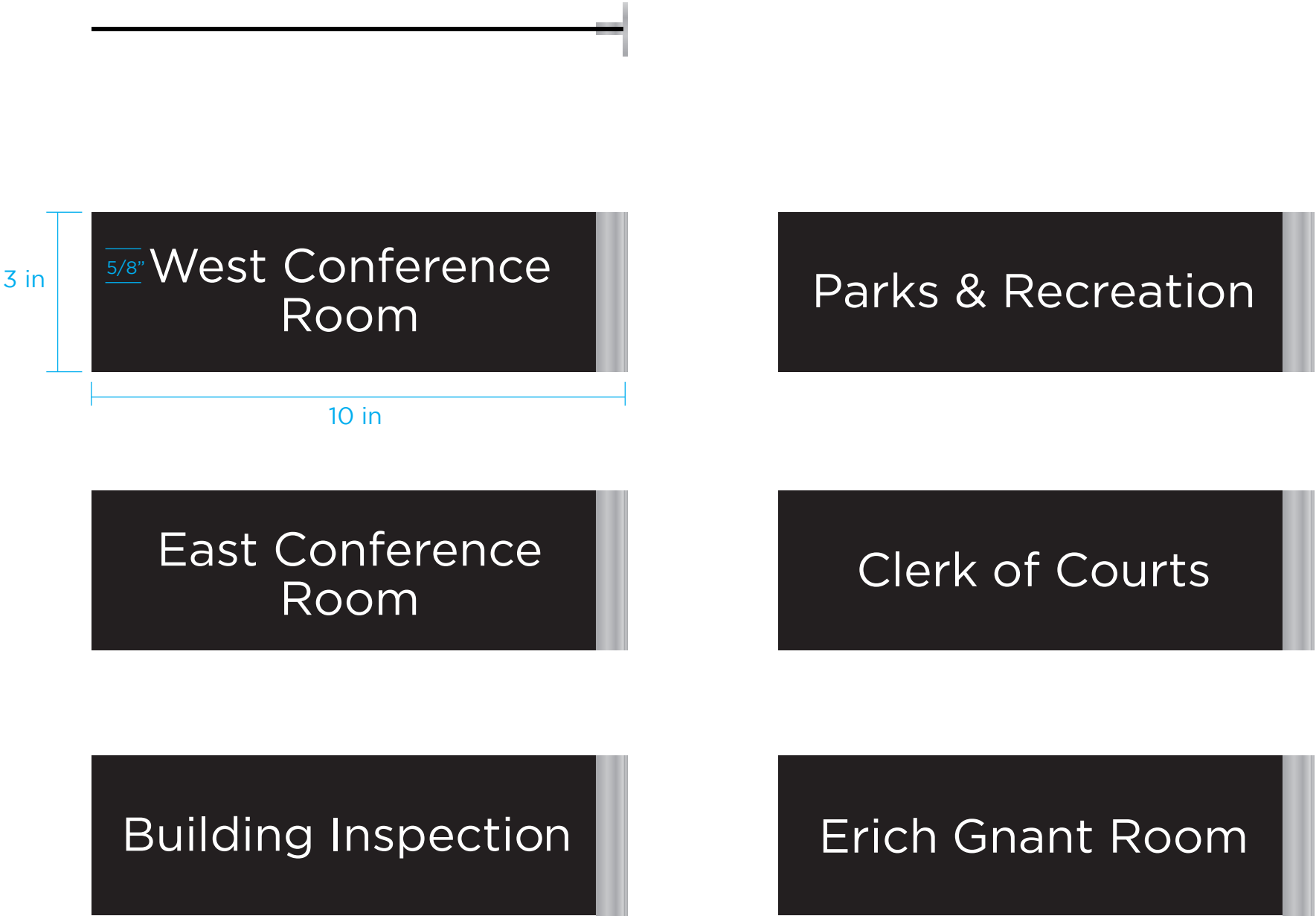
645 NORTH JANACEK ROAD, BROOKFIELD, WI. 53045



21700 DORAL ROAD  
WAUKESHA WI 53186  
262.432.1330  
[www.innovative-signs.com](http://www.innovative-signs.com)



Overhead View





Customer

| Town of Brookfield<br>Projecting Signs |                 |
|--|-----------------|
| Date                                   | Project Manager |
| 03/06/2025                             | Chad S.         |
| Order #                                | Designer        |
| ISI - 14715                            | Brian H.        |

Materials & Specifics

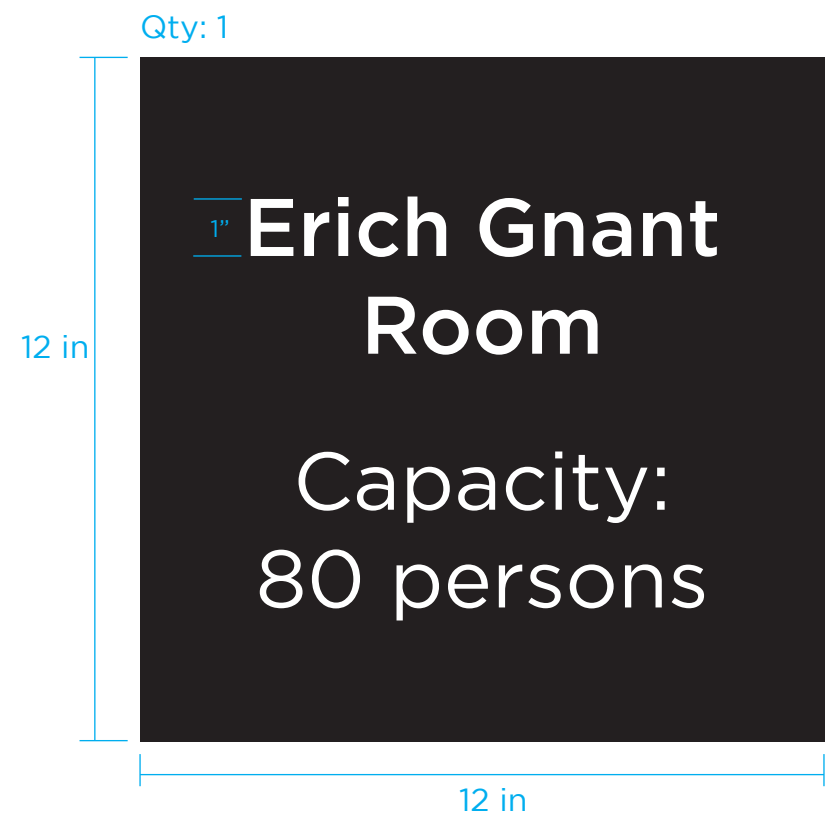
- Projecting Sign**
- 1/8" double sided black matte dibond
  - Silver wall mounted bracket
  - Oracal 751-010 white cut vinyl
  - Same message both sides
  - Bracket fastened to wall

Colors

-  Matte black dibond
-  Oracal 751-010 white cut vinyl

Revisions

- ☐ Revision 1:
- ☐ Revision 2:
- ☐ Revision 3:
- ☐ Revision 4:



| Customer  |                 |
|---|-----------------|
| Town of Brookfield<br>Wall Signs  |                 |
| Date  | Project Manager |
| 03/06/2025  | Chad S.         |
| Order #   | Designer        |
| ISI - 14715   | Brian H.        |
| Materials & Specifics   |                 |
| <b>Wall Sign</b> <ul style="list-style-type: none"><li>- 1/8" black matte dibond</li><li>- Oracal 751-010 white cut vinyl</li><li>- Double sided tape installation</li></ul>                    |                 |
| Colors  |                 |
| <div>Matte black dibond</div> <div>Oracal 751-010 white cut vinyl</div>   |                 |
| Revisions   |                 |
| <div><input type="checkbox"/> Revision 1:</div> <div><input type="checkbox"/> Revision 2:</div> <div><input type="checkbox"/> Revision 3:</div> <div><input type="checkbox"/> Revision 4:</div> |                 |

Top



Face



Customer

**Town of Brookfield**  
Ballot Box & Podium

Date Project Manager

01/30/2025 Chad S.

Order # Designer

ISI - 14715 Brian H.

Materials & Specifics

**Digital Print**  
- Digital Print with Lamination  
contour cut out

Colors

 Full Color CMYK

Revisions

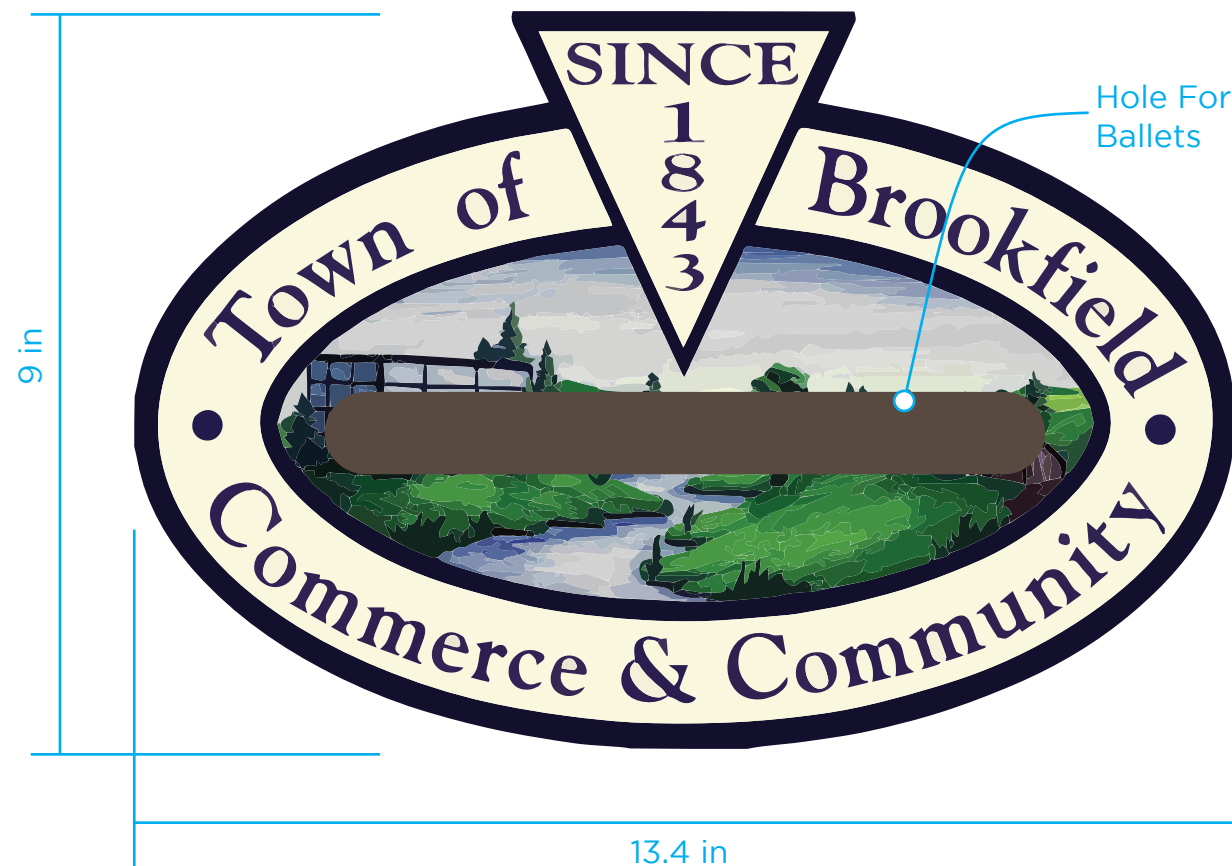
☐ Revision 1:

☐ Revision 2:

☐ Revision 3:

☐ Revision 4:

Qty: 1 (top)



Qty: 1 (face)



Face



Qty: 1 (top)



Customer

**Town of Brookfield**  
Ballot Box & Podium

Date

01/07/2025

Project Manager

Chad S.

Order #

ISI - 14715

Designer

Brian H.

Materials & Specifics

Digital Print

- Digital Print with Lamination  
contour cut out

Colors

Full Color CMYK

Revisions

☐ Revision 1:

☐ Revision 2:

☐ Revision 3:

☐ Revision 4:



21700 Doral Rd  
Waukesha, WI 53186  
(262) 432-1330

First Impressions, Great Results  
www.innovative-signs.com

# ESTIMATE

## EST-14715

Payment Terms: Cash Customer

Created Date: 12/17/2024

**DESCRIPTION:** Podium & Ballot Box

**Bill To:** Town of Brookfield  
645 N. Janacek Road  
Brookfield, WI 53045  
US

**Installed:** Town of Brookfield  
645 N. Janacek Road  
Brookfield, WI 53045  
US

**Requested By:** Tom Hagie  
Email: administrator@townofbrookfield.com  
Work Phone: (262) 796-3788

**Salesperson:** Chad Schultz  
Email: chads@innovative-signs.com

| NO. | Product Summary  | QTY | UNIT PRICE | AMOUNT   |
|-----|--|-----|------------|----------|
| 1   | <b>Podium &amp; Ballot Box</b>   | 1   | \$414.94   | \$414.94 |
| 1.1 | <b>Vehicle Standard Printed Vinyl (40C) - Single sided</b><br><br><b>Text:</b><br>Decals for the outside of a podium<br>and 2 ballot boxes- 5 decals<br>Visible area:<br>Podium 18" tall x 24" wide<br>Ballot Box top 15" x 15" (COULD WE<br>HAVE THE SLIT IN THE MIDDLE OF THE<br>DECAL?)<br>* Qty 2<br>Ballot Box face 15" x 20"<br>* Qty 2<br><br>Graphics: Town of Brookfield logo<br><br>Ballot boxes were recently varnished.<br>Will need to make sure they air out<br>before we apply. |     |            |          |
| 1.2 | <b>Graphic Design Fee - artwork prep</b>   |     |            |          |
| 2   | <b>Projecting Room ID signs</b>  | 6   | \$119.69   | \$718.12 |

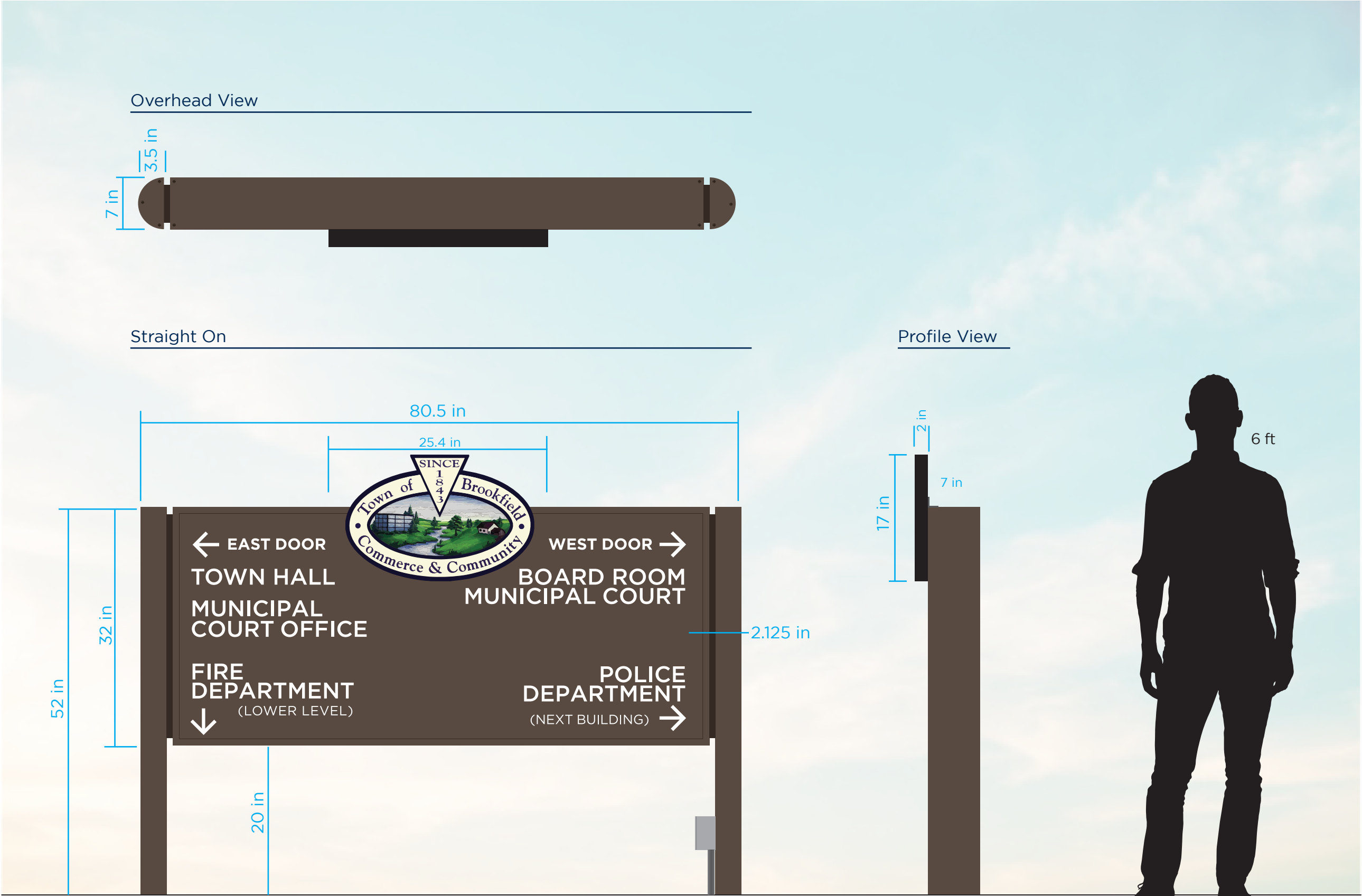
|          |  |          |                 |                 |
|----------|--|----------|-----------------|-----------------|
| 2.1      | <b>Custom Signs (v) - Double sided</b><br><br><b>Text:</b><br>Projecting wall Room ID Signs<br>Bracket: 2" tall<br>Size size: 2" tall x 10" long<br>Text size: .75" tall<br>Font: Helvetica<br>Color: Black with White cut vinyl text<br><br>Text:<br>West Conference room<br>East Conference room<br>Building Inspection<br>Parks & Recreation<br>Clerk of Courts<br>Erich Gnant Room |          |                 |                 |
| 2.2      | <b>DiBond 1/8" Black 2S (3MM) - Black dibond</b>   |          |                 |                 |
| 2.3      | <b>Vinyl - Cut Premium Cast - White cut vinyl</b>  |          |                 |                 |
| 2.4      | <b>Graphic Design Fee - Vinyl layout</b>   |          |                 |                 |
| <b>3</b> | <b>Erich Gnant Room</b>  | <b>1</b> | <b>\$136.73</b> | <b>\$136.73</b> |
| 3.1      | <b>DiBond 1/8" Black 2S (3MM) - Single sided</b><br><br><b>Text:</b><br>Single sided wall sign<br>Size; 12" x 12"<br>Material: 1/8" thick black dibond with white vinyl text<br>Text:<br>Erich Gnant Room<br>Capacity: 80 persons<br><br>Includes double sided tape for install.   |          |                 |                 |
| 3.2      | <b>Vinyl - Cut Premium Cast - Vinyl</b>  |          |                 |                 |
| <b>4</b> | <b>Install</b>   | <b>1</b> | <b>\$600.00</b> | <b>\$600.00</b> |
| 4.1      | <b>Installation - 1 person</b>   |          |                 |                 |

Please Note: This estimate is a preliminary approximation and is not a guaranteed final price. It is based on information provided by the client regarding project requirements. Due to the volatility of the materials market, prices are subject to change. The actual cost may be adjusted once all project details are finalized and negotiations are complete. Any changes in cost will be communicated to the client prior to implementation.

|                          |                   |
|--------------------------|-------------------|
| <b>Subtotal:</b>         | <b>\$1,869.79</b> |
| <b>Taxes:</b>            | <b>\$93.49</b>    |
| <b>Grand Total:</b>      | <b>\$1,963.28</b> |
| <b>Deposit Required:</b> | <b>\$981.64</b>   |





**Signature:** \_\_\_\_\_ **Date:** \_\_\_\_\_





| Customer           |                 |
|--------------------|-----------------|
| Town of Brookfield |                 |
| Date               | Project Manager |
| 01/30/2025         | Chad S.         |
| Order #            | Designer        |
| EST - 14624        | Brian H.        |

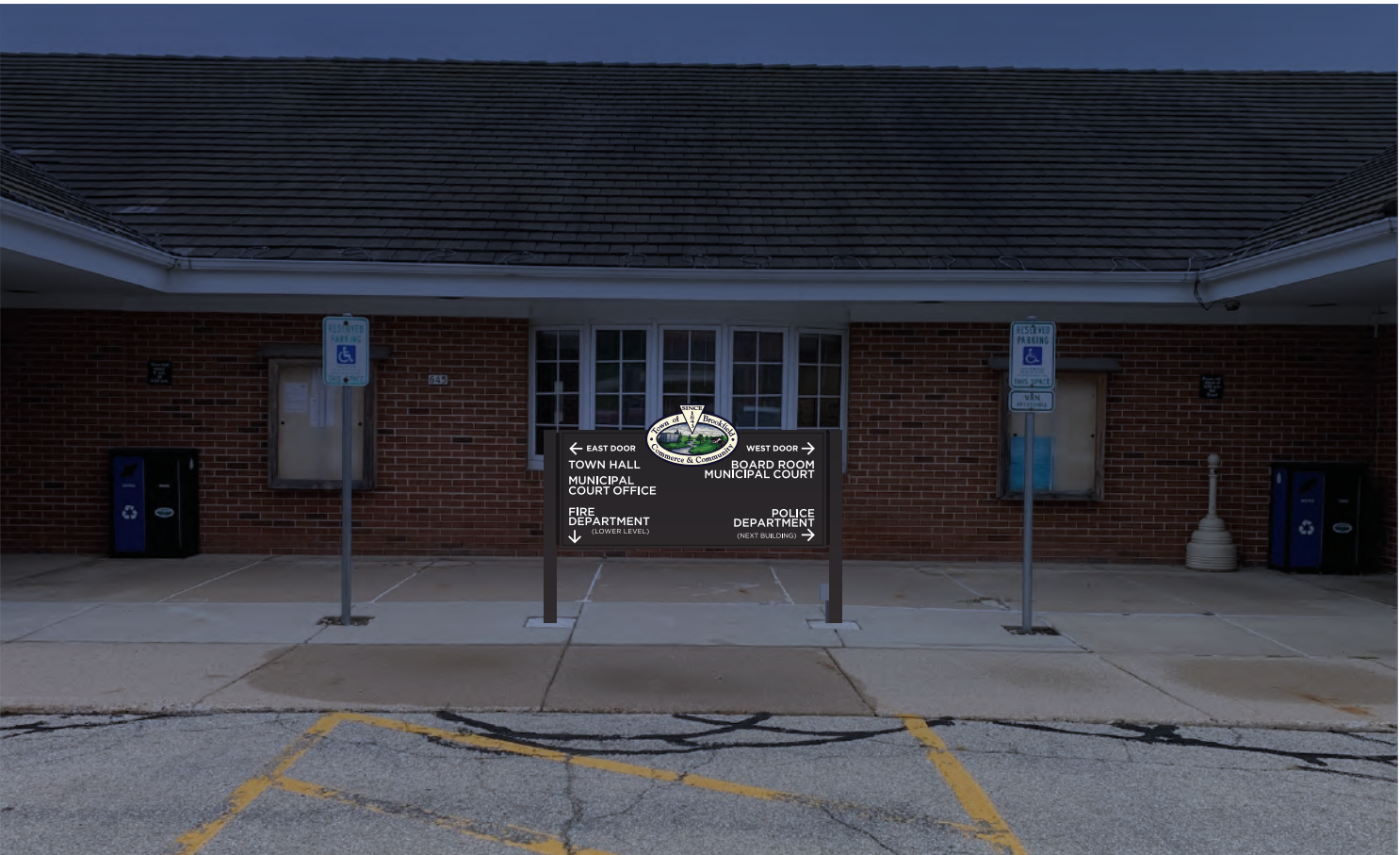
- Materials & Specifics**
- Face Lit Post & Panel**
- White LED's
  - Single Sided
  - Aluminum Construction
  - Painted MP 00554 Choconut
  - 7" half circle posts
  - White acrylic face
  - Opaque 3M 3125-069 Duranodic opaque vinyl face
  - Top access for service
  - Mini powersupply bottom of cabinet
  - Power to be down post with box 6" up from the ground for power
- Face Lit Channel Letter Logo**
- White LED's
  - Single Sided
  - 2" face Lit channel letter
  - Attached to top of cabinet with angle
  - Translucent digital print with lamination

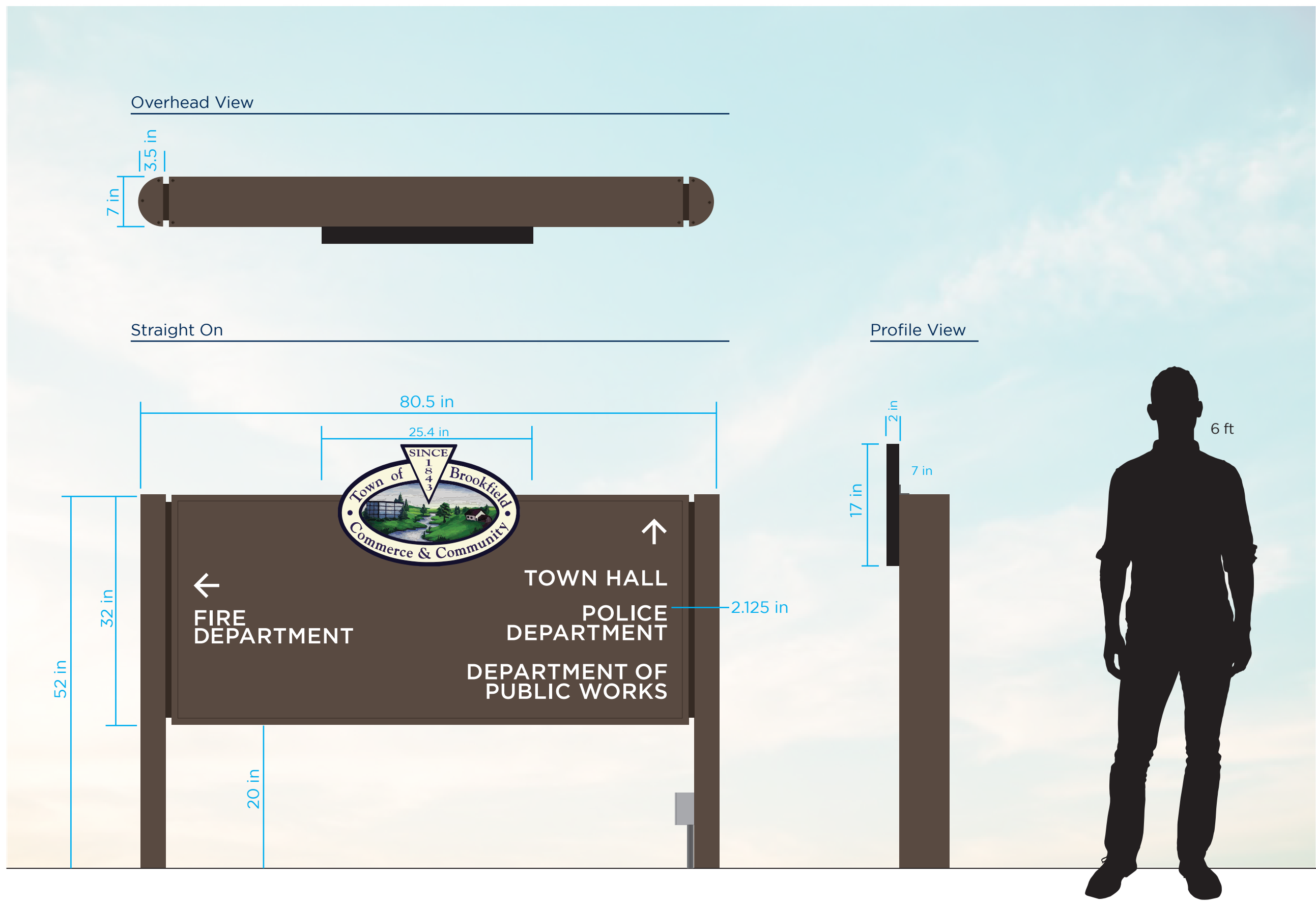
| Colors  |                       |
|---|-----------------------|
|  | 3M 3125-069 Duranodic |
|  | 7328 White            |
|  | MP 00554 Choconut     |
|  | Full Color CMYK       |

After - Day







After - Night





| Customer           |                 |
|--------------------|-----------------|
| Town of Brookfield |                 |
| Date               | Project Manager |
| 01/30/2025         | Chad S.         |
| Order #            | Designer        |
| EST - 14624        | Brian H.        |

- Materials & Specifics**
- Face Lit Post & Panel**
- White LED's
  - Single Sided
  - Aluminum Construction
  - Painted MP 00554 Choconut
  - 7" half circle posts
  - White acrylic face
  - Opaque 3M 3125-069 Duranodic opaque vinyl face
  - Top access for service
  - Mini powersupply bottom of cabinet
  - Power to be down post with box 6" up from the ground for power
- Face Lit Channel Letter Logo**
- White LED's
  - Single Sided
  - 2" face Lit channel letter
  - Attached to top of cabinet with angle
  - Translucent digital print with lamination

| Colors  |                       |
|---|-----------------------|
|  | 3M 3125-069 Duranodic |
|  | 7328 White            |
|  | MP 00554 Choconut     |
|  | Full Color CMYK       |

After - Day



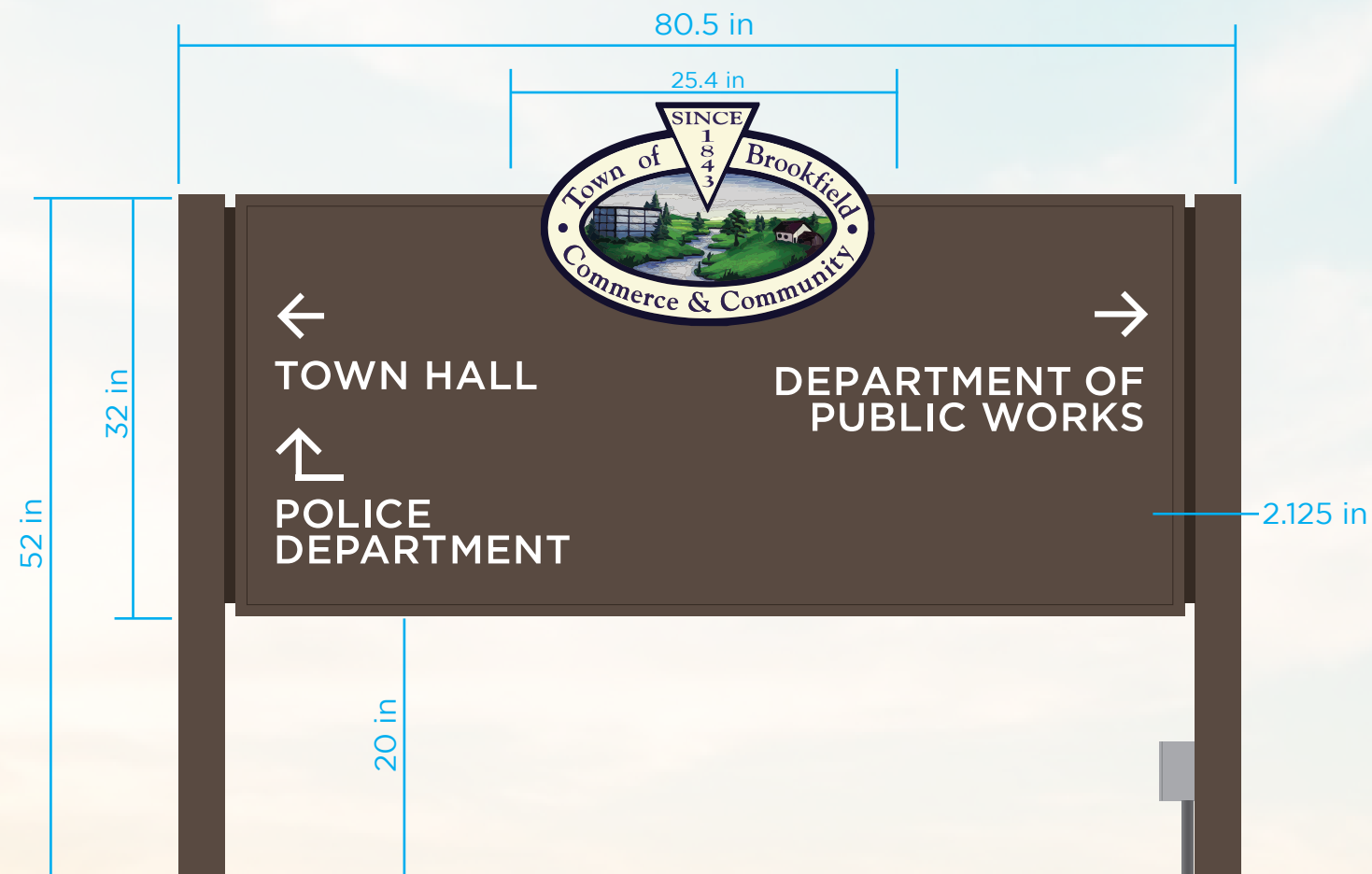
After - Night



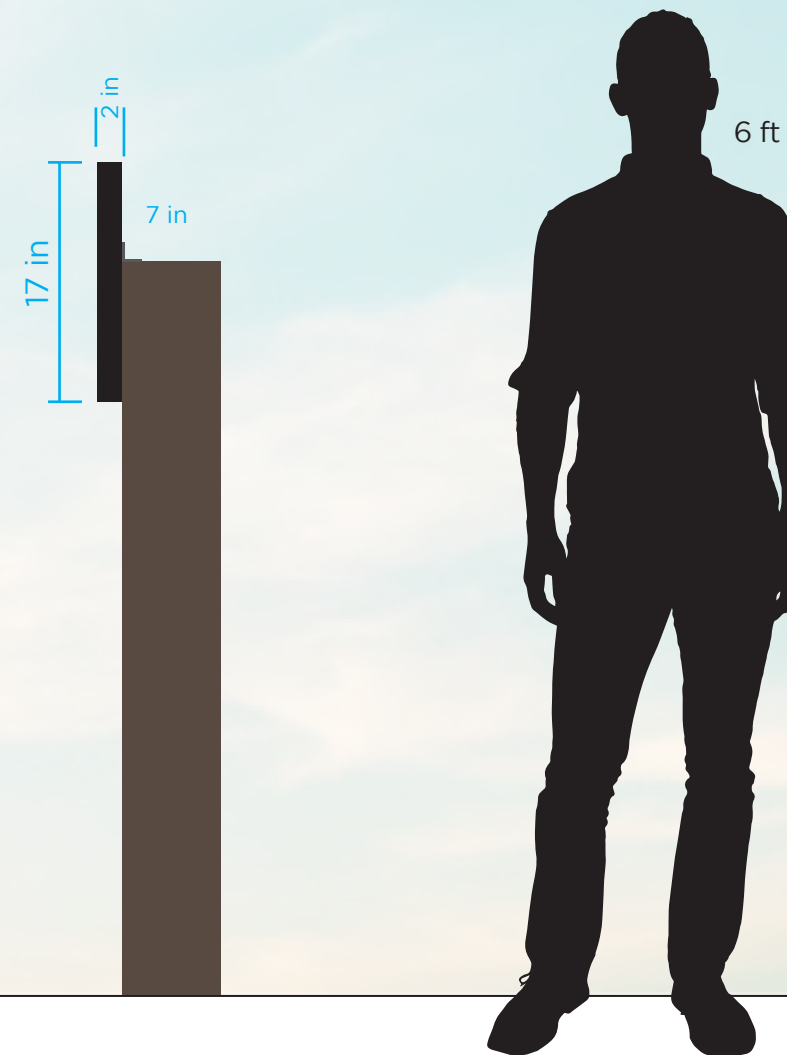
Overhead View



Straight On



Profile View



## Customer

Town of Brookfield

## Date

01/30/2025

## Project Manager

Chad S.

## Order #

EST - 14624

## Designer

Brian H.

## Materials &amp; Specifics

## Face Lit Post &amp; Panel

- White LED's
- Single Sided
- Aluminum Construction
- Painted MP 00554 Choconut
- 7" half circle posts
- White acrylic face
- Opaque 3M 3125-069 Duranodic opaque vinyl face
- Top access for service
- Mini powersupply bottom of cabinet
- Power to be down post with box 6" up from the ground for power

## Face Lit Channel Letter Logo

- White LED's
- Single Sided
- 2" face Lit channel letter
- Attached to top of cabinet with angle
- Translucent digital print with lamination

## Colors

- 3M 3125-069 Duranodic
- 7328 White
- MP 00554 Choconut
- Full Color CMYK

After - Day



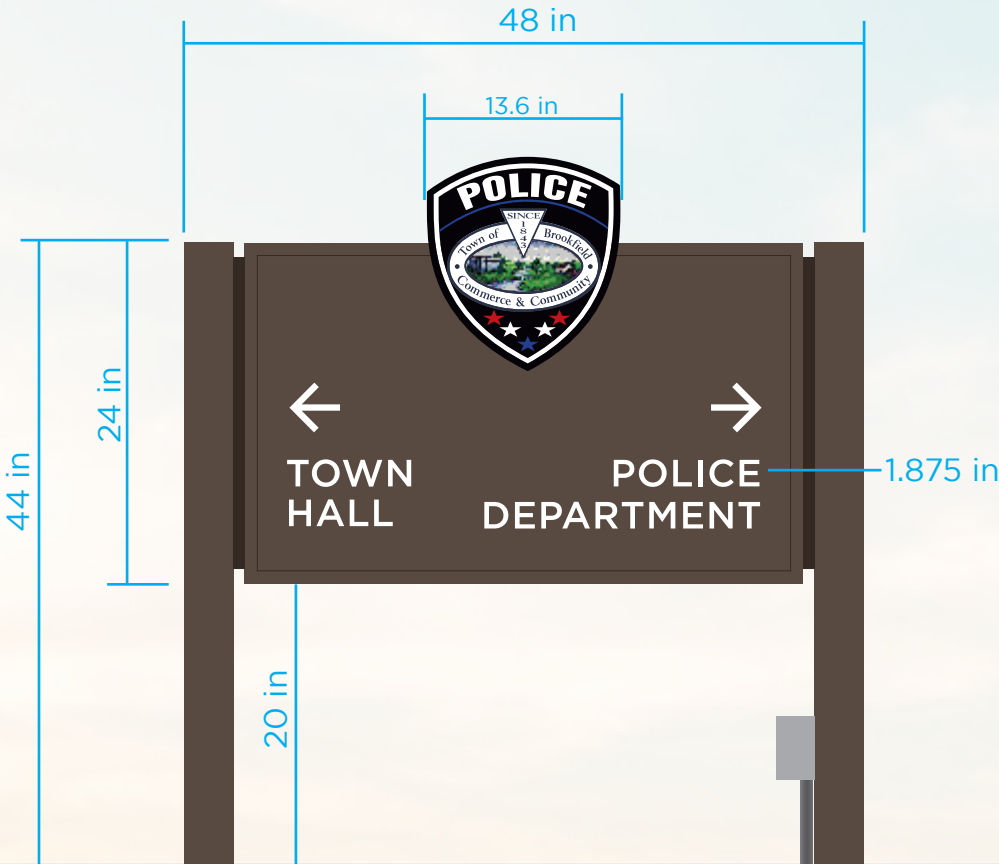
After - Night



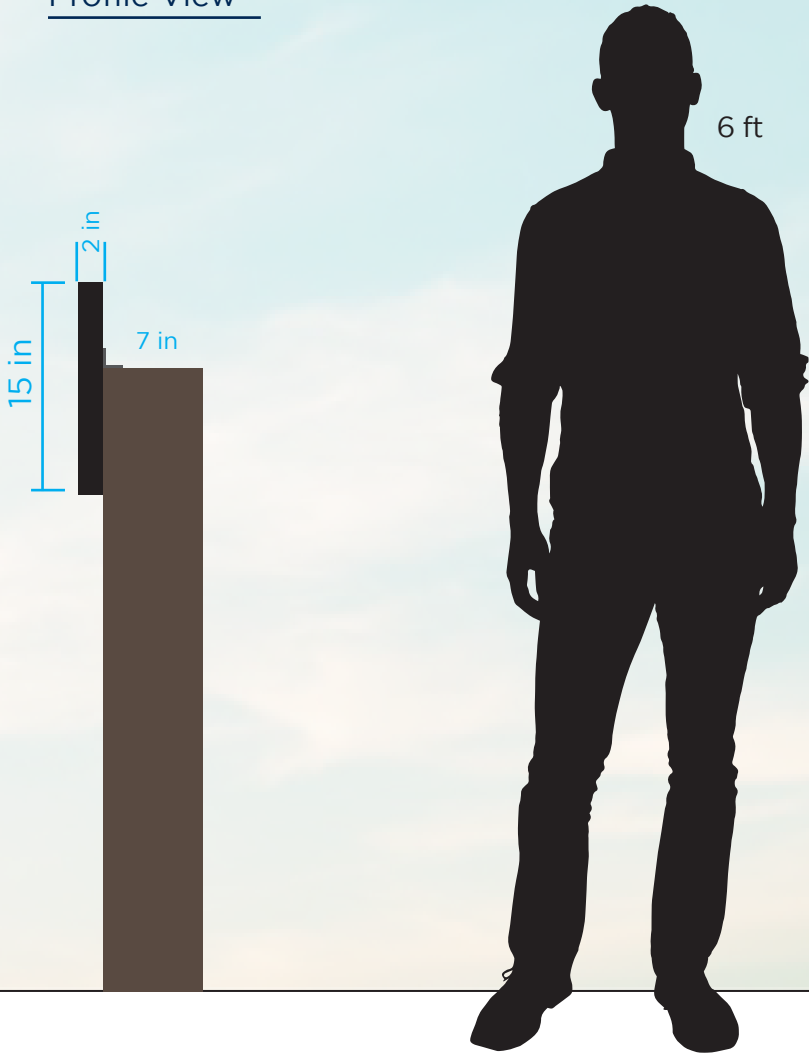
Overhead View



Straight On







Profile View



| Customer           |                 |
|--------------------|-----------------|
| Town of Brookfield |                 |
| Date               | Project Manager |
| 01/30/2025         | Chad S.         |
| Order #            | Designer        |
| EST - 14624        | Brian H.        |

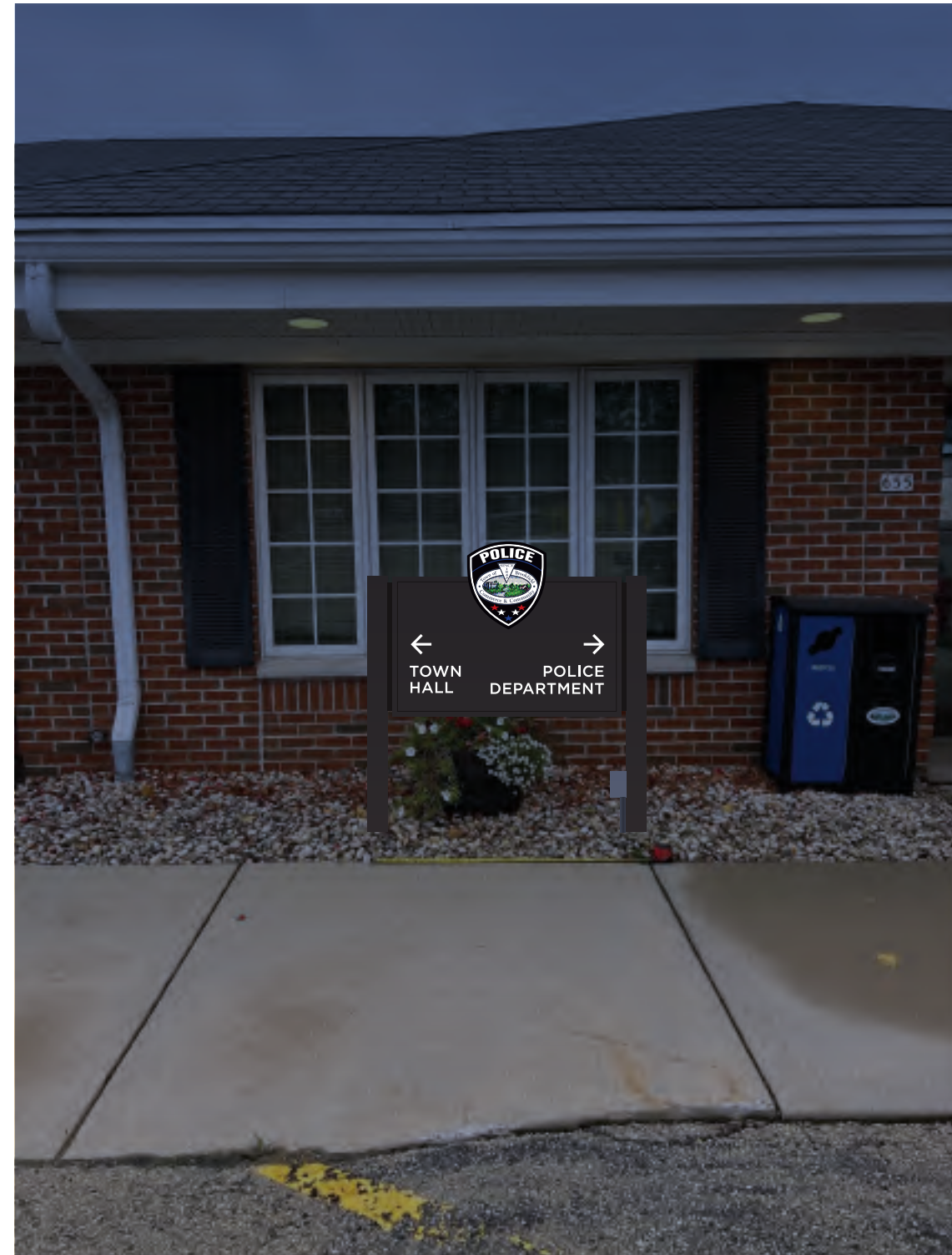
| Materials & Specifics  |  |
|--|--|
| <b>Face Lit Post &amp; Panel</b>                                 |  |
| - White LED's  |  |
| - Single Sided   |  |
| - Aluminum Construction  |  |
| - Painted MP 00554 Choconut                                      |  |
| - 7" half circle posts   |  |
| - White acrylic face   |  |
| - Opaque 3M 3125-069 Duranodic opaque vinyl face                 |  |
| - Top access for service   |  |
| - Mini powersupply bottom of cabinet                             |  |
| - Power to be down post with box 6" up from the ground for power |  |
| <b>Face Lit Channel Letter Logo</b>                              |  |
| - White LED's  |  |
| - Single Sided   |  |
| - 2" face Lit channel letter                                     |  |
| - Attached to top of cabinet with angle                          |  |
| - Translucent digital print with lamination                      |  |

| Colors  |                       |
|---|-----------------------|
|  | 3M 3125-069 Duranodic |
|  | 7328 White            |
|  | MP 00554 Choconut     |
|  | Full Color CMYK       |

After - Day



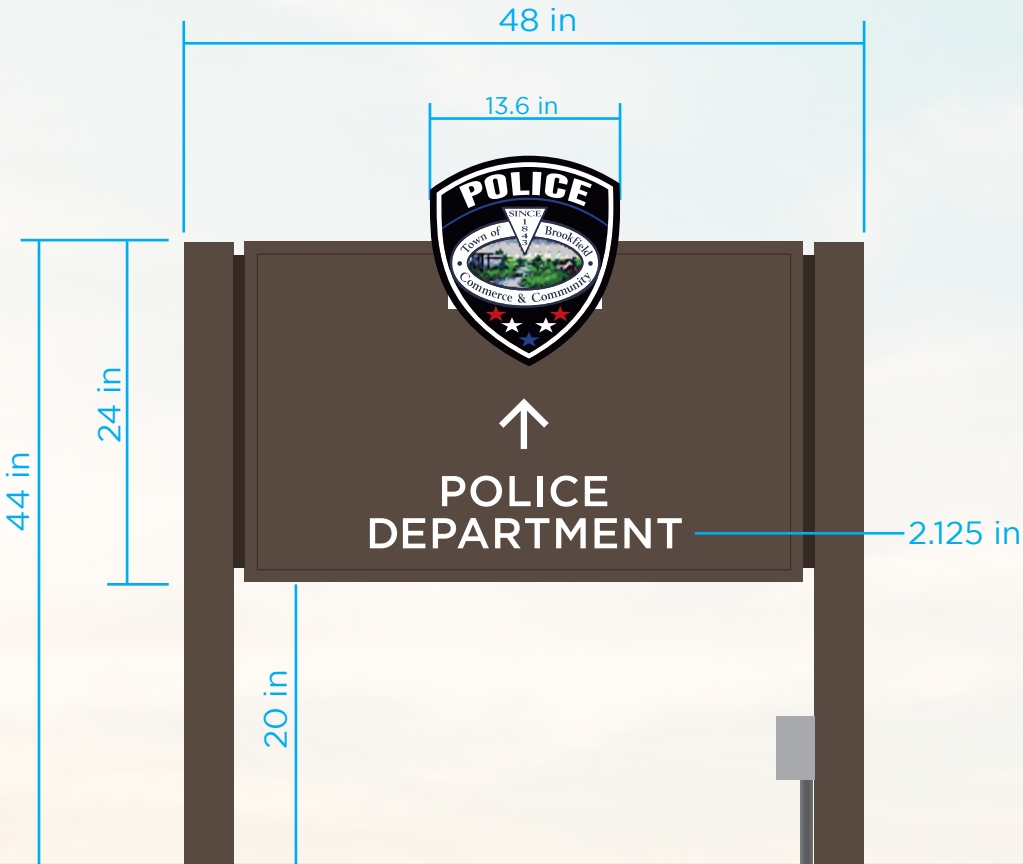
After - Night



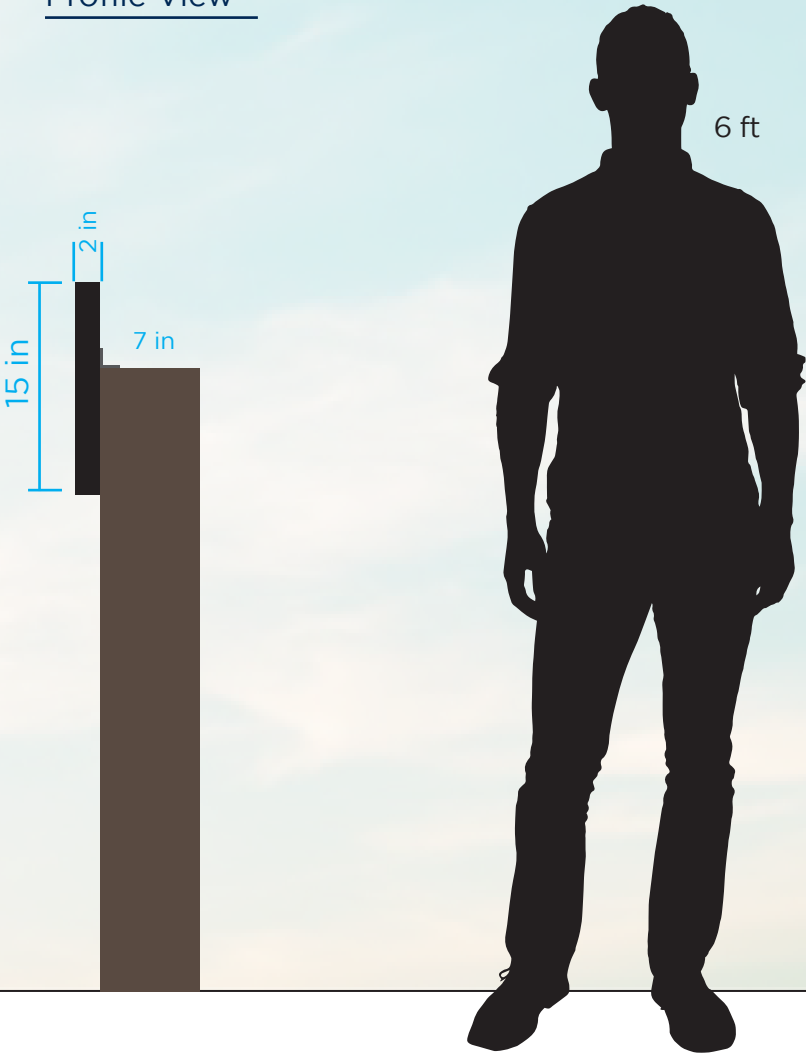
Overhead View



Straight On







Profile View



| Customer           |                 |
|--------------------|-----------------|
| Town of Brookfield |                 |
| Date               | Project Manager |
| 01/30/2025         | Chad S.         |
| Order #            | Designer        |
| EST - 14624        | Brian H.        |

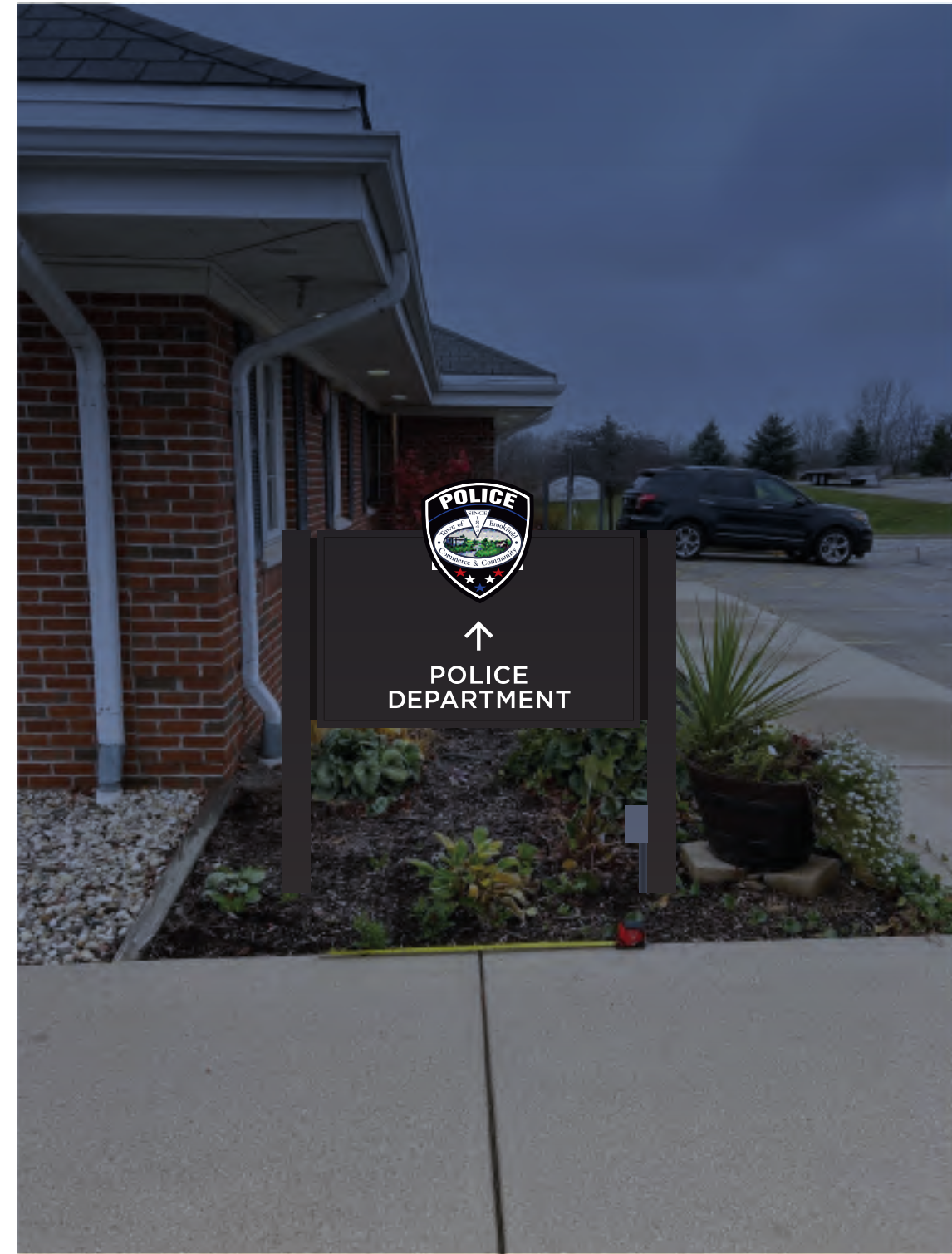
| Materials & Specifics  |  |
|--|--|
| <b>Face Lit Post &amp; Panel</b>                                 |  |
| - White LED's  |  |
| - Single Sided   |  |
| - Aluminum Construction  |  |
| - Painted MP 00554 Choconut                                      |  |
| - 7" half circle posts   |  |
| - White acrylic face   |  |
| - Opaque 3M 3125-069 Duranodic opaque vinyl face                 |  |
| - Top access for service   |  |
| - Mini powersupply bottom of cabinet                             |  |
| - Power to be down post with box 6" up from the ground for power |  |
| <b>Face Lit Channel Letter Logo</b>                              |  |
| - White LED's  |  |
| - Single Sided   |  |
| - 2" face Lit channel letter                                     |  |
| - Attached to top of cabinet with angle                          |  |
| - Translucent digital print with lamination                      |  |

| Colors  |                       |
|---|-----------------------|
|  | 3M 3125-069 Duranodic |
|  | 7328 White            |
|  | MP 00554 Choconut     |
|  | Full Color CMYK       |

After - Day



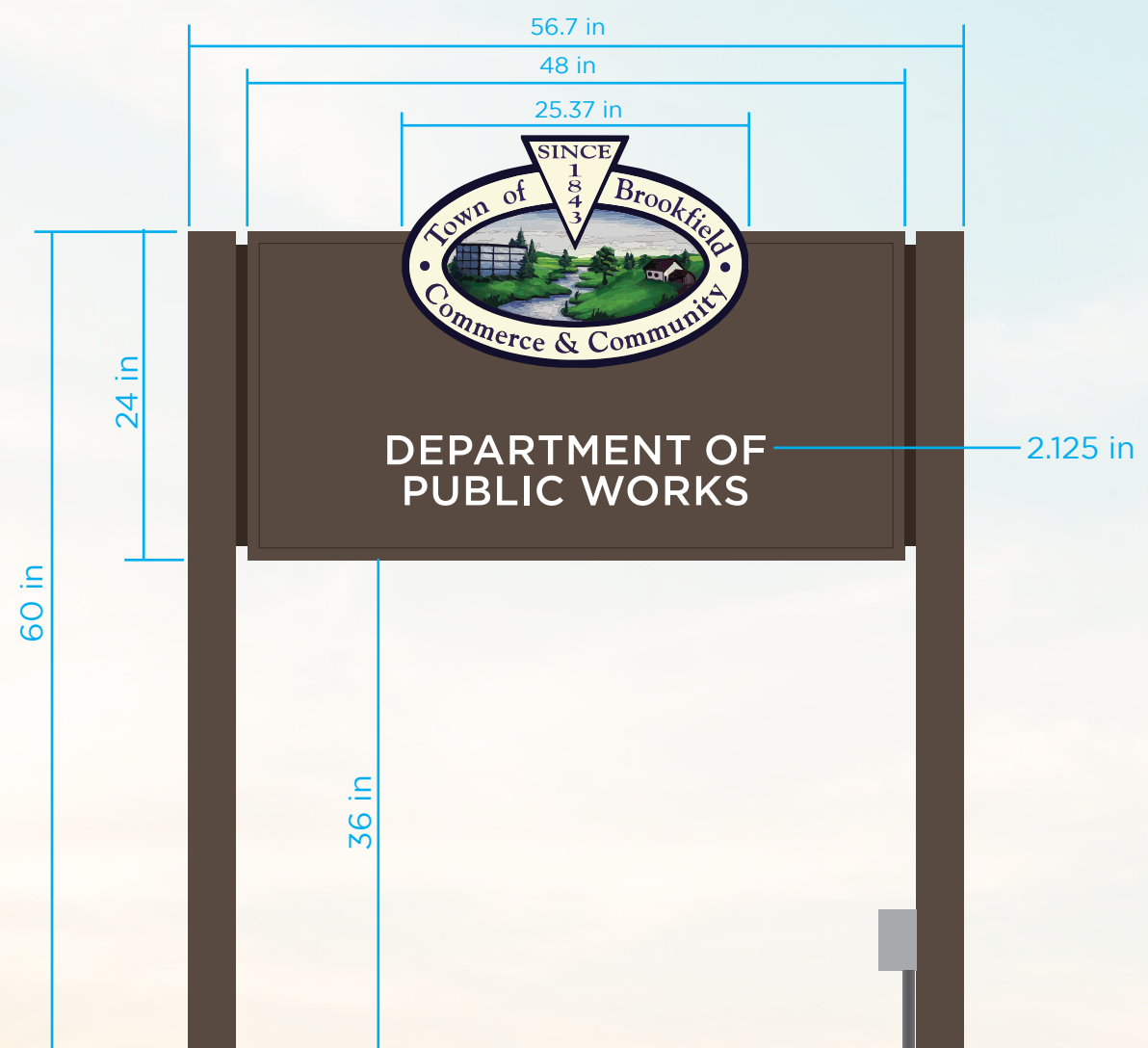
After - Night



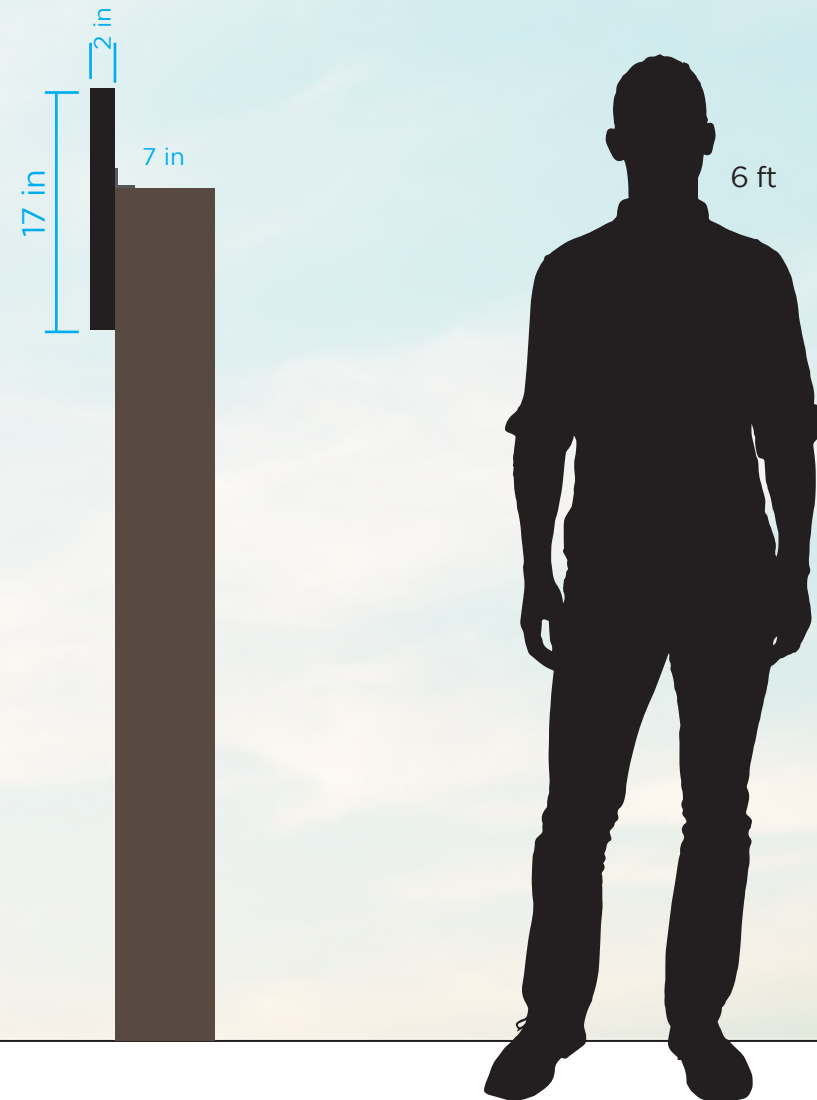
Overhead View



Straight On



Profile View



Customer

Town of Brookfield

|             |                 |
|-------------|-----------------|
| Date        | Project Manager |
| 01/30/2025  | Chad S.         |
| Order #     | Designer        |
| EST - 14624 | Brian H.        |

Materials & Specifics

Face Lit Post & Panel

- White LED's
- Single Sided
- Aluminum Construction
- Painted MP 00554 Choconut
- 7" half circle posts
- White acrylic face
- Opaque 3M 3125-069 Duranodic opaque vinyl face
- Top access for service
- Mini powersupply bottom of cabinet
- Power to be down post with box 6" up from the ground for power

Face Lit Channel Letter Logo

- White LED's
- Single Sided
- 2" face Lit channel letter
- Attached to top of cabinet with angle
- Translucent digital print with lamination

Colors

3M 3125-069 Duranodic

7328 White

MP 00554 Choconut

Full Color CMYK

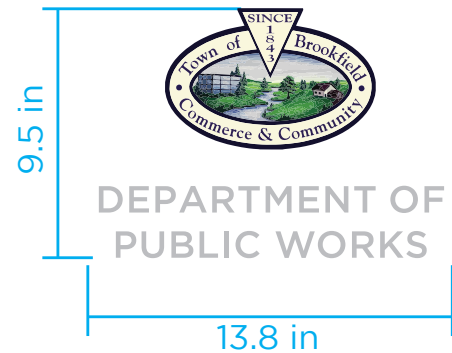
After - Day



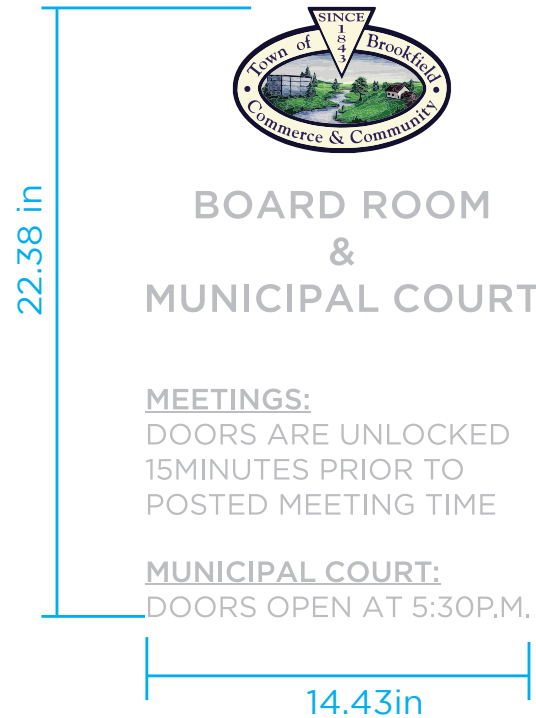
After - Night



Qty: 1 - DPW Main Entrance



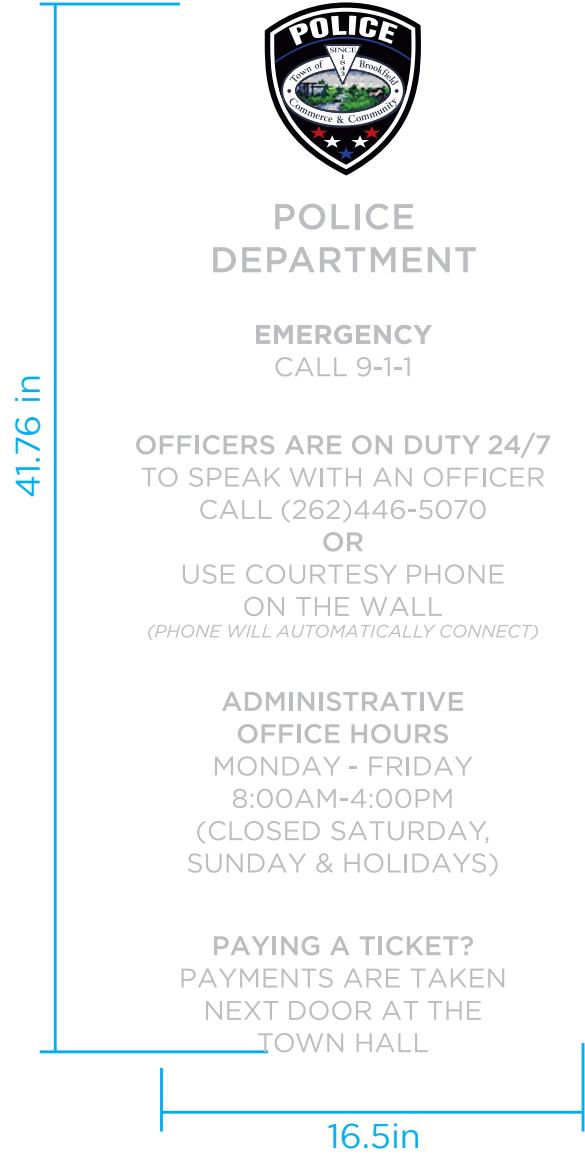
Qty: 1 - Town Hall West Entrance



Qty: 1 - Town Hall East Entrance



Qty: 1 - Police Entrance Side lite



| Customer           |                 |
|--------------------|-----------------|
| Town of Brookfield |                 |
| Date               | Project Manager |
| 01/30/2025         | Chad S.         |
| Order #            | Designer        |
| EST - 14624        | Brian H.        |

Materials & Specifics

**Door Vinyl**  
- Digital print with lamination  
contour cut, First surface

Colors

Full Color CMYK

DPW Main Entrance



Town Hall East Entrance



Town Hall West Entrance



Police Station Entrance





| Customer           |   |
|--------------------|---|
| Town of Brookfield |   |
| Date               | Project Manager                                   |
| 01/30/2025         | Chad S.   |
| Order #            | Designer  |
| EST - 14624        | Brian H.  |
| Trim Cap           | Surveyor  |
| Black              | Chad S.   |
| Return             | Acrylic Faces                                     |
| Black              | 7328 White  |
| Return Depth       | Mounting  |
| Standard 4"        | <input type="checkbox"/> Raceway                  |
|                    | <input checked="" type="checkbox"/> Flush Mounted |

| Location & Electrical Specifications   |
|--|
| <b>Electrical Location: Centered</b><br>20 AMP to 120 or 277 VAC<br>(6ft whips unless specified) |

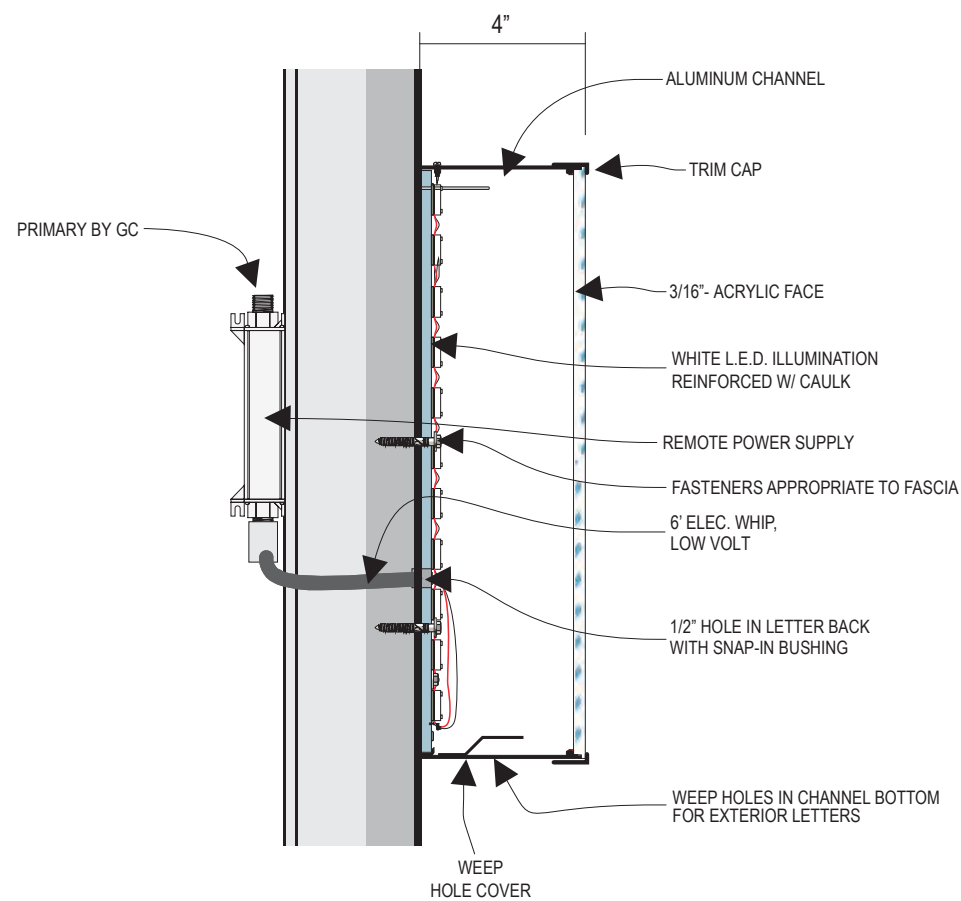
| Materials & Specifics   |
|---|
| <b>Channel Letters - Face Lit</b> <ul style="list-style-type: none"><li>- White 7100K LED's</li><li>- Translucent cut vinyl red</li><li>- Block out black</li></ul> |

| Colors   |
|--|
| <div><div></div>3M 3630-33 Red</div> <div><div></div>3M block out vinyl</div> <div><div></div>Black</div> <div><div></div>7328 White</div> |

BUILD

3D RENDERING

FLUSH MOUNTED  
CHANNEL LETTERS



| HARDWARE                  | SURVEY NOTES | WALL MATERIAL                                   |
|---------------------------|--------------|---|
| <b>Bolts:</b>             |              | <input type="checkbox"/> Sheet Rock/Drywall     |
| <b>Screws:</b>            |              | <input type="checkbox"/> Aluminum Composite     |
| <b>Backing needed: No</b> |              | <input type="checkbox"/> Concrete               |
|                           |              | <input checked="" type="checkbox"/> Brick       |
|                           |              | <input type="checkbox"/> Needs Backing          |
|                           |              | <input checked="" type="checkbox"/> Has Backing |
|                           |              | <input type="checkbox"/> Needs Access           |
|                           |              | <input type="checkbox"/> Has Access             |

After - Day




After - Night



Qty: 1 - Fire Department

20.23 in



**FIRE  
DEPARTMENT**

**FIRE FIGHTERS ON DUTY 24/7**


OFFICE HOURS  
**MONDAY - FRIDAY**  
**7:30AM - 3:30PM**

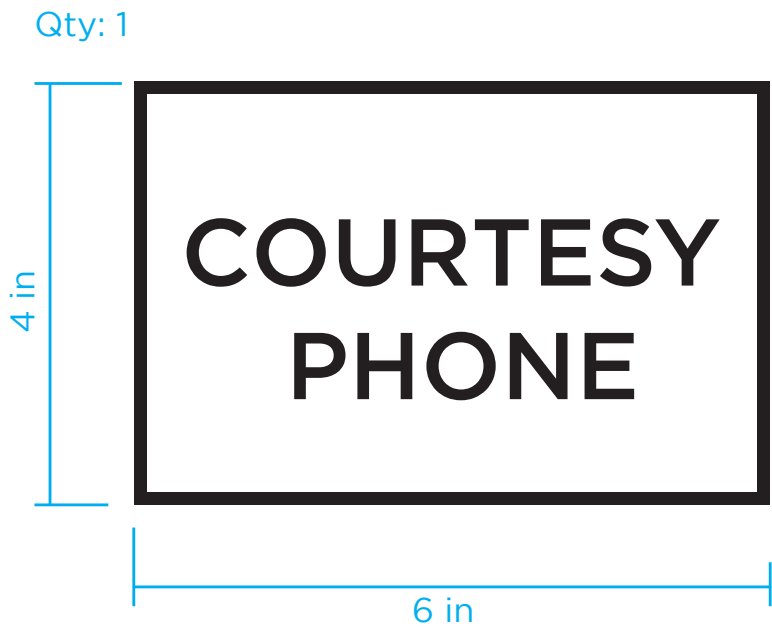
**RING DOOR BELL FOR SERVICE**

15 in



Remove Door Vinyl

| Customer  |                 |
|---|-----------------|
| Town of Brookfield  |                 |
| Date  | Project Manager |
| 01/30/2025  | Chad S.         |
| Order #   | Designer        |
| EST - 14624   | Brian H.        |
| Materials & Specifics   |                 |
| <b>Door Vinyl</b><br>- Digital print with lamination<br>contour cut, First surface                    |                 |
| Colors  |                 |
|  Full Color CMYK |                 |



Customer

Town of Brookfield

Date

01/30/2025

Project Manager

Chad S.

Order #

EST - 14624

Designer

Brian H.

Materials & Specifics

Dibond Panel

- Dibond panel
- Digital print with lamination applied to panel
- Fastened thru face to wall

Colors

Full Color CMYK

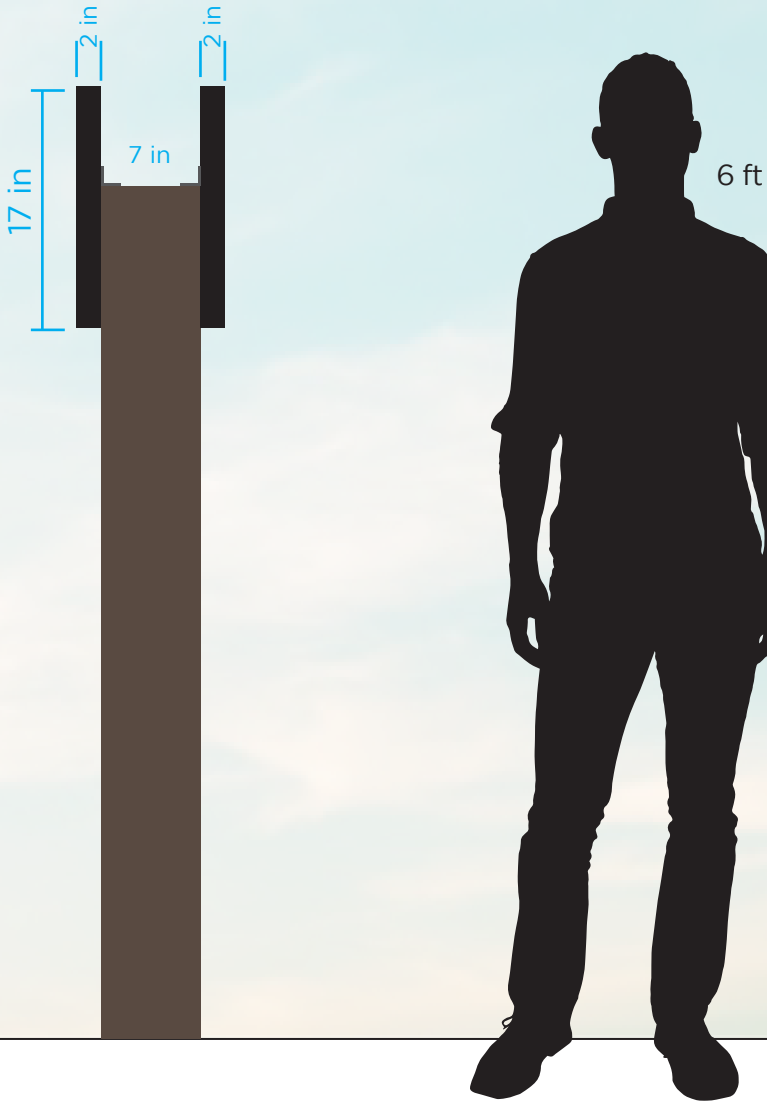
Overhead View



Straight On



Profile View



Customer

Town of Brookfield

Date Project Manager

01/30/2025 Chad S.

Order # Designer

EST - 14624 Brian H.

Materials & Specifics

Face Lit Post & Panel

- White LED's
- Single Sided
- Aluminum Construction
- Painted MP 00554 Choconut
- 7" half circle posts
- White acrylic face
- Opaque 3M 3125-069 Duranodic opaque vinyl face
- Top access for service
- Mini powersupply bottom of cabinet
- Power to be down post with box 6" up from the ground for power

Face Lit Channel Letter Logo

- White LED's
- Single Sided
- 2" face Lit channel letter
- Attached to top of cabinet with angle
- Translucent digital print with lamination

Colors

- 3M 3125-069 Duranodic
- 7328 White
- MP 00554 Choconut
- Full Color CMYK

After - Day



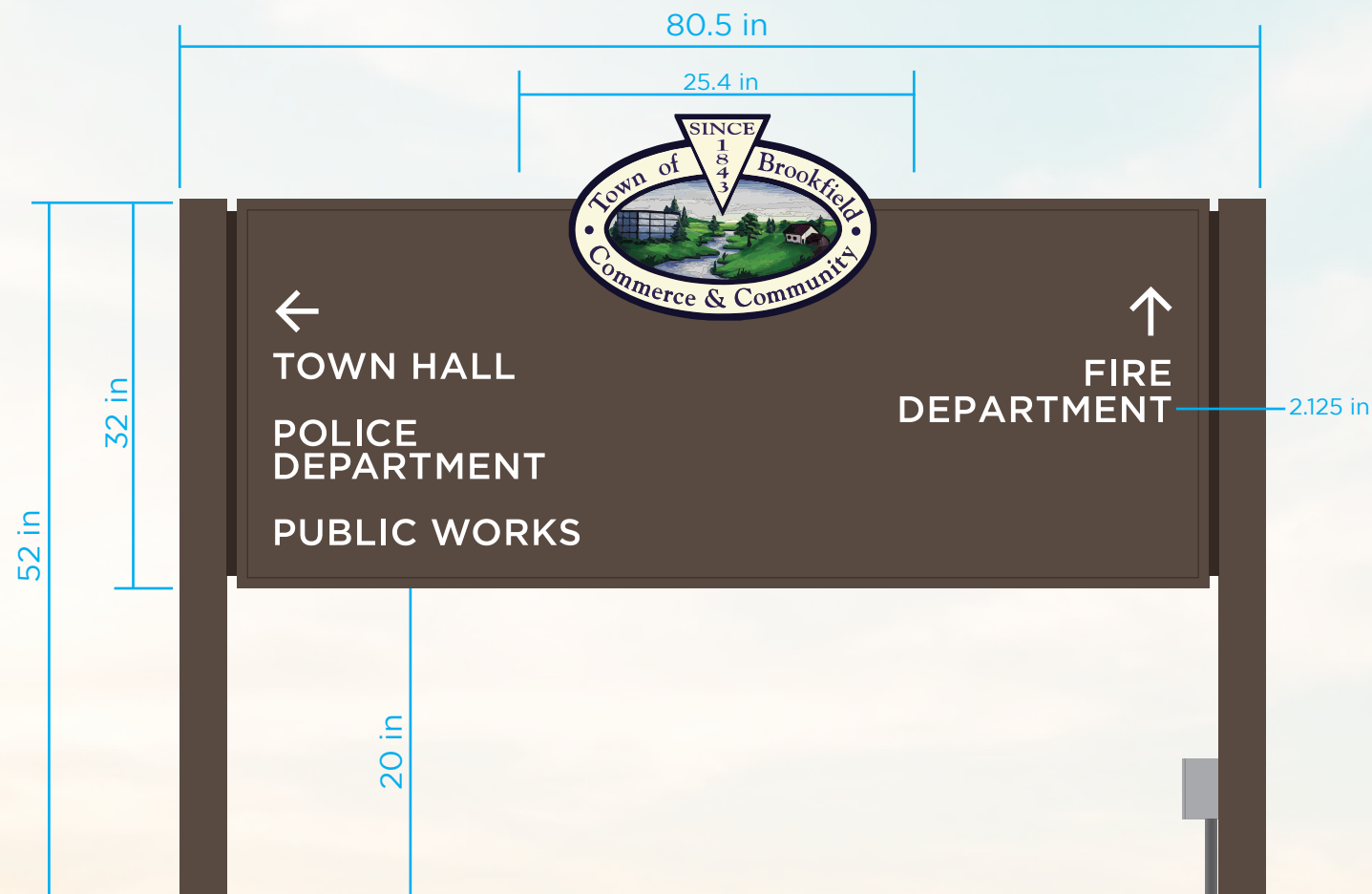
After - Night



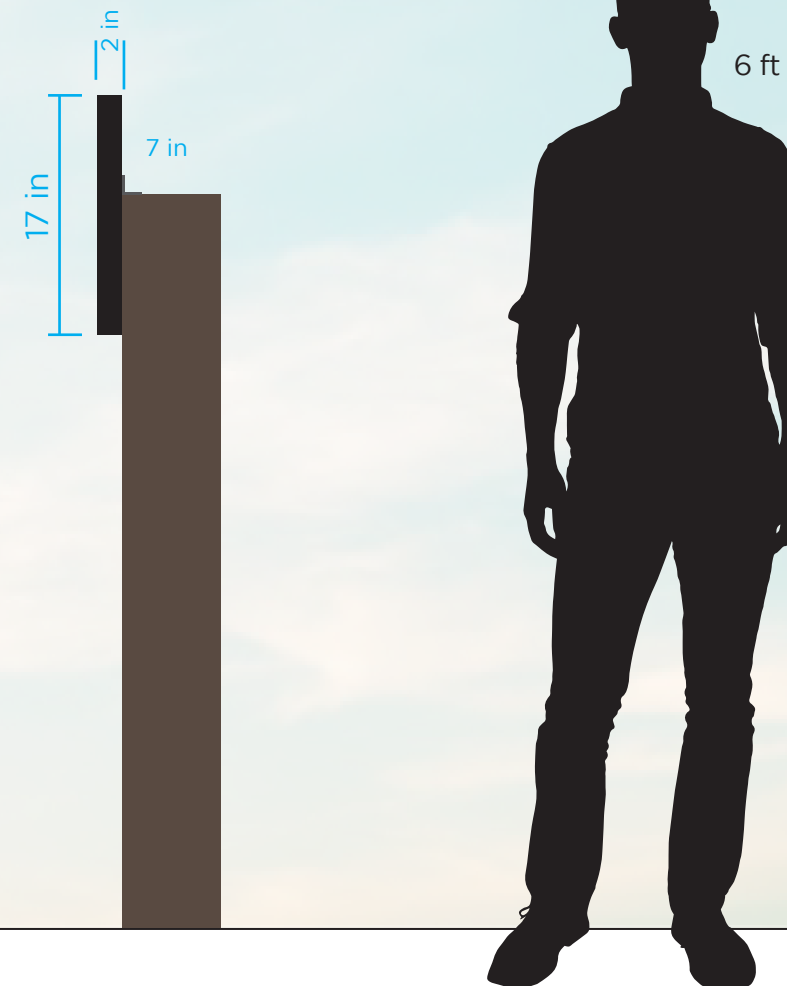
Overhead View



Straight On



Profile View



**Customer**

**Town of Brookfield**

**Date** **Project Manager**

01/30/2025 Chad S.

**Order #** **Designer**

EST - 14624 Brian H.

**Materials & Specifics**

**Face Lit Post & Panel**

- White LED's
- Single Sided
- Aluminum Construction
- Painted MP 00554 Choconut
- 7" half circle posts
- White acrylic face
- Opaque 3M 3125-069 Duranodic opaque vinyl face
- Top access for service
- Mini powersupply bottom of cabinet
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**Face Lit Channel Letter Logo**

- White LED's
- Single Sided
- 2" face Lit channel letter
- Attached to top of cabinet with angle
- Translucent digital print with lamination

**Colors**

- 3M 3125-069 Duranodic
- 7328 White
- MP 00554 Choconut
- Full Color CMYK



21700 Doral Rd  
Waukesha, WI 53186  
(262) 432-1330

First Impressions, Great Results  
www.innovative-signs.com

# ESTIMATE

## EST-14624

Payment Terms: Cash Customer

Created Date: 11/20/2024

**DESCRIPTION:** Exterior sign package

**Bill To:** Town of Brookfield  
645 N. Janacek Road  
Brookfield, WI 53045  
US

**Installed:** Town of Brookfield  
645 N. Janacek Road  
Brookfield, WI 53045  
US

**Requested By:** Tom Hagie  
Email: administrator@townofbrookfield.com  
Work Phone: (262) 796-3788

**Salesperson:** Chad Schultz  
Email: chads@innovative-signs.com

| NO. | Product Summary   | QTY | UNIT PRICE | AMOUNT      |
|-----|---|-----|------------|-------------|
| 1   | <b>Signs A, B &amp; C</b>   | 3   | \$5,762.29 | \$17,286.88 |
| 1.1 | <b>Cabinet Sign - Single sided</b><br><br><b>Text:</b><br>Signs:<br>A - Main Town Hall Sign<br>B - Fire Department Directional<br>C - Main Entrance Directional<br><br>Sign size: 80" wide x 32" tall x 7" deep<br>Sign posts: 7" half round x 88"<br>Sign color: Matthews Paint MP 00554<br>Choconut<br>Sign face: 7328 Acrylic Face w/ 3M<br>3125-069 Duronodic opaque vinyl<br>Text: White<br>White 7000k LED Illumination<br>2" Deep Illuminated Logo Can w/<br>Acrylic Trimcap Face<br>UL Listed |     |            |             |
| 1.2 | <b>Vinyl - Cut Premium Cast - Opaque Vinyl</b>  |     |            |             |
| 1.3 | <b>Printable Vinyl - TRANSLUCENT - Translucent vinyl</b>  |     |            |             |
| 1.4 | <b>Inside Production Shop Time - Shop time</b>  |     |            |             |
| 2   | <b>Signs D &amp; E - Police Dept Signs</b>  | 2   | \$4,576.67 | \$9,153.33  |

|          |   |          |                   |                   |
|----------|---|----------|-------------------|-------------------|
| 2.1      | <b>Cabinet Sign - Single sided</b><br><br><b>Text:</b><br>Signs D & E - Police Dept Signs<br><br>Sign size: 48" wide x 24" tall x 7" deep<br>Sign posts: 7" half round x 80"<br>Sign color: Matthews Paint MP 00554<br>Choconut<br>Sign face: 7328 Acrylic Face w/ 3M<br>3125-069 Duronodic opaque vinyl<br>Text: White<br>White 7000k LED Illumination<br>2" Deep Illuminated Logo Can w/<br>Acrylic Trimcap Face<br>UL Listed       |          |                   |                   |
| 2.2      | <b>Vinyl - Cut Premium Cast - Opaque Vinyl</b>  |          |                   |                   |
| 2.3      | <b>Printable Vinyl - TRANSLUCENT - Translucent vinyl</b>  |          |                   |                   |
| 2.4      | <b>Inside Production Shop Time - Shop Time</b>  |          |                   |                   |
| <b>3</b> | <b>Sign F - Department of Public Works</b>  | <b>1</b> | <b>\$4,741.04</b> | <b>\$4,741.04</b> |
| 3.1      | <b>Cabinet Sign - Single sided</b><br><br><b>Text:</b><br>Sign F - Department of Public Works<br><br>Sign size: 56.7" wide x 24" tall x 7" deep<br>Sign posts: 7" half round x 96"<br>Sign color: Matthews Paint MP 00554<br>Choconut<br>Sign face: 7328 Acrylic Face w/ 3M<br>3125-069 Duronodic opaque vinyl<br>Text: White<br>White 7000k LED Illumination<br>2" Deep Illuminated Logo Can w/<br>Acrylic Trimcap Face<br>UL Listed |          |                   |                   |
| 3.2      | <b>Vinyl - Cut Premium Cast - Opaque Vinyl</b>  |          |                   |                   |
| 3.3      | <b>Printable Vinyl - TRANSLUCENT - Translucent vinyl</b>  |          |                   |                   |
| 3.4      | <b>Inside Production Shop Time - Shop time</b>  |          |                   |                   |
| <b>4</b> | <b>Sign G - DPW. East, West &amp; PD Entrance</b>   | <b>4</b> | <b>\$113.59</b>   | <b>\$454.34</b>   |
| 4.1      | <b>Vehicle Standard Printed Vinyl (40C) - First Surface</b><br><br><b>Text:</b><br>Windows:<br>Town Hall<br>Municipal Court<br>Police Department<br>Department of Public Works<br><br>Glass area for graphics: 18" or 24" wide<br>Graphics color: White<br>Graphics digitally printed to adhesive backed vinyl and laminated  |          |                   |                   |
| 4.2      | <b>Inside Production Shop Time - Shop time</b>  |          |                   |                   |

|          |  |          |                   |                   |
|----------|--|----------|-------------------|-------------------|
| <b>5</b> | <b>Sign H - Fire Department channel cabinet</b>  | <b>1</b> | <b>\$2,804.62</b> | <b>\$2,804.62</b> |
| 5.1      | <b>Channel Letters - Illuminated cabinet sign</b><br><br><b>Text:</b><br>Size: 59" x 70" Lit Badge<br>4" Deep Custom Shaped Channel Can<br>7328 Acrylic Face w/ Vinyl Translucent vinyl graphics<br>White 7000k LED Illumination w/<br>Remote Power Box<br>1" Black Trim Cap<br>UL Listed  |          |                   |                   |
| 5.2      | <b>Printable Vinyl - TRANSLUCENT - Translucent vinyl</b>   |          |                   |                   |
| 5.3      | <b>Inside Production Shop Time - Shop time</b>   |          |                   |                   |
| <b>6</b> | <b>Sign I - Window vinyl Fire Dept.</b>  | <b>1</b> | <b>\$177.73</b>   | <b>\$177.73</b>   |
| 6.1      | <b>Vehicle Standard Printed Vinyl (40C) - First Surface</b><br><br><b>Text:</b><br>Windows:<br>Fire Department side light window<br><br>Glass area for graphics: 18"<br>Graphics color: White<br>Graphics digitally printed to adhesive backed vinyl and laminated<br><br>FD logo with text  |          |                   |                   |
| 6.2      | <b>Inside Production Shop Time - Shop time</b>   |          |                   |                   |
| <b>7</b> | <b>J - PD - Courtesy Phone</b>   | <b>1</b> | <b>\$102.95</b>   | <b>\$102.95</b>   |
| 7.1      | <b>DiBond 1/4" White 2S (6MM) - Single sided</b><br><br><b>Text:</b><br>1/8" thick dibond aluminum<br>Color: White with black text<br>Size: 4" tall x 6" wide  |          |                   |                   |
| 7.2      | <b>Vehicle Standard Printed Vinyl (40C) - Vinyl, ink and laminate</b>  |          |                   |                   |
| <b>8</b> | <b>Sign K - Double sided Janacek Road Sign</b>   | <b>1</b> | <b>\$7,105.36</b> | <b>\$7,105.36</b> |
| 8.1      | <b>Cabinet Sign - Double sided</b><br><br><b>Text:</b><br>Sign:<br>K - Main road sign on Janacek<br><br>Sign size: 48" wide x 24" tall x 7" deep<br>Overall Size: 60" tall x 56.7"; wide x 7" deep<br>Sign posts: 7" half round x 88"<br>Sign color: Matthews Paint MP 00554 Choconut<br>Sign face: 7328 Acrylic Face w/ 3M 3125-069 Duronodic opaque vinyl<br>Text: White<br>White 7000k LED Illumination<br>2" Deep Illuminated Logo Can w/<br>Acrylic Trimcap Face<br>UL Listed<br><br>Graphics:<br>Logo<br>Brookfield<br>Town Hall |          |                   |                   |

|      |   |   |             |             |
|------|---|---|-------------|-------------|
| 8.2  | <b>Vinyl - Cut Premium Cast - Opaque Vinyl</b>  |   |             |             |
| 8.3  | <b>Printable Vinyl - TRANSLUCENT - Translucent vinyl</b>  |   |             |             |
| 8.4  | <b>Inside Production Shop Time - Shop time</b>  |   |             |             |
| 9    | <b>Sign L - Shepherds Court Directional</b>   | 1 | \$5,844.79  | \$5,844.79  |
| 9.1  | <b>Cabinet Sign - Single sided</b><br><br><b>Text:</b><br>Sign: L<br><br>Directional sign on Shepherds court<br><br>Sign size: 80" wide x 32" tall x 7" deep<br>Sign posts: 7" half round x 88"<br>Sign color: Matthews Paint MP 00554 Choconut<br>Sign face: 7328 Acrylic Face w/ 3M 3125-069 Duronodic opaque vinyl<br>Text: White<br>White 7000k LED Illumination<br>2" Deep Illuminated Logo Can w/ Acrylic Trimcap Face<br>UL Listed |   |             |             |
| 9.2  | <b>Vinyl - Cut Premium Cast - Opaque Vinyl</b>  |   |             |             |
| 9.3  | <b>Printable Vinyl - TRANSLUCENT - Translucent vinyl</b>  |   |             |             |
| 9.4  | <b>Inside Production Shop Time - Shop time</b>  |   |             |             |
| 10   | <b>Design</b>   | 1 | \$1,250.00  | \$1,250.00  |
| 10.1 | <b>Graphic Design Fee - Artwork Prep</b>  |   |             |             |
| 11   | <b>Installation</b>   | 1 | \$13,510.00 | \$13,510.00 |
| 11.1 | <b>Installation - 3-person crew</b><br><br><b>Text:</b><br>Augur holes, set sonatube, set sign and our concrete   |   |             |             |
| 11.2 | <b>Adminstrative Fee -</b>  |   |             |             |

Please Note: This estimate is a preliminary approximation and is not a guaranteed final price. It is based on information provided by the client regarding project requirements. Due to the volatility of the materials market, prices are subject to change. The actual cost may be adjusted once all project details are finalized and negotiations are complete. Any changes in cost will be communicated to the client prior to implementation.

|                          |             |
|--------------------------|-------------|
| <b>Subtotal:</b>         | \$62,431.04 |
| <b>Taxes:</b>            | \$3,121.55  |
| <b>Grand Total:</b>      | \$65,552.59 |
| <b>Deposit Required:</b> | \$32,776.30 |

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Ord. No.: 2025-01**

**ORDINANCE REPEALING AND RECREATING  
SECTION 5.20 OF THE TOWN OF BROOKFIELD MUNICIPAL CODE**

---

**NOW THEREFORE**, the Town Board of the Town of Brookfield, Wisconsin do ordain  
as follows:

**SECTION 1:** Section 5.20 of the Town Code is hereby repealed and recreated as follows:

§ 5.20 Burning regulations.

- (1) Exemptions. This Section shall not apply to fire department training exercises, the burning of citronella oil and candles at single-family residences, fireplaces located inside a single-family residence, the smoking of tobacco products except as prohibited by a State of Wisconsin statute or regulation, or any outdoor food cooking conducted on a grill, griddle, oven, or smoker.
- (2) Definitions. In this Section, the following terms shall have the meanings indicated:

**OPEN BURNING**

The kindling or maintaining of any fire, or the use of a fire, for any purpose, in an outdoor location where the products of combustion are not directed through a chimney or stack.

**RECREATIONAL FIRE**

An outdoor fire used for pleasure, religious, ceremonial, cooking, warmth, or similar purposes, where only clean, dry wood or manufactured fire logs are burned, and which is contained in a fire pit, fireplace, or similar device.

**BONFIRE**

A large outdoor fire, typically used for ceremonial purposes, that is not contained in a standard recreational fire device and exceeds the size limitations set for recreational fires.

**FIRE PIT**

A non-combustible, enclosed structure or depression in the ground, constructed of metal, stone, brick, or other approved materials, designed to safely contain a recreational fire.

**PORTABLE OUTDOOR FIREPLACE**

A commercially manufactured, portable, outdoor container, constructed of steel, concrete, clay, or other non-combustible material, intended to contain and control outdoor fires.

**YARD WASTE**

Organic material such as leaves, grass clippings, garden debris, brush, and branches generated from residential property maintenance.

**CLEAN WOOD**

Natural wood which has not been painted, varnished, stained, or coated with any similar material, has not been pressure treated with preservatives, and does not contain resins or glues as in plywood or other composite wood products.

**GARBAGE**

All discarded materials resulting from the handling, processing, storage, preparation, serving, or consumption of food, and all other putrescible wastes, including animal and vegetable matter.

**REFUSE**

All waste materials, including but not limited to, rubbish, trash, garbage, and other discarded materials, excluding yard waste and clean wood.

**BURNING BAN**

A temporary prohibition on all outdoor burning activities, issued by the Fire Chief or other designated authority, due to hazardous conditions such as drought, high wind, or poor air quality.

**FIRE CHIEF**

The Chief of the Town of Brookfield Fire Department or authorized designee.

**ATTENDED**

Supervised and monitored by a responsible person at least 18 years of age who is physically present at the site of the fire at all times until the fire is fully extinguished.

**EXTINGUISHED**

The complete absence of visible flames, glowing embers, or smoke, such that the fire cannot rekindle without the addition of new fuel or air.

**NUISANCE**

Any smoke, odor, or condition resulting from open burning or recreational fires that unreasonably interferes with the use or enjoyment of another person's property or endangers public health or safety.

**NOXIOUS SMOKE**

Smoke that is harmful or injurious to human health or the environment, typically containing substances or particulates that are detrimental, offensive, or capable of causing discomfort, illness, or nuisance to individuals or the public. This includes smoke produced by the burning of materials that generate toxic, irritating, or offensive fumes, gases, or vapors.

## **COMBUSTIBLE MATERIAL**

Any material that is capable of catching fire and burning, including but not limited to, wood, paper, leaves, and certain plastics.

- (3) Prohibited materials. No person shall burn or cause to be burned any of the following:
- (a) Garbage, refuse, or any material required to be recycled by law.
  - (b) Toxic or hazardous materials, including plastics, rubber, leather, oil, petroleum-based products, or chemically treated, painted, or stained wood.
  - (c) Flammable or combustible liquids, asphalt, or asphalt-containing materials.
  - (d) Open areas of grass, woods, brush, or similar materials not specifically permitted.
  - (e) Any material producing noxious odors or creating a health hazard.
- (4) Open burning of yard waste. Open burning of yard waste consisting of materials naturally originating from the property where the burning is conducted, such as fallen leaves, cut grass, and branches, shall only be permitted under the following conditions:
- (a) On Tuesdays, Thursdays, and Saturdays.
  - (b) During the months of April, May, October, and November.
  - (c) Burning is prohibited on the Town's designated Halloween Trick or Treat holiday.
  - (d) Between 12:00 p.m. (noon) and 6:00 p.m. All fires shall be extinguished by 6:00 p.m.
  - (e) Burning piles shall not exceed five feet in diameter and two feet in height, and shall only consist of dry yard waste.
  - (f) Fires shall be located at least 25 feet from the front lot line, 15 feet from the side lot line, 10 feet from the rear lot line, and 25 feet from any building.
  - (g) Burning is prohibited when the Wisconsin Department of Natural Resources (DNR) declares that fire danger is HIGH, VERY HIGH, or EXTREME, when the Waukesha County air quality index is 100 or greater, or when an air quality notice has been issued.
  - (h) Burning shall be attended at all times by a person at least 18 years old, with adequate fire.
  - (i) Extinguishing equipment (garden hose or fire extinguisher) shall be available and ready for instant use.

- (5) Recreational fires. Recreational fires consisting of dry, clean wood or manufactured fire log materials shall only be permitted under the following conditions:
- (a) Between 12:00 p.m. (noon) and 11:00 p.m.
  - (b) Must be contained in a fire pit or fireplace constructed of metal or masonry, installed and used according to manufacturer's recommendations, or in a UL-listed natural gas or propane fireplace with a maximum 36 inches in diameter or seven feet square.
  - (c) Above-ground fire pits shall have a non-tipping base with screen enclosure or covered top.
  - (d) Fire pits shall be at least 10 feet from any building or combustible landscaping, 20 feet from property lines, wood fencing, utility poles, overhead wires, or piles of combustibles, and 50 feet from any flammable or combustible liquid container.
  - (e) Must be attended at all times by a person at least 18 years old, with fire extinguishing equipment available and ready for instant use.
  - (f) No recreational fires on days when the Wisconsin DNR declares that fire danger is HIGH, VERY HIGH, or EXTREME.
- (6) General restrictions and safety.
- (a) Burning is prohibited on or within any improved street, drainage ditch, alley, parkway, public place, or right-of-way.
  - (b) Burning is prohibited when wind velocity exceeds 10 mph.
  - (c) Burning is prohibited on days when fire bans are issued by the Fire Chief or other authorities due to dry conditions or air quality concerns.
  - (d) The Fire Chief may issue, suspend, or revoke burning permits as needed for public safety.
- (7) Nuisance and enforcement. If any open burning or recreational fire creates a health or safety hazard, or unreasonably interferes with the use and enjoyment of other properties, the an official from the Town Fire Department or Police Department official may order the fire immediately extinguished. If the person fails to extinguish the fire, the official may extinguish the fire.
- (8) Emergencies. During periods of high fire danger or poor air quality, the Fire Chief may issue a temporary ban on all burning. Notice of such bans will be posted on the Town website and provided to local media. All burning is prohibited until the Fire Chief lifts the ban.

- (9) Prohibition of petroleum products. Prohibited use and burning of petroleum products. No person shall use or burn any type of petroleum product in any open burning, recreational fire, bonfire, or any other outdoor fire, including, but is not limited to, gasoline, diesel fuel, kerosene, lighter fluid, motor oil, grease, asphalt or tar-based products, and any other flammable or combustible liquid or material derived from petroleum.
- (10) Prohibited as Fire starters. No person shall use any petroleum-based product to ignite or accelerate any fire. Fires shall be started only with clean, dry wood, commercially available fire starters specifically intended for recreational fires, or other approved non-petroleum-based materials. Examples of non-petroleum based products that may be used to start a fire include wax-coated cotton pads or string (using beeswax or soy wax), dryer lint mixed with melted wax (not petroleum jelly), newspaper rolls or shredded paper pucks, paper egg cartons filled with sawdust and wax, pinecones (optionally dipped in natural wax), dried orange peels, waxed paper with dryer lint or sawdust, and commercially available fire starters made from renewable materials such as wood chips, compressed sawdust, or plant-based waxes.
- (11) Burning permits.
- (a) Authority to issue permits. The Fire Chief is authorized to issue written permits, on forms provided by the Fire Department, for the use of outdoor fireplaces or fire pits at multiple-family dwellings and commercial properties, as well as for open burning otherwise prohibited by this ordinance. Permits are nontransferable and shall specify the nature, date(s), and location of the burning activity, and any other conditions determined by the Fire Chief. Permits shall be obtained prior to engaging in any burning activity.
- (b) General conditions of permits.
1. Inspections. The Fire Department, Police Department, or other Town official may enter the property identified on the permit for the purpose of ensuring compliance with the permit and this Section, and any items in violation of this Section or the permit may be removed from such property.
  2. Cooperation. The permit holder, and any of permit holder's employees or agents shall cooperate fully with investigations conducted by the Fire Department or Police Department.
  3. Compliance. The permit holder shall comply with all provisions of this Section, all other applicable Town ordinances, and the laws of the State of Wisconsin.
  4. Additional conditions. The Fire Chief may impose any other conditions deemed necessary for the protection of public safety, health, and welfare.
- (c) Special conditions for multiple-family dwellings and commercial properties. In addition to the general conditions above, any person initiating, causing, or conducting a recreational fire at a multiple-family dwelling or commercial property under a permit shall adhere to the following:

1. All burning shall occur in an outdoor fireplace or decorative appliance that is permanently affixed to a surface, utilizes natural gas, and is constructed and installed in accordance with the National Fire Protection Association (NFPA), International Building Code, International Fire Code, International Fuel Gas Code, and Wisconsin Administrative Code SPS 314 (Fire Prevention).
  2. The outdoor fireplace shall be tested in accordance with ANSI Z21.97 and installed per the manufacturer's instructions.
  3. The heating element or combustion chamber of the outdoor fireplace shall be permanently guarded to prevent accidental contact by persons or materials.
  4. Natural gas piping for the outdoor fireplace shall be installed in accordance with the International Fuel Gas Code.
  5. The outdoor fireplace shall be maintained in good repair at all times.
  6. Burning shall be attended at all times by a person at least 18 years of age, with fire extinguishing equipment available and ready for instant use.
  7. The Fire Chief must approve a written statement of operation from the owner of the outdoor fireplace containing the proposed hours of operation, the name of each person responsible for attending, igniting, and extinguishing the fireplace, proof that each person has completed annual fire extinguisher training, and confirmation of compliance with all safety procedures and installation clearances. The written statement of operation must be updated in writing and submitted to the Fire Chief within five days of any changes, and such changes shall not take effect until approved by the Fire Chief.
- (d) Truthfulness of Applications. All information submitted in writing to the Fire Chief by any applicant or permit holder pertaining to any permit issued under this Section shall be true and accurate.
- (12) Prohibition of burning for clearing and grubbing. No person shall conduct open burning for the purpose of clearing land, removing brush, trees, stumps, roots, or any other vegetative or organic material as part of site preparation, land development, or construction activities, commonly referred to as "clearing and grubbing." All materials resulting from clearing and grubbing, including but not limited to trees, brush, stumps, roots, and vegetative debris, shall be disposed of by lawful non-burning methods such as chipping, mulching, hauling to an approved landfill or composting facility, or other methods in compliance with Town, county, and state regulations.
  - (13) Violations and penalties. In addition to any other remedies available at law or equity, including but not limited to injunctive relief or the recovery of costs associated with enforcement or abatement, violations of any provision of this Section shall be subject to the following progressive penalty system:

- (a) First offense. The violator shall receive a written warning. No monetary fine shall be imposed for the first offense.
- (b) Second offense. A fine of \$100 shall be imposed for a second offense.
- (c) Third offense. A fine of \$250 shall be imposed for a third offense.
- (d) Fourth Offense. A fine of \$500 shall be imposed for a fourth offense.
- (e) Fifth and subsequent offenses. A fine of \$1,000 shall be imposed for the fifth and each subsequent offense.
- (f) Separate offenses. Each day a violation continues shall constitute a separate offense.

**SECTION 2:** All other provisions of the Town Code shall remain in full force and effect.

**SECTION 3:** All ordinances or parts of this Ordinance conflicting or contravening the provisions of this Ordinance are hereby repealed.

**SECTION 4:** This Ordinance shall take effect upon passage and posting or publication as provided by law.

**PASSED AND ADOPTED** by the Town Board of the Town of Brookfield, Waukesha County, Wisconsin this 3rd, day of June, 2025.

BY: \_\_\_\_\_  
KEITH HENDERSON, Chairman

BY: \_\_\_\_\_  
STEVE KOHLMANN, Supervisor

BY: \_\_\_\_\_  
JOHN CHARLIER, Supervisor

BY: \_\_\_\_\_  
JOHN R. SCHATZMAN, Supervisor

BY: \_\_\_\_\_  
RYAN STANELLE, Supervisor

ATTEST: \_\_\_\_\_  
Tom Hagie, Interim Town Clerk

**TOWN OF BROOKFIELD  
PLANNING COMMISSION RECOMMENDATIONS  
MAY 27, 2025**

Town Chairman Henderson called the meeting to order at 7:13pm on Tuesday, May 27, 2025, at the Town of Brookfield Town Hall, 645 North Janacek Road, Brookfield, Wisconsin. Also present at the meeting was Town Supervisor Ryan Stanelle, Commissioners Dan Zuperku, Len Smeltzer, and Jeremy Watson and Town Planner Bryce Hembrook. Commissioners Tim Probst and Kevin Riordan were absent.

**JIM TAYLOR (OSCAR'S) IS REQUESTING APPROVAL FOR A CONDITIONAL USE PERMIT FOR A NEW DRIVE-THRU RESTAURANT ON THE PROPERTY LOCATED AT 21165 HIGHWAY 18 AND PARKING ON PROPERTY TO THE EAST**

Commissioner Watson moved to **recommend approval to the Town Board for a conditional use permit request** for a new drive-thru restaurant on the property located at 21165 Highway 18 and parking on property to the east subject to Town Engineer's approval, a certified survey map is recorded within 365 days of Town Board final approval, and the applicant shall submit a draft shared access and parking document to Town Board.

The motion was seconded by Supervisor Stanelle. The motion carried.

**JIM TAYLOR (OSCAR'S) IS REQUESTING PRELIMINARY AND FINAL APPROVAL FOR A NEW DRIVE-THRU RESTAURANT ON THE PROPERTY LOCATED AT 21165 HIGHWAY 18 AND PARKING ON PROPERTY TO THE EAST**

Commissioner Watson moved to grant preliminary and **recommend final approval to the Town Board for a conditional use permit amendment** for a new drive-thru restaurant on the property located at 21165 Highway 18 and parking on property to the east as presented.

The motion was seconded by Commissioner Smeltzer. The motion carried.

**LINDSEY CHIAVEROTTI (WISCONSIN ADULT CENTER DBA BROOKFIELD ADULT CENTER) IS REQUESTING APPROVAL FOR A CONDITIONAL USE PERMIT AMENDMENT TO ALLOW THE EXPANSION OF AN ADULT DAY CARE CENTER IN THE B-3 OFFICE AND PROFESSIONAL BUSINESS DISTRICT, LOCATED AT 20711 WATERTOWN ROAD SUITE V**

Commissioner Watson moved to **recommend the Town Board approve** a conditional use permit amendment to allow the expansion of an adult daycare center in the B-3 Office and Professional Business District for Wisconsin Adult Center DBA Brookfield Adult Center, located at 20711 Watertown Road Suite V as presented.

The motion was seconded by Supervisor Stanelle. The motion carried.

**JORDAN JACKSON (THE SANDTRAP LLC) IS REQUESTING TO SET A PUBLIC HEARING DATE TO DISCUSS A CONDITIONAL USE PERMIT REQUEST FOR A GOLF SIMULATOR BUSINESS LOCATED AT 17800 WEST BLUEMOUND ROAD**

Commissioner Watson moved to **recommend the Town Board set a date for a public hearing to discuss a conditional use permit request** for a golf simulator business located at 17800 West Bluemound Road.

The motion was seconded by Commissioner Zuperku. The motion carried.

**RYAN JANSSEN (AVERY & BIRCH) IS REQUESTING FINAL APPROVAL OF A NEW BUILDING CONSISTING OF A ONE-STORY SALON SUITE FACILITY, LOCATED AT 21055 CROSSROADS CIRCLE**

Commissioner Watson moved to **recommend** final approval to the Town Board for a new building consisting of a one-story salon suite facility, located at 21055 Crossroads Circle as presented.

The motion was seconded by Commissioner Smeltzer. The motion carried.

**LUKE SEBALD (KELLER, INC), REPRESENTING BANCROFT ENGINEERING, IS REQUESTING PRELIMINARY AND FINAL APPROVAL FOR AN ADDITION TO AN EXISTING MANUFACTURING BUILDING, LOCATED AT 21550 DORAL ROAD**

Commissioner Watson moved to **grant preliminary and recommend final approval** for an addition to an existing manufacturing building, located at 21550 Doral Road as presented.

The motion was seconded by Commissioner Zuperku. The motion carried.



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for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: May 22, 2025  
PC MEETING DATE: May 27, 2025

RE: **Oscar's Frozen Custard – Preliminary and Final Approval & Conditional Use Permit  
21165 Hwy 18 BKFT1130999001 & 1128959001**

SEH No. 171421, TASK 85

**Applicant:** Jim & Susie Taylor, representing Oscar's Frozen Custard

**Application Type:** Preliminary and Final Approval & Conditional Use Permit

### Request

Applicant is requesting preliminary and final approval and conditional use permit for the construction of a drive-thru restaurant and ice cream shoppe for the property located at 21165 Hwy 18.

### Summary of Request

- Oscar's Frozen Custard has occupied this site for decades but a fire recently significantly damaged the building beyond repair. The applicant is proposing to construct a new building which will be slightly larger but generally in the same location as the last building. The applicant also owns the adjacent parcel to the east of the subject parcel and is proposing to have some parking provided on the adjacent parcel.
- The applicant is proposing to construct a 4,815 square foot restaurant building with two drive thru lanes and one pick up window and an outdoor dining area.
- Zoning District = B-2 Limited General Business District.
- Lot size = .864 acres.
- Proposed Use = Drive-thru restaurant.
  - Permitted as a conditional use
- Proposed setbacks:
  - Street (Hwy 18) = 79'
  - Street (Swenson Dr) = 107'
  - Side (west) = 40'
  - Side (east) = 24'
  - All building setbacks will meet code requirements.
- Parking
  - Code requirement: One space per 50 square feet of gross dining area, plus one space per two employees for the work shift with the largest number of employees. Restaurants with drive-

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351

SEH is 100% employee-owned | [sehinc.com](http://sehinc.com) | 262.646.6855 | 888.908.8166 fax

through facilities shall provide sufficient space for four waiting vehicles at each drive-through service lane.

- Parking required: Dining area (2,100sf) = 42 stalls; employees (10) = 5 stalls; total stalls required: 47
- Staff recommends that the stacking length should exceed four waiting vehicles.
- Proposed: 51 parking spaces on the subject parcel, 3 of which are ADA stalls. Also proposing 8 parking spaces on the adjacent property owned by the applicant. The applicant intends to have a shared access/parking agreement for a future development.
- The site plan shows a potential access connection on the northeast side of the property.
- Drive-through lanes
  - The site plan shows 2 drive-through lanes and 1 pickup window. Generally, a stacking length of 100 feet is desirable and 40 feet of distance between the pick up window and the access drive is preferred. Overall, it looks like sufficient stacking length is provided.
- Lighting
  - Applicant is proposing to keep exterior lighting as is except for moving one light pole to accommodate parking space. Architectural Review Committee approved the lighting plan subject to Town Engineer approval.
- Landscaping
  - Appears to meet requirements.

#### **Development Review Team Feedback**

The development review team has provided some initial feedback. Any additional feedback will be provided at the time of the meeting.

#### **Architectural Review Committee**

The Architectural Review Committee reviewed the proposed plans and recommended to approve the preliminary and final plans subject to Town Engineer concerns being addressed. The Committee also noted that sign permits will need to be pulled at a later date and that the cones on the building should be considered an architectural elements instead of a sign to meet sign area requirements.

#### **Preliminary Approval**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. Preliminary approval recommended by the Architectural Review Committee and granted by the Plan Commission shall expire within six months unless final project plans are presented to the Plan Commission.

#### **Final Approval**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required,

including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.

**Attachments**

1. Town Engineer Review Letter

SITE DEVELOPMENT PLANS  
FOR  
OSCAR'S CUSTARD  
21165 EAST MORELAND BOULEVARD  
WAUKESHA, WI

VICINITY MAP

ENGINEER AND LANDSCAPE ARCHITECT:



16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

DEVELOPER / OWNER:

JAMES TAYLOR  
W279N2865 ROCKY POINT RD  
PEWAUKEE, WI 53072



PLAN INDEX

| SHEET NO.   | DESCRIPTION                       |
|-------------|-----------------------------------|
| C000        | TITLE SHEET                       |
| ---         | PLAT OF SURVEY                    |
| C100        | DEMOLITION & EROSION CONTROL PLAN |
| C200        | SITE PLAN                         |
| C201        | TRUCK ACCESS PLAN                 |
| C300        | GRADING PLAN                      |
| C400        | UTILITY PLAN                      |
| C500 - C501 | DETAILS                           |
| C600        | SPECIFICATIONS                    |
| L100        | SITE LANDSCAPE PLAN               |
| L200        | LANDSCAPE NOTES AND DETAILS       |
| 1 OF 1      | PHOTOMETRIC PLAN - BY OTHERS      |

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

TITLE SHEET

PRELIMINARY  
NOT FOR  
CONSTRUCTION



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PLAN DATE: 04/30/2025

| REVISIONS | ISSUE DATE | SHEET NO.'S | ISSUED FOR: |
|-----------|------------|-------------|-------------|
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R.A. Smith, Inc.  
DATE: 04/30/2025  
SCALE: N.T.S.  
JOB NO. 3240290  
PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.  
DESIGNED BY: CBW  
CHECKED BY: MAF

SHEET NUMBER  
C000

| DATE | DESCRIPTION |
|------|-------------|
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16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

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CREATIVITY BEYOND ENGINEERING

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Cedarburg, WI | Naperville, IL | Irvine, CA

# LEGEND

- BOLLARD
- + SOIL BORING/MONITORING WELL
- ⚑ FLAGPOLE
- Ⓜ MAILBOX
- SIGN
- Ⓜ AIR CONDITIONER
- Ⓜ CONTROL BOX
- Ⓜ TRAFFIC SIGNAL
- Ⓜ CABLE PEDESTAL
- Ⓜ POWER POLE
- Ⓜ GUY POLE
- Ⓜ GUY WIRE
- Ⓜ LIGHT POLE
- Ⓜ SPOT/YARD/PEDESTAL LIGHT
- Ⓜ HANDICAPPED PARKING
- Ⓜ PULL BOX
- Ⓜ ELECTRIC MANHOLE
- Ⓜ ELECTRIC PEDESTAL
- Ⓜ ELECTRIC METER
- Ⓜ ELECTRIC TRANSFORMER
- Ⓜ TELEPHONE MANHOLE
- Ⓜ TELEPHONE PEDESTAL
- Ⓜ UTILITY VAULT
- Ⓜ GAS VALVE
- Ⓜ GAS METER
- Ⓜ GAS WARNING SIGN
- Ⓜ STORM MANHOLE
- Ⓜ ROUND INLET
- Ⓜ SQUARE INLET
- Ⓜ STORM SEWER END SECTION
- Ⓜ SANITARY MANHOLE
- Ⓜ SANITARY CLEANOUT OR SEPTIC VENT
- Ⓜ SANITARY INTERCEPTOR MANHOLE
- Ⓜ MISCELLANEOUS MANHOLE
- Ⓜ IRRIGATION CONTROL BOX
- Ⓜ WATER VALVE
- Ⓜ HYDRANT
- Ⓜ WATER SERVICE CURB STOP
- Ⓜ WATER MANHOLE
- Ⓜ WELL
- Ⓜ WATER SURFACE
- Ⓜ WETLANDS FLAG
- Ⓜ MARSH
- Ⓜ CONIFEROUS TREE
- Ⓜ DECIDUOUS TREE
- SHRUB
- EDGE OF TREES
- S—SANITARY SEWER
- ST—STORM SEWER
- W—WATERMAIN
- E—MARKED GAS MAIN
- E—MARKED ELECTRIC
- OHW—OVERHEAD WIRES
- B—BUREAU ELEC. SERV.
- T—MARKED TELEPHONE
- TV—MARKED CABLE TV LINE
- FO—MARKED FIBER OPTIC
- (P)—UTILITY PER PLAN
- INDICATES EXISTING CONTOUR ELEVATION
- INDICATES EXISTING SPOT ELEVATION

# PLAT OF SURVEY W/ TOPOGRAPHIC DATA & UTILITIES

KNOWN AS: 21165 HIGHWAY "18", WAUKESHA, WISCONSIN

LOT 2 OF CERTIFIED SURVEY MAP NO. 3963, RECORDED ON JANUARY 15, 1981, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN VOLUME 31, PAGE 4-7, AS DOCUMENT NO. 1148662 AND LOT 1 OF CERTIFIED SURVEY MAP NO. 11799, RECORDED ON JANUARY 4, 2019, IN THE WAUKESHA COUNTY REGISTER OF DEEDS OFFICE IN BOOK 119, PAGE 9-13, AS DOCUMENT NO. 4378007, BEING PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 30 AND THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 31, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN.

PREPARED FOR: JAMES TAYLOR  
SURVEY NO: 154623-KAC

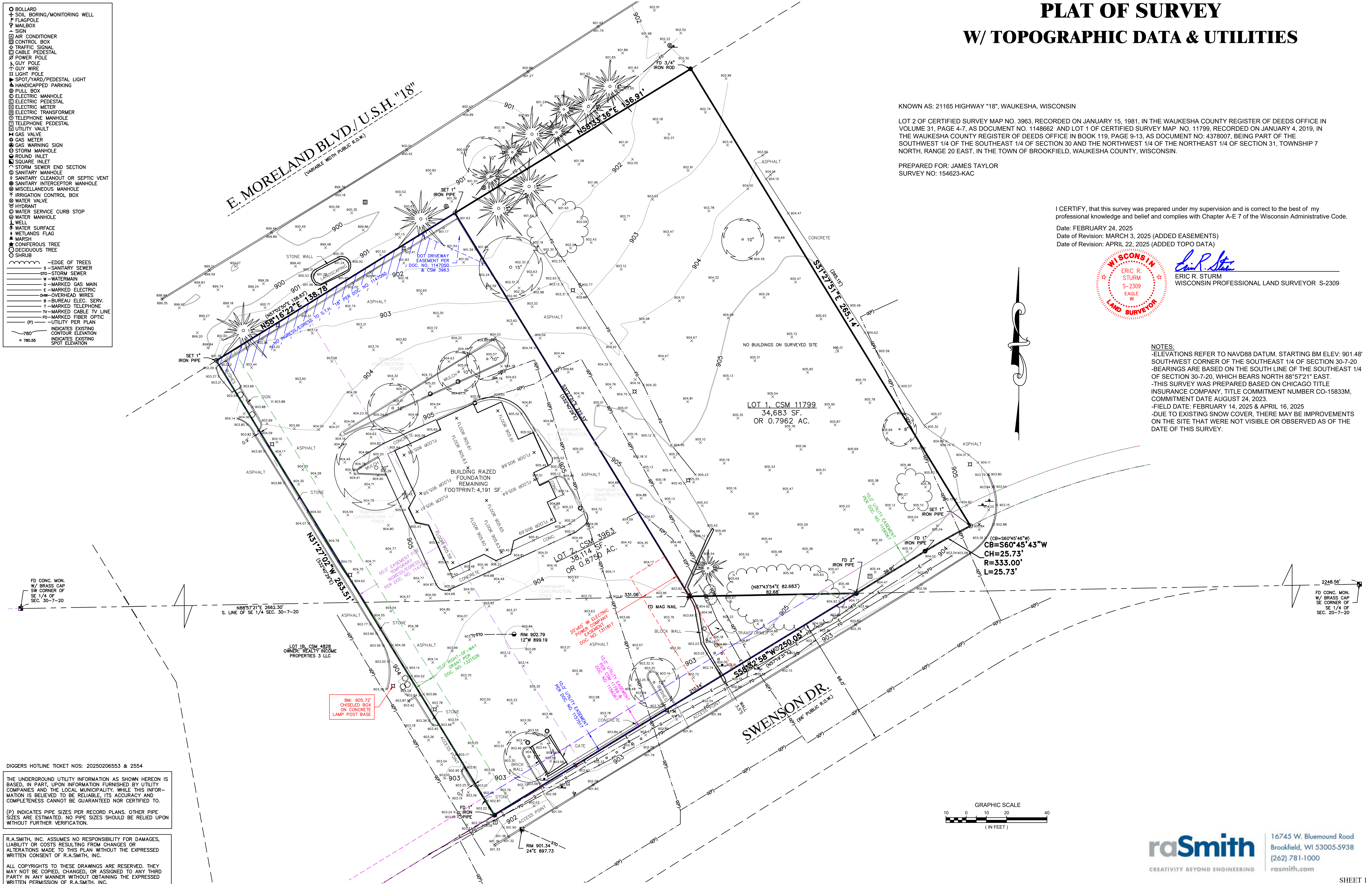
I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.

Date: FEBRUARY 24, 2025  
Date of Revision: MARCH 3, 2025 (ADDED EASEMENTS)  
Date of Revision: APRIL 22, 2025 (ADDED TOPO DATA)



*Eric R. Sturm*  
ERIC R. STURM  
WISCONSIN PROFESSIONAL LAND SURVEYOR S-2309

NOTES:  
-ELEVATIONS REFER TO NAVD88 DATUM. STARTING BM ELEV: 901.48'  
-SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 30-7-20  
-BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 30-7-20, WHICH BEARS NORTH 88°57'21" EAST.  
-THIS SURVEY WAS PREPARED BASED ON CHICAGO TITLE INSURANCE COMPANY, TITLE COMMITMENT NUMBER CO-15833M, COMMITMENT DATE AUGUST 24, 2023.  
-FIELD DATE: FEBRUARY 14, 2025 & APRIL 16, 2025  
-DUE TO EXISTING SNOW COVER, THERE MAY BE IMPROVEMENTS ON THE SITE THAT WERE NOT VISIBLE OR OBSERVED AS OF THE DATE OF THIS SURVEY.



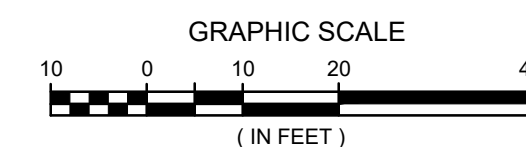
DIGGERS HOTLINE. TICKET NOS: 20250206553 & 2554

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

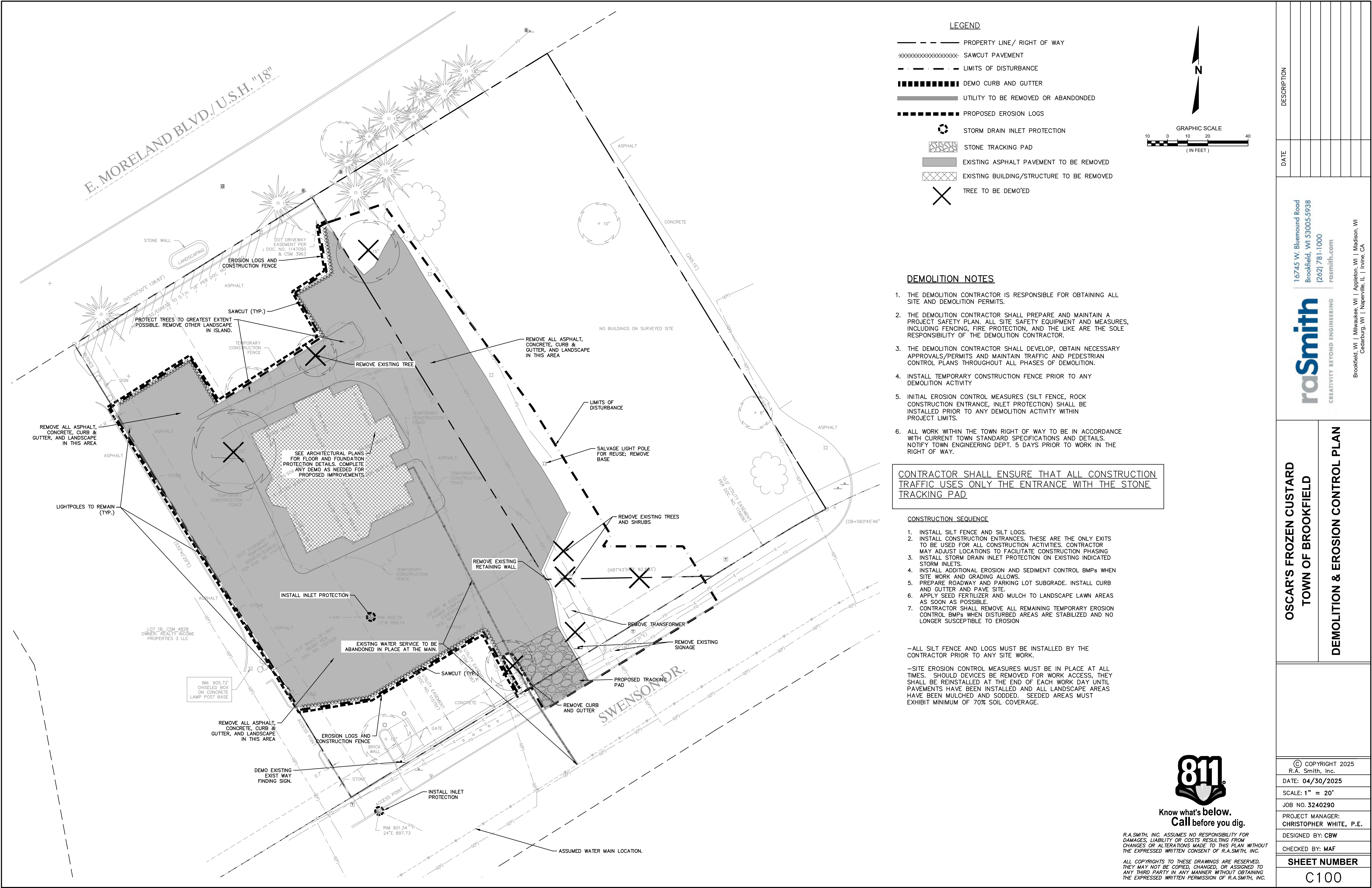
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**raSmith**  
CREATIVITY BEYOND ENGINEERING

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
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**LEGEND**

PROPERTY LINE

PROPOSED ASPHALT PAVEMENT

PROPOSED CONCRETE SIDEWALK

PROPOSED 18" CURB AND GUTTER

GRAPHIC SCALE

10 0 10 20 40

(IN FEET)

OSCAR'S PROPERTY (ZONED B-2)

**PARKING STATISTICS**

REQUIRED PARKING: 1 PER 50 SF OF DINING AREA AND 1 PER TWO EMPLOYEES ON LARGEST SHIFT

DINING AREA = 2,100 SF / 50 SF = 42 STALLS  
EMPLOYEES = 10 / 2 = 6 STALLS

TOTAL REQUIRED = 48 STALLS

PROPOSED PARKING (WITH SHARED PARKING AGREEMENT):

|                |    |
|----------------|----|
| REGULAR STALLS | 56 |
| ADA STALLS     | 3  |
| TOTAL          | 59 |

**EXISTING CONDITIONS**

|                  |        |       |          |
|------------------|--------|-------|----------|
|                  | SF     | ACRES | COVERAGE |
| TOTAL SITE       | 38,115 | 0.88  |          |
| PERVIOUS SPACE   | 3,344  | 0.08  | 9.1%     |
| IMPERVIOUS SPACE | 34,771 | 0.80  | 90.9%    |

**PROPOSED CONDITIONS**

|                  |        |       |          |
|------------------|--------|-------|----------|
|                  | SF     | ACRES | COVERAGE |
| TOTAL SITE       | 38,115 | 0.88  |          |
| PERVIOUS SPACE   | 3,510  | 0.08  | 9.1%     |
| IMPERVIOUS SPACE | 34,605 | 0.80  | 90.9%    |

\*REQUIRED GREEN SPACE = 5% OF SURFACE NOT INCLUDING BUILDING AND PATIO AREAS  
REQUIRED GREEN SPACE = (34,605 - 6,405)/5% = 1,410 SF

FUTURE DEVELOPMENT PROPERTY

**EXISTING CONDITIONS**

|                  |        |       |          |
|------------------|--------|-------|----------|
|                  | SF     | ACRES | COVERAGE |
| TOTAL SITE       | 34,683 | 0.80  |          |
| PERVIOUS SPACE   | 30,161 | 0.69  | 86.3%    |
| IMPERVIOUS SPACE | 4,522  | 0.11  | 13.7%    |

**PROPOSED CONDITIONS**

|                  |        |       |          |
|------------------|--------|-------|----------|
|                  | SF     | ACRES | COVERAGE |
| TOTAL SITE       | 34,683 | 0.80  |          |
| PERVIOUS SPACE   | 29,321 | 0.67  | 83.8%    |
| IMPERVIOUS SPACE | 5,362  | 0.13  | 16.2%    |

- GENERAL NOTES:**
- EXISTING TOPOGRAPHY OBTAINED BY raSmith FEBRUARY 24, 2025.
  - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF BROOKFIELD EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
  - ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
  - BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
  - ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - PAVEMENT SECTIONS SHALL MATCH EXISTING PAVEMENT DESIGN OR APPROVED BY OWNER.



Know what's below.  
Call before you dig.

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DESCRIPTION

DATE

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Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

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CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

SITE PLAN

© COPYRIGHT 2025  
R.A. Smith, Inc.

DATE: 04/30/2025

SCALE: 1" = 20'

JOB NO. 3240290

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

DESIGNED BY: CBW

CHECKED BY: MAF

**SHEET NUMBER**

C200





**LEGEND**

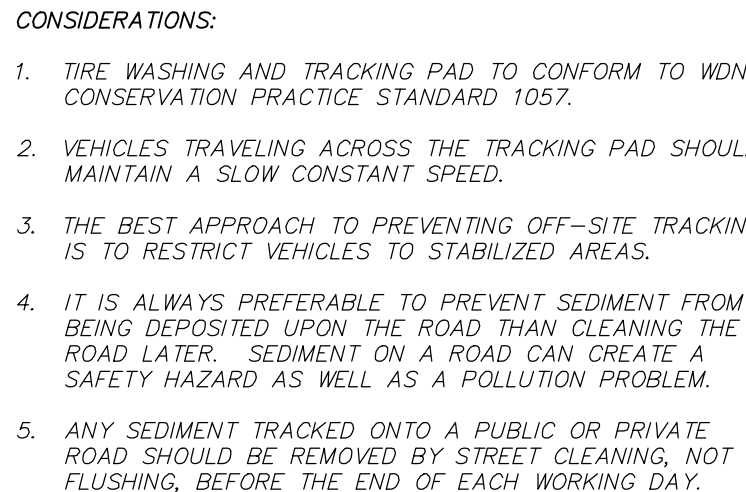
- PROPERTY LINE
- EXISTING SPOT ELEVATION
- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT GRADES
- PROPOSED TOP OF CURB GRADE
- PROPOSED TOP OF ISLAND GRADE
- PROPOSED STORM INLETS / MANHOLES
- LIMITS OF DISTURBANCE = 0.86 ACRES

GRAPHIC SCALE  
0 10 20 40  
(IN FEET)

- GENERAL NOTES:**
- ALL SIDEWALKS TO BE SLOPED AT LESS THAN 5.0% AND NO MORE THAN 2.0% CROSS SLOPE
  - THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
  - THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
  - SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. SEE SHEET C100 FOR PLACEMENT OF EROSION CONTROL FACILITIES.
  - THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
  - GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE AND ON-SITE EARTHWORK BALANCE, GRADING THE PROPOSED BUILDING PAD AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
  - NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
  - CONTRACTOR TO VERIFY FIRST FLOOR ELEVATION AND CONTACT ENGINEER IF DISCREPANCIES ARE FOUND.

| DESCRIPTION   |  |
|---|--|
| DATE  |  |
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| <b>raSmith</b><br>CREATIVITY BEYOND ENGINEERING   |  |
| Brookfield, WI   Milwaukee, WI   Appleton, WI   Madison, WI<br>Cedarburg, WI   Naperville, IL   Irvine, CA  |  |
| <b>OSCAR'S FROZEN CUSTARD<br/>TOWN OF BROOKFIELD</b>  |  |
| <b>GRADING PLAN</b>   |  |
| <p>© COPYRIGHT 2025<br/>R.A. Smith, Inc.<br/>DATE: 04/30/2025<br/>SCALE: 1" = 20'<br/>JOB NO. 3240290<br/>PROJECT MANAGER:<br/>CHRISTOPHER WHITE, P.E.<br/>DESIGNED BY: CBW<br/>CHECKED BY: MAF</p> |  |
| <b>SHEET NUMBER</b>   |  |
| <b>C300</b>   |  |

# C400



- CONSIDERATIONS:
1. THE WASHING AND TRACKING PAD TO CONFORM TO WDM CONSERVATION PRACTICE STANDARD 1057.
  2. VEHICLES TRAVELING ALONG THE TRACKING PAD SHOULD MAINTAIN A SLOW CONSTANT SPEED.
  3. THE BEST APPROACH TO PREVENTING OFF-SITE TRACKING IS TO RESTRICT VEHICLES TO STABILIZED AREAS.
  4. IT IS ALWAYS PREFERABLE TO PREVENT SEDIMENT FROM BEING DEPOSITED UPON THE ROAD THAN CLEANING THE ROAD LATER. SEDIMENT ON A ROAD CAN CREATE A SAFETY HAZARD AS WELL AS A POLLUTION PROBLEM.
  5. ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE DRIVEWAY SHOULD BE REMOVED BY STREET CLEANING, NOT FLUSHING, BEFORE THE END OF EACH WORK DAY.

TESTS: SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056

SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.

WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.

A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.

SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH OR 6 INCHES DEEP TRENCH OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.

CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:

A) TWIST METHOD--OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.

B) HOOK METHOD--HOOK THE END OF EACH SILT FENCE LENGTH.

SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.

DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.

SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.

SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



GENERAL NOTES:

INLET PROTECTION DEVICES SHALL CONFORM TO WQNR CONSERVATION  
MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WSDOT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED IF ALLOWED BY ENGINEER.

TYPE A IS TO BE USED PRIOR TO PAVING AND INSTALLATION OF CURB AND GUTTER, AND TYPES B, C, AND D ARE TO BE USED AFTER PAVING IS PLACED.

TYPE A SHALL BE USED AROUND INLETS AND UNPAVED AREAS UNTIL PERMANENT STABILIZATION METHODS BEEN ESTABLISHED.

TYPE B SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON INLETS WITHOUT A CURB BO.  
TYPE D INLET DEVICES CANNOT BE USED.

TYPE C SHALL BE USED AFTER THE CASTING AND GRATE ARE IN PLACE, ON STREET INLETS WITH CURB H

TYPE D SHALL BE USED IN AREAS WHERE OTHER TYPES OF INLET PROTECTION ARE INCOMPATIBLE WITH ROAD AND TRAFFIC CONDITIONS (I.E. POSSIBLE SAFETY HAZARD IF PONDING OCCURS), OR WHERE MORE EFFECTIVE FILTERING IS NEEDED.

TAPER BOTTOM OF BAG TO MAINTAIN 3" OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.

GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK, AND BOTTOM OF FILTER BAG BEING ONE PIECE.



MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.  
FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.  
STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.  
REINFORCE WITH MULTIPLE STITCHES.

INSTALLATION NOTES:

TYPE B & C:  
 TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE

THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE D:  
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

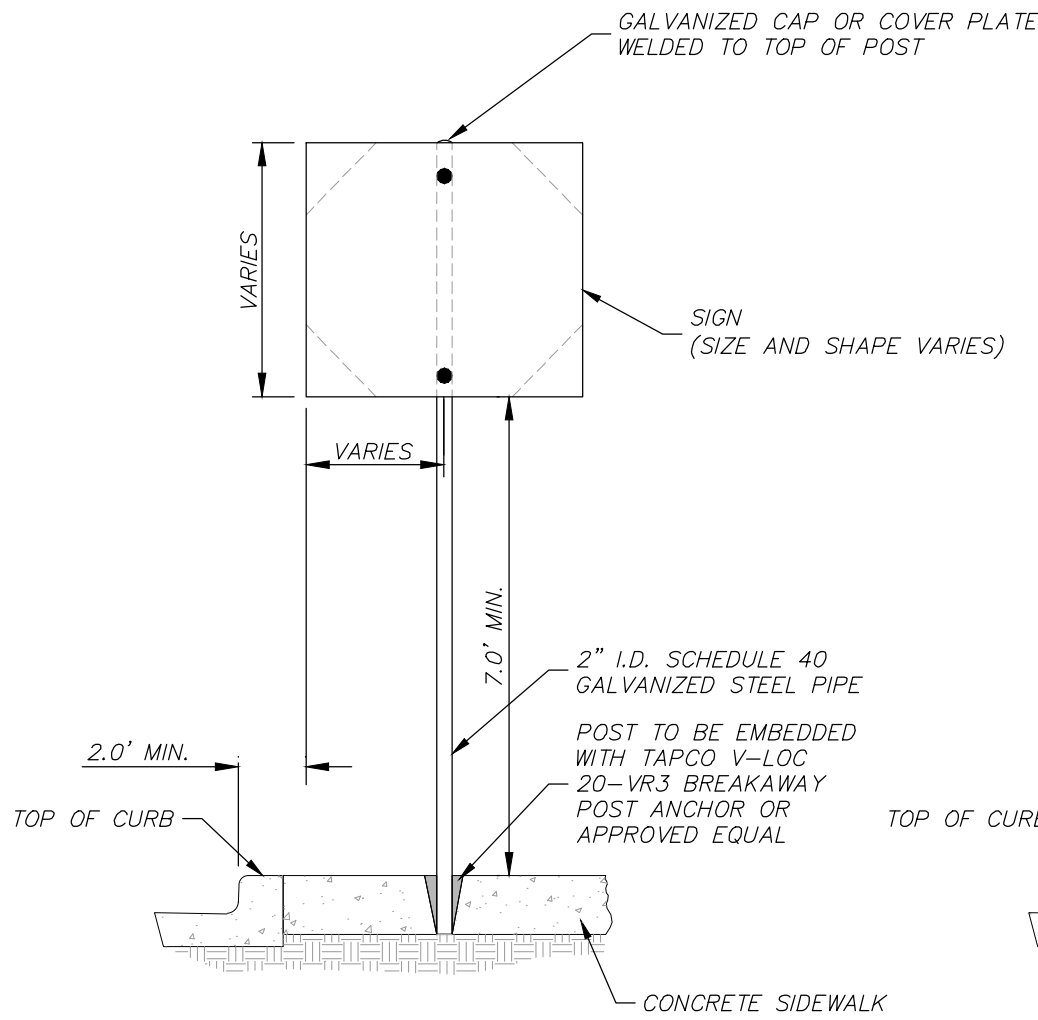
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

PARTS AS SPECIFIED  
 FABRIC SHALL BE 12" WIDE & 15 MILS THICK  
 E OF THE FENCE SHALL BE 12" WIDE & 15 MILS THICK  
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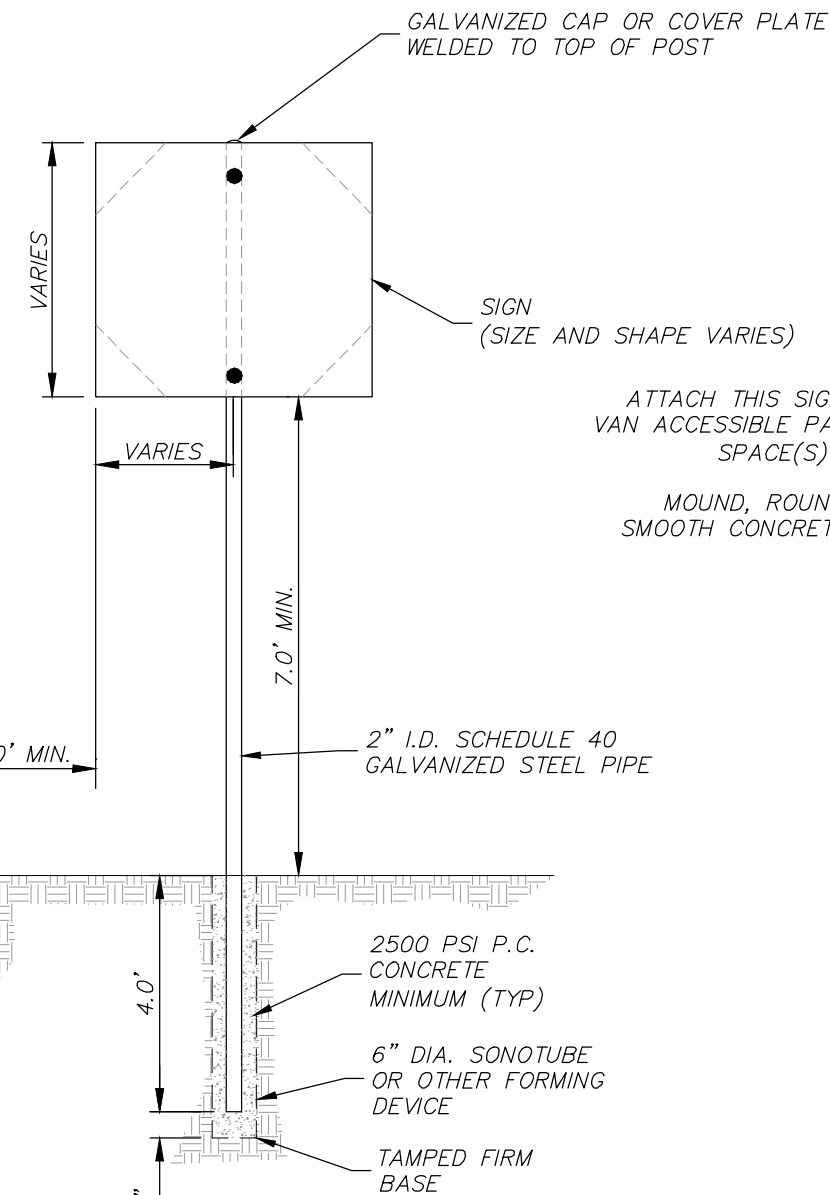
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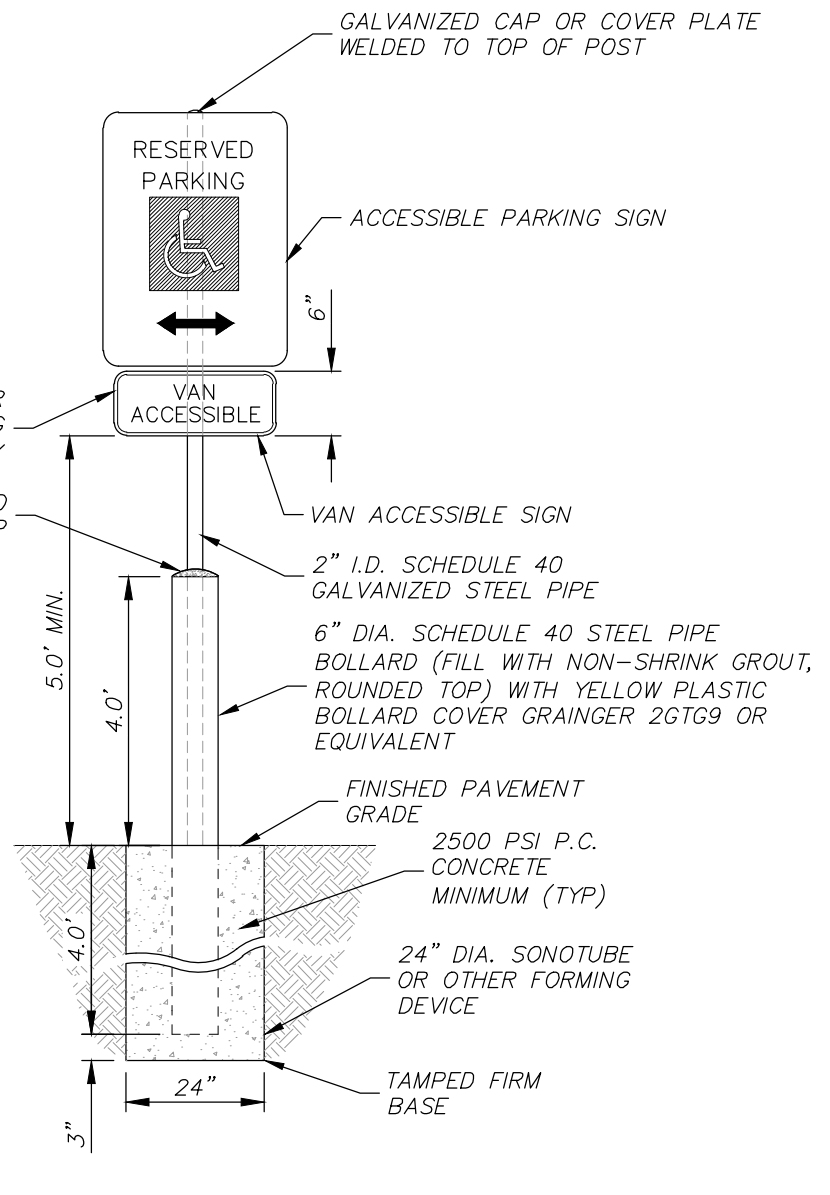


**SIGN AND POST  
INSTALLATION - TYPE 1**  
FOR ALL SIGNS WITHIN THE CURB  
AROUND THE BUILDING  
(NOT TO SCALE)

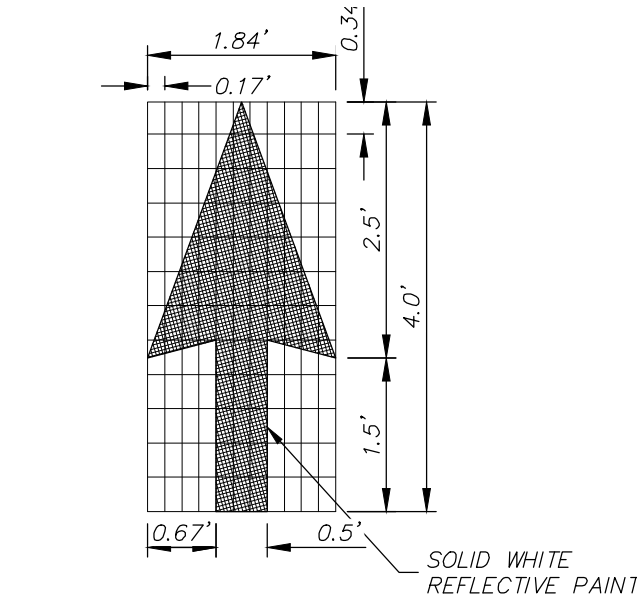
- NOTES:**
- ALL SIGNS SHALL BE MOUNTED TO POSTS BY MEANS OF 5/16" BOLTS, HOLES 3/8" IN DIAMETER, DRILLED THROUGH BOTH SIDES OF POSTS PRIOR TO SIGN INSTALLATION.
  - ALL POST SHALL HAVE A GALVANIZED CAP OR COVER PLATE WELDED TO TOP OF POST.



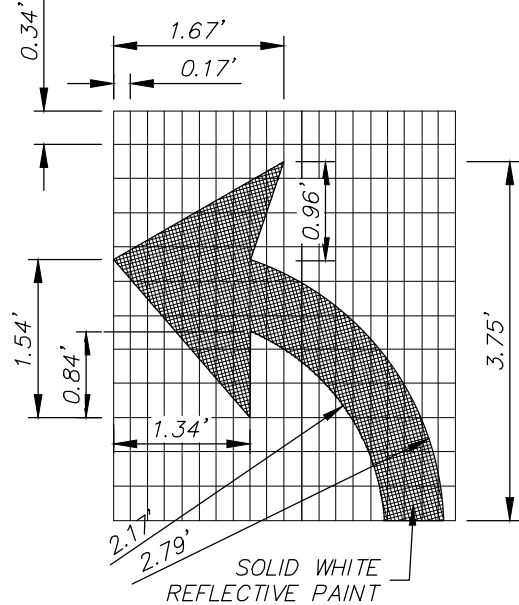
**SIGN AND POST  
INSTALLATION - TYPE 2**  
FOR ALL SIGNS ON SITE, OUTSIDE  
THE BUILDING CURB  
(NOT TO SCALE)



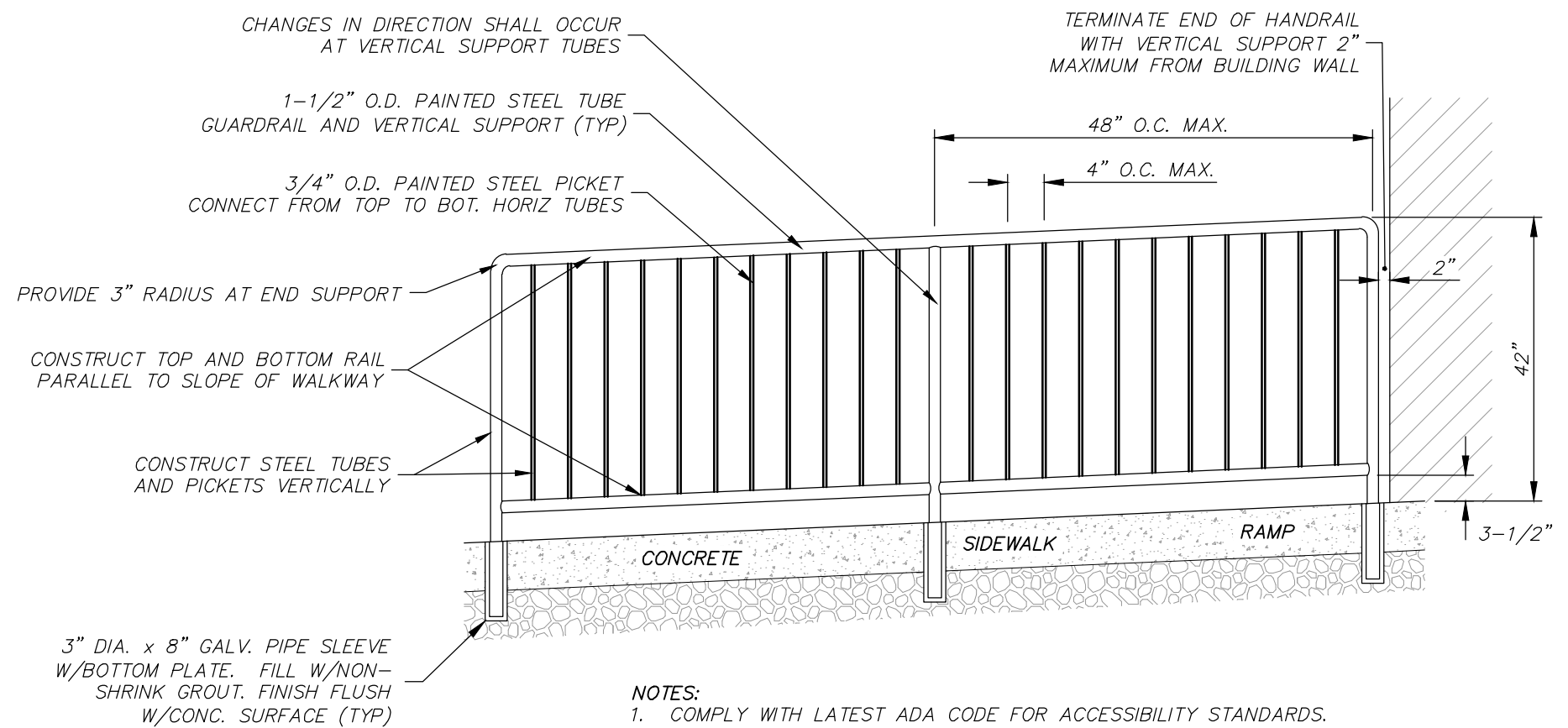
**SIGN AND POST  
INSTALLATION - TYPE 3**  
FOR ALL ACCESSIBLE PARKING  
STALLS IN PAVEMENT AREAS  
(NOT TO SCALE)



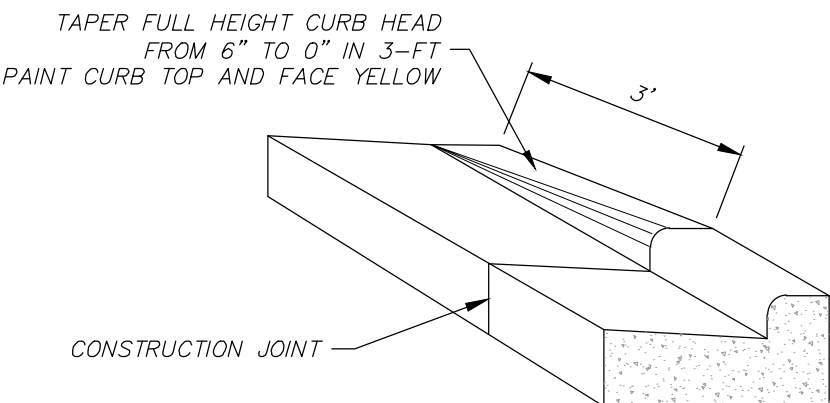
**PARKING LOT  
DIRECTIONAL ARROW**  
(NOT TO SCALE)



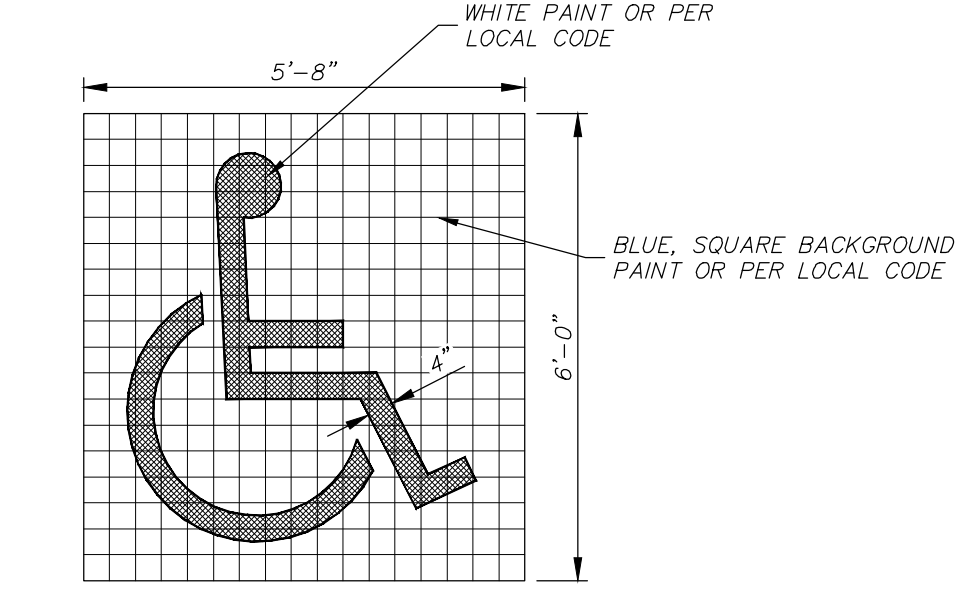
**PARKING LOT  
TURNING ARROW**  
(NOT TO SCALE)



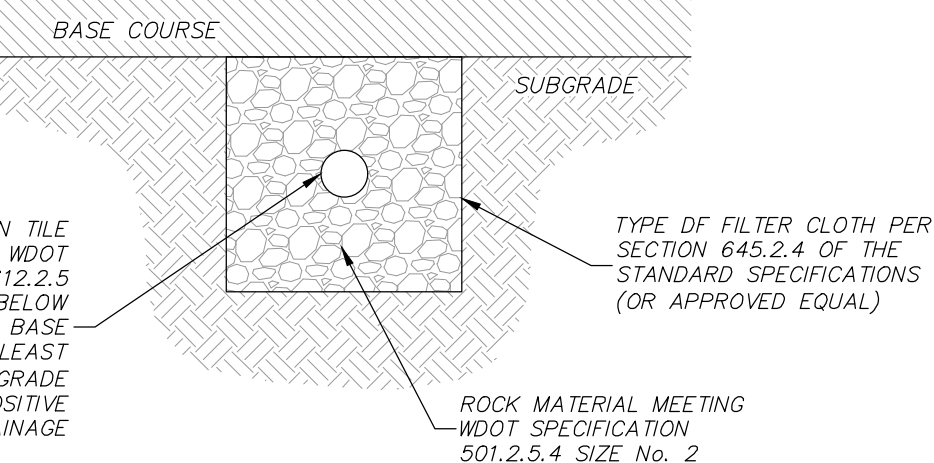
**PEDESTRIAN GUARDRAIL  
ADJACENT TO BUILDING**  
(NOT TO SCALE)



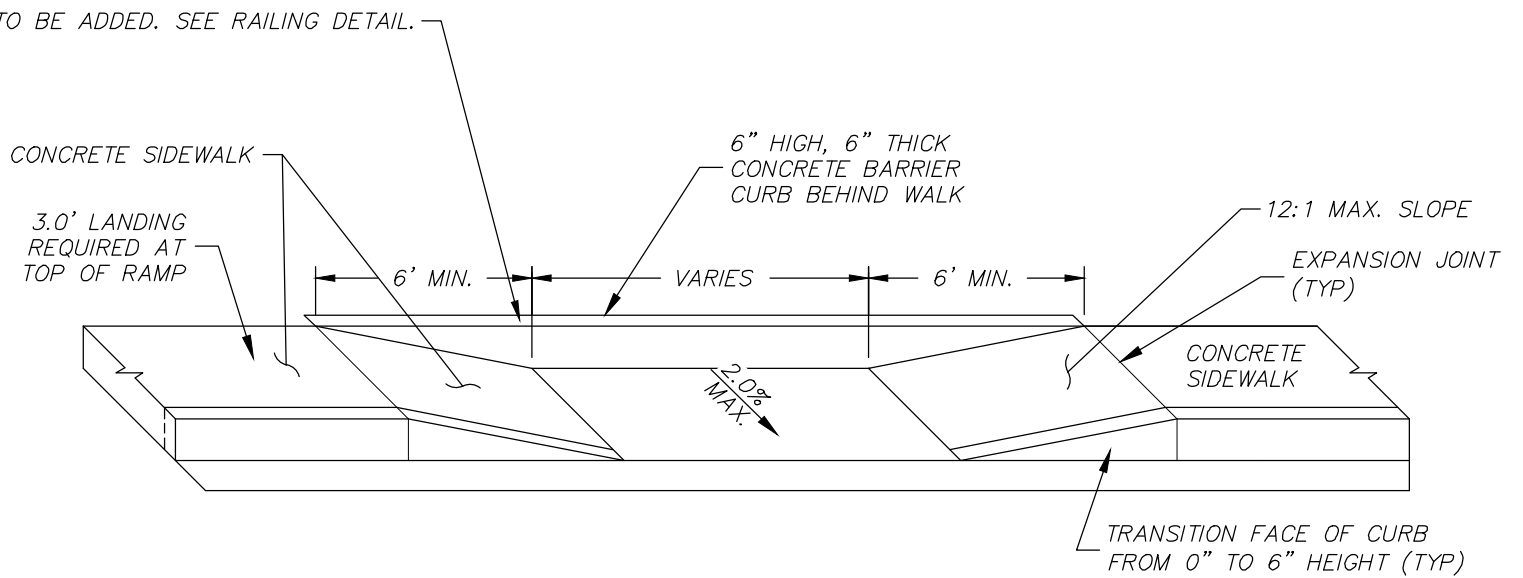
**CURB HEAD TAPER DETAIL**  
(NOT TO SCALE)



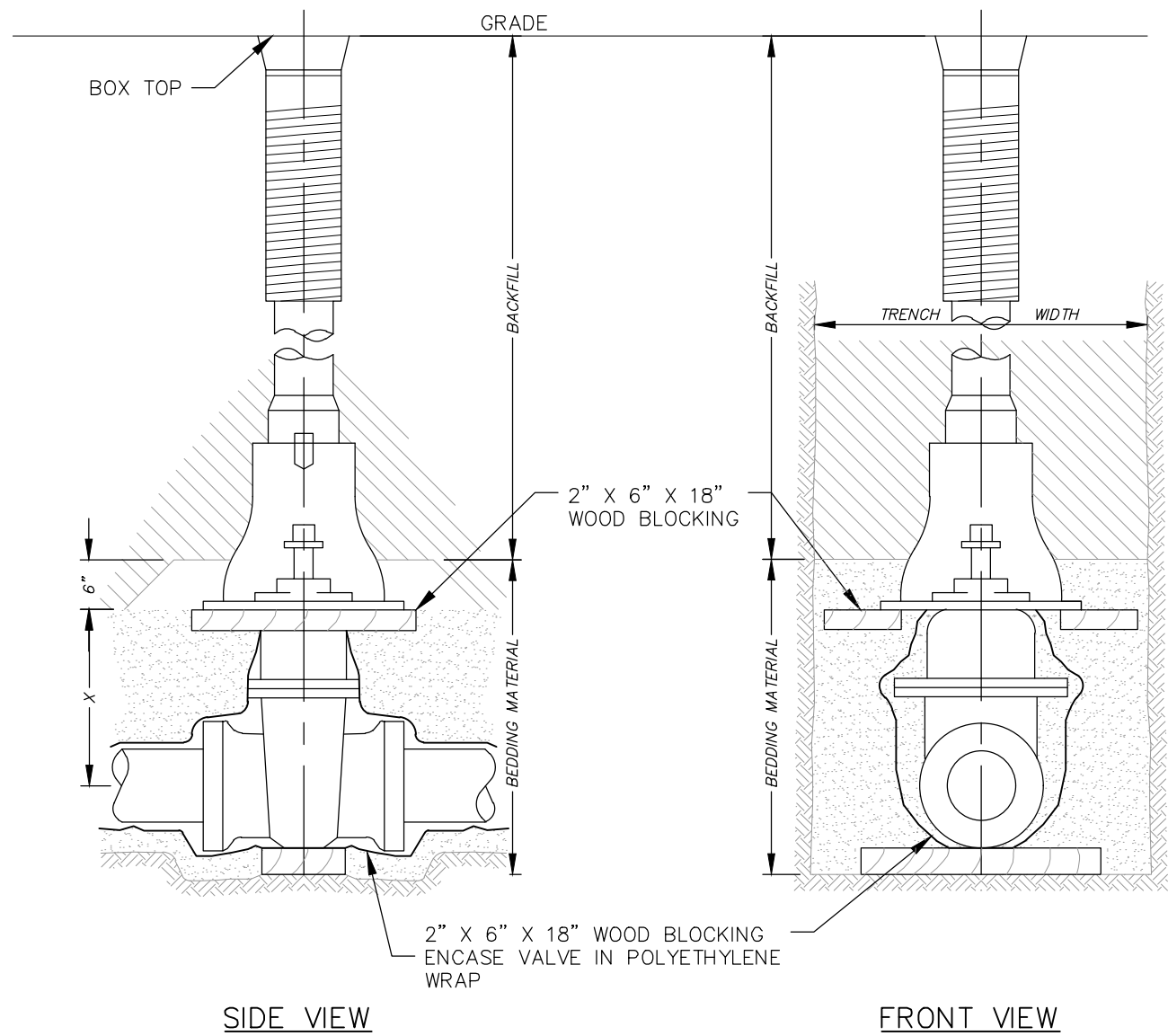
**ACCESSIBLE PAINTED SYMBOL DETAIL**  
(NOT TO SCALE)



**FINGER DRAIN / UNDERDRAIN**



**DEPRESSED SIDEWALK RAMP TYPE 7A (PRIVATE SITE)**  
(NOT TO SCALE)



**STANDARD GATE VALVE  
BOX SETTING**

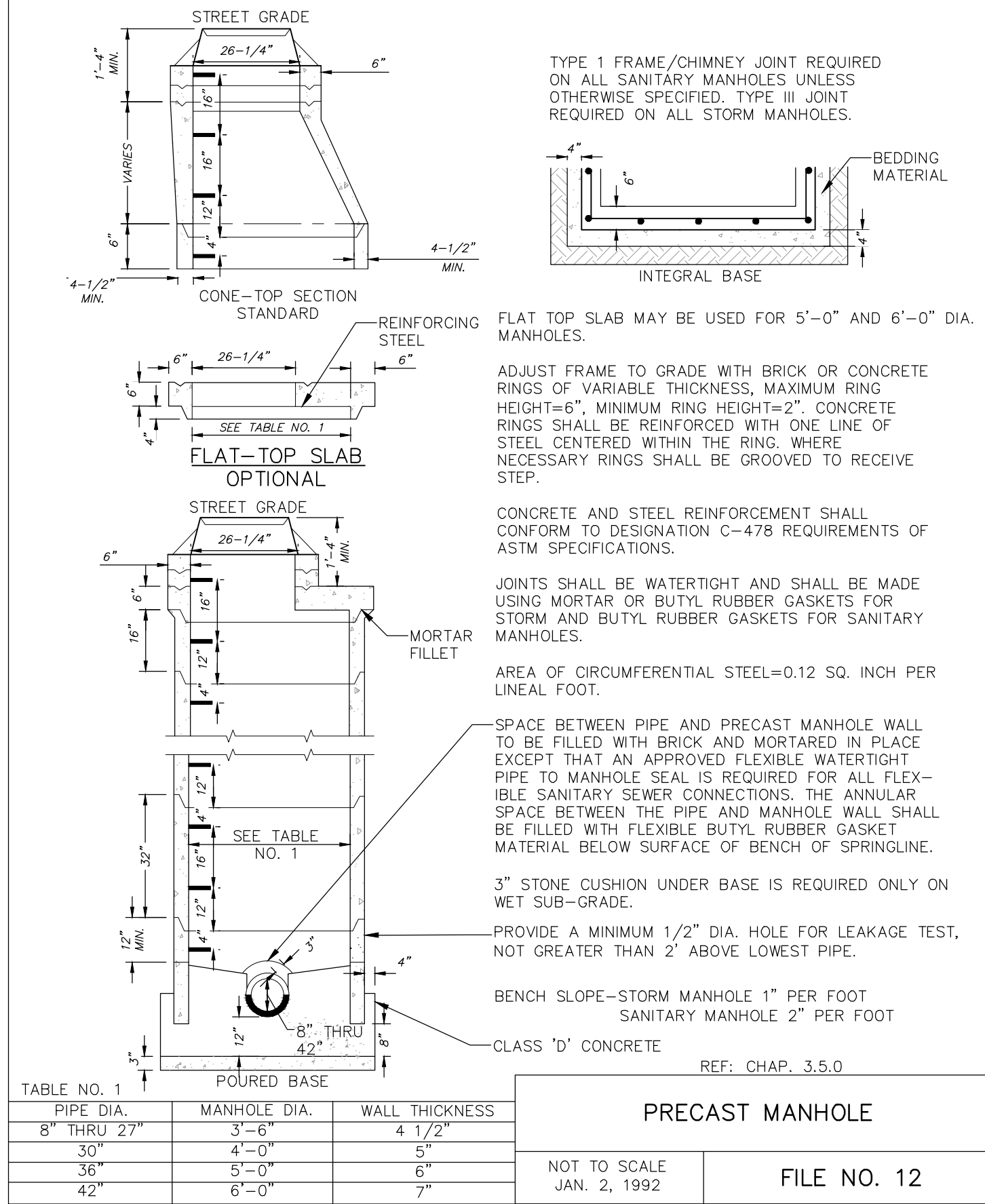
| PIPE DIA.<br>INCHES | X=SETTING<br>INCHES |
|---------------------|---------------------|
| 2                   | 6                   |
| 3                   | 7                   |
| 4                   | 8                   |
| 6                   | 12                  |
| 8                   | 13                  |
| 10                  | 17                  |
| 12                  | 21                  |
| 16                  | 30                  |

**NOTE:**  
DETAIL FOR USE WITH PUBLIC FACILITIES  
PROJECTS WITHIN PUBLIC ROW.

REF: CHAP. 4.8.0

NOT TO SCALE

FILE NO. 37

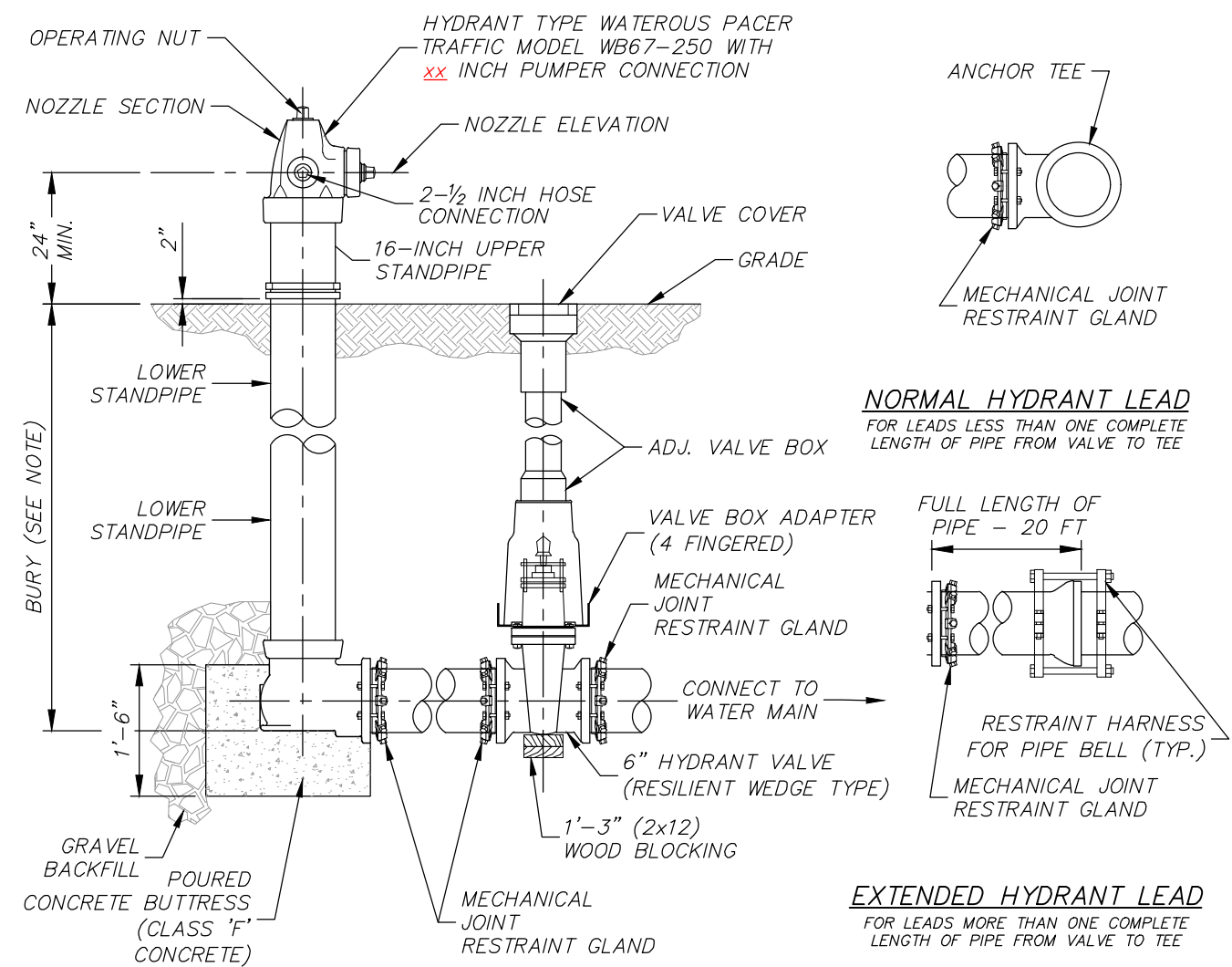


**MANHOLE & INLET & CATCH BASIN STRUCTURE DETAIL PER FILE NO. 12,  
STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN**  
(NOT TO SCALE)

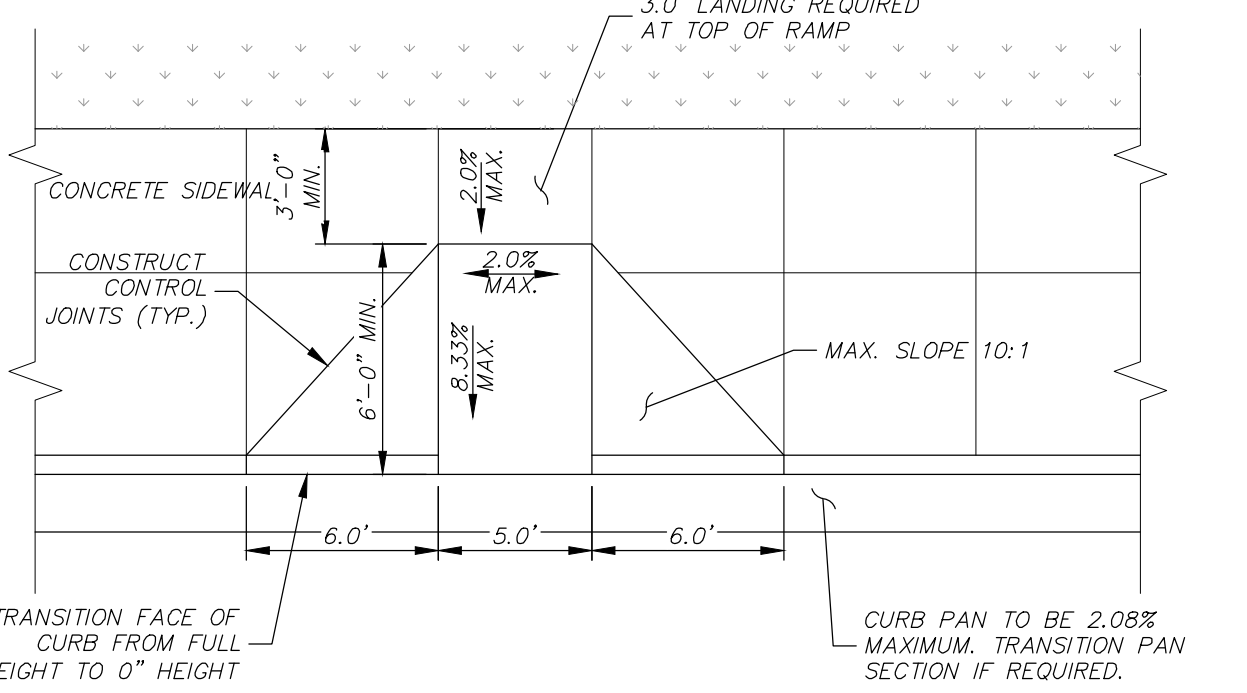
**CATCH BASIN NOTES:**

- CATCH BASIN (CB)**  
REFER TO FILE NO. 12 (STANDARD SPECIFICATIONS FOR SEWER AND WATER  
CONSTRUCTION IN WISCONSIN, DETAIL ON THIS SHEET - ABOVE) EXCEPT:
- USE NEENAH CASTING R-2050 WITH TYPE C GRATE AT ALL PAVED FIELD INLET AREAS UNLESS OTHERWISE NOTED ON PLANS.
  - USE 48" MINIMUM DIAMETER UNLESS INDICATED OTHERWISE ON PLAN

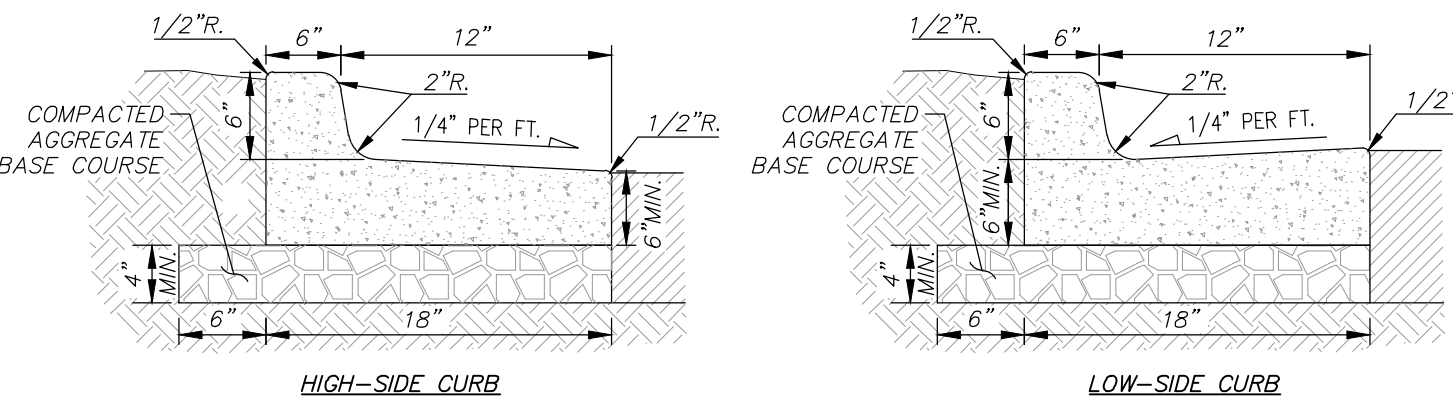
CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.



**HYDRANT INSTALLATION DETAIL**  
(NOT TO SCALE)



**DEPRESSED CURB RAMP TYPE 3 (PRIVATE SITE)**  
(NOT TO SCALE)



**18" CONCRETE CURB & GUTTER DETAIL**  
(NOT TO SCALE)

DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

raSmith  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Oscarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

DETAILS

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R.A. Smith, Inc.

DATE: 04/30/2025

SCALE: N.T.S.

JOB NO. 3240290

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

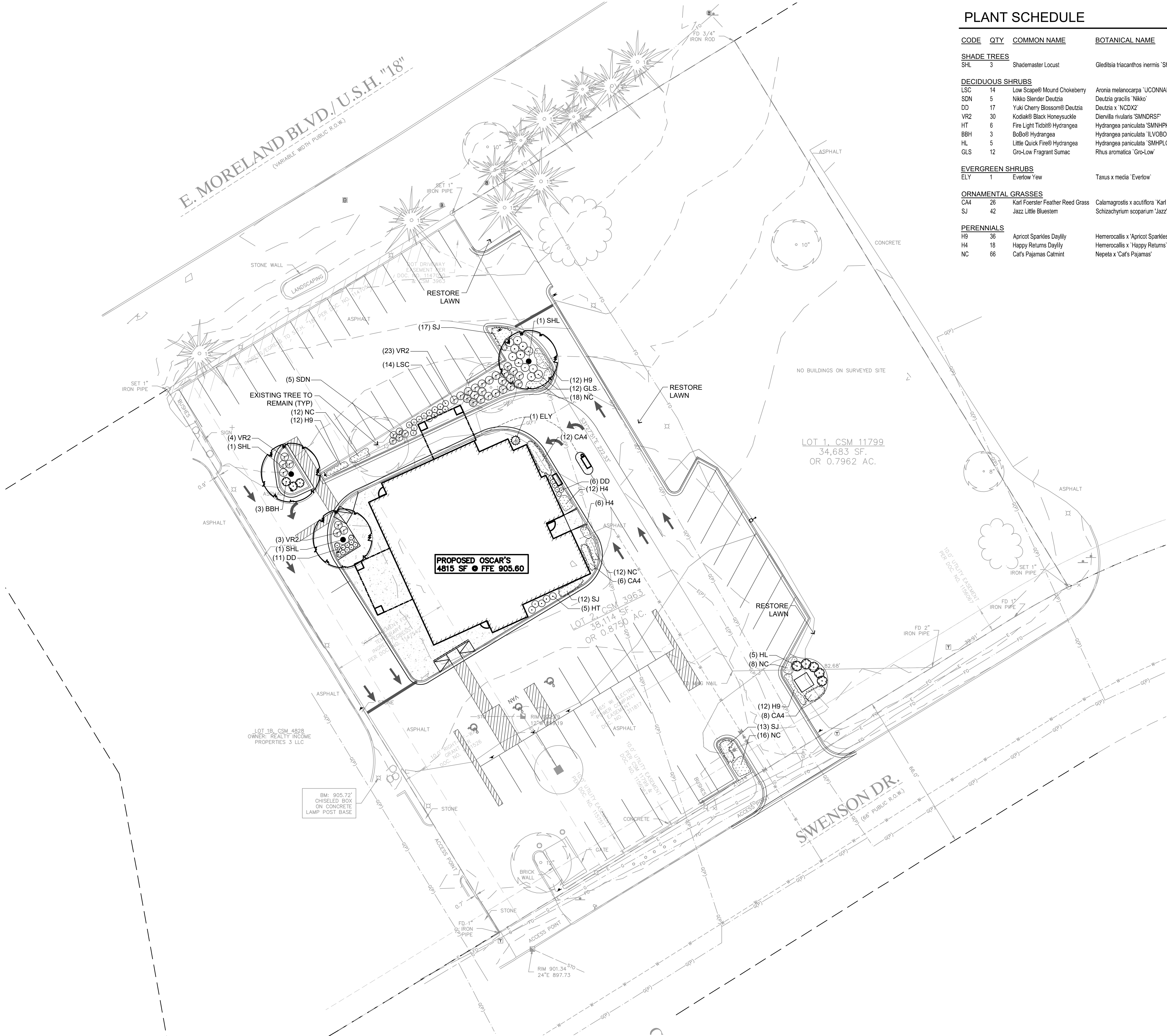
DESIGNED BY: CBW

CHECKED BY: MAF

SHEET NUMBER

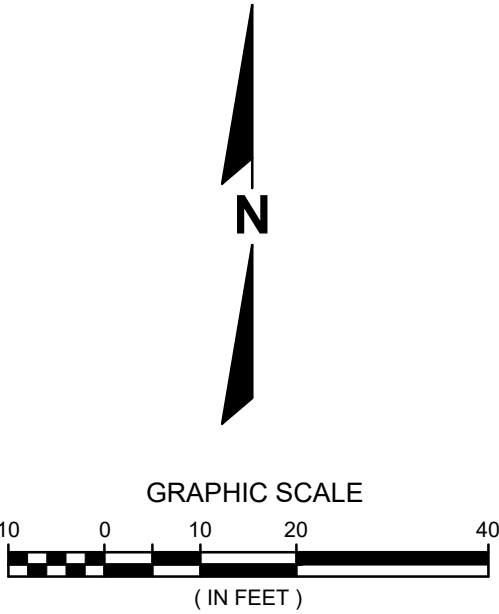
C501

| DIVISION 1 – GENERAL REQUIREMENTS  |  | DIVISION 31 – EARTHWORK   |  | DIVISION 32 – EXTERIOR IMPROVEMENTS   |  | DIVISION 33 – UTILITIES  |  |   |  |
|--|--|---|--|---|--|--|--|---|--|
| 01 41 00 – REGULATORY REQUIREMENTS   |  | 31 10 00 – SITE CLEARING & DEMOLITION   |  | 32 10 00 – WATER DISTRIBUTION   |  | 33 10 00 – WATER DISTRIBUTION  |  |   |  |
| <p>1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:</p> <p>a. WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS</p> <p>b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST</p> <p>c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)</p> <p>d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 381-387</p> <p>e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION</p> <p>f. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED PRODUCT LISTS (APL)</p> <p>g. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)</p> <p>h. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)</p> <p>i. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS</p> <p>j. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES</p> <p>k. MUNICIPALITY DEVELOPMENT STANDARDS</p> <p>l. COUNTY DEVELOPMENT STANDARDS</p>   |  | <p>1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERISHABLE MATTER INTERFERING WITH NEW CONSTRUCTION.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. CALL 811 TO NOTIFY UTILITY PROVIDERS, AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.</p> <p>4. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.</p> <p>5. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.</p> <p>7. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.</p> <p>8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.</p> <p>9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.</p> <p>10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.</p> <p>11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.</p> <p>12. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER.</p> <p>13. VOIDS LEFT BY REMOVALS SHALL BE LEVELLED TO PREVENT PONDING OF WATER.</p> <p>14. RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.</p>  |  | <p>1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPLACEMENT OF TOPSOIL.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.</p> <p>4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED AS EXCAVATION MATERIAL. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE.</p> <p>5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.</p> <p>6. EXCAVATED WORK AREA DURING INSTALLATION AND UNTIL PAVEMENT MARKING IS DRIED, PROTECT ADJACENT AREAS FROM RECEIVING PAINT OR EPOXY.</p> <p>7. DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDUM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING PROJECT SITE AND ADJACENT AREAS.</p> <p>11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.</p> <p>12. TOPSOIL REPLACEMENT DEPTH SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF SIX INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.</p> <p>13. TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 18" BY DRY MEASURE TO INSURE LONG TERM PLANT HEALTH. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.</p> |  | <p>1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 811, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>4. ALL PRIVATE WATER MAIN WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW.</p> <p>6. CAST-IRON PIPE SHALL BE 15" OR 18" IN DIAMETER AND SHALL BE IN ACCORDANCE WITH AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.1.0.0 OF SSSWCW.</p> <p>7. POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO AWWA C901.</p> <p>8. COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO ASTM B88.</p> <p>9. BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.3.0.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B62.</p> <p>10. GATE VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.7.0 OF SSSWCW AND CONFORM TO AWWA C500.</p> <p>11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.8.0 OF SSSWCW AND CONFORM TO AWWA C504.</p> <p>12. VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.2.9.0 OF SSSWCW AND CONFORM TO ASTM A448. VALVE BOXES SHALL BE SIZE DD, SCOREW TYPE, 3-PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE SET TO PROPOSED GRADE, TRULY VERTICAL, AND SUPPORTED BY USE OF A JACK.</p> <p>13. HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.2.6.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF TEE AND HAVE A GROUT LINE TO CENTER DISTANCE OF 18 TO 21 INCHES.</p> <p>14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.2.2.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.</p> <p>15. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.</p> <p>16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.2.1.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS.</p> <p>17. THRUST RESTRAINT SHALL BE IN ACCORDANCE WITH SECTION 4.3.1.3 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.</p> <p>18. TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.</p> <p>19. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.</p> <p>20. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>21. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.</p> <p>22. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE, PRIVATE WATER MAIN PIPE, AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 400 FEET.</p> <p>23. PROPOSED WATER SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.</p> <p>24. THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF BENDS REQUIRED TO COMPLETE CONSTRUCTION, WHICH SHALL BE INCIDENTAL AND INCLUDED IN THE COST OF WORK.</p> <p>25. THE CONTRACTOR SHALL MAINTAIN ALL VALVE BOXES TO FINISHED SURFACE.</p> <p>26. THE CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AND SAFE WATER SAMPLING. HYDROSTATIC TESTING SHALL BE IN ACCORDANCE WITH SECTION 4.1.5.0 OF SSSWCW. DISINFECTION SHALL BE IN ACCORDANCE WITH SECTION 4.1.6.0 OF SSSWCW AND CONFORM TO AWWA C651. WATER MAINS SHALL BE FLUSHED AND TESTED IN THE PRESENCE OF THE WATER UTILITY OPERATOR.</p> |  | <p>1. CLEANSOUTS AND RISER EXTENSIONS SHALL BE INSTALLED IN ACCORDANCE WITH SPS 382.35 FROM SEWER PIPES TO GROUND SURFACE. LIGHT DUTY LOADING CLASSIFICATION SHALL BE USED IN UNPAVED AREAS. MEDIUM DUTY LOADING CLASSIFICATION SHALL BE USED IN PAVED VEHICULAR TRAFFIC AREAS. FRAMES AND COVERS SHALL BE SET FLUSH WITH SURFACE.</p> <p>13. TRACER WIRE SHALL BE GREEN AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC SANITARY SEWER PIPE, PRIVATE SANITARY INTERCEPTOR PIPE, AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 400 FEET.</p> <p>14. PROPOSED SANITARY SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL.</p> <p>15. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS TO FINISHED SURFACE.</p> <p>16. AFTER INSTALLATION OF SANITARY SEWERAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGES. CONDUCT TESTING OF INSTALLED PIPE IN ACCORDANCE WITH SSSWCW. REPAIR ANY DAMAGE AND REPLACE ANY PIPE NOT PASSING TESTING.</p> |  |
| 01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS   |  | DIVISION 32 – EXTERIOR IMPROVEMENTS   |  | 33 30 00 – SANITARY SEWERAGE  |  |  |  |   |  |
| <p>1. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE WITH THIS PLAN.</p> <p>2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.</p> <p>3. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.</p> <p>5. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK.</p> <p>6. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE.</p> <p>7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.</p> <p>8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED.</p> <p>9. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.</p> <p>10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.</p> <p>11. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER. NO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES WILL BE ISSUED. OFFICIAL WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE.</p> <p>12. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY THE OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS ISSUED.</p> <p>13. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.</p> <p>14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.</p> |  | <p>1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ASPHALT PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW SHALL BE FORMATTED USING WISDOT MIX DESIGN STANDARD DATA INPUT FORM/REPORT 249.</p> <p>4. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>5. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>6. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 456 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>7. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP; TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE.</p> <p>8. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>9. APPLICATION: TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION.</p> <p>10. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS/MINUS 1/4-INCH FOR SURFACE COURSE.</p> <p>11. APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL./SY.</p> <p>12. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED.</p> <p>13. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSION AREAS EXCEEDING TOLERANCE.</p> <p>14. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p> <p>15. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p> |  | <p>1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>4. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS:</p> <p>a. SECTION 405- COLORED AND STAMPED CONCRETE PAVING</p> <p>b. SECTION 415- CONCRETE PAVING REPAIR</p> <p>c. SECTION 416- CONCRETE PAVEMENT REPAIR</p> <p>d. SECTION 601- CONCRETE CURBING</p> <p>e. SECTION 602- CONCRETE SIDEWALK AND PATIO PAVING</p> <p>5. CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS, WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.</p> <p>6. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>7. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M.</p> <p>8. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260.</p>   |  | <p>1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 110, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.3.9.0 OF SSSWCW.</p> <p>6. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.9.0 OF SSSWCW AND CONFORM TO ASTM C76 WITH RUBBER GASKETED JOINTS CONFORMING TO ASTM C443. UNLESS NOTED OTHERWISE, 12-INCH DIAMETER PIPE SHALL BE CLASS II, 18-INCH DIAMETER PIPE SHALL BE CLASS IV, AND 24-INCH DIAMETER PIPE SHALL BE CLASS V.</p> <p>7. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.</p> <p>8. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.</p> <p>9. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.</p> <p>11. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR ALL BUILDING SANITARY SERVICE PIPES, UNLESS NOTED OTHERWISE.</p>   |  |   |  |
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PLANT SCHEDULE

| CODE               | QTY | COMMON NAME                      | BOTANICAL NAME                              | INSTALLED SIZE | ROOT | SPACING          |
|--------------------|-----|----------------------------------|---|----------------|------|------------------|
| SHADE TREES        |     |                                  |   |                |      |                  |
| SHL                | 3   | Shademaster Locust               | Gleditsia triacanthos inermis 'Shademaster' | 2 1/2" CAL     | B&B  | Spacing as shown |
| DECIDUOUS SHRUBS   |     |                                  |   |                |      |                  |
| LSC                | 14  | Low Scape® Mound Chokeberry      | Aronia melanocarpa 'UCONNAM165'             | 15" SPD        | CONT | Spacing as shown |
| SDN                | 5   | Nikko Slender Deutzia            | Deutzia gracilis 'Nikko'                    | 15" HT         | CONT | Spacing as shown |
| DD                 | 17  | Yuki Cherry Blossom® Deutzia     | Deutzia x 'NCDX2'                           | 15" HT         | CONT | Spacing as shown |
| VR2                | 30  | Kodiak® Black Honeysuckle        | Diervilla rivularis 'SMNDRSF'               | 15" HT         | CONT | Spacing as shown |
| HT                 | 6   | Fire Light Tidbit® Hydrangea     | Hydrangea paniculata 'SMNHPK'               | 15" HT         | CONT | Spacing as shown |
| BBH                | 3   | BoBo® Hydrangea                  | Hydrangea paniculata 'ILVOBO'               | 18" HT         | CONT | Spacing as shown |
| HL                 | 5   | Little Quick Fire® Hydrangea     | Hydrangea paniculata 'SMHPLQF'              | 18" HT         | CONT | Spacing as shown |
| GLS                | 12  | Gro-Low Fragrant Sumac           | Rhus aromatica 'Gro-Low'                    | 15" HT         | CONT | Spacing as shown |
| EVERGREEN SHRUBS   |     |                                  |   |                |      |                  |
| ELY                | 1   | Everlow Yew                      | Taxus x media 'Everlow'                     | 15" HT         | B&B  | Spacing as shown |
| ORNAMENTAL GRASSES |     |                                  |   |                |      |                  |
| CA4                | 26  | Karl Foerster Feather Reed Grass | Calamagrostis x acutiflora 'Karl Foerster'  | 1 GAL          | CONT | 24" Spacing      |
| SJ                 | 42  | Jazz Little Bluestem             | Schizachyrium scoparium 'Jazz'              | 1 GAL          | CONT | 18" Spacing      |
| PERENNIALS         |     |                                  |   |                |      |                  |
| H9                 | 36  | Apricot Sparkles Daylily         | Hemerocallis x 'Apricot Sparkles'           | 1 GAL          | POT  | 18" Spacing      |
| H4                 | 18  | Happy Returns Daylily            | Hemerocallis x 'Happy Returns'              | 1 GAL          | POT  | 18" Spacing      |
| NC                 | 66  | Cat's Pajamas Catmint            | Nepeta x 'Cat's Pajamas'                    | 1 GAL          | POT  | 18" Spacing      |



DESCRIPTION

DATE

16745 W. Bluemound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rasmith.com

**raSmith**  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

SITE LANDSCAPE PLAN

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R.A. Smith, Inc.

DATE: 04/30/2025

SCALE: 1" = 20'

JOB NO. 3240290

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

DESIGNED BY: REW

CHECKED BY: REW

SHEET NUMBER

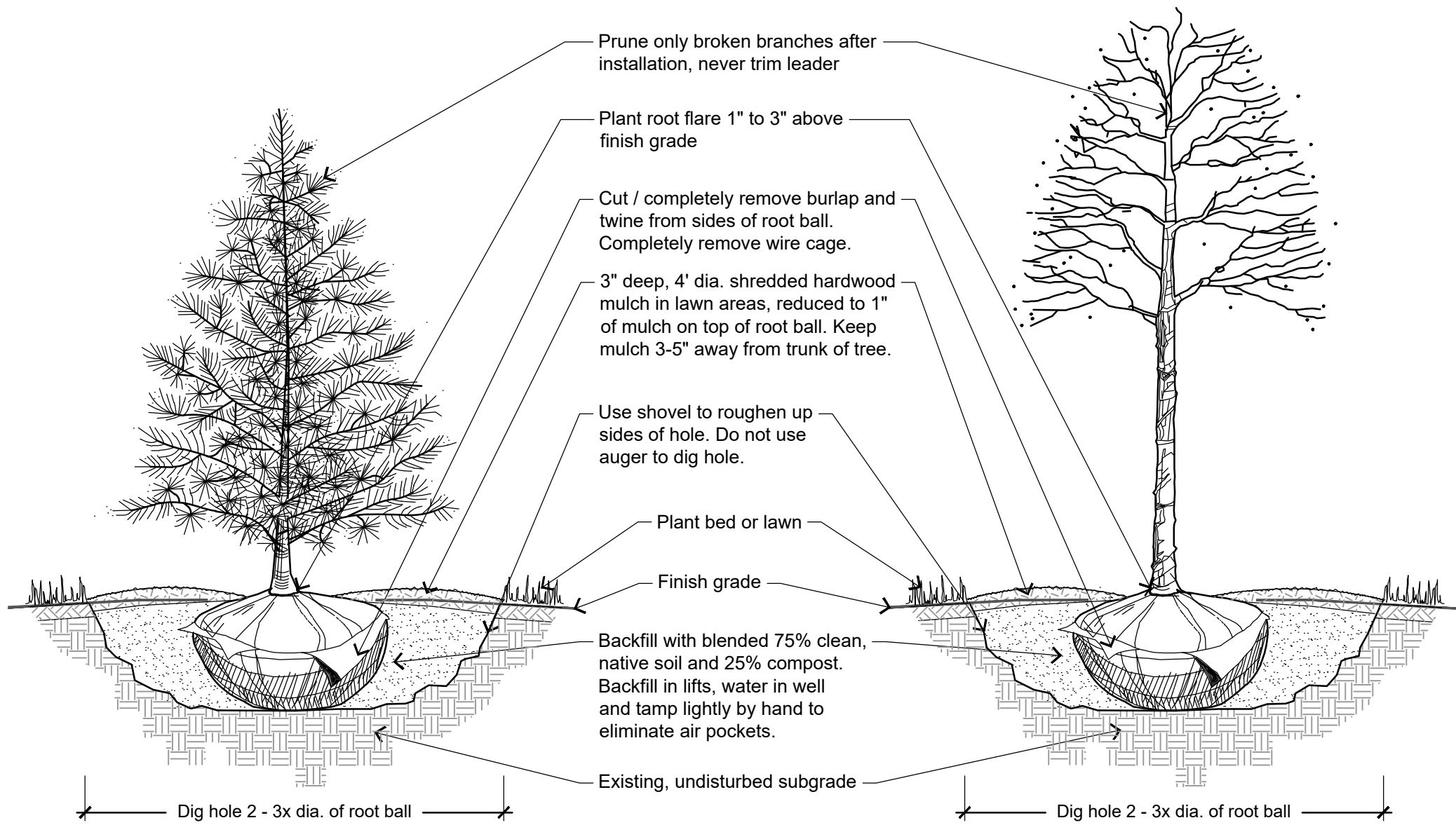
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Know what's below.  
Call before you dig.

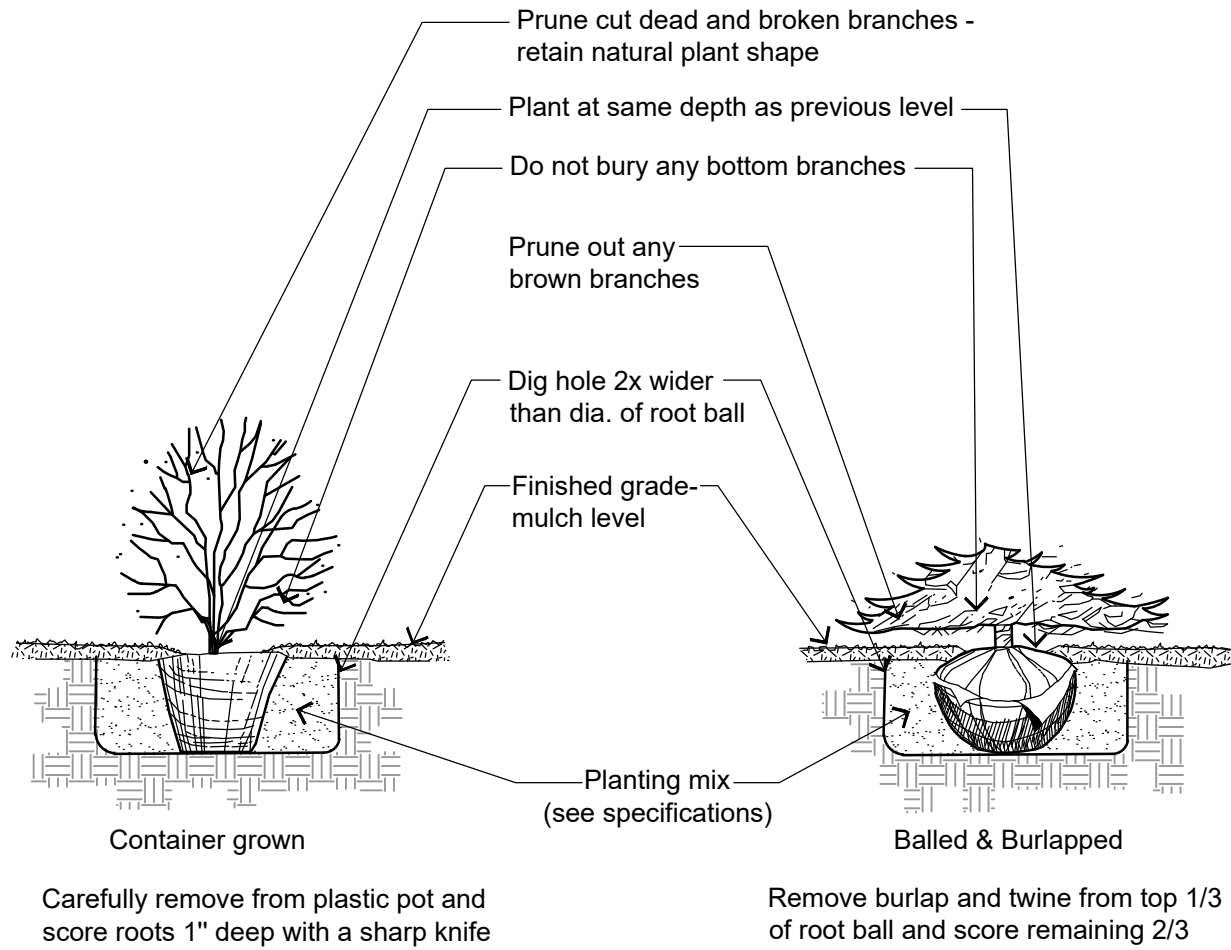
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PLANTING DETAILS

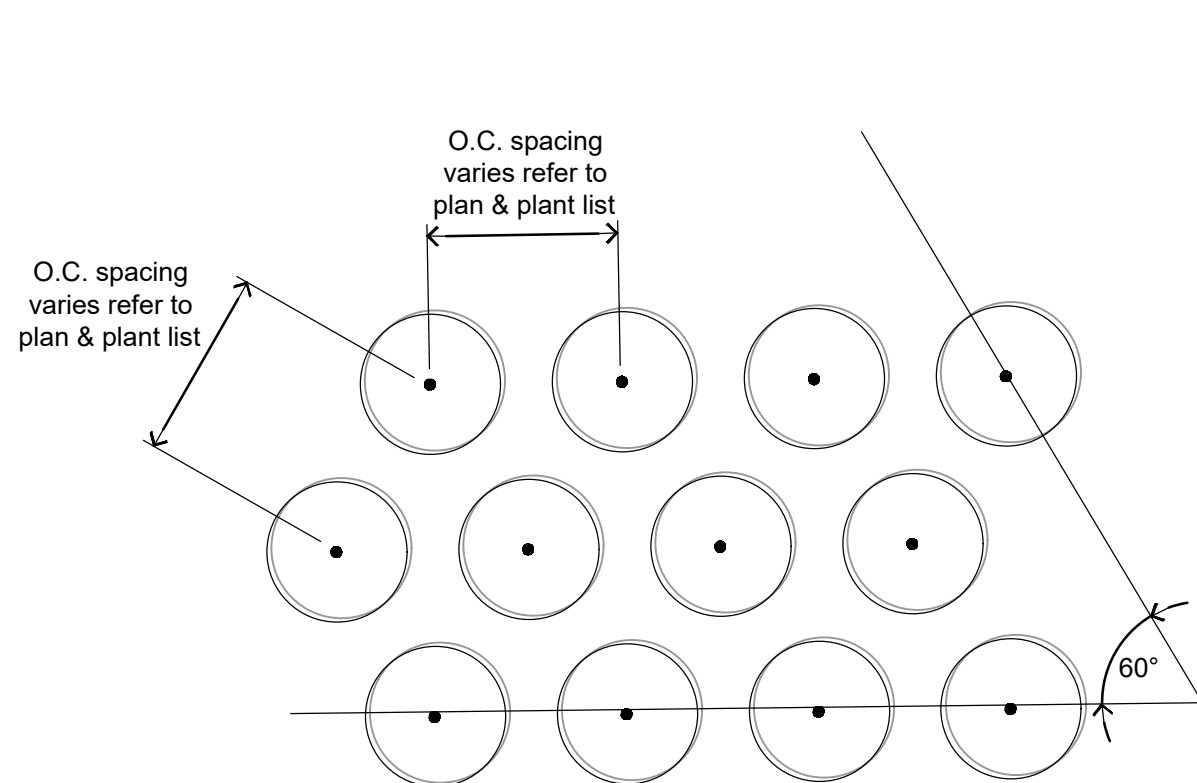


1 TREE PLANTING DETAIL  
NOT TO SCALE

P-PL-TREE-07

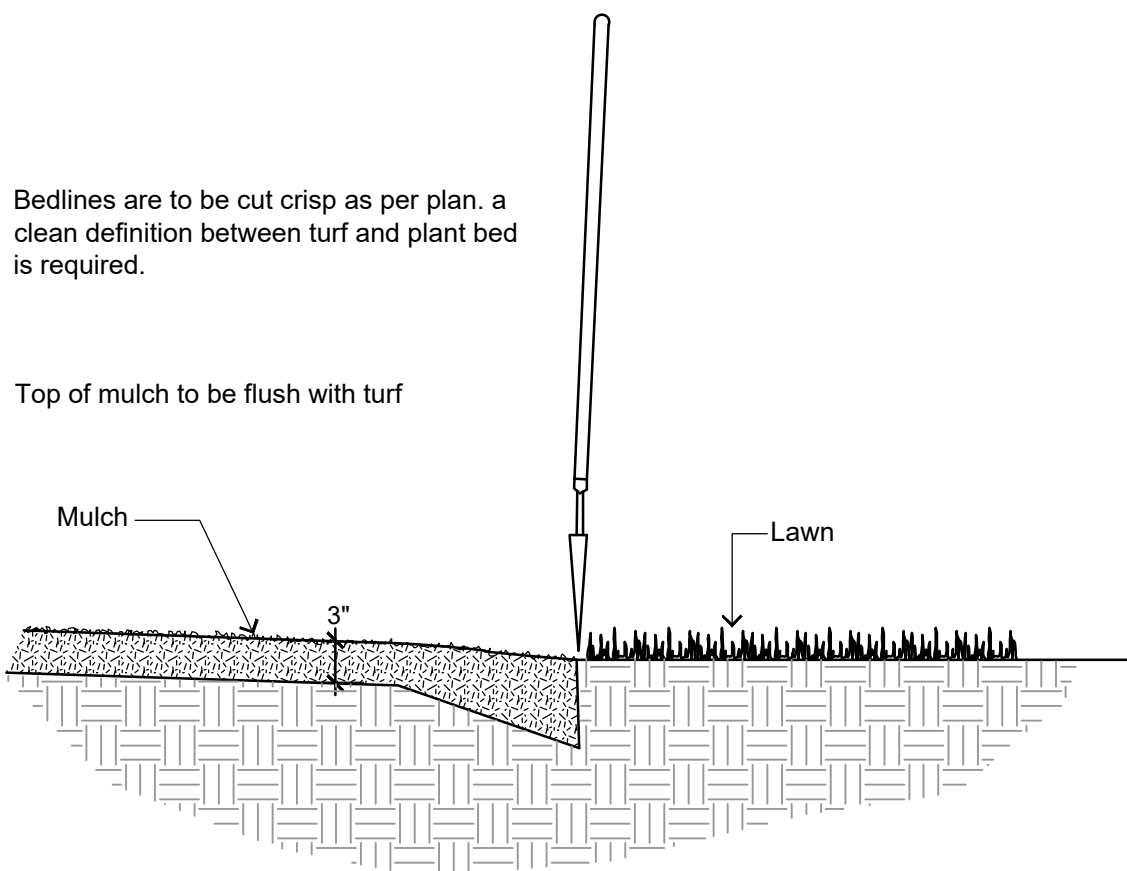


2 SHRUB PLANTING DETAIL  
NOT TO SCALE



3 PLANTING LAYOUT  
NOT TO SCALE

P-PL-PLO-01



4 SHOVEL CUT PLANT BED EDGING DETAIL  
NOT TO SCALE

P-PL-BDEG-01

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Tree planting (see planting detail): plant all trees slightly higher than finished grade at root flare. Remove excess soil from top of root ball, if needed. An auger is not an acceptable method of digging tree planting holes. Scarify side walls of tree pit prior to installation. Once tree has been placed into the hole, it is at the correct depth and vertical alignment and will no longer be moved; brace root ball by tamping soil around the lower portion of the root ball. Remove and discard twine / rope, burlap and support wire from the sides of root ball. Backfill pit with 75% existing soil removed from excavation and 25% compost blended prior to backfilling holes, in six-inch lifts. Lightly tamp each lift using foot pressure or hand tools to settle backfill, support the tree and eliminate voids. Do not over compact or use mechanical or pneumatic tamping equipment. Discard any gravel, heavy clay or stones. When hole has been backfilled to three-quarters of its depth, pour water around the root ball and allow to soak into soil to settle the soil. Continue backfilling until soil is brought to grade level.  
  
Provide a 3" deep, 4 ft. diameter shredded hardwood bark mulch ring around all trees in lawn areas, reduced to 1" deep on top of root ball. Keep mulch 3"- 5" away from trunk of tree. Trees that are installed incorrectly will be replaced at the time and expense of the landscape contractor. Trees too large for two people to lift in and out of holes, shall be placed with sling. Do not rock the trees in holes to raise them.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.  
  
An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Seed mix for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas(OPTIONAL): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

OSCAR'S FROZEN CUSTARD  
TOWN OF BROOKFIELD

LANDSCAPE NOTES AND DETAILS

DESCRIPTION

DATE

16745 W. Blumound Road  
Brookfield, WI 53005-5938  
(262) 781-1000  
rosmith.com

raSmith  
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI  
Cedarburg, WI | Naperville, IL | Irvine, CA



Know what's below.  
Call before you dig.

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R.A. Smith, Inc.

DATE: 04/30/2025

SCALE: -

JOB NO. 3240290

PROJECT MANAGER:  
CHRISTOPHER WHITE, P.E.

DESIGNED BY: REW

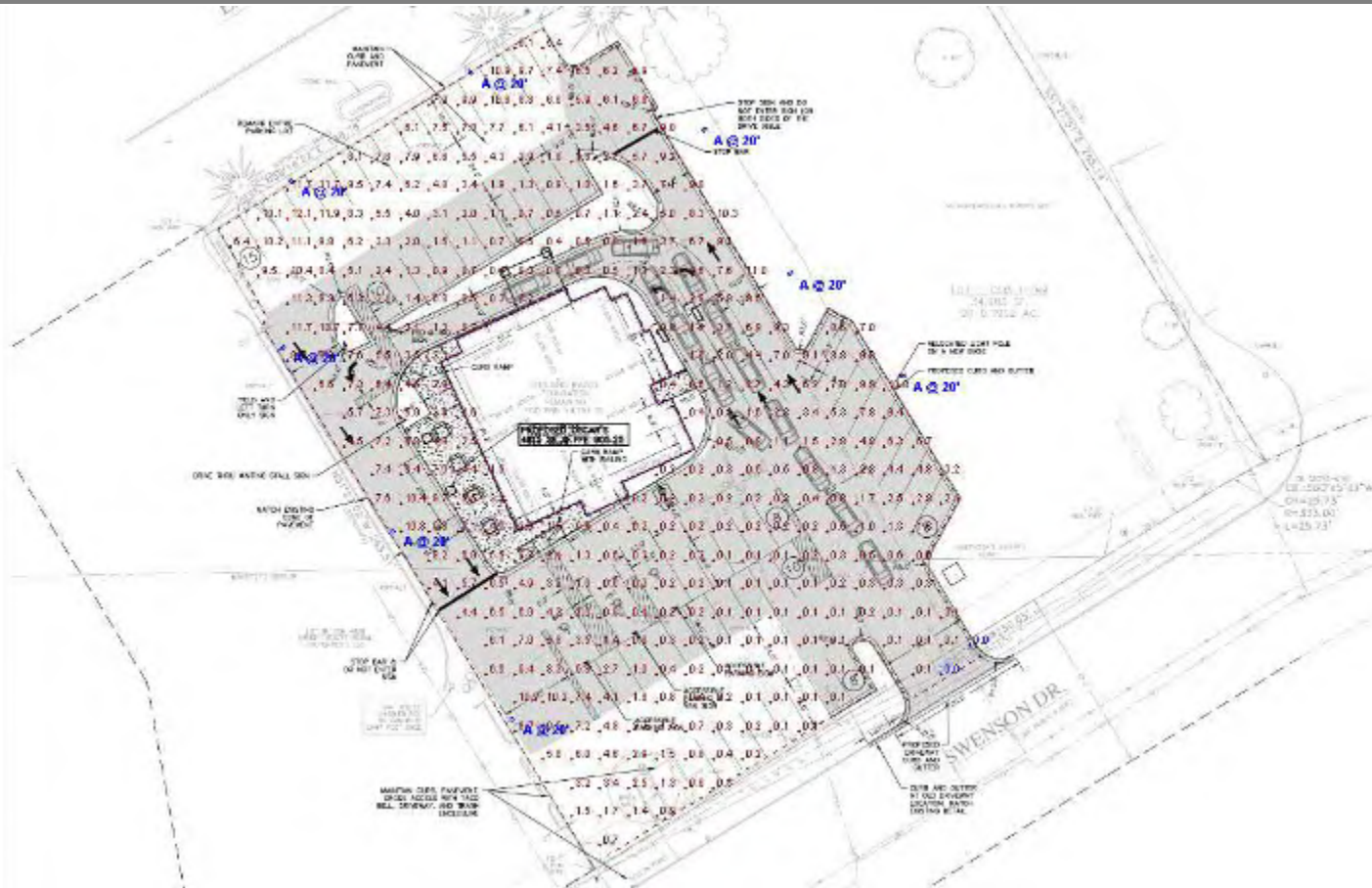
CHECKED BY: REW

SHEET NUMBER


L200



## Layout



### Schedule

| Symbol  | Label    | QTY | Manufacturer                     | Catalog                    | Description  | Number Lamps | Lamp Output | LLF | Input Power |
|---|----------|-----|----------------------------------|----------------------------|--|--------------|-------------|-----|-------------|
|  | <b>A</b> | 8   | Industrial Lighting Products Inc | VAM-28L-U-40-T3-[PMB;SLPF] | Viewpoint Area Light Medium, 28,000 Lumen, 4,000K, Type 3 Polycarbonate Lens | 1            | 28832       | 0.9 | 194.69      |

### Statistics

| Description | Symbol   | Avg    | Max     | Min    | Max/Min | Avg/Min |
|-------------|----------|--------|---------|--------|---------|---------|
| Layout      | <b>+</b> | 3.7 fc | 12.1 fc | 0.0 fc | N/A     | N/A     |

### Note

1. Dimensions:
2. Mounting Height: 20
3. Calc Zone: 0
4. Reflectances:

Calculations provided are estimates only.

### Designer

Bryan Schneider

### Date

04/29/2025

### Scale

Not to Scale

### Drawing No.

### Summary

April 29, 2025

Mr. Bryce Hembrook  
Town of Brookfield  
645 North Janacek Road  
Brookfield, WI 53045

Re: Oscar's Custard Redevelopment  
Town of Brookfield, Wisconsin (Town)

Dear Bryce,

Strand Associates, Inc.® (Strand) has finished its initial review of the plan package for the Oscar's Custard Redevelopment that was received from the Town on April 22, 2025, for conformance with the Town specifications and general engineering practices. Before construction may begin, the contractor shall submit all required permits for the redevelopment to the state, Wisconsin Department of Natural Resources, Town, and any other relevant agencies. New drawings and a letter describing the revisions should be returned to Strand after the following concerns have been addressed.

**Demolition and Erosion Control Plan–Sheet C100**

1. Based on Google Street View, there appears to be an existing inlet located within the middle of the parking lot between the front of the building and Swenson Drive. If this is still here, inlet protection should be provided.
2. It is anticipated that the existing asphalt on the site that will remain in place near the existing western entrance off Swenson Drive and the back parking lot will see substantial wear and tear during construction. It is recommended that both areas be replaced with new asphalt like the rest of the site.

**Site Plan–Sheet C200**

1. Provide details on the proposed asphalt pavement and concrete sidewalk thickness.
2. Pavement marking arrows should be provided on the eastern driveway entrance to indicate whether this is only an entrance driveway or an entrance and exit driveway.
3. Pavement marking arrows should be provided on the western driveway entrance to indicate whether this is only an exit driveway or an entrance and exit driveway.
4. It is not clear whether the sidewalk on the east side of the proposed building is an entrance for customers or a private entry for employees. Regardless, there is no crosswalk pavement marking for safe access to the parking lot.

Mr. Bryce Hembrook  
Town of Brookfield  
Page 2  
April 29, 2025

5. It should be verified that there is sufficient space for four waiting vehicles at each drive-through service lane in accordance with Section 17.06(3)(h)2.i of the Town Zoning Code.
6. Provide signage or pavement marking to discourage vehicles from using the space that will become the access into Lot 1 in the future.

#### **Truck Access Plan–Sheet C201**

1. The truck path shown was developed with the “turn wheels from stop” option checked. At every click, the truck was free to turn its wheels as if it was stopped and resulted in the disjointed and nonsmoothed center line path. The truck should be driven through the site again with that option unchecked to verify that it can navigate the site.
2. Provide an exhibit that shows the turning path for the largest delivery vehicle or garbage truck, whichever is larger.

#### **Grading Plan–Sheet C300**

1. The pedestrian ramp at the northwest corner has a slope greater than is allowable. Provide a warning field at this ramp. Indicate the ramp slope percentage on the drawings. Please explain the purpose of the two locations where pedestrian pavement markings at this ramp extend into a travel lane to the west, and into the north section of the parking lot.
2. Provide a warning field at the southwest ramp. Indicate the ramp slope percentage on the drawings.
3. Verify where the handicapped accessible signposts will be located for the accessible parking stalls. The current locations appear that the signposts will encroach into the 18-foot-long parking stall.
4. Verify the accessible route for the easternmost handicapped accessible parking stall.
5. It appears the travel lane width between the accessible stalls and the flag of the curb and gutter to the north is only 23 feet in width. Please indicate the actual width of the travel lanes on the drawings.

#### **Utility Plan**

1. It is not clear whether new sanitary and water services will be constructed and connect to the existing mains within the Swenson Drive right-of-way. A utility plan should be provided if the proposed utility work will be completed.

#### **Landscape Plan**

1. The landscape plan should be provided for review when available.

Mr. Bryce Hembrook  
Town of Brookfield  
Page 3  
April 29, 2025

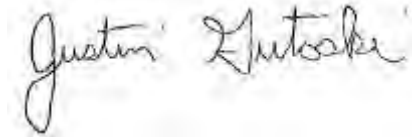
**Lighting Plan**

1. It should be verified there is no proposed lighting or photometric plan for the site.

Please call 608-251-4843 if you have any questions.

Sincerely,

STRAND ASSOCIATES, INC.®

A handwritten signature in dark ink, appearing to read "Justin J. Gutoski". The signature is written in a cursive, flowing style.

Justin J. Gutoski, P.E.

- c: Tom Hagie, Town Administrator, Town of Brookfield  
Tony Skof, Town of Brookfield Sanitary District No. 4  
Scott Hartung, Department of Public Works Superintendent, Town of Brookfield

May 14, 2025

Mr. Justin J. Gutoski, P.E.  
Strand Associates, Inc.  
910 West Wingra Drive  
Madison, WI 53715

Re: Oscar's Custard Redevelopment  
Town of Brookfield, Wisconsin (Town)  
raSmith Project No.: 3240290

Dear Mr. Gutoski:

Below are the responses of raSmith to your letter to the Town of Brookfield dated May 13, 2025, regarding the above-referenced matter:

#### **Demolition and Erosion Control Plan—Sheet C100**

It is anticipated that the existing asphalt on the site that will remain in place near the existing western entrance off Swenson Drive and the back parking lot will see substantial wear and tear during construction. It is recommended that both areas be replaced with new asphalt like the rest of the site.

**raSmith Response – Demolition and Erosion: The entire parking lot will be repaved. Areas that are not within grading limits will be milled and overlaid. The demo plan and site plan have been updated to show this change on sheets C100 and C200 respectively.**

#### **Site Plan—Sheet C200**

1. Provide details on the proposed asphalt pavement and concrete sidewalk thickness.

**raSmith Response No. 1. – Site Plan: Proposed asphalt pavement and concrete sidewalk thickness have been shown on the details sheet C600.**

2. Pavement marking arrows should be provided on the eastern driveway entrance to indicate whether this is only an entrance driveway or an entrance and exit driveway.

**raSmith Response No. 2. – Site Plan: The eastern driveway is proposed to be an entrance only driveway and pavement marking arrows have been added to sheet C200.**

3. Pavement marking arrows should be provided on the western driveway entrance to indicate whether this is only an exit driveway or an entrance and exit driveway.

**raSmith Response No. 3. – Site Plan: The western driveway is proposed to be an entrance and exit driveway to uphold cross access agreements. The pavement markings have been added to sheet C200.**



Mr. Justin J. Gutoski, P.E.  
Strand Associates, Inc.  
Page 2 / May 14, 2025

4. It is not clear whether the sidewalk on the east side of the proposed building is an entrance for customers or a private entry for employees. Regardless, there is no crosswalk pavement marking for safe access to the parking lot.

**raSmith Response No. 4. – Site Plan: The sidewalk on the east side of the proposed building is a delivery door that will be accessed for after hour deliveries. A crosswalk to this location is unnecessary since the delivery truck will make deliveries here when the restaurant is closed. The door will not be used during regular business hours. A note has been added to the site plan on sheet C200.**

5. It should be verified that there is sufficient space for four waiting vehicles at each drive-through service lane in accordance with Section 17.06(3)(h)2.i of the Town Zoning Code.

**raSmith Response No. 5. – Site Plan: There is enough space for at least four vehicles to wait in each drive thru lane. An additional car sketch was added to the inner lane to show four vehicles waiting to order. The change can be seen on the site plan on sheet C200.**

6. Provide signage or pavement marking to discourage vehicles from using the space that will become the access into Lot 1 in the future.

**raSmith Response No. 6. – Site Plan: Two Temporary End of Road signs have been added to the site plan on sheet C200 the WisDOT sign detail has been added to sheet C501.**

#### **Truck Access Plan–Sheet C201**

1. The truck path shown was developed with the “turn wheels from stop” option checked. At every click, the truck was free to turn its wheels as if it was stopped and resulted in the disjointed and nonsmoothed center line path. The truck should be driven through the site again with that option unchecked to verify that it can navigate the site.

**raSmith Response No. 1. – Truck Access: The fire truck was driven through the site to show a smooth driving path which can be seen on sheet C201.**

2. Provide an exhibit that shows the turning path for the largest delivery vehicle or garbage truck, whichever is larger.

**raSmith Response No. 2. – Truck Access: A delivery truck exhibit has been added to the plan set. The truck turn shows a smooth driving path through the site which can be seen on sheet C201.**

#### **Grading Plan–Sheet C300**

1. The pedestrian ramp at the northwest corner has a slope greater than is allowable. Provide a warning field at this ramp. Indicate the ramp slope percentage on the drawings. Please explain the purpose of the two locations where pedestrian pavement markings at this ramp extend into a travel lane to the west, and into the north section of the parking lot.

**raSmith Response No. 1. – Grading: A warning field has been added to the curb ramp and the slope percentages have been shown on the grading plan. The pavement marking to the north are for pedestrian safety crossing the drive thru. A pedestrian crossing sign has also been proposed at this**



Mr. Justin J. Gutoski, P.E.  
Strand Associates, Inc.  
Page 3 / May 14, 2025

**crossing location. The pavement marking to the west of the northwest curb ramp has been removed from the plan. The pavement marking changes and added warning field can be seen on the site plan sheet C200 and the grading changes on sheet C300.**

2. Provide a warning field at the southwest ramp. Indicate the ramp slope percentage on the drawings.

**raSmith Response No. 2. – Grading: A warning field has been added to the southwest curb ramp and slope percentages have been shown on the grading plan which can be seen on sheets C200 and C300.**

3. Verify where the handicapped accessible signposts will be located for the accessible parking stalls. The current locations appear that the signposts will encroach into the 18-foot-long parking stall.

**raSmith Response No. 3. – Grading: The ADA signage will be placed in the center of the stall on the pavement marking. The signs have been relocated and can be seen in the proposed location on sheet C200.**

4. Verify the accessible route for the easternmost handicapped accessible parking stall.

**raSmith Response No. 4. – Grading: A stripped crosswalk has been added to connect the eastern most ADA stall to the crosswalk that reaches the building. The updated crosswalk can be seen on the site plan on sheet C200.**

5. It appears the travel lane width between the accessible stalls and the flag of the curb and gutter to the north is only 23 feet in width. Please indicate the actual width of the travel lanes on the drawings.

**raSmith Response No. 5. – Grading: Dimensions have been added from the edge of the ADA stall to the flange and face of curb to the north. The width from the end of the stall to the flange is 23 feet. The dimensions can be seen on sheet C200.**

#### **Utility Plan–Sheet C400**

1. The existing sanitary sewer and service lateral should be shown on the utility plan.

**raSmith Response No. 1. – Utility: An assumed location of the sanitary sewer main and service lateral has been added to the plan and can be seen on the utility plan sheet C400.**

2. The following notes should be added to the utility plan:

- a. All storm sewer, sanitary sewer, and water main materials and installation shall comply with the latest editions of the Standard Specifications for Sewer and Water Construction in Wisconsin (Standard Specifications), Wisconsin Administrative Plumbing Code, and the Town specifications.

**raSmith Response No. 2.a. – Utility: The note above has been added as number 10 under the General Notes section on sheet C400.**

- b. Contractor shall notify the Town, Sanitary District No. 4, and field staff a minimum of 72 hours before the start of construction to the existing public facilities.



Mr. Justin J. Gutoski, P.E.  
Strand Associates, Inc.  
Page 4 / May 14, 2025

**raSmith Response No. 2.b. – Utility: The note above has been added as number 11 under the General Notes section on sheet C400.**

### **Landscape Plan**

1. Provide verification that the proposed landscaping plan meets Section 17.06(3)f. of the Town Ordinance.

**raSmith Response No. 1. – Landscape: Landscape calculations have been added to the plan sheet to show compliance with this section.**

2. It appears that several proposed shrubs are less than 18 inches in height or spread. Based on the Town Ordinance (Section 17.02.6.a.19.b.iii.), shrubs shall be a minimum of 18 inches in height or spread.

**raSmith Response No. 2. – Landscape: Plants have been updated to meet these minimum requirements.**

3. Verify that no landscaping will be located within existing or proposed utility or drainage easements (Section 17.02.6.a.19.f.).

**raSmith Response No. 3. – Landscape: With the exception of one group of perennials in the island along Swenson Drive, all proposed plants are outside known easements. Most utility easements allow small plants at owner risk.**

### **Lighting Plan**

Review the markups on the enclosed photometric lighting plan.

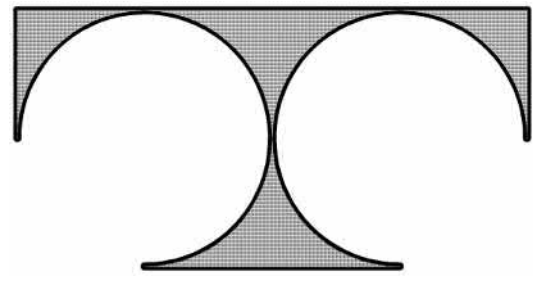
**raSmith Response No. 1. – Lighting: Owner to follow up regarding lighting comments.**

If you should have any additional questions, please email me at [christopher.white@rasmith.com](mailto:christopher.white@rasmith.com), or call me at 262-317-3286.

Sincerely,  
raSmith

A handwritten signature in cursive script that reads "Christopher White".

Christopher B. White, P.E.  
Project Manager



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE: (262) 409 - 2530



OSCARS FROZEN  
CUSTARD BROOKFIELD

21165 E Moreland Blvd  
Brookfield, WI 53106

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Sheet Title  
FIRST FLOOR  
OVERALL PLAN

Revision:

| No. | Description | Date |
|-----|-------------|------|
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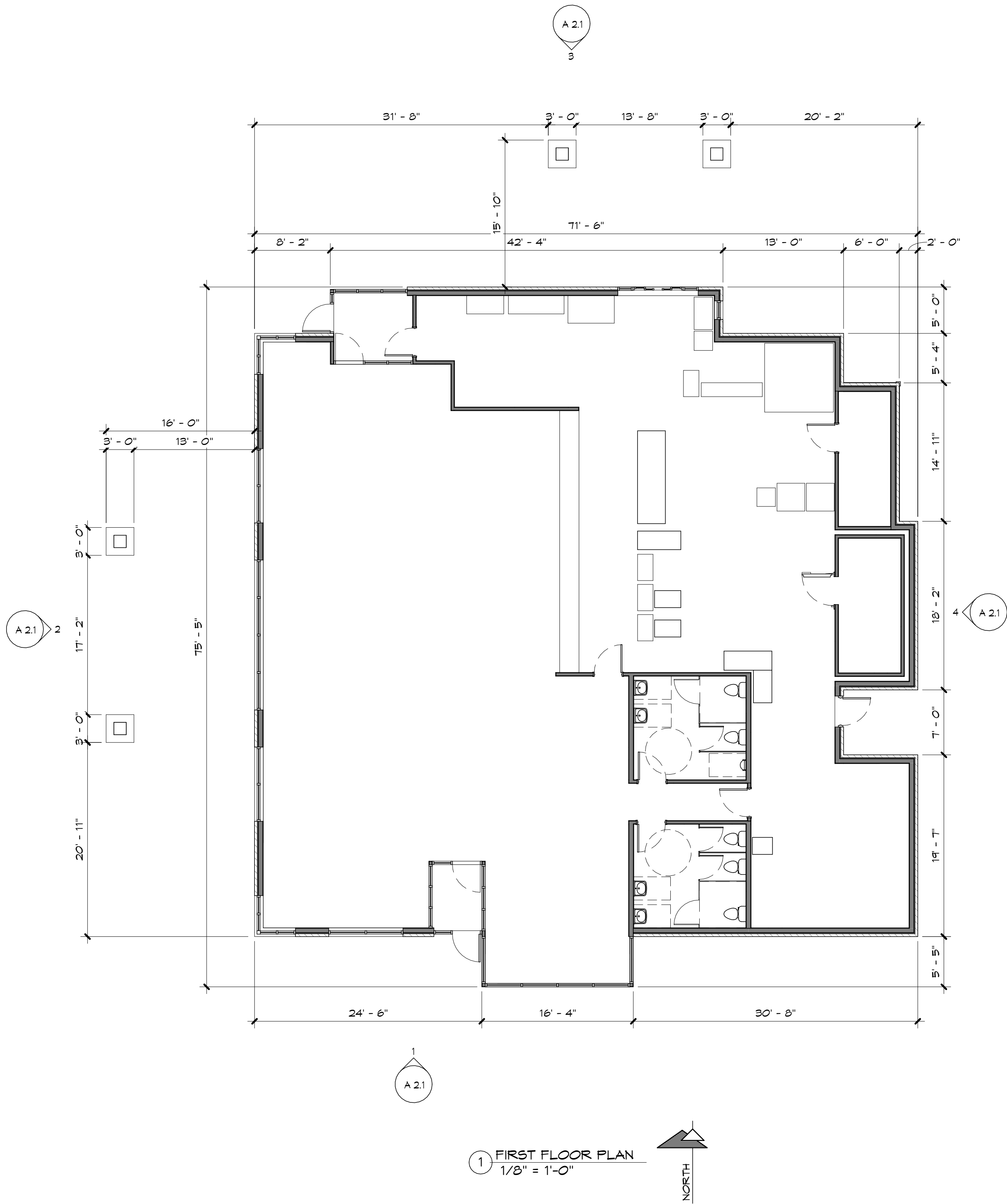
Date: 4/30/2025

Job No. 25104

Drawn By: HAC

Sheet No.

A 1.1



1 FIRST FLOOR PLAN  
1/8" = 1'-0"



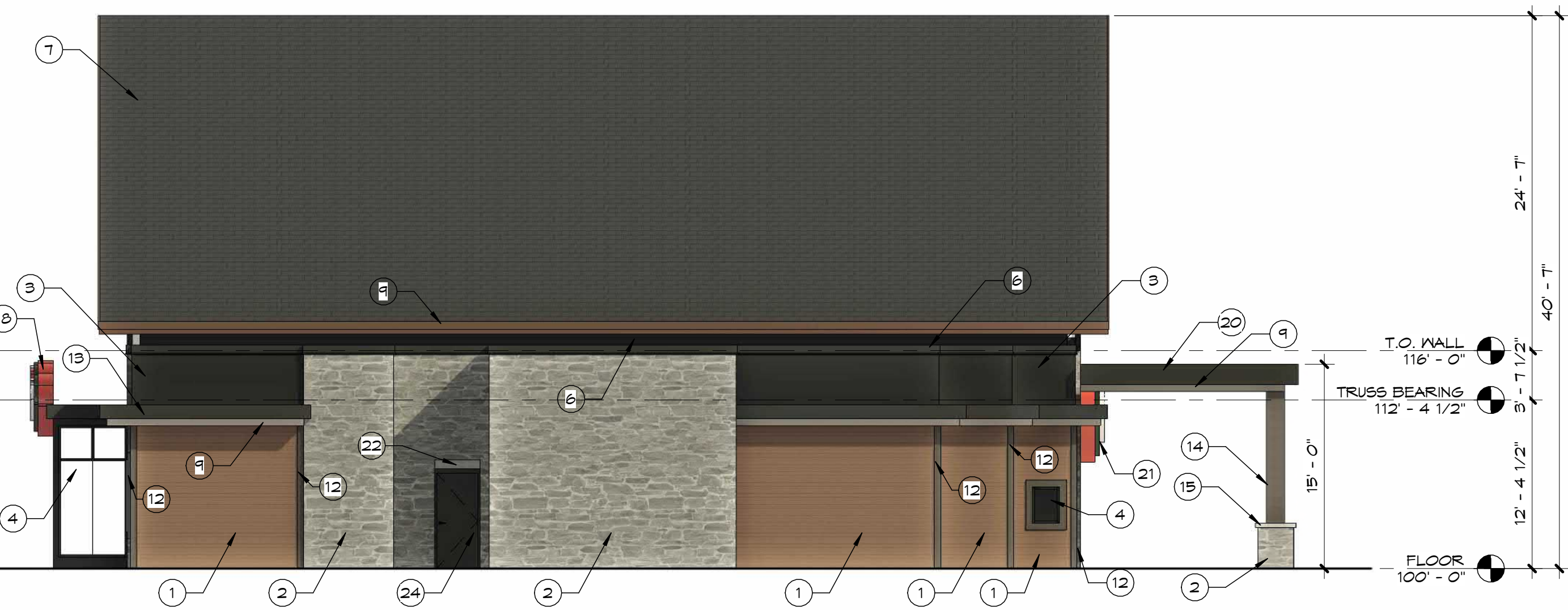
1 NORTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"

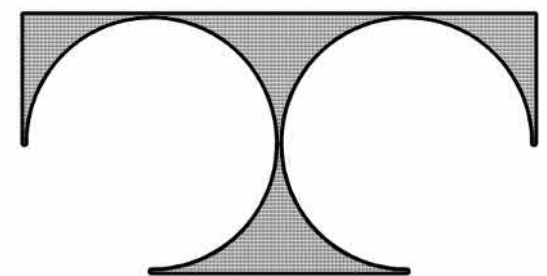


3 SOUTH ELEVATION  
1/8" = 1'-0"



4 EAST ELEVATION  
1/8" = 1'-0"

| MATERIAL LEGEND |   |
|-----------------|---|
| NOTE #          | MATERIAL                                      |
| 1               | 6" COMPOSITE SIDING                           |
| 2               | 2" VENEER STONE                               |
| 3               | ARCHITECTURAL METAL PANELS                    |
| 4               | STORE FRONT SYSTEM, 1" THERMALLY BROKEN GLASS |
| 5               | ALUM. ENTRY DOOR                              |
| 6               | PREFINISHED ALUM. CAP                         |
| 7               | DIMENSIONAL SHINGLES                          |
| 8               | PAINTED E.I.F.S. WALL SYSTEM                  |
| 9               | PREFINISHED ALUM. TRIM                        |
| 10              | OUTDOOR DINNING OVERHANG                      |
| 11              | RED FABRIC WINDOW AWNING                      |
| 12              | 6" COMPOSITE TRIM                             |
| 13              | PREFINISHED DECORATIVE OVERHANG               |
| 14              | COLUMN PAINTED TO MATCH TRIM                  |
| 15              | STONE CAP                                     |
| 16              | FLAVOR OF THE DAY SIGN - 42 S.F.              |
| 17              | DECORATIVE CONE FEATURE - 45 S.F.             |
| 18              | OSCARS LOGO SIGN - 25 S.F.                    |
| 19              | 1" REVEAL                                     |
| 20              | DRIVE THRU OVERHANG                           |
| 21              | OSCARS LOGO DRIVE THRU - 41 S.F.              |
| 22              | STONE SILL/LINTIL                             |
| 23              | DRIVE THRU WINDOW                             |
| 24              | PAINTED INSULATED HOLLOW MTL. DOOR            |



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING

25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
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OSCARS FROZEN  
CUSTARD BROOKFIELD

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Sheet Title  
EXTERIOR  
COLORED  
ELEVATIONS

Revision:

| No. | Description | Date |
|-----|-------------|------|
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Date: 4/30/2025

Job No. 25104

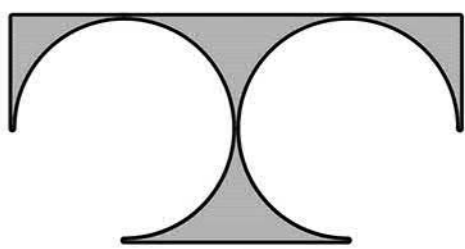
Drawn By: HAC

Sheet No.

A 2.1



OSCARS FROZEN CUSTARD  
BROOKFIELD

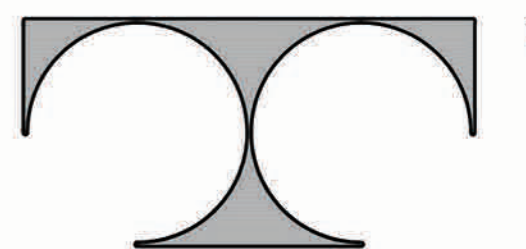


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25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-489-2530

May 9th, 2025



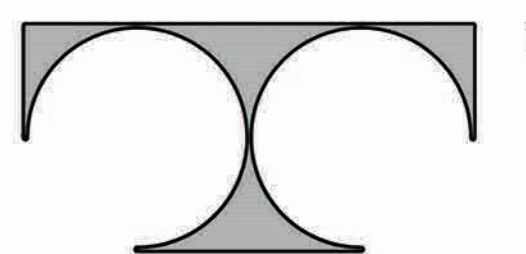
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WIND LAKE, WISCONSIN 53185  
PHONE 262-489-2238  
May 9th, 2025



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25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-489-2258

May 9th, 2025



OSCARS FROZEN CUSTARD  
BROOKFIELD



TDI ASSOCIATES, INC.  
ARCHITECTURE & PLANNING  
25217 SOUTH WIND LAKE ROAD  
WIND LAKE, WISCONSIN 53185  
PHONE 262-499-2150  
May 9th, 2025



Building a Better World  
for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: May 22, 2025

PC MEETING DATE: May 27, 2025

RE: Wisconsin Adult Center/Brookfield Adult Center – Conditional Use Permit  
20711 Watertown Road Suite V, BKFT1128957005

Applicant: Lindsey Chiaverotti (Wisconsin Adult Center DBA Brookfield Adult Center)

Application Type: Conditional Use Permit

### Request

Conditional Use Permit request to allow the expansion of an adult day care center in the B-3 Office and Professional Business District, located at 20711 Watertown Road Suite V.

### Summary of Request

The applicant received conditional use permit approval on March 29, 2022 to operate an adult day care center at the subject property. Prior to this approval, the applicant had approval to operate the business on a different property (705 Larry Court). The applicant is now considering expanding operations and moving into the adjacent tenant space within the current building. The conditional use agreement states that any addition or expansion of the use requires the conditional use permit to be amended and approved following the Town's conditional use permit procedures.

According to information provided by the applicant, the Brookfield Adult Center (BAC) is a luxury day service center that works with adults 18 years of age or older. The BAC works with individuals who have cognitive or physical disability and advanced age. BAC uses person centered planning with assistance of qualified and experienced CBRF certified staff to develop stimulating and enriching activities for all their members. BAC also offers community integration opportunities for their members. The BAC's goal for each of their members is to promote independence, enhance socialization skills, and have fulfilled days. Overall, they provide the following services:

- Recreation Activities
- Therapeutic Activities
- Communication Skills
- Socialization
- Community Integration
- Living/Independence Skills
- Entertainment

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351

SEH is 100% employee-owned | **sehinc.com** | 262.646.6855 | 888.908.8166 fax

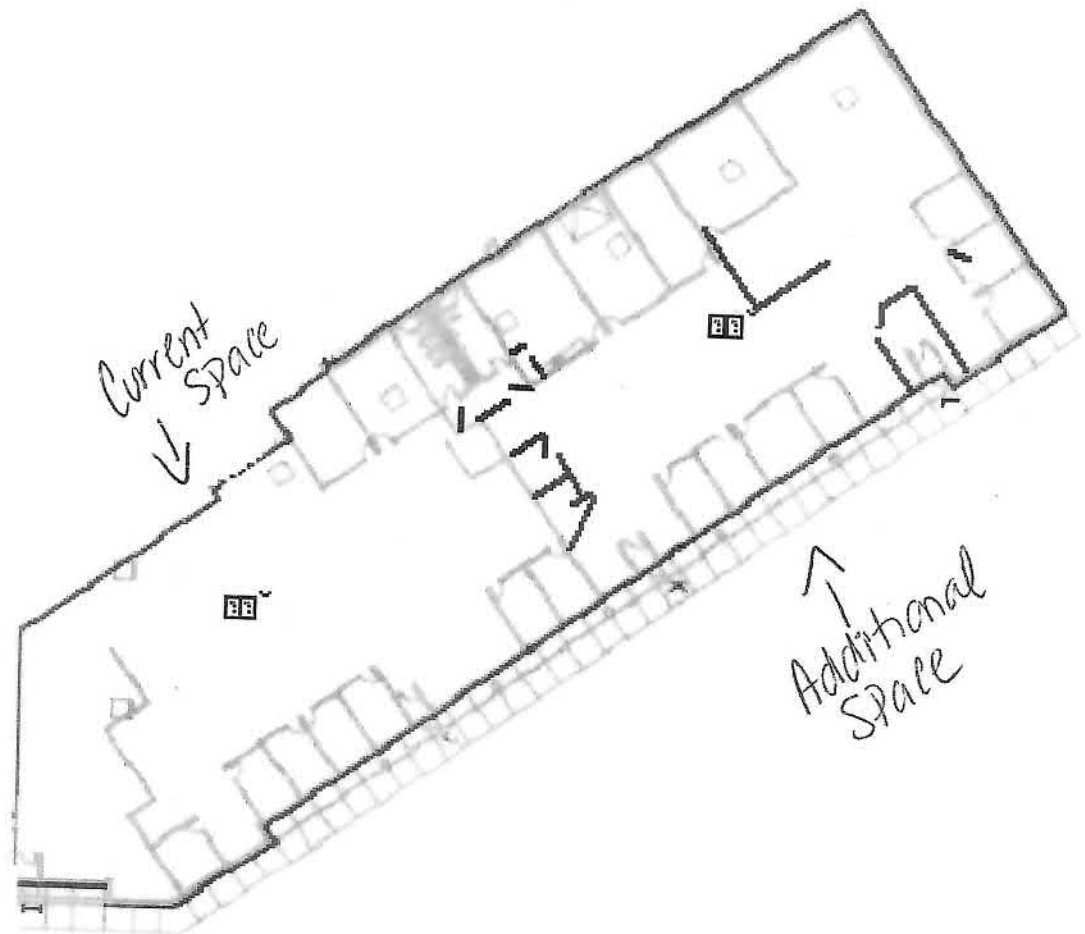
- Self-Advocacy
- Personal Cares

The property is located in the B-3 Office and Professional Business District, which is generally intended for individual or small groups of buildings limited to office, professional and special service uses where the office use would be compatible with other neighborhood uses and not exhibit the intense activity of other business districts. Adult day care facilities are considered to be a commercial daycare center land use, which is permitted as a conditional use. This will be the only adult daycare facility located on the property, which is one of the requirements listed for a commercial daycare center land use. The applicant is not proposing to change the hours of operation, which is typically 8am-3pm Monday thru Friday.

#### Recommendation

Per the discretion of the Plan Commission

EXHIBIT A:



# CONDITIONAL USE PERMIT

Document Number

This Conditional Use Permit (this "CUP"), effective as of the date above the signature line below (the "Effective Date"), is by and between Waukesha Crossings LLC (the "Owner") and the Town of Brookfield (the "Town").

**WHEREAS**, the Owner is the owner of real property located at 20711 Watertown Road, Waukesha, WI 53186 (Tax Key No.: BKFT1128957005), which is more particularly described on the attached Exhibit A (the "Property");

**WHEREAS**, Lindsey Chiaverotti (the "Applicant"), Wisconsin Adult Center, on behalf of the Owner, has made an application for a conditional use permit to operate an adult day care center on the Property;

**WHEREAS**, a public hearing upon the above-referenced application was conducted by the Town Plan Commission on March 22, 2022.

**WHEREAS**, on March 22, 2022, the Town Plan Commission recommended to the Town Board that this CUP be granted; and

**WHEREAS**, on March 29, 2022, the Town Board accepted the Plan Commission's recommendation.

**NOW, THEREFORE**, this CUP to operate an adult day care center on the Property is granted and approved, subject to the following terms and conditions:

1. This CUP shall be recorded on the Property and only apply to the area described in the Legal Description attached as **Exhibit A**.
2. The Applicant shall obtain all necessary permits or approvals from the Federal Government, State, County, and any other governmental entity, and any conditions of such governmental approvals are incorporated into this CUP.
3. The Applicant shall cease all operations at their current business location, located at 705 Larry Court, by July 31, 2022.
4. The Conditional Use Permit for the Applicant's current business, located at 705 Larry Court (BKFT1125990), will terminate on July 31, 2022.
5. Any change, addition, modification, alteration, and/or amendment of any aspect of this CUP, including but not limited to an addition, modification, alteration, and/or amendment to the use, Property (including but not limited to any change to the boundary limits of the Property), structures, lands, or owners other than as specifically authorized herein, shall require the Town's prior approval and all procedures in place at the time must be followed.
6. This CUP may not be transferred and shall terminate upon such transfer of this CUP or conveyance of the Property; provided however, an application for a new Conditional Use Permit may be made

Recording Area

Name and Return Address

Town Clerk

Town of Brookfield

645 N. Janacek Road

Brookfield, WI 53045

BKFT1128957005

Parcel Identification Number (PIN)

as set forth in Section 17 of the Town's Code. The Owner's transfer or conveyance of this CUP or the Property to a separate entity that is solely owned by the Owner shall not cause this CUP to terminate so long as the Owner provides prior written notice to the Town, and an amended Conditional Use Permit reflecting the ownership status and all conditions in this CUP is recorded against the Property with the Waukesha County Register of Deeds. If the conditional use of an adult day care center identified as "Wisconsin Adult Center" is discontinued or ceases to operate on the Property, this CUP may be terminated by the Town Board pursuant to the procedures set forth in the Town Code.

7. The Owner represents and warrants that the individual signing below has full and complete authority to execute this CUP.

Dated and effective as of the date signed by the Owner below.

**OWNER**

**WAUKESHA CROSSINGS LLC**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

STATE OF \_\_\_\_\_ )  
\_\_\_\_\_ COUNTY ) ss.

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, the above-named \_\_\_\_\_, to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public, \_\_\_\_\_  
Commission expires: \_\_\_\_\_

Tony Evers  
Governor



Karen E. Timberlake  
Secretary

**State of Wisconsin**  
Department of Health Services

**DIVISION OF MEDICAID SERVICES**

1 WEST WILSON STREET  
PO BOX 309  
MADISON WI 53701-0309

Telephone: 608-261-6393  
TTY: 711

July 21, 2022

**NOTICE OF COMPLIANCE DECISION**  
**Medicaid Waiver Home and Community-Based Services Settings Requirements**

Brookfield Adult Center  
Adult Day Services  
20711 Watertown Road, Ste V  
Waukesha, WI 53186

Dear Ms. Chiaverotti:

The Wisconsin Department of Health Services (DHS) is required by federal law to ensure that settings serving home and community-based services (HCBS) waiver participants meet and remain in compliance with the HCBS settings rule requirements. These requirements are part of 42 C.F.R. §§ 441.031(c)(4) and 441.710

The Medicaid HCBS waiver programs participants affected by this rule include those who are in the Family Care, Family Care Partnership, IRIS (Include, Respect, I Self-Direct), and the Children's Long-Term Support Waiver programs. For more information about the rule, view our fact sheet about the HCBS rule at <https://www.dhs.wisconsin.gov/publications/p02319.pdf>.

**Your Setting is in Compliance with the Federal HCBS Settings Rule.**

DHS has determined that your setting, named above, is in compliance with the federal HCBS settings rule for Wisconsin's Medicaid waiver programs. The decision was based on an onsite or desk review for this setting and related information gathered.

**No Further Action is Required. Retain This Notice for Your Records.**

This notice only applies to compliance with the federal HCBS settings rule. It is recommended that this notice be retained for your records. No further action is required at this time. Your setting's ongoing HCBS compliance will be monitored by DHS. Your setting still remains subject to all requirements of your applicable regulatory licensure and Medicaid provider regulations.

Brookfield Adult Center  
Page 2  
July 21, 2022

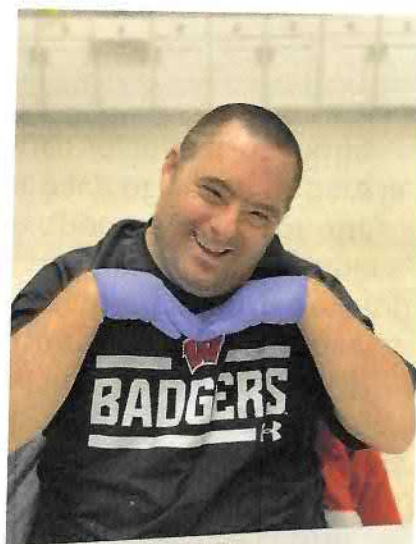
If you have questions regarding this notification, you may contact DHS staff at [DHS HCBSReview@dhs.wiscosin.gov](mailto:DHS HCBSReview@dhs.wiscosin.gov) or 608-261-6393.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ann', with a long horizontal stroke extending to the right and a vertical line at the end.

Ann Lamberg, Deputy Director  
Bureau of Quality and Oversight

Enclosure: Implementation of Federal HCBS Settings Rule in Wisconsin



# Brookfield Adult Center



Call to set up a tour!

262-599-8083

## Hours of Operation

| Day       | Hours           |
|-----------|-----------------|
| Monday    | 8:00am - 3:00pm |
| Tuesday   | 8:00am - 3:00pm |
| Wednesday | 8:00am - 3:00pm |
| Thursday  | 8:00am - 3:00pm |
| Friday    | 8:00am - 3:00pm |
| Saturday  | Closed          |
| Sunday    | Closed          |



20711 Watertown Rd Ste V  
Waukesha, WI 53186

**262-599-8083**

brookfieldadultcenter@gmail.com

www.brookfieldadultcenter.com

## Our Program Offers

- Recreation Activities
- Therapeutic Activities
- Communication Skills
- Socialization
- Community Integration
- Living/Independence Skills
- Entertainment
- Self-Advocacy
- Personal Cares



262-599-8083

## About Us

Brookfield Adult Center is a luxury day service center located in the town of Brookfield, WI. Our program works with adults 18 years of age and older. At Brookfield Adult Center we work with individuals who have cognitive or physical disability, and advanced age. Brookfield Adult Center uses person centered planning with assistance of qualified and experienced CBRF certified staff to develop stimulating and enriching activities for all our members. We offer community integration opportunities for our members. Our program goals for each of our members is to promote independence, enhance socialization skills, and have fulfilled days.

## Trial Days

Brookfield Adult Center offers 1- or 2-day trial for prospective members. Trial days assess members to ensure all needs can be accommodated and what level of care may be needed. Prior service authorization required for trial days.



Building a Better World  
for All of Us®

## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: May 22, 2025  
PC MEETING DATE: May 27, 2025

RE: **The Sandtrap LLC – Conditional Use Permit**  
**17800 West Bluemound Road BKFT1120995002**

**Applicant:** Jordan Jackson (The Sandtrap LLC)

**Application Type:** Conditional Use Permit

### **Request**

Conditional Use Permit request to allow a commercial recreation facility land use (golf simulator business) in the B-2 Limited General Business District, located at 17780 West Bluemound Road.

### **Summary of Request**

The applicant is proposing to open *The Sand Trap: Golf Bays & Entertainment* in a commercial building located at 17800 West Bluemound Avenue. According to the applicant's narrative, the business will be a high-end indoor golf and social entertainment venue, offering a modern, family-friendly space that blends sports, technology, and community. The goal is to create a welcoming destination where people of all ages can enjoy golf, events, and year-round recreation in a state-of-the-art environment. The applicant anticipates that this business would expand during several phases, if approved. Phase I would consist of the initial buildout which is approximately 4,500 square feet of the commercial space. The initial space will include the following:

- Three golf simulator bays
- Custom lighting and bay finishes
- Bar area (pending liquor license)
- 1-2 pool tables
- Dart boards
- Retail golf shop
- Bathrooms
- Golf instructions with a certified trainer
- Host events
  - League play
  - Private and group lessons
  - Youth programs
  - Community-based events

Engineers | Architects | Planners | Scientists

**Short Elliott Hendrickson Inc.**, 501 Maple Avenue, Delafield, WI 53018-9351

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Phase 2 would be a future expansion up to 9,000 square feet. The applicant intends to eventually expand into the remaining 4,500 square feet of the building space. If this occurs, the 2<sup>nd</sup> phase would include:

- Additional golf bays
- Turf indoor recreation space for cornhole lanes, picnic style seating, and small putting green
- Dedicated space for larger tournaments and league events
- Host cornhole competitions

According to the narrative, *The Sand Trap* will offer significant value to Brookfield by:

- Providing year-round recreational access in a climate-controlled, safe environment
- Encouraging physical activity and social interaction among all age groups
- Creating a new destination for families, friends, and professionals seeking entertainment that's both fun and skill building.
- Partnering with local schools and programs to host youth golf instruction and mentorship
- Adding visual interest to the building and neighborhood through a proposed golf-themed mural on the rear exterior wall
- Contributing to the local economy

The tenant space is located on the north side of the building which is located by the parking lot to the north of the buildings. Customers will use a dedicated private entrance in the back of the building. The applicant believes that the use will require about 50 parking spaces to provide adequate parking for the use. The code does not specifically address parking requirements for golf simulator uses but below is the requirements for similar uses:

*Commercial/recreational uses.*

- a. General standard: one space per four patrons based on the maximum capacity of the facility, plus one space per employee for the work shift with the largest number of employees.
- b. Bowling alleys: five spaces for each lane, plus one space per employee for the work shift with the largest number of employees.
- c. Golf courses: 90 spaces per nine holes, plus one space per employee for the work shift with the largest number of employees.
- d. Golf driving ranges: one space per tee, plus one space per employee for the work shift with the largest number of employees.
- e. Miniature golf course: 1 1/2 spaces per hole, plus one space per employee for the work shift with the largest number of employees.

\* Plan Commission should determine which parking calculation to use.

The applicant is targeting a fall/winter 2025 opening and daily operations will be handled by 1-2 staff members. Additional staff or trainers may be present during peak house, leagues, or event nights. Anticipated hours of operations include:

- Monday-Thursday: Noon-10pm
- Friday & Saturday: Noon-Midnight
- Sunday: 10am-8pm

For more detailed information, please review applicant's narrative provided in the packet.

**Recommendation**

Set a public hearing date to discuss the proposed conditional use permit.

## Plan of Operation Narrative

Address is 17780 Bluemound

**Business Name:** *The Sand Trap*

**Business Address:** 17800 W Bluemound Rd, Brookfield, WI

**Applicant:** Jordan Jackson

**Square Footage Occupied:** 4,500 sq ft (Phase 1), with potential expansion to full 9,000 sq ft (Phase 2)

---

We are seeking approval to occupy and operate within approximately 4,500 sq ft of a commercial building at 17800 W Bluemound Rd, Brookfield, WI. *The Sand Trap: Golf Bays & Entertainment* will be a high-end indoor golf and social entertainment venue, offering a modern, family-friendly space that blends sport, technology, and community. Our goal is to create a welcoming destination where people of all ages can enjoy golf, events, and year-round recreation in a state-of-the-art environment.

---

### Phase 1 – Initial Buildout and Operations (4,500 sq ft):

The initial space will include:

- **Three (3) TrackMan golf simulator bays**, professionally built out with the assistance of a **TrackMan Wisconsin representative** to ensure top-tier performance and custom design
- **Custom lighting** and bay finishes to create a premium, immersive experience
- A **bar area** offering alcoholic and non-alcoholic beverages (pending liquor licensing)
- **1–2 pool tables**
- **Dart boards**
- A **retail golf shop** featuring clubs, gloves, apparel, and accessories
- A private **rear entrance** connected to ample off-street parking
- Installation of a **second bathroom** to meet occupancy and health code requirements

We will also offer **golf instruction**, with plans to bring in a **PGA-certified trainer** to provide lessons and coaching for players of all levels — from beginners to experienced golfers.

The business will host:

- League play
  - Private and group lessons
  - Youth programs
  - Community-based events to promote the game of golf in a fun and inclusive atmosphere
- 

## **Phase 2 – Future Expansion Plan (up to 9,000 sq ft):**

Over the course of our 5-year lease, we plan to expand into the remaining 4,500 sq ft of the building. This second phase will include:

- Additional TrackMan golf simulator bays
- A **turfed indoor recreation space** designed to mimic an outdoor setting with:
  - **Cornhole lanes**
  - **Picnic-style seating**
  - **A small putting green**
- Dedicated space for **larger tournaments and league events**
- Hosting of **cornhole competitions**, themed nights, and family-friendly activities

This expansion will support a growing customer base while enhancing the recreational offerings in the Town of Brookfield.

---

## **Community Impact and Value:**

*The Sand Trap* will offer significant value to Brookfield by:

- **Providing year-round recreational access** in a climate-controlled, safe environment
- **Encouraging physical activity and social interaction** among all age groups
- **Creating a new destination** for families, friends, and professionals seeking entertainment that's both fun and skill-building

- **Partnering with local schools and programs** to host youth golf instruction and mentorship
  - **Adding visual interest** to the building and neighborhood through a proposed **golf-themed mural** on the rear exterior wall
  - **Contributing to the local economy** by increasing traffic and business activity in the area
- 

### **Parking and Access:**

The rear parking lot provides **ample off-street parking** to support operations, with an estimated need of 50 spaces — all available onsite. Customers will use a dedicated private entrance in the back of the building, ensuring easy access and minimal traffic congestion.

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### **Projected Opening Timeline:**

We are targeting a **Fall/Winter 2025** opening, aligning with increased demand for indoor entertainment during colder months.

---

### **Staffing:**

Daily operations will be efficiently handled by **1–2 staff members**, responsible for guest check-ins, bar service, and general oversight. Additional staff or trainers may be present during peak hours, leagues, or event nights.

---

### **Tentative Hours of Operation:**

- **Monday – Thursday:** 12:00 PM – 10:00 PM
- **Friday – Saturday:** 12:00 PM – 12:00 AM
- **Sunday:** 10:00 AM – 8:00 PM  
*(Subject to adjustment based on community interest and business demand)*

1st phase  
4500 sq ft

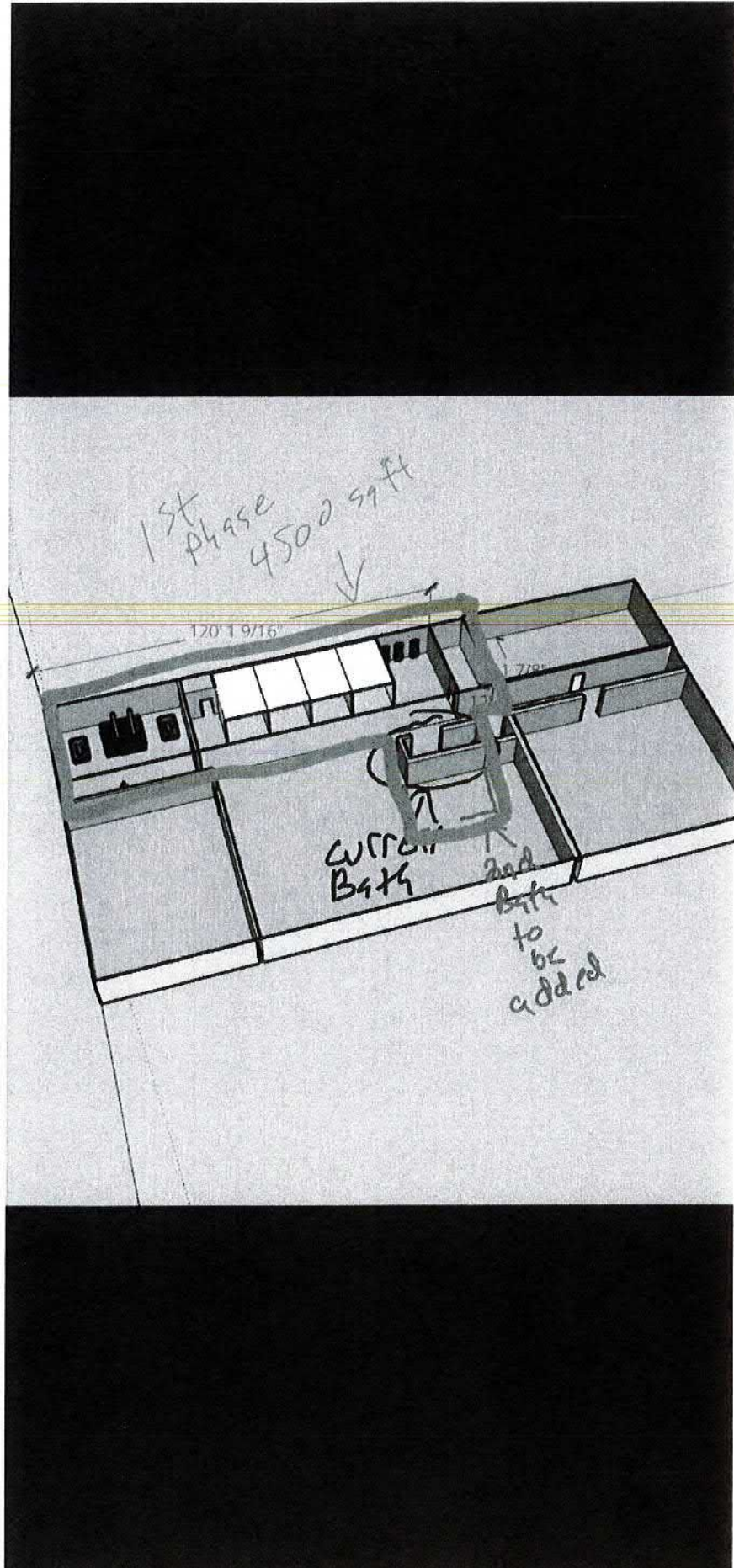


120' 1 9/16"

7' 10"

Current  
Bath

2nd  
Bath  
to  
be  
added







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## TOWN OF BROOKFIELD PLAN COMMISSION ZONING REPORT

TO: Plan Commission

FROM: Bryce Hembrook, AICP  
Town Planner

REPORT DATE: May 22, 2025  
PC MEETING DATE: May 27, 2025

RE: **Bancroft Engineering – Preliminary and Final Approval  
21550 Doral Road BKFT1126013**

SEH No. 171421, TASK 81

**Applicant:** Luke Sebald (Keller, Inc.), representing Bancroft Engineering

**Application Type:** Preliminary and Final Approval

### **Request**

Applicant is requesting preliminary and final approval of the construction of a manufacturing building addition for the property located at 21550 Doral Road.

### **Summary of Request**

- Bancroft Engineering manufactures automated welding equipment and are looking to expand their operations.
- The subject property is located on the north side of Doral Road and there is an existing building that is approximately 12,286 square feet.
- Proposed Size = 7,653 sf addition
  - Total = 19,939 sf
- Zoning District = M-1 Limited Manufacturing District
- Lot size = 1.11 acres.
- Existing/Proposed Use = Manufacturing/Light Industrial.
- Proposed setbacks:
  - Street (Doral Rd) = No Change.
  - Side (west) = 10'
  - Side (east) = 20.5'
  - Rear = 17.5'
  - All building setbacks will meet code requirements.
- Sum total of floor area
  - Proposed = 41.2% of lot area.
  - Required = Sum total of the floor area of the principal building and all accessory buildings shall be not less than 8,000 square feet or 20% of the lot area, whichever is less. Also, sum total of

Engineers | Architects | Planners | Scientists

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the floor area of the principal building and all accessory buildings shall not exceed 50% of the lot area.

- Requirement is met.
- Parking
  - Code requirement: 1 space per employee for the work shift with the largest number of employees.
  - There are 20 existing parking spaces.
  - According to the application, it appears that 20 spaces are required due to the number of employees. This can be confirmed at the meeting.
  - The existing parking area is expected to remain the same. The applicant is proposing to add new asphalt to the south of the proposed addition and add a new concrete loading dock.
  - Much of the existing pavement does not meet the 10' paving setback but is grandfathered in. There is pavement proposed to the east of the new building addition that will not meet typical pavement setback. The Fire Department is requiring a 20' fire access drive in this location to access the east side of the building and the north side.
- Architectural requirements for manufacturing districts
  - The facade of a manufacturing building which faces upon a street right-of-way shall be finished with an aesthetically pleasing material. Fifty percent of a facade facing a street shall be finished with brick, decorative masonry, glass panel, or other appropriate finished facade as may be approved by the Plan Commission. Such brick, masonry, glass, or other decorative facing shall extend for a distance of at least 20 feet along the sides of the structure. Manufacturing buildings on corner lots shall have the required masonry facade facing each street. Metal buildings may be constructed in any business, manufacturing, institutional, or park district, but only by a 3/4 affirmative vote of the Plan Commission.
- Lighting
  - Lighting is generally not proposing to change. Town Engineer reviewed and determined that the lighting plan is adequate.
- Landscaping
  - Not proposing to add landscaping.

### **Development Review Team Feedback**

Development Review Team has reviewed his and has been in contact with the applicant's project engineers. Any updates will be provided at the time of the meeting.

### **Preliminary Approval**

The purpose of preliminary project review shall be to determine that proposed structures are properly located and to review the project plans. The project plans, in the maximum scale of one inch equals 40 feet, for any multifamily residential, commercial, industrial, park, or institutional development shall include a plat of survey prepared by a registered land surveyor showing the location, boundaries, dimensions, elevations, existing and proposed grades to the Town of Brookfield datum; and uses and sizes of the following: subject site; existing and proposed structures; existing and proposed easements, streets, and other public ways; off-street parking, loading areas, driveways, ingress and egress plans; landscaping and open space utilization plans; existing highway access restrictions; and existing and proposed street, side, and rear yards. In addition, the plat of survey shall show the location, elevation, existing grades, and use of any abutting lands and their structures within 100 feet of the subject site. Preliminary approval recommended by the Architectural Review Committee and granted by the Plan Commission shall expire within six months unless final project plans are presented to the Plan Commission.

**Final Approval**

The purpose of final project review shall be to determine that this chapter and other Town ordinances have been fully complied with, and to authorize the issuance of a building permit, subject to the developer receiving approval of the Wisconsin Department of Safety and Professional Services (SPS) of the building plans, if required, including architectural details and lighting plan. The Plan Commission may require appropriate sureties to guarantee the completion of grading, landscaping, and construction and paving of parking and loading areas within an approved time schedule. Final approval granted by the Town Board shall expire within 12 months unless necessary building permits have been applied for and issued.



# Bancroft Engineering Narrative

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April 25, 2025

Town of Brookfield

645 N Janacek Rd

Brookfield, WI 53045

**RE:** Bancroft Engineering – Building Addition

To Whom It May Concern,

On behalf of Bancroft Engineering, a welding equipment fabricator, we respectfully submit this proposal for a 7,653 square foot addition to their existing facility. This addition will be dedicated to the assembly and loading of welding equipment as well as improving operational efficiency. The architectural design of the addition will match the existing building's aesthetics to ensure a cohesive appearance.

## **Project Details:**

- **Size:** 7,653 square foot addition
- **Purpose:** Assembly and loading of welding equipment
- **Parking:** Existing 20 parking spaces will remain unchanged
- **Employment:** Current workforce of 16 employees, with anticipated increase to 20 employees. Bancroft operates on a single work shift.
- **Timeline:** Construction is planned to begin in Fall 2025, with completion expected in Spring 2026

## **Variance Request:**

To comply with the fire department's requirement for a fire lane, the proposed paving extends to the lot line, which does not meet the town's pavement setback standards. We kindly request a variance for this configuration, supported by the following:

1. The paving is essential to fulfill the fire department's fire lane mandate.
2. The existing drive lane already deviates from the setback requirement, and this addition maintains consistency with the current layout.



# Bancroft Engineering Narrative

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We believe this addition will enhance Bancroft Engineering's operations while preserving the site's existing parking and employment structure. The requested variance is critical to ensuring compliance with fire safety standards.

Thank you for your time and consideration of this proposal. We look forward to your feedback and hope to commence construction in Fall 2025, with completion by Spring 2026. Please feel free to contact Keller, Inc. with any questions or additional requirements.

|                               |  |
|-------------------------------|--|
| <b>OWNER</b>                  | Bancroft Engineering<br>21550 Doral Rd<br>Waukesha, WI 53186   |
| <b>ARCHITECT/<br/>BUILDER</b> | Keller, Inc.<br>Luke Sebald (Project Manager)<br>Chris Manske (Architect)<br>W204 N11509 Goldendale Road<br>Germantown, WI 53022<br>(262) 250-9710 office<br>(414) 397 0526 cell<br>lsebald@kellerbuilds.com |
| <b>CIVIL ENGINEER</b>         | Axiom Consultants (A Ruekert-Mielke Company)<br>Colin Meisel<br>1400 Lombardi Ave.<br>Green Bay, WI 54304<br>(920) 393-6551 office<br>(920) 810-5647 cell<br>cmeisel@ruekert-mielke.com                      |

# BANCROFT ENGINEERING

## CITY OF WAUKESHA

## WAUKESHA COUNTY

## WISCONSIN



**Keller**

PLANNERS ARCHITECTS BUILDERS

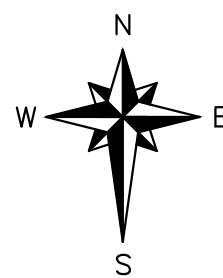
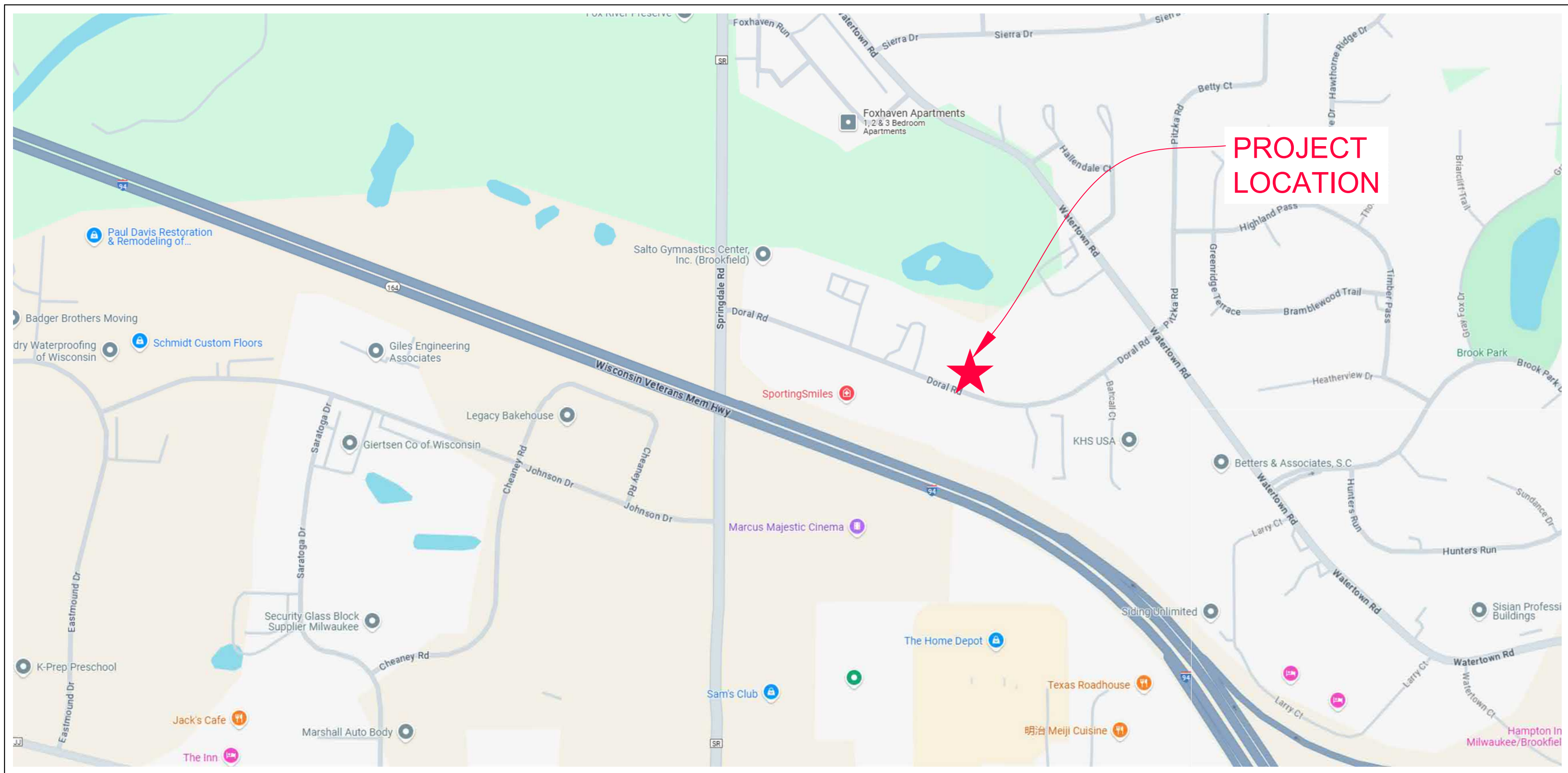
**FOX CITIES**  
N216 State Road 55  
P.O. Box 520  
Kaukauna, WI 54130  
Phone (920)766-5795  
1-800-236-2534  
Fax (920)766-5004

**MADISON**  
3308 Nursery Drive  
Middleton, WI 53562  
Phone (608)445-2245

**MILWAUKEE**  
W204 N11509  
Goldendale Rd  
Germantown, WI 53022  
Phone (262)250-9710  
1-800-236-2534  
Fax (262)250-9740

**WAUSAU**  
5605 Lilac Ave  
Wausau, WI 54401  
Phone (715)849-3141  
Fax (715)849-3181

www.kellerbuilds.com



LOCATION MAP IS NOT TO SCALE

### SHEET INDEX

| SHEET NO. | DESCRIPTION                           |
|-----------|---------------------------------------|
| C1.0      | COVER SHEET                           |
| C2.0      | GENERAL NOTES                         |
| C3.0      | EXISTING CONDITIONS & DEMOLITION PLAN |
| C4.0      | EROSION CONTROL PLAN                  |
| C5.0      | SITE PLAN                             |
| C6.0      | GRADING PLAN                          |
| C7.0      | CONSTRUCTION DETAILS                  |

ORIGINAL PLAN SET  
IS IN COLOR

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Waukesha • Kenosha • Madison  
Global Water Center • Fox Valley  
[www.ruekertmielke.com](http://www.ruekertmielke.com)

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO. 20245200925) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

**SITE:**  
BANCROFT ENGINEERING  
21550 DORAL RD  
WAUKESHA, WI 53186

**ENGINEER:**  
RUEKERT-MIELKE INC.  
1400 LOMBARDI AVE, GREEN BAY, WI

R & M PROJECT #8341-10196.200  
PROJECT MANAGER: COLIN MEISEL, PE  
PHONE: (920) 876-6382

**COVER SHEET** **C1.0**

"ISSUED NOT FOR CONSTRUCTION"

PROPOSED FOR:

**BANCROFT ENGINEERING**

21550 DORAL RD  
WAUKESHA, WI

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REVISIONS

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|  |  |
|  |  |
|  |  |
|  |  |

PROJECT MANAGER:

L. SEBALD

DESIGNER:

C. MEISEL

DRAWN BY:

G. DEPREY

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

--/--/2025

SHEET:

GENERAL NOTES:

1.

CONTRACTOR TO CONTACT DIGGERS HOTLINE FOR UTILITY LOCATES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY WITH UTILITY COMPANIES IF UTILITY COMPANY'S STAFF IS REQUIRED TO BE ON SITE WHEN CONSTRUCTION ACTIVITIES ARE NEAR UTILITY FACILITIES.
2.

LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHOWN SHALL NOT BE TAKEN AS CONCLUSIVE. CONTRACTOR SHALL VERIFY LOCATIONS AS A CONDITION OF THEIR BID AND BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM THEIR ACTIVITIES.
3.

CONTRACTOR SHALL TAKE CARE WHEN EXCAVATING AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVERAGE REQUIREMENTS WITH UTILITY COMPANIES.
4.

EXISTING UTILITIES SHOWN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM AVAILABLE RESOURCES FOR FIELD LOCATES. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN. CONTRACTOR IS REQUIRED TO VERIFY LOCATION OF EXISTING UTILITIES.
5.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK, UNLESS OTHERWISE NOTED.
6.

CONTRACTOR SHALL PROVIDE STAKING AS NECESSARY TO LAYOUT AND PROVIDE GRADES FOR ANY SECTION OF THE WORK.
7.

A COMPETENT REPRESENTATIVE WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR MUST BE AT THE SITE AT ALL TIMES.
8.

STAGING AND MATERIAL STORAGE AREAS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE DONE IN A MANNER TO AVOID INTERFERENCE WITH THE OWNER'S ACTIVITIES.
9.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING PROPERTY CORNERS AND SURVEY MONUMENTS.
10.

CONTRACTOR SHALL BE RESPONSIBLE FOR BARRICADING AREAS OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY.
11.

EXISTING FACILITIES TO REMAIN INCLUDING PAVEMENT, SIDEWALKS, BUILDINGS, LANDSCAPING AND TREES SHALL BE PROTECTED DURING CONSTRUCTION.
12.

CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THEIR WORK FROM ALL DAMAGE INCLUDING THE PUBLIC, OTHER CONTRACTORS, AND THE ENVIRONMENT.
13.

EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED BY THE OWNER.

UTILITIES AND STORM SEWER:

1.

ALL EXISTING SURFACE INFRASTRUCTURE INCLUDING HYDRANTS, VALVES, HANDHOLES, CASTINGS, IRRIGATION SYSTEMS, AND UTILITY PEDESTALS ARE REQUIRED TO BE ADJUSTED TO PROPOSED GRADE BY CONTRACTOR.
2.

WHERE NOT IDENTIFIED IN THE CIVIL SPECIFICATION MANUAL, UTILITY MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL STANDARDS AND SPECIFICATIONS FOR UTILITY COMPANIES HAVING JURISDICTION.
3.

CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND TO PROVIDE MINIMUM REQUIRED DEPTHS OF COVER. ADDITIONAL BENDS AND ASSOCIATED MATERIALS ARE TO BE INSTALLED AS REQUIRED FOR WATER MAINS AND LATERALS.
4.

ALL STORM AND SANITARY SEWER PIPES AND STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT CIVIL SPECIFICATIONS MANUAL AND SUPPLEMENTAL PLAN NOTES HEREIN.
5.

STORM SEWER STRUCTURES SHALL BE PRECAST CONCRETE AND THE SIZE AS NOTED ON THE PLANS.
6.

TRENCHES SHALL BE BACKFILLED WITH CRUSHED STONE BEDDING WITHIN 1:1 OF PAVEMENT AREAS AND WITH SPOIL IN LANDSCAPING AREAS.
7.

STORM SEWER 8-INCHES OR SMALLER CONNECTED TO MAINS OR LATERALS SHALL BE PLACED HORIZONTALLY AT THE SPRING LINE OF THE PIPE WITH A WATER TIGHT CONNECTION.
8.

CONNECTIONS TO EXISTING MANHOLES SHALL BE CORED AND A WATER TIGHT SEAL PROVIDED.
9.

TRACER WIRE OR OTHER MEANS OF LOCATING UNDERGROUND PIPES SHALL BE INSTALLED ON ALL PIPING PER THE PROJECT CIVIL SPECIFICATIONS MANUAL.
10.

ALL DIMENSIONS ARE TO THE CENTERLINE OF UTILITIES AND STRUCTURES.

EROSION CONTROL:

1.

CONSTRUCTION ACTIVITIES SHALL NOT COMMENCE UNTIL EROSION CONTROL DEVICES HAVE BEEN INSTALLED.
2.

EROSION CONTROL DEVICES SHALL BE INSTALLED ACCORDING TO WDNR BEST MANAGEMENT PRACTICES AND THE CIVIL SPECIFICATIONS MANUAL.
3.

EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE PRUNED TO REMOVE LOW HANGING, BROKEN, AND UNDESIRABLE GROWTH TO ENSURE HEALTHY AND SYMMETRICAL NEW GROWTH.
4.

ALL AREAS DISTURBED BY CONTRACTOR OPERATIONS SHALL BE PREPARED FOR GRASS SEED BY LOOSENING RUTS AND WORKING THE SOIL AREAS TO A MINIMUM OF 6-INCHES PRIOR TO THE FINE GRADING AND SEEDING. AREAS SHALL HAVE A MINIMUM OF 4-INCHES OF TOPSOIL PLACED, SEEDED, AND MULCHED UNLESS OTHERWISE INDICATED.
5.

INSPECTION OF ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DONE BY CONTRACTOR ONCE PER WEEK AND WITHIN 24 HOURS OF EVERY PRECIPITATION EVENT OF 1/2-INCH OR GREATER. EROSION CONTROL REPORTS WILL BE SENT TO EROSIONCONTROL@GREENBAYWI.GOV
6.

CONTRACTOR SHALL REPAIR DEFICIENT EROSION AND SEDIMENT CONTROL MEASURES WITHIN 24-HOURS AFTER INSPECTION. ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES NOT SHOWN ON THIS PLAN MAY BE NECESSARY AS A RESULT OF CONSTRUCTION PRACTICES OR AS DIRECTED BY OWNER AND/OR ENGINEER.
7.

CONTRACTOR SHALL NOTIFY AND OBTAIN WRITTEN ACCEPTANCE FROM ENGINEER OF PROPOSED CHANGES TO THE EROSION CONTROL PLAN AND/OR SEQUENCE PRIOR TO IMPLEMENTING THE CHANGE.
8.

EXCESS MATERIAL THAT IS HAULED OFF SITE SHALL BE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR SHALL OBTAIN PROPER PERMIT APPROVALS FOR EACH FILL SITE. EROSION AND SEDIMENT CONTROL MEASURES, RESTORATION, AND STABILIZATION AT FILL SITE IS CONTRACTOR'S RESPONSIBILITY. CONTRACTOR TO NOTIFY OWNER OF ALL FILL AND BORROW SITES.
9.

CONTRACTOR SHALL SWEEP STREETS ADJACENT TO PROJECT AS NEEDED.
10.

ALL INSTALLATION, MAINTENANCE, AND REMOVAL OF EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE WDNR TECHNICAL STANDARDS.
11.

IF DEWATERING IS NECESSARY, CONTRACTOR SHALL PROVIDE PROPER DEWATERING SEDIMENT CONTROL DEVICES. DISCHARGE OF SEDIMENT LADEN WATER TO THE STORM OR SURFACE WATER IS PROHIBITED.
12.

STABILIZE NEWLY GRADED AREAS WITHIN 3 DAYS OF BEING INACTIVE.
13.

REMOVE EROSION AND SEDIMENT CONTROL DEVICES AFTER 80% OF VEGETATION HAS BEEN ESTABLISHED IN RESTORED AREAS.

GRADING AND PAVING:

1.

ALL SITE CONSTRUCTION INCLUDING GRADING, EXCAVATION, AND PAVEMENT CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE CORRESPONDING PROJECT CIVIL SPECIFICATIONS MANUAL AND SUPPLEMENTAL PLAN NOTES HEREIN.
2.

CONTRACTOR SHALL STRIP AND REMOVE TOPSOIL AND ORGANIC MATERIALS FOUND WITH THE SITE IN ACCORDANCE WITH THE PROJECT CIVIL SPECIFICATIONS. LANDSCAPING AREAS SHALL BE GRADED LOW TO ALLOW FOR TOPSOIL PLACEMENT.
3.

ALL MATERIAL TESTING SHALL CONFORM TO THE PROJECT CIVIL SPECIFICATIONS. RETESTING AND CORRECTION OF FAILING MATERIAL SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE.
4.

SUBGRADE SHALL BE COMPACTED PRIOR TO PLACEMENT OF BASE AGGREGATE AS REQUIRED IN THE STANDARD SPECIFICATIONS. SUBGRADE SHALL BE PROOF ROLLED PRIOR TO PLACEMENT OF BASE COURSE. AREAS IDENTIFIED AS SOFT AND YIELDING SHALL BE IDENTIFIED FOR REMOVAL PRIOR TO PLACEMENT OF BASE AGGREGATE.
5.

BACKFILL AND FILL MATERIALS SHALL BE PLACED IN LAYERS NOT MORE THAN 8-INCHES LOOSE IF COMPACTED WITH HEAVY EQUIPMENT AND NOT MORE THAN 4-INCHES LOOSE IF COMPACTED BY HAND EQUIPMENT.
6.

ACCESSIBLE ROUTES AND HANDICAP PARKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA STANDARDS.
7.

ALL CONCRETE FLATWORK SHALL HAVE A LIGHT BROOMED FINISH.
8.

EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH A CONTINUOUS 0.5-INCH FIBER EXPANSION JOINT.
9.

TWO PAINT COATS SHALL BE APPLIED ON NEW PAVEMENT. THE FIRST COAT SHALL BE AFTER PAVING OPERATIONS HAVE BEEN COMPLETED. THE SECOND COAT SHALL BE APPLIED 30 CALENDAR DAYS AFTER PAVING HAS BEEN COMPLETED.
10.

ELEVATIONS ARE TO FLANGE.

LEGEND – CIVIL ENGINEERING DRAWINGS

| CONTROL         |                                       | SANITARY SEWER |                             | UTILITIES   |                                | WATER MAIN |   |  |
|-----------------|---------------------------------------|----------------|-----------------------------|---|--------------------------------|------------|---|--|
|                 | CHIS                                  |                | SANITARY MANHOLE            |   | CABLE BOX                      |            | EXISTING HYDRANT                        |  |
|                 | CHISELED MARK                         |                | SEPTIC SYSTEM               |   | CABLE MANHOLE                  |            | EXISTING LOCATOR BOX                    |  |
|                 | CONTROL POINT                         |                | SEPTIC TANK COVER           |   | UNDERGROUND TV CABLE           |            | EXISTING SPRINKLER HEAD                 |  |
|                 | IRON PIPE (GENERIC)                   |                | SEPTIC VENT                 |   | ELECTRIC BOX                   |            | EXISTING WATER CURB STOP                |  |
|                 | IRON PIPE (1" DIA)                    |                | SANITARY SEWER              |   | ELECTRIC MANHOLE               |            | EXISTING WATER MAIN BEND                |  |
|                 | IRON PIPE (2" DIA)                    |                | PROPOSED SANITARY MANHOLE   |   | ELECTRIC METER                 |            | EXISTING WATER MAIN CROSS               |  |
|                 | IRON PIPE SET                         |                | PROPOSED SANITARY RISER     |   | ELECTRIC PAD                   |            | EXISTING WATER MAIN OFFSET              |  |
|                 | IRON ROD (GENERIC)                    |                | PROPOSED SANITARY LATERAL   |   | ELECTRIC TRANSFORMER           |            | EXISTING WATER MAIN PLUG                |  |
|                 | IRON ROD (3/4" DIA)                   |                | PROPOSED SANITARY SEWER     |   | POWER POLE                     |            | EXISTING WATER MAIN PLUG W/ AIR RELEASE |  |
|                 | IRON ROD (1 1/4" DIA)                 |                | STORM SEWER                 |   | UNDERGROUND ELECTRIC           |            | EXISTING WATER MAIN REDUCER             |  |
|                 | MONUMENT                              |                | STORM CATCH BASIN           |   | PROPOSED UNDERGROUND ELECTRIC  |            | EXISTING WATER VALVE                    |  |
|                 | NAIL                                  |                | STORM FIELD INLET           |   | PROPOSED UNDERGROUND ELECTRIC  |            | EXISTING WATER VALVE MANHOLE            |  |
|                 | PAINT MARK                            |                | STORM INLET                 |   | GAS CURB STOP                  |            | EXISTING WELL                           |  |
|                 | PK NAIL                               |                | STORM MANHOLE               |   | GAS MANHOLE                    |            | EXISTING YARD HYDRANT                   |  |
|                 | RAILROAD SPIKE                        |                | STORM YARD DRAIN            |   | GAS METER                      |            | EXISTING WATER MAIN                     |  |
|                 | REFERENCE TIE                         |                | STORM SEWER                 |   | GAS TEST STATION               |            | EXISTING WATER SERVICE                  |  |
|                 | SECTION CORNER                        |                | CULVERT (SIZE & TYPE NOTED) |   | GAS VALVE                      |            | PROPOSED CURB STOP                      |  |
|                 | SECTION CORNER MONUMENT               |                | PROPOSED STORM INL/CB       |   | GAS VALVE TEST                 |            | PROPOSED HYDRANT                        |  |
|                 | TEMPORARY CONTROL POINT               |                | PROPOSED STORM MANHOLE      |   | GAS VENT                       |            | PROPOSED LOCATOR BOX                    |  |
|                 | USGS MONUMENT                         |                | PROPOSED STORM LATERAL      |   | UNDERGROUND GAS MAIN           |            | PROPOSED WATER MAIN BEND (ANGLE NOTED)  |  |
|                 |                                       |                | PROPOSED STORM SEWER        |   | PROPOSED UNDERGROUND GAS MAIN  |            | PROPOSED WATER MAIN CROSS               |  |
| GROUND          |                                       | GENERAL        |                             | LANDSCAPE   |                                | PAVEMENT   |   |  |
|                 | WATER ELEVATION                       |                | AIR CONDITIONER             |   | CONIFEROUS MULTIPLE TRUNK TREE |            | EXISTING SIGN                           |  |
|                 | WETLANDS (SURVEYED LOCATION)          |                | CLEAN OUT                   |   | CONIFEROUS TREE                |            | EDGE OF ASPHALT PAVEMENT                |  |
|                 | CROPFIELD                             |                | DELINEATOR POST             |   | DECIDUOUS TREE                 |            | EDGE OF GRAVEL PAVEMENT                 |  |
|                 | DITCH                                 |                | FLAG POLE                   |   | DECIDUOUS MULTIPLE TRUNK TREE  |            | EDGE OF CONCRETE PAVEMENT               |  |
|                 | GUARD RAIL                            |                | GENERIC HAND HOLE           |   | DECORATIVE ROCK                |            | PROPOSED DETECTABLE WARNING FIELD       |  |
|                 | TOE OF SLOPE                          |                | GENERIC MANHOLE             |   | STUMP                          |            | PROPOSED SIGN                           |  |
|                 | TOP OF BANK                           |                | GENERIC METER               |   | EDGE OF PLANTER/LANDSCAPE BED  |            | PROPOSED EDGE OF ASPHALT PAVEMENT       |  |
|                 | WETLAND BOUNDARY                      |                | GENERIC PEDESTAL            |   | EDGE OF TREES & BRUSH          |            | PROPOSED EDGE OF CONCRETE PAVEMENT      |  |
| EROSION CONTROL |                                       |                | GENERIC VALVE               |   | FENCE                          |            | PROPOSED EDGE OF GRAVEL PAVEMENT        |  |
|                 | PROPOSED DITCH CHECK                  |                | GENERIC VENT                |   | RAILROAD SIGNAL BOX            |            | PROPOSED SLOPE INTERCEPT                |  |
|                 | PROPOSED EROSION LOGS/EROSION WADDLES |                | GUY VENT                    |   | RAILROAD SIGNAL FLASHER        |            |   |  |
|                 | PROPOSED INLET PROTECTION TYPE A      |                | GUY WIRE                    |   | RAILROAD SPIKE                 |            |   |  |
|                 | PROPOSED INLET PROTECTION TYPE B      |                | LIGHT POLE                  |   | RAILROAD TRACKS                |            |   |  |
|                 | PROPOSED INLET PROTECTION TYPE C      |                | MAIL BOX                    |   |                                |            |   |  |
|                 | PROPOSED INLET PROTECTION TYPE D      |                | MARKER POST                 | <th colspan="2">RAILROAD</th> <td></td> <td></td> | RAILROAD                       |            |   |  |
|                 | PROPOSED BARRIER FENCE                |                | MONITORING WELL             |   | UNDERGROUND LOOP DETECTOR      |            |   |  |
|                 | PROPOSED SILT FENCE                   |                | PILING                      |   |                                |            |   |  |
|                 | PROPOSED EROSION MAT                  |                | POST                        |   |                                |            |   |  |
|                 | PROPOSED RIP RAP                      |                | REVISION LABEL              |   |                                |            |   |  |
|                 | PROPOSED TRACKING PAD                 |                | UTILITY POLE                |   |                                |            |   |  |
|                 |                                       |                | YARD LIGHT                  |   |                                |            |   |  |

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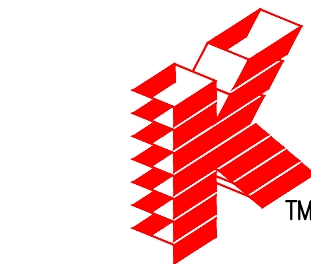
BANCROFT ENGINEERING

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| DESIGNER:        | C. MEISEL  |
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| PRELIMINARY NO:  |            |
| CONTRACT NO:     |            |
| DATE:            | --/--/2025 |
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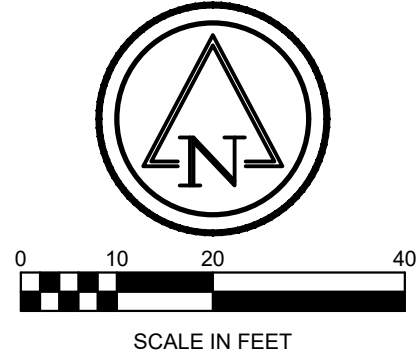
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C. MEISEL

DRAWN BY:

G. DEPREY

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

--/--/2025

SHEET:

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**PLAN**

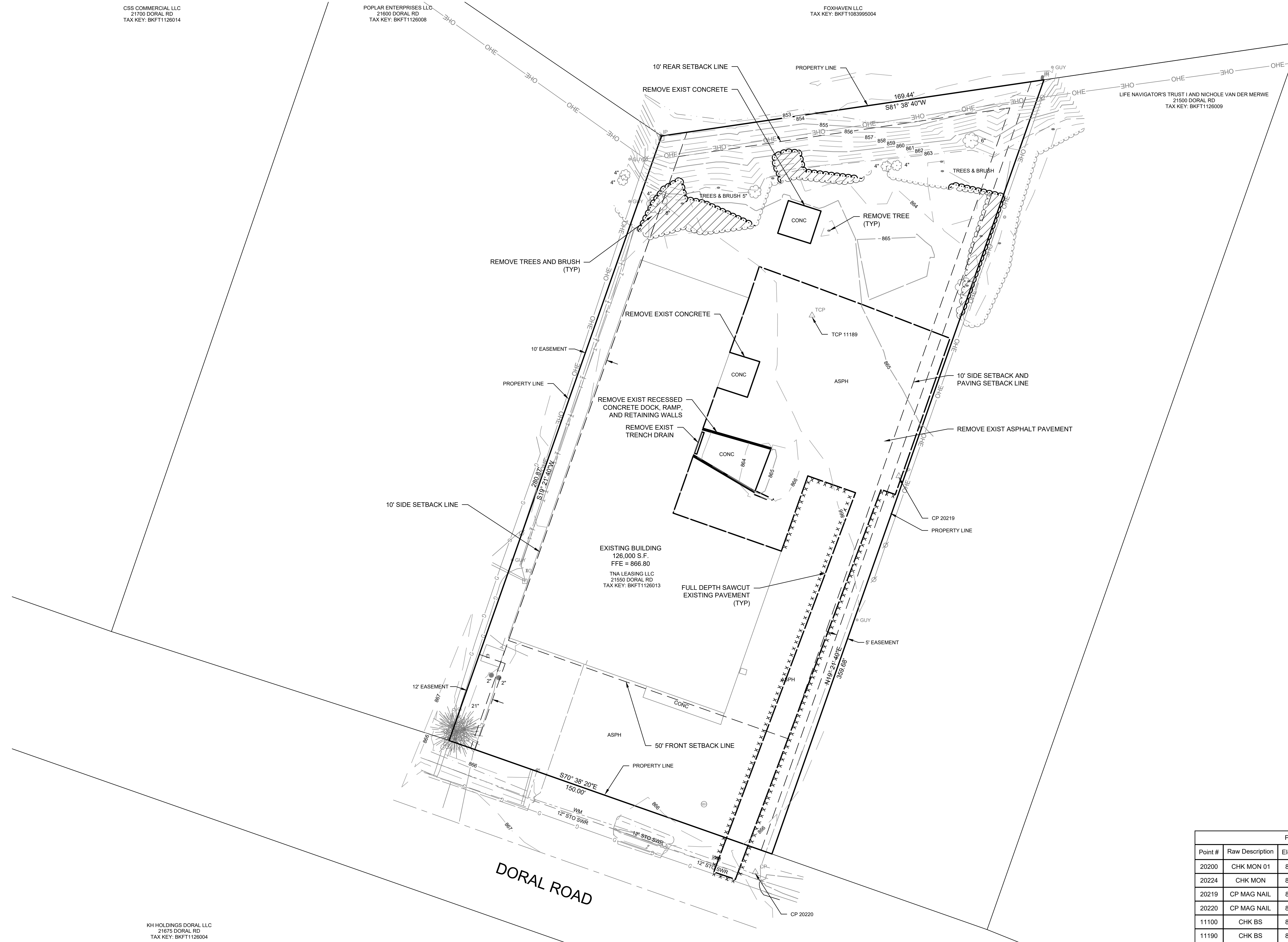
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**EXISTING CONDITIONS & DEMOLITION**

**Ruekert • Mielke**  
Waukesha • Kenosha • Madison  
Global Water Center • Fox Valley  
www.ruekertmielke.com

RUEKERT/MIELKE TAKES NO RESPONSIBILITY FOR ANY UNDERGROUND STRUCTURES OR BURIED MATERIALS SUCH AS, BUT NOT LIMITED TO, FOUNDATIONS, WELLS, SEPTIC, HOLDING TANKS, UTILITIES, HAZARDOUS MATERIALS, OR ANY OTHER ITEMS OF WHICH NO EVIDENCE CAN BE FOUND ON THE SURFACE BY A REASONABLE INSPECTION.

PURSUANT TO WISCONSIN STATUTE 182.0175, AVAILABLE DATA ON UNDERGROUND STRUCTURES, CONDUIT AND PIPES HAS BEEN SHOWN ON THIS MAP. THE LOCATIONS SHOWN HAVE BEEN COMPILED FROM A COMBINATION OF EXISTING UTILITY MAPS AND MARKINGS PLACED IN THE FIELD FOR THE VARIOUS FACILITIES BY "DIGGERS HOTLINE" (TICKET NO. 20245200925) SHALL NOT BE TAKEN AS CONCLUSIVE. FIELD VERIFICATION SHALL BE REQUIRED BEFORE ANY EXCAVATION.

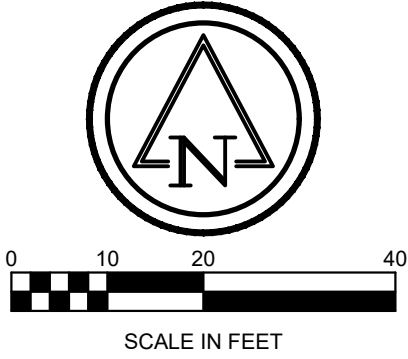


KH HOLDINGS DORAL LLC  
21675 DORAL RD  
TAX KEY: BKFT1126004

- NOTES:**
1. TOTAL SITE AREA: 1.10 ACRES.
  2. TOTAL ESTIMATED AREA OF DISTURBANCE: 0.36 ACRES
  3. MAINTAIN EXISTING VEGETATION IN STREET RIGHT OF WAY.

**CONSTRUCTION SEQUENCE**

1. INSTALL AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO ANY LAND DISTURBING ACTIVITIES, AS SHOWN ON DRAWINGS AND DIRECTED BY ENGINEER.
2. CLEAR AND GRUB VEGETATION AS SHOWN ON DRAWINGS OR AS DIRECTED BY ENGINEER.
3. STRIP TOPSOIL AND STOCKPILE IN LOCATION AS SHOWN ON DRAWINGS AND AS DIRECTED BY OWNER. INSTALL PERIMETER SILT FENCE AROUND DOWN SLOPE SIDE OF STOCKPILE. STABILIZE STOCKPILE IMMEDIATELY UPON LAYUP.
4. REMOVE EXISTING STRUCTURE.
5. INSTALL, ADJUST AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES NECESSARY FOR EACH ACTIVE STAGE. MAINTAIN MEASURES AT THE END OF EACH DAY.
6. STAGE CONSTRUCTION BY WORK LOCATION. SUBSEQUENT STEPS MAY BE COMPLETED IN ALTERNATE SEQUENCE DEPENDING UPON CONTRACTOR OPERATIONS.
7. COMPLETE ROUGH GRADING.
8. INSTALL UNDERGROUND WATER DISTRIBUTION, AND STORM SEWER UTILITIES.
9. INSTALL STRUCTURE.
10. PREPARE PAVEMENT SUBGRADE.
11. INSTALL NEW PAVEMENT AND BASE LAYERS.
12. AREAS PLANNED TO BE INACTIVE FOR 7 DAYS OR LONGER SHALL BE TEMPORARILY STABILIZED FOLLOWING DNR TECHNICAL STANDARD 1059 SEEDING. THESE AREAS SHALL BE STABILIZED WITHIN 7 DAYS OF BEING INACTIVE.
13. AREAS BROUGHT TO FINAL GRADE SHALL BE PERMANENTLY STABILIZED WITHIN 7 DAYS.
14. COMPLETE FINAL RESTORATIONS INCLUDING BUT NOT LIMITED TO: TOPSOIL, TURF GRASS SEED, AND CLASS I TYPE B URBAN EROSION MATTING FOR ALL LAWN RESTORATION AND TOPSOIL, TURF GRASS SEED, AND CLASS II TYPE B EROSION MATTING FOR THE DRAINAGE SWALES AND SLOPES OF 4:1 OR MORE.
15. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER 80% GROWTH DENSITY HAS OCCURRED IN 100% OF RESTORATION AREAS. CONTRACTOR SHALL OBTAIN OWNER AND ENGINEER APPROVAL PRIOR TO REMOVING THE MEASURE(S). RESTORE DISTURBED AREAS AROUND REMOVED DEVICES AND CLEAN SITE.



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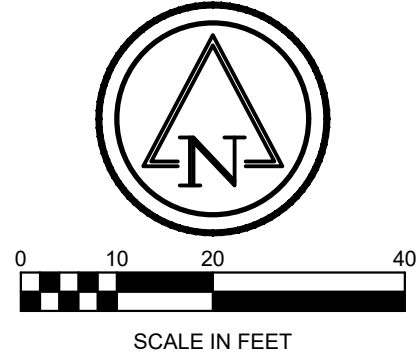
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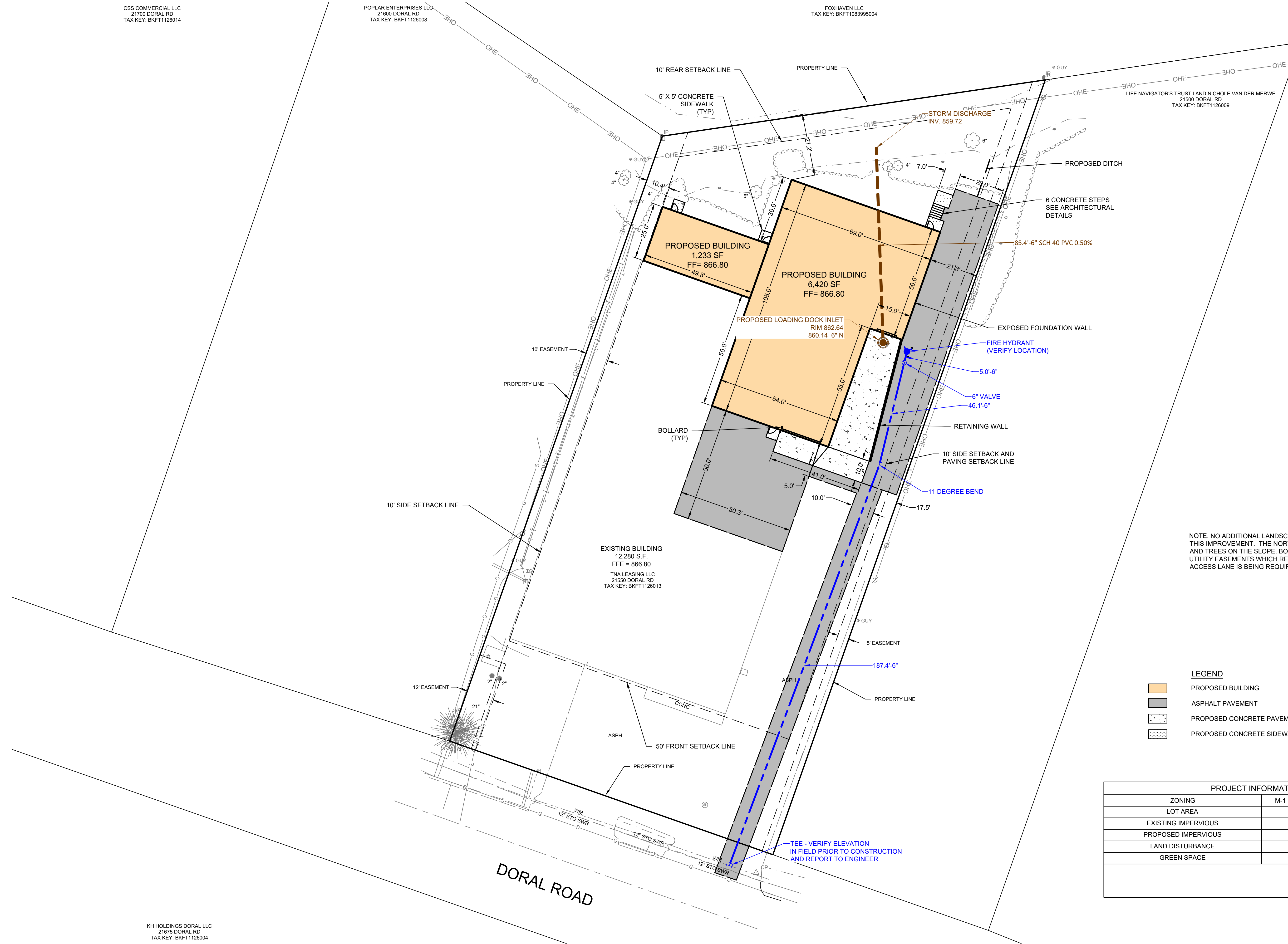
**SITE PLAN**

"ISSUED NOT FOR CONSTRUCTION"

**LEGEND**

- PROPOSED BUILDING
- ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED CONCRETE SIDEWALK

| PROJECT INFORMATION |                                  |
|---------------------|----------------------------------|
| ZONING              | M-1 LIGHT MANUFACTURING DISTRICT |
| LOT AREA            | 1.11 AC                          |
| EXISTING IMPERVIOUS | 0.71 AC                          |
| PROPOSED IMPERVIOUS | 0.83 AC                          |
| LAND DISTURBANCE    | 0.36 AC                          |
| GREEN SPACE         | 0.27 AC                          |



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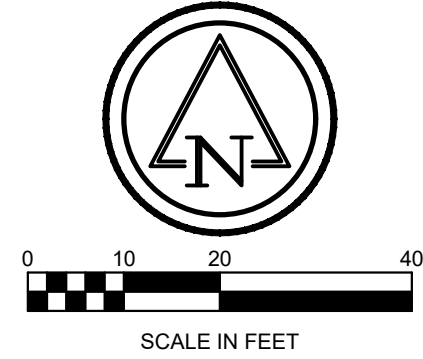
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CSS COMMERCIAL LLC  
21700 DORAL RD  
TAX KEY: BKFT1126014

POPLAR ENTERPRISES LLO  
21600 DORAL RD  
TAX KEY: BKFT1126008

FOXHAVEN LLC  
TAX KEY: BKFT1083965004



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WISCONSIN

21550 DORAL RD  
WAUKESHA,

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G. DEPREY

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

CONTRACT NO:

DATE:

--/--/2025

SHEET:

C6.0

**GRADING PLAN**

"ISSUED NOT FOR CONSTRUCTION"

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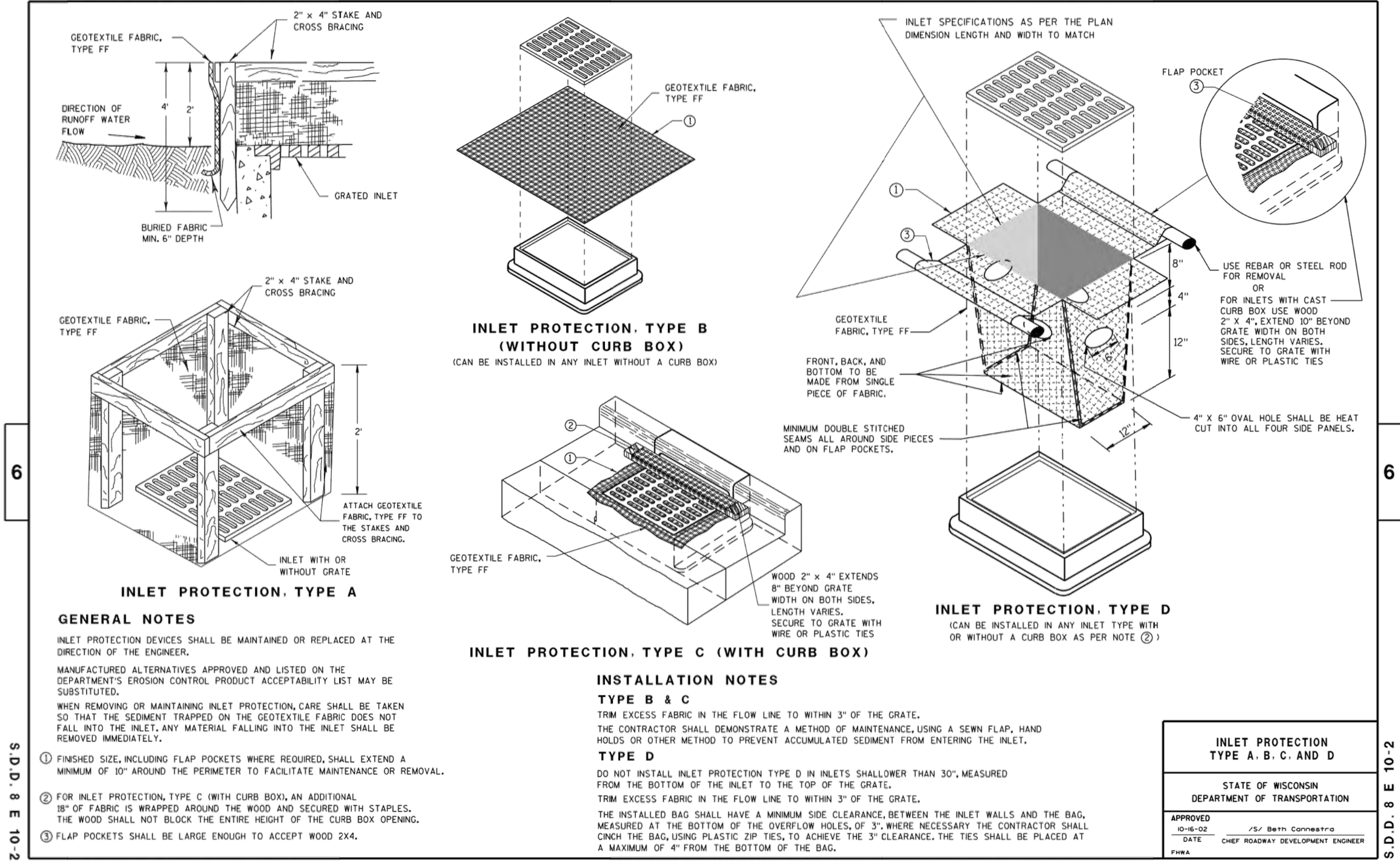
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KH HOLDINGS DORAL LLC  
21675 DORAL RD  
TAX KEY: BKFT1126004

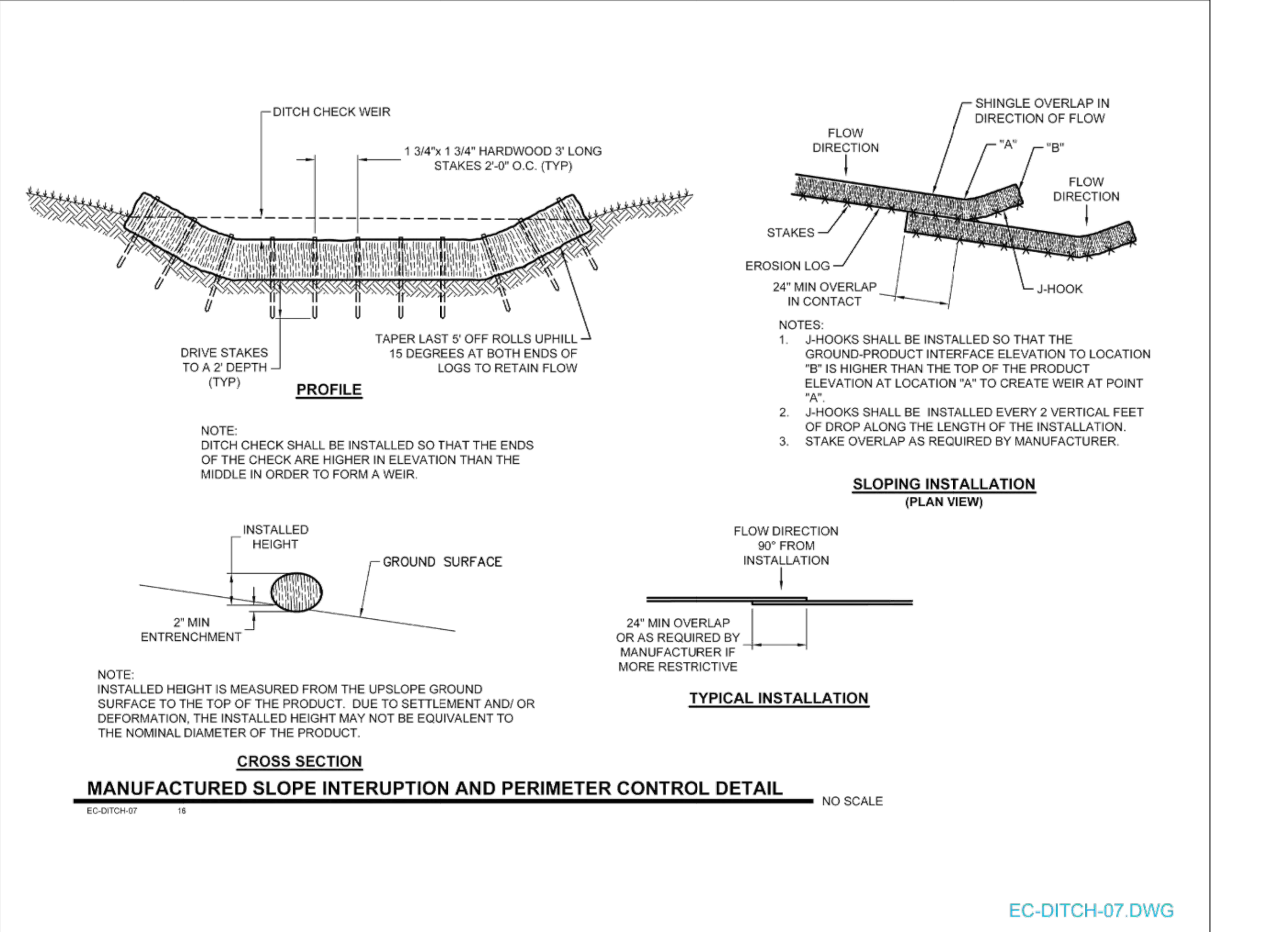
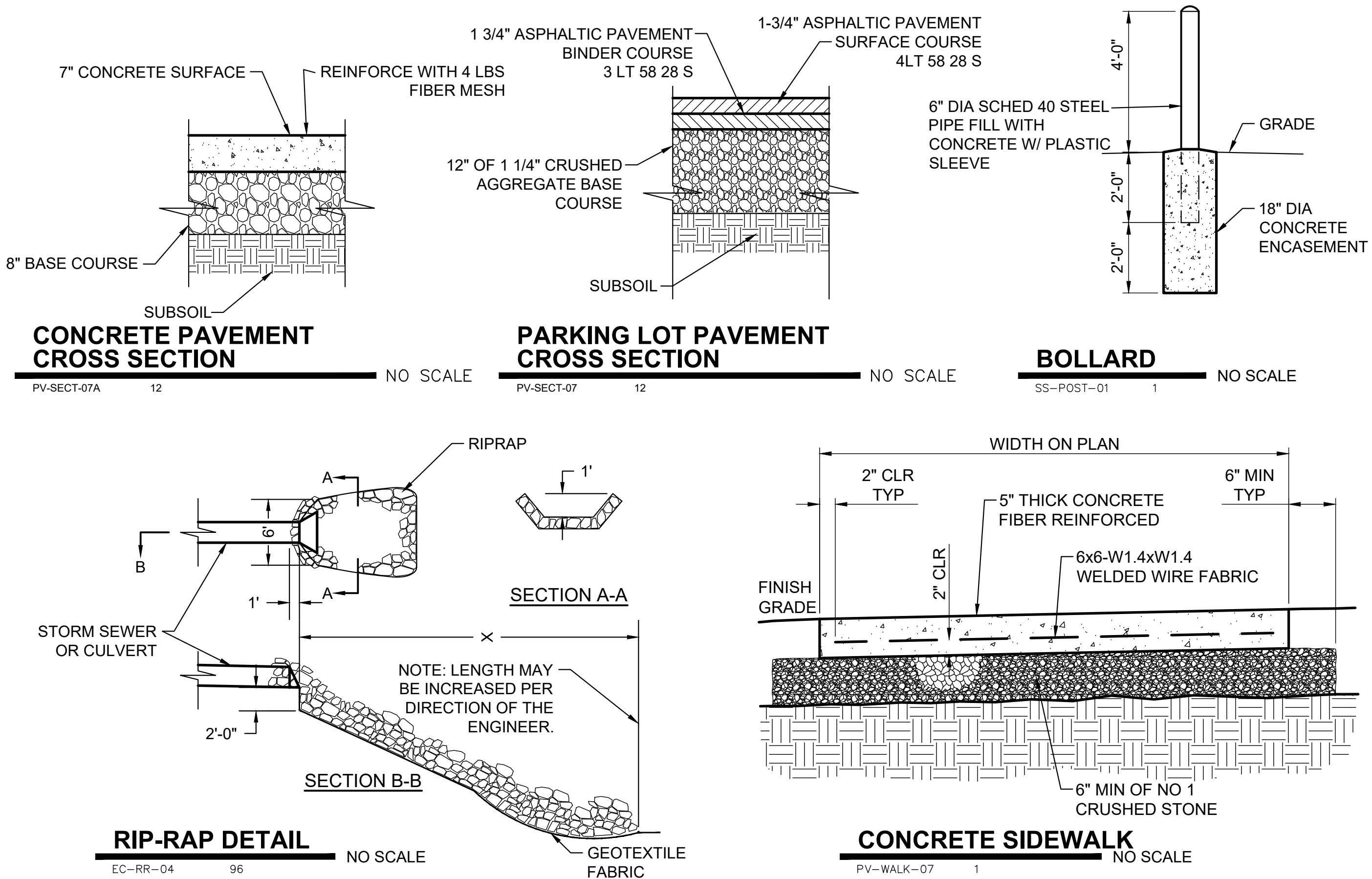
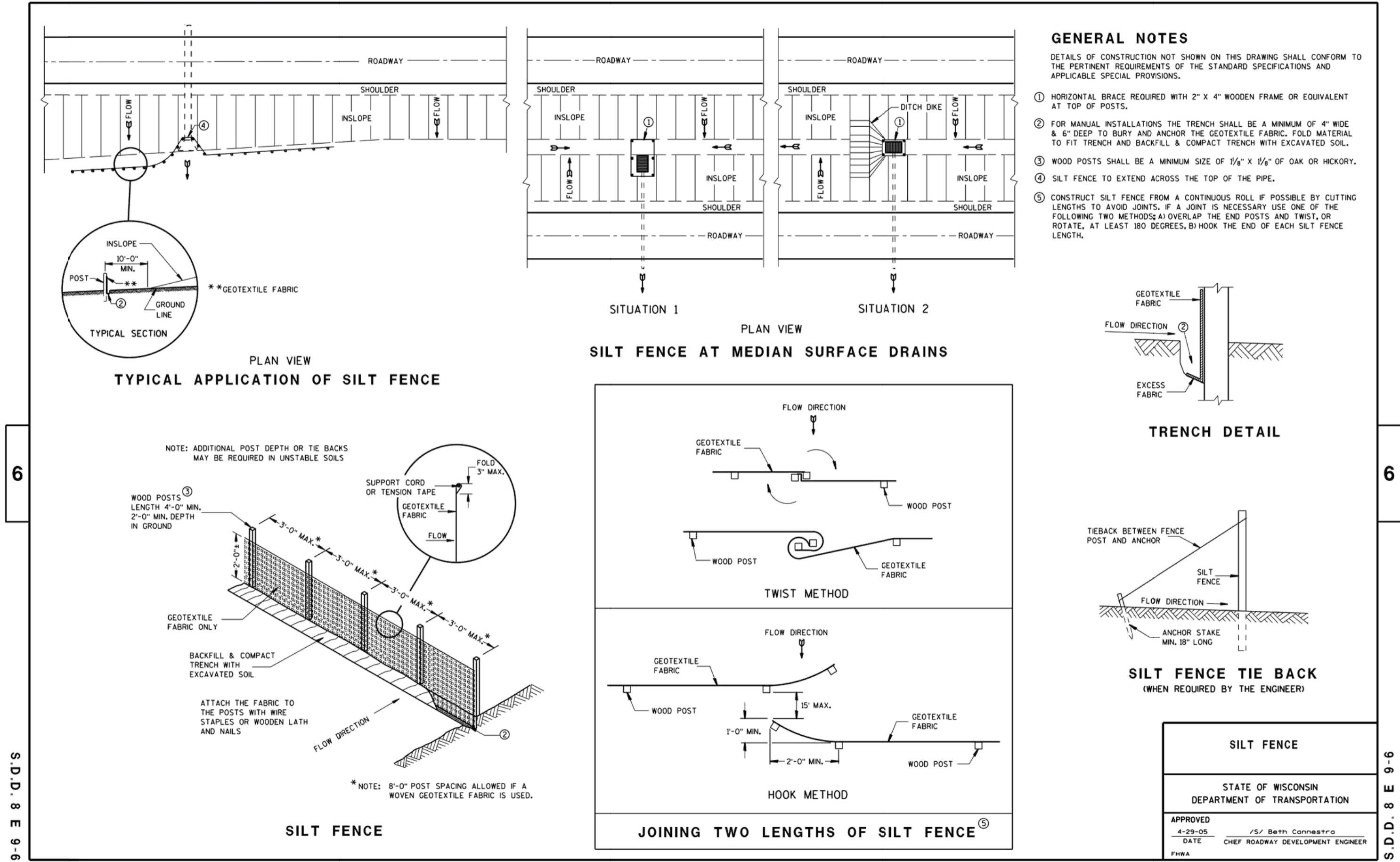
DORAL PROPERTIES LLC  
21320 DORAL RD  
TAX KEY: BKFT1126010

DORAL ROAD

SDD 8e10 Inlet Protection Type A, B, C and D



SDD 8e9 Silt Fence





# ARC2 LED

## Architectural Wall Luminaire



Catalog  
Number

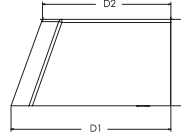
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

### Specifications

**Depth (D1):** 9.25"  
**Depth (D2):** 7.5"  
**Height:** 5"  
**Width:** 14"  
**Weight:** 11 lbs  
(without options)



### Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC2 delivers up to 6,500 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. It offers integrated emergency battery backup options, including an 8W cold temperature option, making it suitable for pedestrian scale applications in any environment.

### ARC LED Family Overview

| Luminaire | Standard EM, 0°C | Cold EM, -20°C | Approximate Lumens (4000K) |       |       |       |       |
|-----------|------------------|----------------|----------------------------|-------|-------|-------|-------|
|           |                  |                | P1                         | P2    | P3    | P4    | P5    |
| ARC1 LED  | 4W               | --             | 1,500                      | 2,000 | 3,000 | --    | --    |
| ARC2 LED  | 4W               | 8W             | 1,500                      | 2,000 | 3,000 | 4,000 | 6,500 |

### Ordering Information

**EXAMPLE: ARC2 LED P2 40K MVOLT PE DDBXD**

| Series   | Package         | Color Temperature | Voltage                   | Options   | Finish                           |
|----------|-----------------|-------------------|---------------------------|---|----------------------------------|
| ARC2 LED | P1 1,500 Lumens | 30K 3000K         | MVOLT<br>347 <sup>1</sup> | E4WH Emergency battery backup, CEC compliant (4W, 0°C min) <sup>1</sup>   | DDBXD Dark bronze                |
|          | P2 2,000 Lumens | 40K 4000K         |                           | E8WC Emergency battery backup, CEC compliant (8W, -20°C min) <sup>1</sup>   | DBLXD Black                      |
|          | P3 3,000 Lumens | 50K 5000K         |                           | PE Button type photocell for dusk-to-dawn operation   | DNAXD Natural aluminum           |
|          | P4 4,000 Lumens |                   |                           | DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>2</sup>              | DWHXD White                      |
|          | P5 6,500 Lumens |                   |                           | SPD6KV 6kV surge protection <sup>1</sup>  | DSSXD Sandstone                  |
|          |                 |                   |                           | FAO Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100% <sup>2</sup> | DBBTXD Textured dark bronze      |
|          |                 |                   |                           | LDS18 18" Fixture leads   | DBLBXD Textured black            |
|          |                 |                   |                           |   | DNATXD Textured natural aluminum |
|          |                 |                   |                           |   | DWHGXD Textured white            |
|          |                 |                   |                           |   | DSSTXD Textured sandstone        |

### Accessories

Ordered and shipped separately.

WSB8W DDBXD U

Surface - mounted back box (specify finish)

**OWNER TO SELECT FINISH**

### NOTES

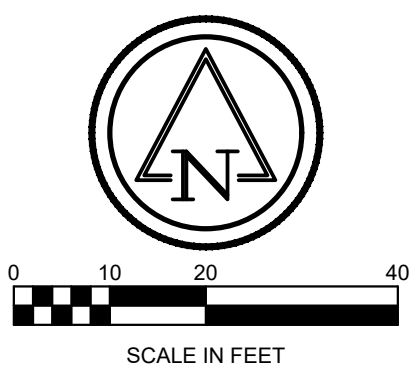
- 347V not available with E4WH, E8WC and SPD6KV.
- FAO not available with DMG.



COMMERCIAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • [www.lithonia.com](http://www.lithonia.com)  
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ARC2 LED  
Rev. 08/27/24



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- GENERAL NOTES:**
- THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH NEC 2017 AND ALL APPLICABLE LOCAL CODES.
  - CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
  - ELECTRICAL CONTRACTOR TO VERIFY AVAILABLE VOLTAGE PRIOR TO ORDERING MATERIAL.
  - CONTROLS ARE NOT PROVIDED AS PART OF THIS WORK. COORDINATE EXTERIOR LIGHTING CONTROLS WITH ENGINEER/CONTRACTOR FOR BUILDING.
  - INSTALL CONDUIT AND CONDUCTORS TO EACH FIXTURE, TYPE AND SIZE DEPENDS ON AVAILABLE VOLTAGE. CONFIRM AVAILABLE VOLTAGE WITH ENGINEER/CONTRACTOR FOR BUILDING.
  - FIXTURES TO BE PROVIDED WITH BUTTON PHOTOCELL FOR DUSK TO DAWN OPERATION.

**LIGHTING PLAN KEYNOTES:**

F1: WALL PACK  
MANUFACTURER: LITHONIA  
MODEL #: ARC2 LED P2 40K  
MOUNTING: 16" 9" WALL  
LUMENS: 2,377  
WATTAGE: 16W

| TOTAL OUTDOOR LIGHT OUTPUT (EXCLUDES EXISTING LAMPS) |          |        |              |
|--|----------|--------|--------------|
| TAG  | QUANTITY | LUMENS | TOTAL LUMENS |
| F-1  | 3        | 2,377  | 7,131        |
|  |          | TOTAL  | 7,131        |

TOTAL SITE ACREAGE: 1.10 AC (47,924 SF)  
PROPOSE BUILDING: 0.46 AC (19,933 SF)  
NET ACREAGE: 0.64 AC (27,991 SF)

LUMENS PER NET ACRE (0.64) = 11,142 LUMENS

CALCULATION POINTS:  
MAX: 2.3 FC  
AVERAGE: 0.7 FC  
MIN: 0.0 FC  
RMS AVG/MIN: 0.25 FC

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**BANCROFT ENGINEERING**

21550 DORAL RD  
WAUKESHA, WISCONSIN

SHEET INDEX

C1.0 CONCEPTUAL SITE PLAN  
A1.1 FLOOR PLAN - ENLARGED  
A1.0 FLOOR PLAN - OVERALL  
A2.0 ELEVATIONS

BUILDING & FIRE AREA  
SQUARE FOOTAGES

| FLOOR AREAS                 | EXISTING    | NEW                   | SUB-TOTAL   |
|-----------------------------|-------------|-----------------------|-------------|
| SECOND FLOOR                | ----- S.F.  | ----- S.F.            | ----- S.F.  |
| FIRST FLOOR                 | 12,280 S.F. | 7,653 S.F.            | 19,933 S.F. |
| CANOPIES (COLUMN SUPPORTED) | ----- S.F.  | ----- S.F.            | ----- S.F.  |
| BASEMENT                    | ----- S.F.  | ----- S.F.            | ----- S.F.  |
| BUILDING AREA SUB-TOTALS    | 12,280 S.F. | 7,653 S.F.            | 19,933 S.F. |
| MEZZANINES                  | 2,410 S.F.  | ----- S.F.            | 2,410 S.F.  |
| FIRE AREA TOTALS            | 14,690 S.F. | 7,653 S.F.            | 22,343 S.F. |
| REMODEL AREA TOTALS         | ----- S.F.  | ---% OF BUILDING AREA |             |

BUILDING CODE ANALYSIS

PROJECT ADDRESS  
21550 Doral Rd, Waukesha, WI 53186

APPLICABLE CODES  
2015 International Building Code (w/ WI Amendments)  
ASHRAE Standard 90.1-2013 or 2015 IECC  
2015 IEBC (Level # Alteration)

OCCUPANCY  
B, F2  
Accessory Use  
Incidental Use  
High-Piled Combustible Storage NO  
Hazardous Materials NO  
Multiple Control Areas NO

HEIGHT & AREA  
Building Height: --"  
Number of Stories: --  
Total Building Area: --- S.F.  
Total Fire Area: --- S.F.  
Mixed Occupancies  
Unlimited Area Building NO  
Maximum Allowed: --"  
Maximum Allowed: --  
Maximum Allowed: 23,000 S.F. (B, F2)  
Maximum Allowed: --- S.F.

CONSTRUCTION TYPE  
Construction Classification 2B  
Fire Separation Distance --"

FIRE PROTECTION SYSTEMS  
Assumed Sprinkler Type --  
Fire Alarm System YES/NO

MEANS OF EGRESS  
Occupant Load --  
Panic Hardware NO

STRUCTURAL DESIGN  
Risk Category --  
Design Loads  
Roof Live Load -- psf  
Walk-on IMP Ceiling Live Load -- psf  
Steel Framing  
Collateral Load -- psf  
Wood Truss  
Top Chord Dead Load -- psf  
Bottom Chord Load -- psf  
Mezzanine/Second Floor/Basemen  
Live Load -- psf  
Point Load (Partition) -- psf  
Snow Load Criteria  
Ground Snow Load (Pg) -- psf  
Exposure Factor (Ce) --  
Thermal Factor (Ct) --  
Wind Loads  
Wind Load -- MPH  
Surface Roughness --  
Exposure Category --  
Earthquake Load Criteria  
Soil Site Class --  
Ss --  
S1 --

PLUMBING SYSTEMS  
Mens WC Required #  
Womens WC Required #  
Drinking Fountain Required #  
Other Source YES/NO  
Ambulatory Stall Required YES/NO

MECHANICAL SYSTEMS  
NO SINGLE PIECE OF EQUIPMENT OVER 400,000 BTU  
NO BOILERS OVER 15PSI AND 10 HORSEPOWER

SITE INFORMATION

SITE CONTENT  
Building Size --- S.F. ---%  
Hard Surface --- S.F. ---%  
Green Space --- S.F. ---%  
Parcel Size (Approx.) 48,539 S.F. 1,1143 Acres  
Parking Provided -- Stalls  
Area of Disturbance --- S.F.

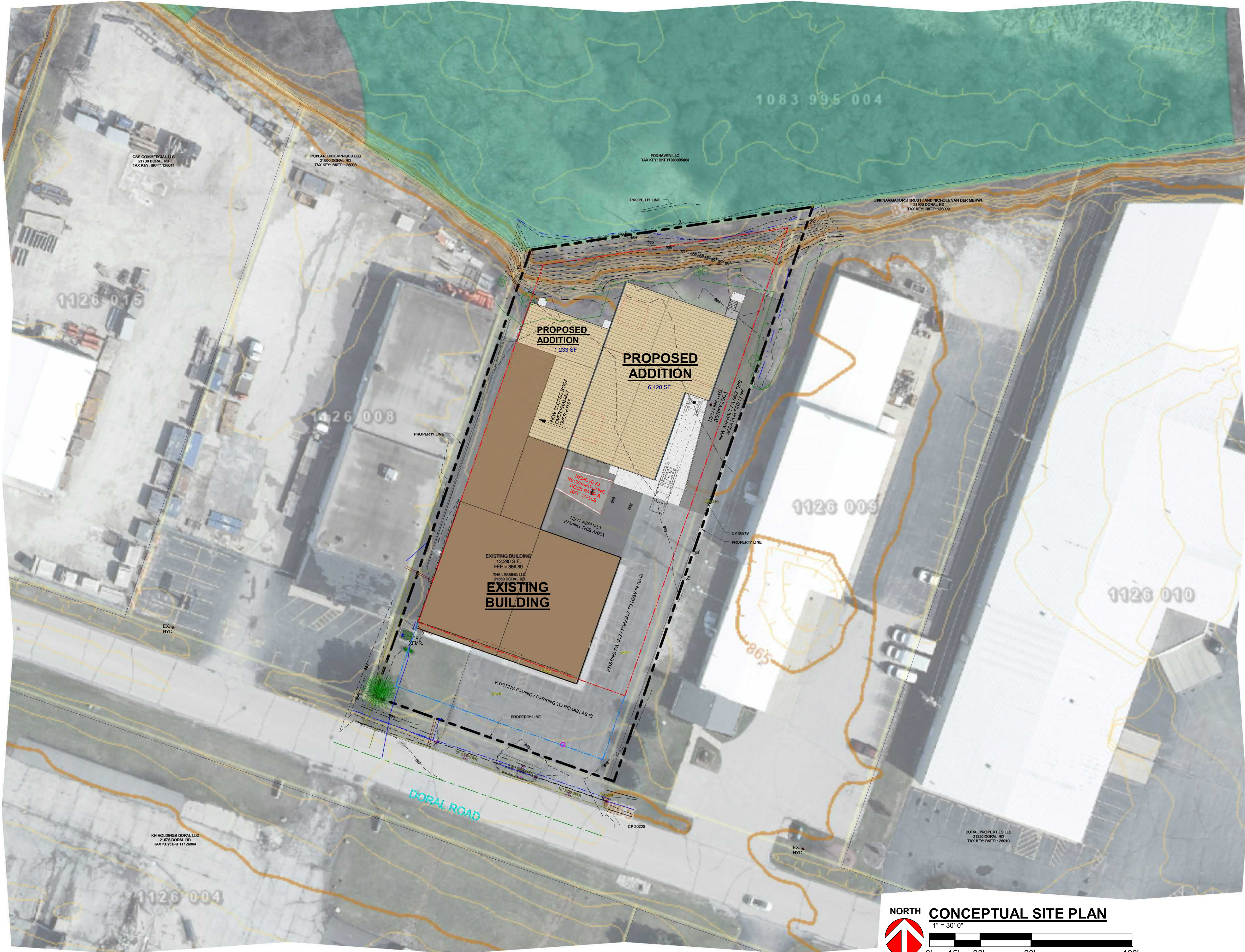
ZONING  
Property Zoning M1  
Setbacks FY 50'-0" SY 10'-0" RY 10'-0"  
Hard Surface Setback 10'-0"  
Coverage Limit --%  
Greenspace Requirement --%  
Parking Required 9x18' (1 STALL PER EMPLOYEE FOR SHIFT W/ MOST EMPLOYEES)  
Refuse Enclosure YES/NO  
RTU SCREENING YES/NO

PROPOSED ADDITION FOR:

BANCROFT ENGINEERING

TOWN OF BROOKFIELD,

WISCONSIN



CONCEPTUAL SITE PLAN

1" = 30'-0"

0' 15' 30' 60' 120'

THE LOT DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN ARE INTERPRETED VALUES. BACKGROUND INFORMATION TAKEN FROM LOCAL GIS DATE. AERIAL IMAGERY AND/OR CLIENT PROVIDED INFORMATION, EASEMENTS, STREAMS AND ROADS ARE APPROXIMATE IN NATURE. FOLLOW UP INVESTIGATION WITH STATE AND LOCAL AUTHORITIES AND/OR WITH CERTIFIED SURVEY MAP DATA WHEN AVAILABLE IS REQUIRED.



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| 3 |            |         |
| 4 |            |         |
| 5 |            |         |
| 6 |            |         |

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INTERIOR DESIGNER:

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EXPEDITOR:

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SUPERVISOR:

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CONTRACT NO:

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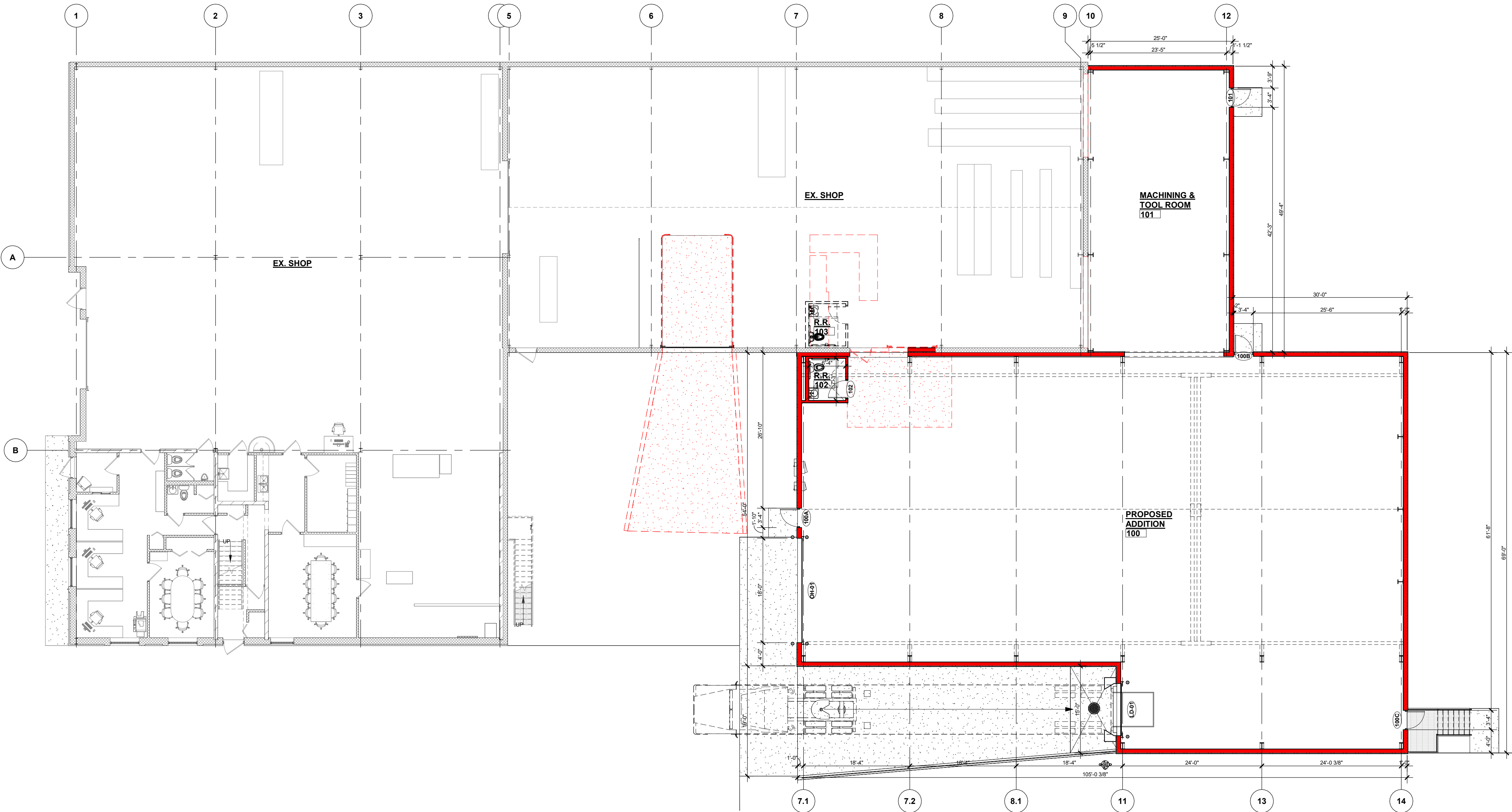
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**FLOOR PLAN - OVERALL**

3/32" = 1'-0"



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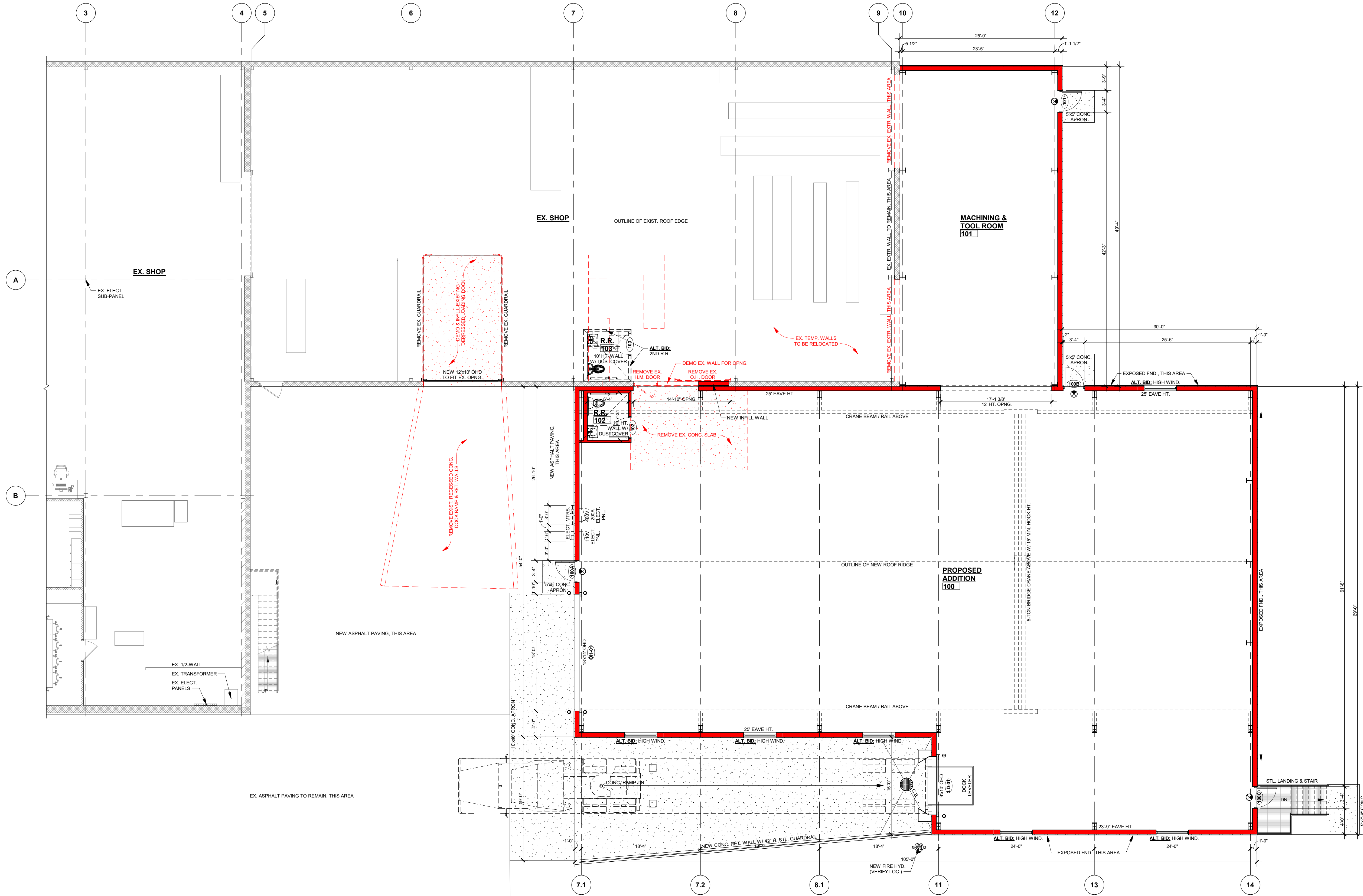
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**FLOOR PLAN - ENLARGED**

1/8" = 1'-0"





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