

Town of Brookfield
645 N. Janacek Road
Brookfield, WI 53045
(P) 262-796-3788
(F) 262-796-0339



MEETING NOTICE

Meeting will be held at the
Town of Brookfield Municipal Building, Eric Gnant Room
645 N. Janacek Road, Brookfield, WI

Wednesday, August 13, 2025

Architectural Review Committee

6:00 p.m.

AGENDA

- 1) Call to Order.
- 2) Meeting Notices.
- 3) Approval of Agenda.
- 4) Approval of Minutes.
 - a. July 7, 2025 Meeting Minutes
- 5) Old Business:
 - a. Review and possible action on three wall signs at 21795 Doral Road (Master Spa and Good Health Sauna). Shaun Relken, Innovative Signs (applicant), KH Holdings Doral LLC (owner).
- 6) New Business:
 - a. Review and possible action on a replacement monument sign at 21051 Watertown Road (The Neighborhood Dentist). Ben Prochnow, Innovative Signs (applicant), Lundanovic Properties LLC (owner).
 - b. Review and possible action on preliminary and final site plan review for KHS Group at 880 Bahcall Court. Erik Madisen, Madisen Maher Architects, (applicant), KHS USA Inc. (owner).
 - c. Review and possible action on preliminary and final site plan review for MLG Capital at 19000 W. Bluemound Road. Eric Nesseth, Stephen Perry Smith Architects (applicant), 19000 HQ LLC (owner).
 - d. Review and possible action on façade changes and two wall signs at 17800 W. Bluemound Road (Revival Boxing, Fitness and Wellness). Rob Miller (applicant) T.F.W. Group, LLC (owner).
- 7) Communication and Announcements.
- 8) Adjourn.

Posted this 8th day of August, 2025

*Rebekah Leto
Town Planner*

TOWN OF BROOKFIELD
ARCHITECTURAL REVIEW COMMITTEE MINUTES
JULY 9, 2025

The regular meeting of the Architectural Review Committee was held in the East Conference Room of the Town Hall, 645 N Janacek Road, Brookfield, WI.

1) CALL TO ORDER

Chairman Dean Pearson called the meeting to order at 6:00 p.m. with the following people present: Town Planner Leto; Town Supervisors John Charlier and Steve Kohlmann; and Committee members, Richard Diercksmeier, and Alan Lee. Committee member Matt Paris was absent.

2) MEETING NOTICES

Planner Leto reported that the meeting was noticed in accordance with Open Meeting Law.

3) APPROVAL OF AGENDA

Motion by Kohlmann to approve the agenda as presented.

Seconded by Charlier.

Motion carried unanimously.

4) APPROVAL OF MINUTES

Motion by Kohlmann to approve the minutes of the June 11, 2025 minutes as presented.

Seconded by Charlier.

Motion carried unanimously.

5) OLD BUSINESS

a. None.

6) NEW BUSINESS

- a. Charley Schalliol (Site Enhancement Services), representing Fidelity Investments, is requesting approval for four wall/building mounted signs and two monument sign tenant panels on a commercial building, located at 20333 Poplar Creek Parkway.

Leto presented the item and provided details from the staff report. Leto clarified that only one sign (Sign A) was on the agenda for action. Mr. Schalliol explained the difference between the previously proposed roof sign and the newly designed sign. He noted that the square footage of the newly designed sign has been reduced from 118.41 sq. ft. to 84.38 sq. ft. and would be on the west elevation between the second and third floors of the building instead of on the roof. The illumination is only within the letters and the green helps the sign pop. Chairman Pearson noted that this proposal includes a lot of signage and questioned if it was necessary to have this sign. Mr. Schalliol explained that Barker Road is higher and slopes down, which along with a fence and a parking lot, makes it more challenging to see the sign that is above the door from further away. Mr. Schalliol clarified that the window dressings were construction coverings and would be removed.

Sign E (monument sign) was reviewed to show the address numerals (600) [at 600 N. Barker Rd] on the revised sign based on the condition of the approval from the June 11, 2025 meeting. Mr. Schalliol clarified the address of the property is 600 Barker Road and not 20300 Poplar Creek Parkway.

Sign F was reviewed to clarify the location of the monument sign, which is to be located west of the ramp.

Motion by Charlier to approve the wall mounted sign and the updated monument sign at 600 N. Barker Road, as presented.

Seconded by Kohlmann.

Motion carried unanimously.

- b. Lisa Burck, (Innovative Signs- Petitioner), representing Master Spas and KH Holdings, is requesting approval for up to six (6) wall mounted signs on a multi-tenant commercial building.

Leto presented the item and provided details from the staff report. Chairman Pearson inquired whether this property has a Master Sign Plan. The representative of the petitioner indicated he did not think so. Chairman Pearson explained a Master Sign Plan and requested that one be completed for this commercial building so that it is clear how much square footage each unit would receive. He also noted that the 15 sq. ft. white cabinet signs were very large for such small logos and there was too much white space. The petitioner indicated that could be changed to opaque vinyl or block cut vinyl. The petitioner clarified that he believes the intention was for the cabinet signs to be illuminated overnight. There was some confusion over which elevation was north and south.

Discussion occurred between the petitioner and the Committee on whether the sign for Unit B should be centered between the width of the interior unit space or if it should be over a window so that every other window would have a sign center over that window, making it symmetrical for the building but not each individual unit. The petitioner showed the Committee a different elevation that was submitted into the record as Exhibit A, showing the signs presented over every other window.

Diercksmeier made a motion to accept the signs as presented, subject to the sign for Unit B being centered over the interior wall space. There was no second.

Lee made a motion to approve the sign as submitted with the modification that signs be placed as shown on Exhibit A as shown elevation presented on Exhibit A.

Seconded by Kohlmann.

Motion carried 4-0, with Diercksmeier abstaining.

Kohlmann made a motion to table the cabinet signs located on the opposite (presumed north) elevation located at 21795 Doral Road until the next scheduled ARC meeting.

Seconded by Charlier.

Motion carried unanimously.

- c. Paul Butler (Bauer Sign and Lighting), representing Raymond James, is requesting approval for one wall mounted sign with channel letters on a multi-tenant commercial building, located at 20800 Swenson Drive.

Leto presented the item and provided details from the staff report, highlighting that there are no other wall signs on that side of the commercial building and that it was proposed to be illuminated. The Code states that illuminated signs should not face residential neighborhoods. Leto noted a residential neighborhood exists to the south, approximately 500 ft. away. Mr. Butler clarified that Raymond James had a significant portion of the top floor (estimated 40%) and they have no signage on the building. They received ownership approval for the sign.

The Committee discussed whether it would be setting a precedent to allow an illuminated sign facing a residential neighborhood. Leto noted that each individual proposal should be reviewed on its own merit based on the surrounding circumstances. The Committee noted there was good vegetative coverage between the building and the residential neighborhood, over 500 ft. of parking lot that includes pole parking lot lighting. Lee asked the petitioner if it was possible to add a timer on the light. The petitioner responded they could add a timer to the light to turn it off at a certain time.

Lee made a motion to approve the sign as presented at 20800 Swenson Drive subject to a timer being installed to turn off the illumination no later than 8:30 pm daily.

Charlier seconded.

Motion carried 4-1, with Kohlmann voting against the motion.

7) COMMUNICATION AND ANNOUNCEMENTS

None.

8) ADJOURN

Motion by Kohlmann to adjourn at 6:46 pm.

Seconded by Charlier.

Motion carried unanimously.

Respectfully submitted,
Rebekah Leto, Town Planner



TOWN OF BROOKFIELD ARCHITECTURAL REVIEW COMMITTEE STAFF REPORT

TO: Town of Brookfield Architectural Review Committee
FROM: Rebekah Leto, AICP, Town Planner
MEETING DATE: August 13, 2025
RE: **August 13, 2025 agenda items**

The following report is provided for cursory review prior to action. Specifics relating to the submitted documents of this application may be referenced in the Meeting Packet distributed by the Clerk.

Agenda item: 5.a

Operator: Master Spa, Good Health Sauna, Tenant A
Applicant: Shaun Relken, Innovation Signs
Owner: KH Holdings Doral LLC
Request: North elevation cabinet signs and Master Sign Program
Location: 21795 Doral Road

Project Description.

On July 9, 2025, the ARC approved the wall signs on the south elevation as shown on Exhibit A submitted at the meeting, which showed the wall signs being centered over/above the 2nd, 4th and 6th windows along the front of the building. The ARC also requested that a Master Sign Program (MSP) be prepared, which has been submitted for review. The ARC did not approve the cabinet signs on the north side of the building, as presented, noting the amount of white was significant for the size of the sign. The applicant has submitted a revised plan showing a significantly larger logo on each 15 sq. ft. sign, as well as a phone number and storeroom address. The signs will still be internally lit and will be centered over each service door. The MSP memorializes the square footage for each space and the building overall, which will accommodate the larger logo and name of Good Health Saunas in the center unit. It also identifies standards for continuity of the signs and notes that each tenant must obtain ARC approval.

Recommendation:

At the discretion of the ARC.

Agenda item: 6.b

Operator: The Neighborhood Dentist
Applicant: Innovative Signs (Ben Prochnow)
Owner: Lundanovic Properties, LLC
Request: Replace freestanding (monument) sign
Location: 21051 Watertown Road

Project Description.

The Neighborhood Dentist has an existing freestanding sign in the southeast corner of the property. The owner is proposing to remove the existing sign and replace in the same location. The sign meets the road setback requirements. The sign will be placed on a 2 ft. raised landscape bed. The base is 5 ft. tall by 10 ft. wide, with the actual sign also being approximately 5 ft. by 10 ft. The maximum display area permitted is 70 sq. ft. per side. Address numerals are located on the base. The white letters and address numerals are LED-backlit. The proposal complies with the Code.

Recommendation

At the discretion of the ARC.

Agenda item: 6.c

Operator: KHS Group
Applicant: Madisen Maher Architects (Erik Madisen)
Owner: KHS USA Inc.
Request: Preliminary and Final Approval for a building expansion (Phase I)
Location: 880 Bahcall Court
Zoning: M-1 Manufacturing District

Project Description.

The 11.8-acre property contains five (5) separate buildings and borders Doral Rd to the north and I-94 to the south. The use of the property is primarily manufacturing and material storage with an office component. The surrounding area consists of other commercial and manufacturing businesses.

KHS is proposing reconfigure and expand the site to accommodate the growth of the business. The expansion will occur in two phases. See enclosed Plan of Operation narrative that outlines specifics of the proposal. The expansion received conceptual approval from the Plan Commission (June) and Town Board (July) and is seeking a combined preliminary and final approval for Phase I from the ARC.

Phase I:

- Demo 7,200+/- sq. ft. of existing office space and construct 24,000 sq. ft. of new office space.
- Construct a black 7 ft. tall open, aluminum fence along the north property line.
- Install swing-up gate at Bahcall Ct entrance and at west drive.
- Relocate existing monument sign to lawn area north of the northern building, west of Bahcall Ct.

Zoning:

	Proposed	Required	Requirement met?
Road Setback (N) Doral Road	205+/- ft.	50 ft. min.	Yes
Road Setback (S) (I-94)	350+/- ft.	50 ft. min.	Yes

Offset (E)	200 ft. +/- ft.	10 ft. min.	Yes
Offset (W)	34.08 ft.	10 ft. min.	Yes
Height	24 ft. 8 in.	45 ft. max	Yes
Floor Area	204,039 sq. ft. (39.6%)	102,877 sq. ft. 20% (min.) 257,194 sq. ft. (50% max)	Yes
Parking	220 spaces (177 existing)	145 spaces (planned workforce for Phase II) (1 space per employee, max shift)	Yes

Building Materials: The materials include smooth metal panel cladding in dark grey/graphite and black anodized aluminum windows with sun shading. The west elevation along Bahcall Court is primarily windows. The south elevation (facing I-94) windows are at least 50% of the façade. Skylights are mounted on the roof.

Lighting: Dark bronze wall mounted LED downcast lights are proposed on the building addition, similar to what is on the 2022 office addition. Along the sidewalk in the front (west) of the building addition, 42" tall LED bollards are proposed in 25 ft. intervals along the sidewalk to provide a lighted path. These have zero up lighting and feature full cut-off luminaire. There are no existing or proposed pole mounted light fixtures. Cut sheets of both are in the packet.

Landscaping: Landscaping has been provided on the east and north sides of the addition, adjacent to the parking areas and includes a mix of deciduous shrubs, evergreen shrubs, ornamental grasses and perennials. Landscaping is also proposed around the relocated sign. See Sheet L100.

Access: Two existing access points to Doral Road will remain unchanged. New swing-up type gates will be installed at both access points that will have cameras and a security intercom linked to the security office. Semi-trucks will utilize the west entry to allow a full-size truck to park clear of the street. Access must be requested from KHS security and the truck will enter through a swing-up type gate.

Additional Site Elements:

- The existing loading dock will be closed and returned to lawn. It is not clear on the site plan where the new loading dock will be, but the applicant previously indicated they intent for it to be relocated on the south portion of the building, facing I-94.
- Existing dumpsters are located in the southwest corner of the site and are screened. They are not proposed to be relocated with this Phase.
- Existing fence is along the west property line. A new 7' tall black aluminum fence will be installed along the north property, outside of the right of way.
- No changes to outdoor storage are proposed with this Phase.

Recommendation

At the discretion of the ARC.

Agenda item: 6.d

Operator: MLG Capital
Applicant: Stephen Perry Smith Architects (Eric Nesseth)
Owner: 19000 HQ LLC (MLG Capital)
Request: Preliminary and Final Approval for building addition
Location: 19000 W. Bluemound Road
Zoning: B-2 Limited General Business District

Project Description

The subject property is 1.74 acres and is located on the north side of Bluemound Road and west of N. Brookfield Road. The site was formerly a Brennan's Market. MLG converted the site in 2018 for use as a real estate investment firm. The site includes the main building, a greenhouse, patio facing Bluemound Road and a detached car port on the west side of the property. During the conceptual phase, the carport was proposed to be reconstructed on the east side of the building. However, that project has been removed from the scope of this proposal.

The petitioner is proposing to remove the carport and construct a one-story "L"-shaped office addition on the west side of the building. The office space will generally be used by transient employees and includes open offices, six enclosed offices, a storage room, conference room and two new bathrooms. An exit door is located on the north side of the addition.

The existing, proposed and required zoning provisions are as follows:

	Existing	Proposed (addition)	Required
Road Setback	54.9 ft.	56.1 ft.	50 ft. min.
Offset (North)	11 ft. (nonconforming)*	47 ft.	15 ft. min.
Offset (East)	136.1 ft.	15 ft.	15 ft. min.
Offset (West)	49.8 ft.	283 ft.	15 ft. min.
Building Footprint	21,221 sq. ft.	25,782 sq. ft. (+4,561 sq. ft.) (33.8%)	11,408 sq. ft. (15% min.) 38,028 sq. ft. max (50%)
Height	26.2 ft.	15 ft.	45 ft. max.
Parking	86 spaces	90 spaces	103 spaces (1 per 250 sq. ft.)

*The building is nonconforming to the north offset. The Ordinance does not allow for additions to occur on buildings that are nonconforming. The applicant has applied for a variance from the Board of Appeals.

Parking: Eight parking spaces underneath the carport will be eliminated. Ten compact parking spaces will be added to the main parking area around the existing sign. Two additional ADA spaces will also be added near the entrance. This results in four additional spaces on site. While the existing site does not have enough parking to satisfy the code requirements, there is a parking easement recorded in the Register of Deeds (Document No. 1451917) that states parking for the subject parcel may have the benefit of utilizing the parking areas of Parcel 1, in common with Galleria and all tenants. The owner has shared that given the nature of their business and employees coming and going, additional parking is not needed. With the shared parking easement, consideration should be given if the parking requirement is satisfied.

Building Materials: The addition is primarily full-depth stone (Halquist stone) with evenly spaced windows with black trim on the west and south sides.

Landscaping: Planting beds with stone mulch and accent boulders are proposed around the addition exterior that will match the existing landscaping. Plants include a variety of shrubs (juniper, honeysuckle and hydrangeas), grass (Feather Reed Grass) and perennials (day lilies and catmint).

Lighting. Downcast LED-sconce lighting is proposed along the exterior elevations that are spaced approximately every 21.5 ft., which is every two windows. The site lighting plan still considers the carport addition. The lighting on the west elevation near the addition appears to exceed the allowed .2 foot candles at the property line. However, an updated plan is required that removes the carport addition.

Ingress/Egress: The northwest entrance to the site will be removed. A fire truck access plan is included in the civil packet (C201).

Other site details:

No loading or unloading spaces.

No exterior dumpsters.

No outdoor storage proposed.

No changes to the signage proposed.

Recommendation.

At the discretion of the ARC.

Agenda item: 6.e

Operator:	Revival Boxing, Fitness and Wellness
Applicant:	Rob Miller
Owner:	TFW Group LLC
Request:	Façade changes and two wall signs (front and rear)
Location:	17800 W. Bluemound Road
Zoning:	B-2 Limited General Business District

Project Description

The property is 3.8 acres and contains a multi-tenant commercial building that consists of mainly restaurants and beauty services. The rear (north) space of this building is in an exposed basement level. The subject tenant space is at the end of the “L” shaped building on the west portion of the site, which was a former Lang department store and a Halloween Express. The existing façade is comprised of a painted light gray brick with white trim, with side by side brick columns to support the covered entry. There are also dormer windows and a cupola. The applicant is proposing exterior changes to the tenant space and signage to accommodate a fitness and wellness center that features circuit training and exercise classes.

South (front) façade (facing Bluemound)

- Black and white color scheme
 - All exterior brick to be painted white
- New windows and doors with black trim.

- Black clad material
- Removal of the cupola and dormer windows.
- The addition of two sets of 6' wide columns to match existing columns. The doors are not currently centered under the roof space. The columns are a way to provide symmetry around the door.

South (front) sign (facing Bluemound)

- Proposing three lines of black lettering applied directly to proposed stucco façade, centered over lobby door
- “Revival” is the largest portion of the sign, with letters 2'-5" tall (51 sq. ft. box)
- “Boxing Fitness” is the second line, with letters 9.5" tall (10 sq. ft. box)
- “+ Wellness” is the third line, with letters 9.5" tall (7 sq. ft. box)
- Total sign area proposed = 68 sq. ft.
- Total sign area permitted = 83.4 sq. ft. (104.25 ft. length of tenant frontage x .8 = 83.4 sq. ft.)
- Illuminated with gooseneck lighting.

North (rear) façade

- Construct 100 sq. ft. covered foyer entry. Doors are centered and flanked with closed sconce lighting.
- Black and white color scheme
 - All existing exterior brick to be painted white
 - Add white stucco to lower portion of facade
- Modifying several windows and doors. New windows and doors in a black clad material. Window modifications include revised location and size of upper level windows and removal of windows on lower level. The applicant is going to install additional landscaping to break up the wall face.

North (rear) sign

- Proposing two lines of black lettering applied directly to stucco façade, centered over lobby door
- “Revival” is the largest portion of the sign, with letters 1'-8" tall (21 sq. ft. box)
- “Wellness” is the second line, with letters 9" tall (6 sq. ft. box)
- Total sign area = 27 sq. ft.
- Total sign area permitted = 102.8 sq. ft. (128.5 length of tenant frontage x .8 = 102.8 sq. ft.)
- Illuminated with gooseneck lighting.

Recommendation:

At the discretion of the ARC. Consideration should be given to the entire building façade. If looking to approve, consider if such approval is subject to an agreement being presented to the Town that identifies the remaining tenants are willing to modify the overall scheme of the building by a date certain.

Town of Brookfield-Master Sign Program

Property Address: 21795 Doral Rd

Current Zoning: M-1 Limited Manufacturing

Tax Key: BKFT1126004

Contact Person: Keith Hueffner, President, Master Spas

Applicant Address: 21795 Doral Rd

City: Waukesha **State:** WI **Zip:** 53188

Intent

This document comprises the Master Sign Program (MSP) for the multi-tenant building located at 21795 Doral Road. The MSP intends to set forth a theme as to placement, square footage, and other related design considerations for signage. No sign shall be erected, placed, painted, or maintained, except in conformance with the MSP. Existing signs will be “grandfathered” in until changes are requested.

**** ALL SIGNAGE MUST BE APPROVED BY THE ARC PRIOR TO INSTALLATION ****

1. Location, Theme, Color & Size Style:

a. *Wall Signs*

See Exhibit 2 – South elevation:

Wall signs on the South elevation shall be centered over/above the 2nd, 4th, and 6th windows: Front or backlit raceway/backer-mounted channel letters. Colors for channel letter faces are subject to Landlord approval. Colors for channel letter cans and trim caps are subject to Landlord approval. Raceway colors are to match the building façade color. This theme provides color continuity with all tenant signage. Maximum projection from the building not to exceed 12”.

See Exhibit 3 – North elevation:

Cabinet signs on the North elevation to be located above the entrance door. All Cabinet box background colors can be opaque or translucent; however, white backgrounds are only allowed with the approval of the ARC board. Maximum projection from the building not to exceed 12”. When refacing the cabinet signs, new faces are subject to Landlord approval and must adhere to the criteria contained within the MSP.

- b. *Traffic Regulatory, Directional, and Informational Signs*** - Traffic Regulatory, Directional and Informational Signs, which include signs such as “Stop”, “No-Parking”, “One-way”, “Fire Lane”, “No Skateboarding”, “Clearance X”, or other legal

notices, etc., but which do not include way-finding signs, may be installed by the owner according to town of Brookfield Sign Ordinance Section 17.08(j).

3. Proposed Size:

- a. *Wall Sign*** – The square footage allowed for each tenant is as follows
 - a. *Tenant A – Allowed 47.6 sqft on the South elevation***
 - b. *Tenant B Allowed 64.8 sqft on the South elevation***
 - c. *Tenant C – Allowed 47.6 sqft on the South elevation***
- b. *North Elevation Cabinet signs***
 - a. *Tenants A, B, and C are allowed to reface the existing cabinet signs in accordance with this MSP.***
 - b. *If new cabinets are needed, they must comply with the square footage and color rules within the MSP***

Exhibits Enclosed:

- 1. Site Plan
- 2. South elevation – Location and Sqft callouts
- 3. North elevation – Location and Sqft callouts

SITE PLAN

OWNER

KH HOLDINGS DORAL, LLC
C/O KEITH HUEFFNER
2138 W. WISCONSIN AVENUE
APPLETON, WI 54914-3115

SHEET KEY NOTES:

- ① STANDARD DUTY ASPHALT; SEE DETAIL A SHEET C6.0
- ② HEAVY DUTY ASPHALT; SEE DETAIL B SHEET C6.0
- ③ CONCRETE PAVEMENT; SEE DETAIL C SHEET C6.0
- ④ CONCRETE CURB & GUTTER; SEE DETAIL D SHEET C6.0
- ⑤ STOOP LOCATION; REFER TO ARCHITECTURAL DRAWINGS
- ⑥ LOADING DOCK RETAINING WALL; REFER TO ARCHITECTURAL DRAWINGS
- ⑦ ADA HANDICAP STALL, SYMBOL; SEE DETAIL E SHEET C6.0
- ⑧ ADA HANDICAP SIGN; SEE DETAIL F SHEET C6.0
- ⑨ BOLLARD; SEE DETAIL G SHEET C6.0
- ⑩ 4" WIDE PAINT STRIPE; COLOR BY OWNER
- ⑪ BIOFILTER CELL; SEE SHEET C4.0
- ⑫ REPLACE ASPHALT IN-KIND
- ⑬ PARKING BLOCK
- ⑭ WALL LIGHT; REFER TO ARCHITECTURAL PLANS
- ⑮ FREESTANDING EMC SIGN
- ⑯ LOADING DOCK RAILING; REFER TO ARCHITECTURAL PLANS
- ⑰ 24" CONCRETE VALLEY GUTTER; SEE DETAIL H SHEET C6.0
- ⑱ STAIRS; REFER TO ARCHITECTURAL PLANS
- ⑲ DUMPSTER PAD; REFER TO ARCHITECTURAL PLANS
- ⑳ DUMPSTER ENCLOSURE; REFER TO ARCHITECTURAL PLANS
- ㉑ 3" GALVANIZED GUARD POST; REFER TO ARCHITECTURAL PLANS

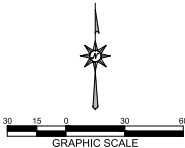
SITE STATISTICS

PARCEL ADDRESS: 21675 DORAL ROAD SUITE B
PARCEL NUMBER: BKFT1126004
PARCEL SIZE: 157,494 SF (3.62 AC)
ZONING: M-1: LIMITED MANUFACTURING DISTRICT

EXISTING SITE
GREEN SPACE: 49,813 SF (31.63%)
IMPERVIOUS AREA
BUILDING: 19,573 SF (12.43%)
PAVEMENT: 88,108 SF (55.94%)
TOTAL IMPERVIOUS: 107,681 SF (68.37%)

PROPOSED SITE
TOTAL DISTURBED AREA: 113,740 SF (2.61 AC)
GREEN SPACE PROVIDED:
IMPERVIOUS AREA
BUILDING: 33,410 SF (21.2%)
PAVEMENT: 53,268 SF (33.8%)
TOTAL IMPERVIOUS: 70,816 SF (45.0%)
124,084 SF (78.8%)

PARKING PROVIDED
PARKING SPACES REQ'D/CALCS: 1 PER EMPLOYEE + 1 PER 5,000 SF
15 EMPLOYEE + 53,268 SF / 5,000 SF = 15 + 11 STALLS = 26 STALLS
29 STALLS, INCLUDES 3 ADA HANDICAP STALLS
PARKING SPACES PROVIDED:



2260 Salschneider Court Green Bay, WI 54313
PH: 920-569-5765; Fax: 920-569-5767
www.mach-iv.com
Project Number: 2148-01-23

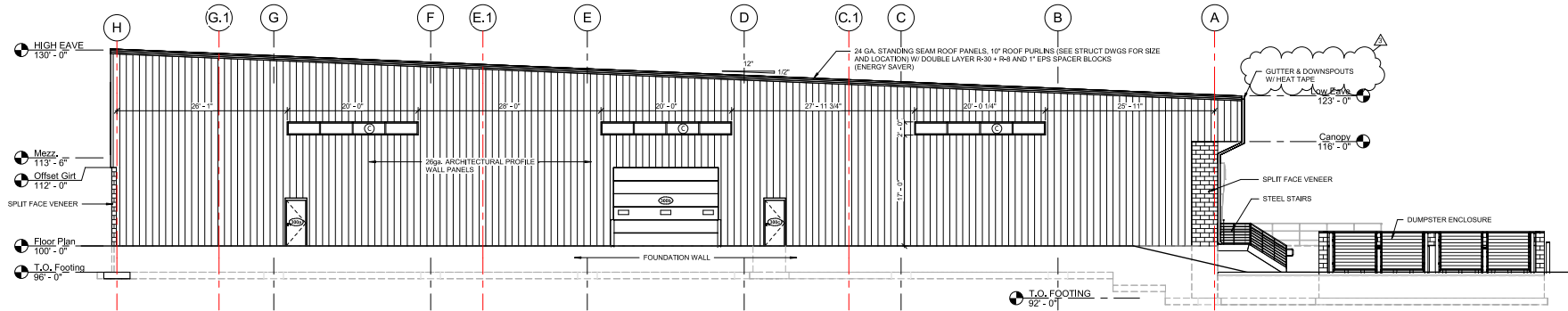


327 RANDOLPH DR. STE. "C"
APPLETON, WI 54913
TEL: 920-707-4226 FAX: 920-240-8072

ADDITION AND ALTERATIONS FOR,
21675 DORAL ROAD
TOWN OF BROOKFIELD, WISCONSIN

DATE: JUNE 3, 2024
ARCH: _____
D. BY: MHP
JOB: 23-003
REV. 1. 8/22/24

C
2.0



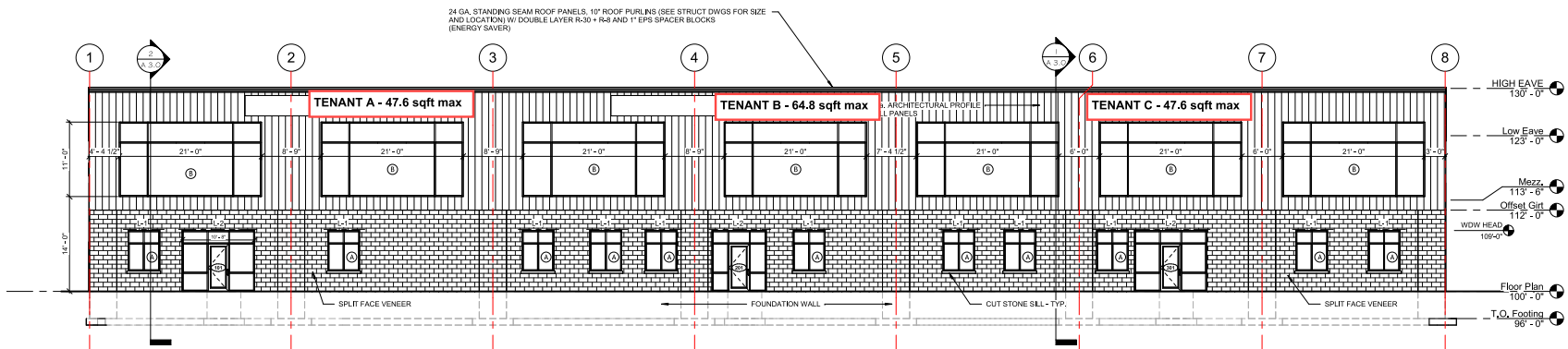
EAST ELEVATION

Scale: 1/8" = 1'-0"

MASON TO PROVIDE/DETERMINE
CONTROL JOINTS LOCATIONS

UNTEL SCHEDULE

L-1 - 6X4X3/8 (LLV) W/ 8" BEARING THE BACK TO GIRT/WALL FRAMING W/ 1/4" TEK SCREWS AT 24" O.C. MAX.
L-2 - 7X4X1/2 (LLV) W/ 8" BEARING THE BACK TO GIRT/WALL FRAMING W/ 1/4" TEK SCREWS AT 24" O.C. MAX.

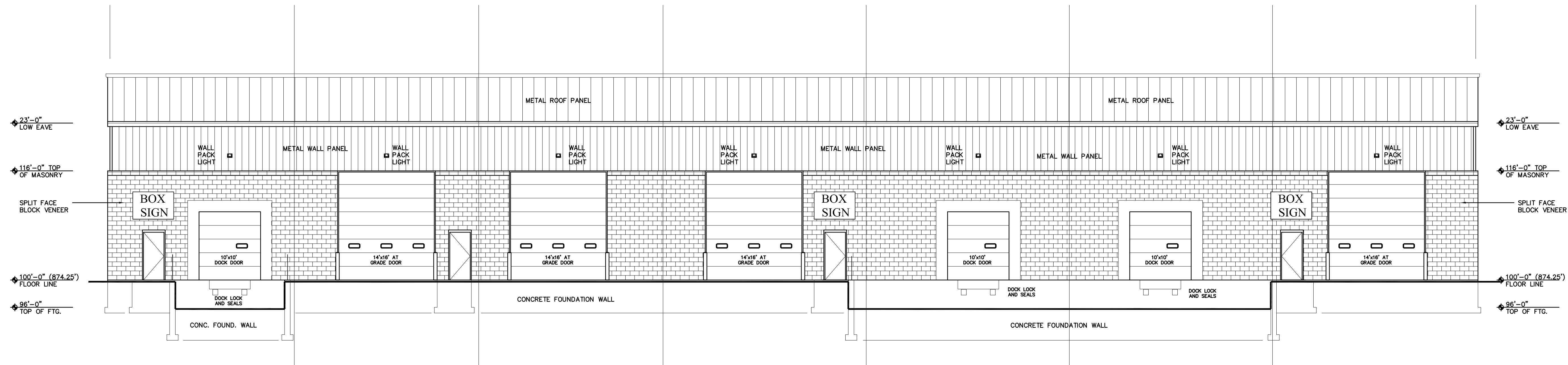


SOUTH ELEVATION

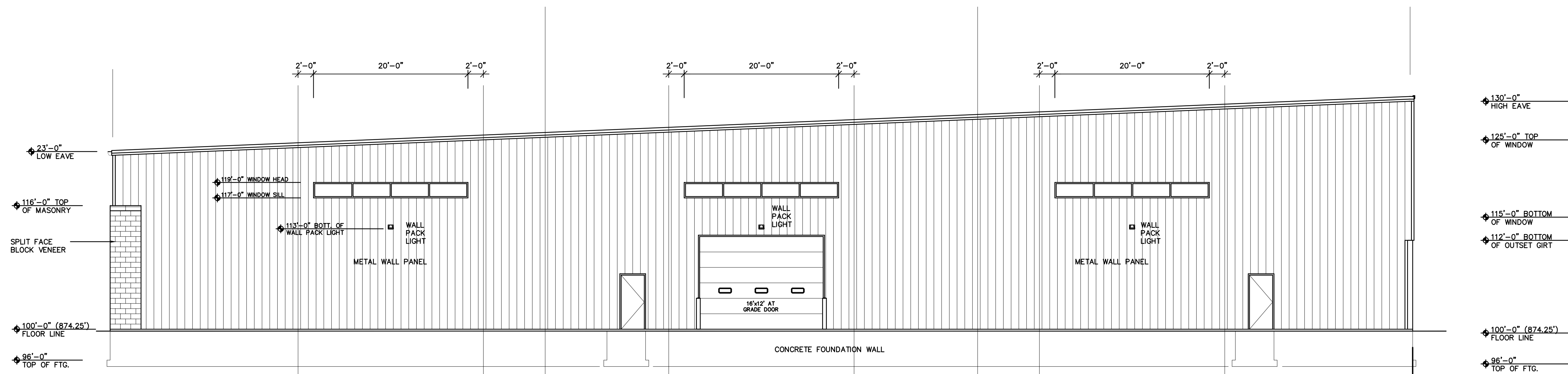
Scale: 1/8" = 1'-0"

DATE: 08/12/18
ARCH: K. SPITAL
D. BY: J. B. B. B.
JOB: 180001
REV: 1
1. 10' HIGH HEAD-UP BRICK WALLS
2. 10' HIGH-CHANGED TO 10' HIGH-CHANGED
3. 10' HIGH-CHANGED TO 10' HIGH-CHANGED
4. 10' HIGH-CHANGED TO 10' HIGH-CHANGED
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9. 10' HIGH-CHANGED TO 10' HIGH-CHANGED
10. 10' HIGH-CHANGED TO 10' HIGH-CHANGED

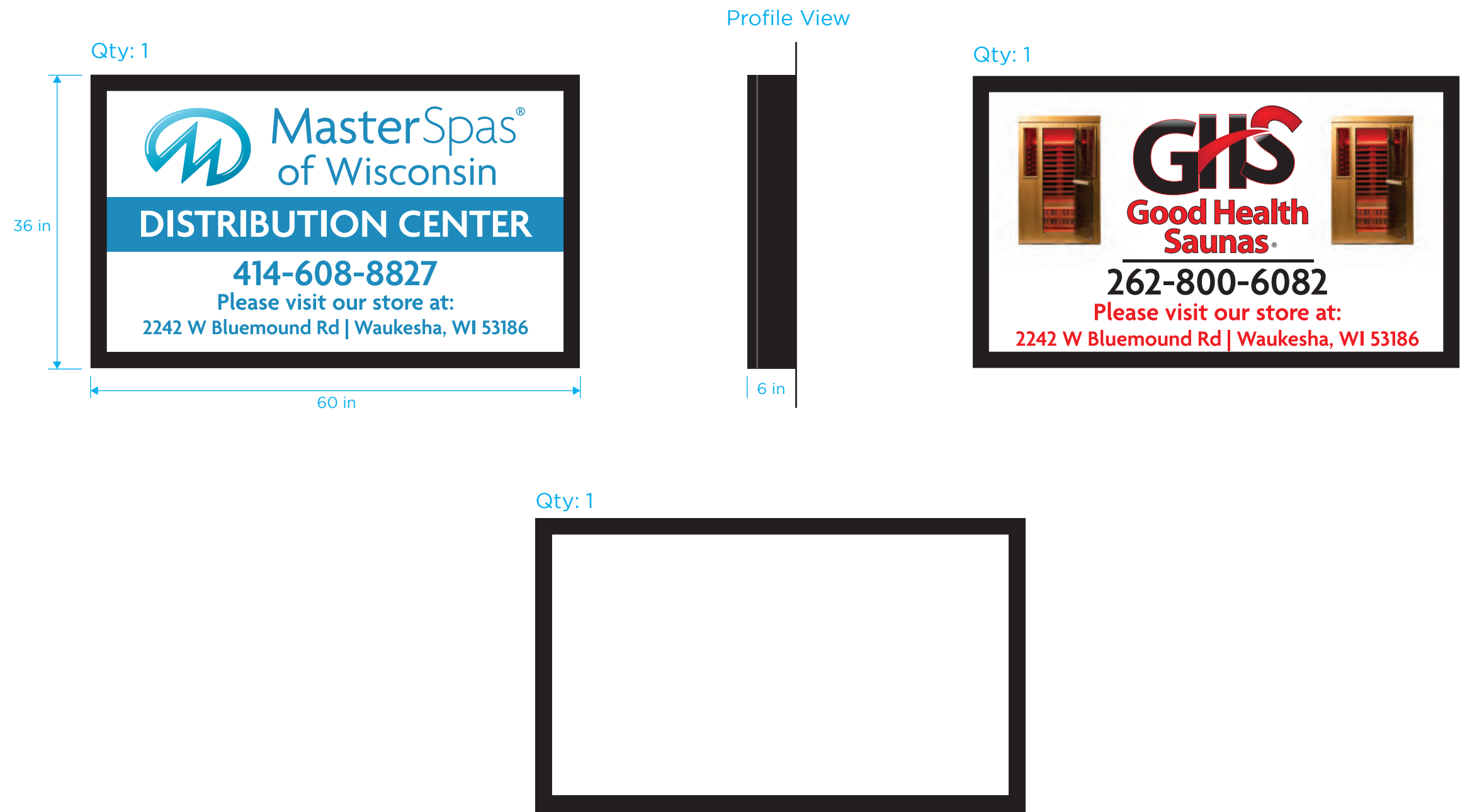
A
2.0



NORTH ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"



Customer	
Master Spas	
Date	Project Manager
7/22/2025	Shaun R.
Order #	Designer
ISI - 15104	Ashlee K.
Materials & Specifics	
Cabinet Box	
- Face lit cabinet box; painted black	
- 7328 white acrylic face	
- Translucent digital print with lamination logos	
Colors	
<div><div></div> Black</div>	
<div><div></div> 7328 White acrylic</div>	
Full Color CMYK	
Revisions	
<div><div></div> Revision 1:</div>	
<div><div></div> Revision 2:</div>	
<div><div></div> Revision 3:</div>	
<div><div></div> Revision 4:</div>	

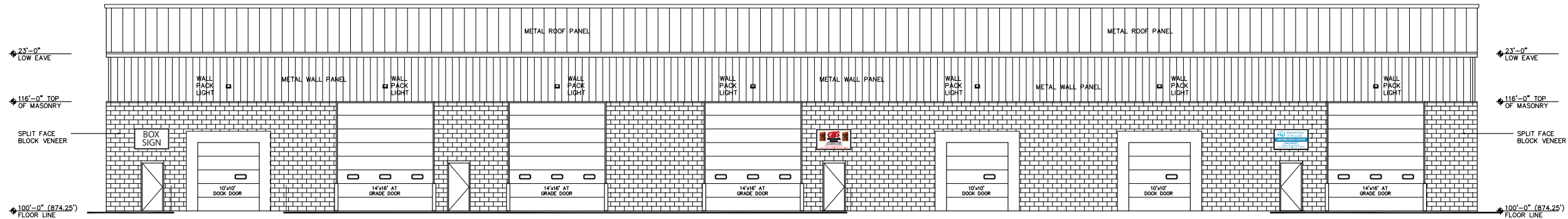
Customer	
Master Spas	
Date	Project Manager
7/22/2025	Shaun R.
Order #	Designer
ISI - 15104	Ashlee K.

Materials & Specifics
Cabinet Box <ul style="list-style-type: none">- Face lit cabinet box; painted black- 7328 white acrylic face- Translucent digital print with lamination logos

Colors
<div><div></div>Black</div> <div><div></div>7328 White acrylic</div> <div>Full Color CMYK</div>

Revisions
<div><input type="checkbox"/> Revision 1:</div> <div><input type="checkbox"/> Revision 2:</div> <div><input type="checkbox"/> Revision 3:</div> <div><input type="checkbox"/> Revision 4:</div>

Day View:



Night View:



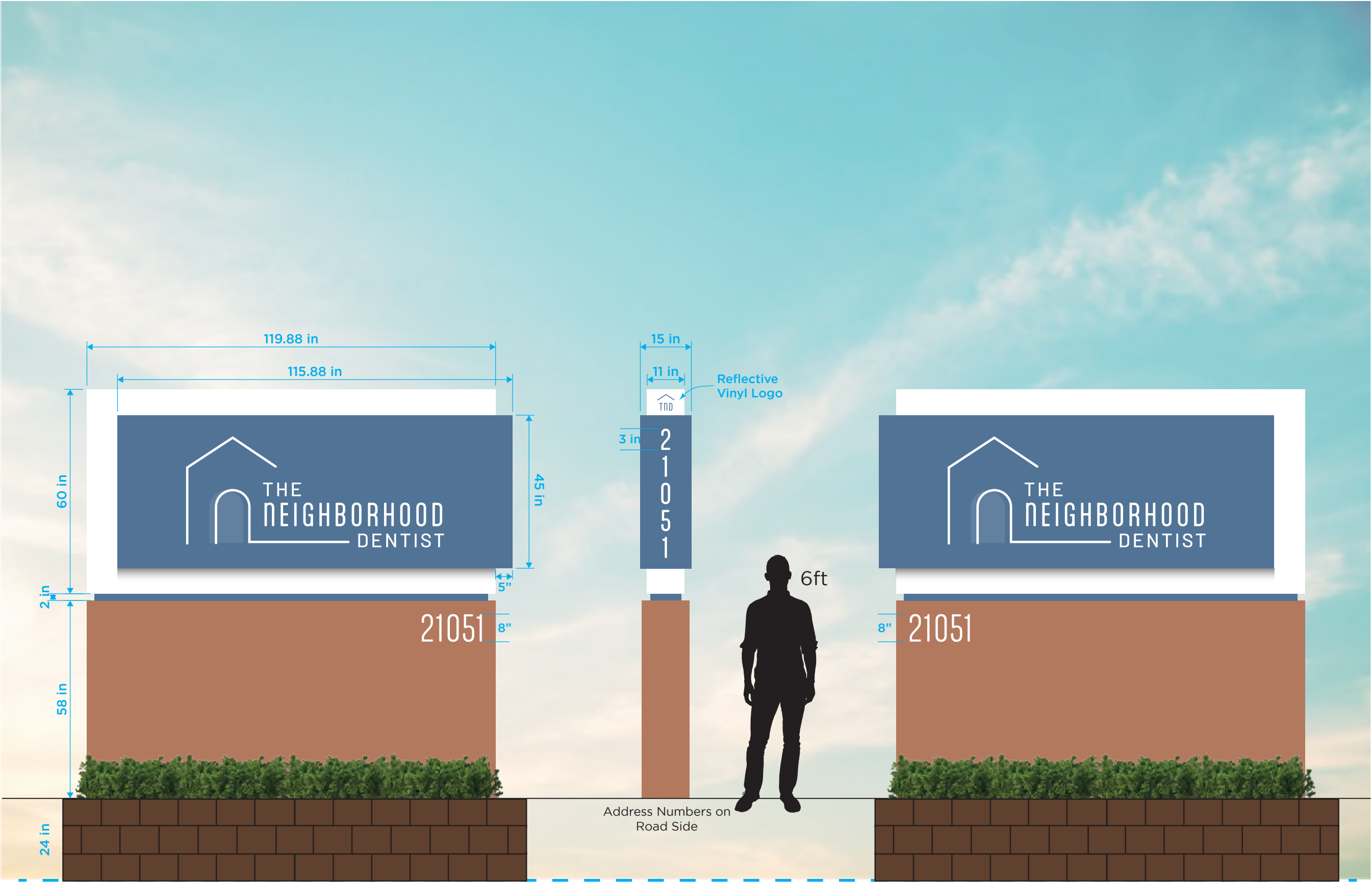


NEW MONUMENT - JUNE 2025



21700 DORAL ROAD
WAUKESHA WI 53186
262.432.1330
www.innovative-signs.com



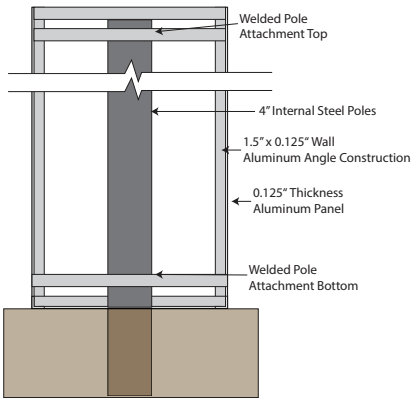


2ft high raised landscaping bed, **DONE BY OTHERS**
using high quality finish material around the base

Final landscape design TBD

Customer	
The Neighborhood Dentist	
Date	Project Manager
07/25/2025	Ben P.
Order #	Designer
EST - 15595	Brian H.
Sides	Mounting
S/S <input type="checkbox"/> D/S <input checked="" type="checkbox"/>	Saddle Mounting

Pole Shape	Pole Size
<input checked="" type="checkbox"/> Square	(1) 4" - 4.0" - O.D
<input type="checkbox"/> Circle	Wall: Sch. 40



- Materials & Specifics**
- Monument Sign**
- 7000k LED
 - Aluminum construction
 - 7328 White acrylic
 - 3M Reflective cut vinyl address
 - Reflective TND logo to best match Pantone 2159c
 - Address to be roadside
 - Fasteners will be visible
 - **Landscape Requirements done by others**

- Colors**
- ☒ Pantone 4265c
 - ☐ White
 - ☒ Pantone 2159c
 - ☐ White acrylic
 - ☐ Reflective White vinyl

Property Line Detail



Day



Night



July 29, 2025

Rebekah Leto
Planning & Zoning
Town of Brookfield
645 N. Janacek Rd.
Brookfield, WI 53045

Re: Project Description/narrative for:
KHS Group
880 Bahcall Ct.
Waukesha, WI 53186

Rebekah:

Below is the project description/narrative for the proposed phased KHS Group Addition(s) located at 880 Bahcall Ct:

Current conditions (Shown on drawing C1.01):

- There are five separate buildings currently located on the 11.8-acre property.
- The property borders Doral Rd. on the north and I-94 on the south.
- The buildings are primarily manufacturing and material storage with an office component.

Proposed Phase I work (Shown on drawing C1.02):

- Two existing office areas totaling approximately 7200 square feet will be demolished to make way for new office areas.
- New office areas will be constructed totaling approximately 24,000 square feet along the east side of Bahcall Ct.
- Construction of a 7' high decorative metal fence along the north property line.
- Swing-up type gates will be located at the entrance to Bahcall Ct. and at the west drive to limit site access.
- The existing KHS monument sign will be relocated to the lawn area north of the 875 Bahcall Ct. building.

Plan of Operation Description:

- Hours of operation: Monday to Friday 6am till 10:00pm
- Saturday 6 am to 2 pm, additional hours occasionally occurring due to workload.
- 125 People today 135 People in Phase I Max, Phase II: 145 People.
- Phase II (future project) will include additional workstations: $20 + 25 = 45$.

Exterior lighting:

- The KHS campus does not have pole mounted light fixtures. Area lighting is achieved through wall mounted light fixtures at each building.
- We are proposing wall-pak LED fixtures similar to the fixtures installed on the 2022 office addition.

- The housing of the wall-pak fixtures will be dark bronze color to match existing, 26-watt light source, 4000k (neutral) color temp and a lumen output of 3738. A data sheet of this fixture is attached.
- Sidewalk lighting around the office entry will be achieved with 42" high bollards with LED light source. The bollards will be dark bronze to match the wall-paks. A data sheet of the bollard fixture is attached.

Site security:

- A 7'-0" high decorative security fence will be constructed along the north property line. An elevation of the fence is shown on sheet A0.41. The fence will be black.
- Currently, the south, and west, property lines are secured with a 6'-0" high chain link fence.
- Visitors will check in at a camera/intercom installation at the visitor gate on Bahcall Ct. and trucks will check in at a camera/intercom installation at the west gate along the west property line.
- All requests for site entry will be routed to the security office located next to the office entry vestibule.

Loading and unloading:

- Truck loading and unloading areas are indicated on the site plan.
- Semi-truck access will be at the west entry where the security fence will be constructed to allow a full-size truck to park clear of the street, request access from KHS security, and enter the site through a swing-up type gate.

Parking:

- Town of Brookfield zoning ordinance calls for 1 parking space per employee at maximum shift.
- Currently, the site has 177 parking spaces, and the maximum shift includes 125 employees.
- Phase I includes 220 parking spaces for a planned workforce of 141 employees.
- The site plan indicates driveway locations and directional arrows indicating traffic circulation.

Outdoor storage areas:

- Outdoor storage areas are located at the back part of the site away from any street views.
- Outdoor storage areas are screened and no additional outdoor storage areas will be added as a result of the office expansion project.
- Garbage screening: Dumpsters are located at the back part of the site away from any street views.
- Photos of outdoor storage and dumpsters are attached for reference.

Landscaping:

- A landscaping plan of the Phase I project area (Office addition) is included in the drawing set.

Proposed project schedule:

- The Phase I work is scheduled to take place during 2025.
- KHS foresees a Phase II project with additional site improvements and a larger addition in the future.

This project reinforces KHS' **commitment** to increase its product portfolio produced at the Town of Brookfield. Please let me know if you have any questions or need additional information.

Respectfully Submitted,



Erik L. Madisen, Principal
Madisen | Maher Architects

ECHELON II

Industrial Ornamental Aluminum Fence



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AMERISTAR®

ASSA ABLOY



ECHELON II[®]

INDUSTRIAL ALUMINUM FENCE



Echelon II is the strongest and most durable aluminum fence available in the industry. The ForeRunner rail design enables this fence to have several attributes uncommon to typical aluminum fences. Echelon II aluminum fence has a unique post design with an internal reinforcing web which increases the strength of the overall fence significantly.

The unrivaled strength and durability of Echelon II is International Building Code (IBC) compliant.

- Exceeds all IBC 2018 Handrail & Guards load requirements
- Standard 8 ft. panels yield project savings
- Unique rail design for strength and maximum load capacity

FORERUNNER® LOCKING SYSTEM

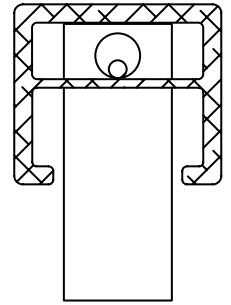
Ameristar engineered the Echelon II ForeRunner rail to maximize strength. The innovative design of the ForeRunner rail contains an internally-secured rod that allows for variable pitch connection and high-angle biasability and eliminates the need for external fasteners.

Increased security

The ForeRunner rail, with an internal retaining rod, prevents the attachment from being compromised. Fasteners are not exposed.

Aesthetic details

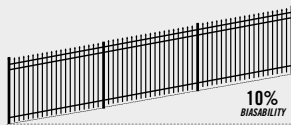
The “Good Neighbor Design” rod follows the ForeRunner centerline, providing a clean and uninterrupted look void of visible screws or rivets.



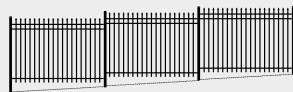
Rail Cross Section

RACKABLE VS STAIR-STEP

Having a unique picket to rail connection allows Echelon products a minimum biasability of 10%, eliminating any possible security risks due to large gaps under the fence panels.



FULLY RACKABLE
PANELS



STAIR-STEPPING
PANELS



GROMMET

Aesthetic appearance while preventing moisture collection

INTERNAL RETAINING ROD

Variable pitch connection system provides ease of installation, high-angle biasability and eliminates unsightly external fasteners

FORERUNNER RAIL

Reengineered for optimal performance and strength

REINFORCED POST

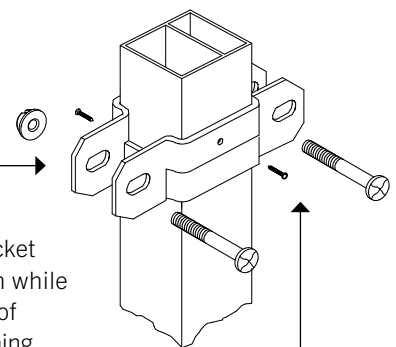
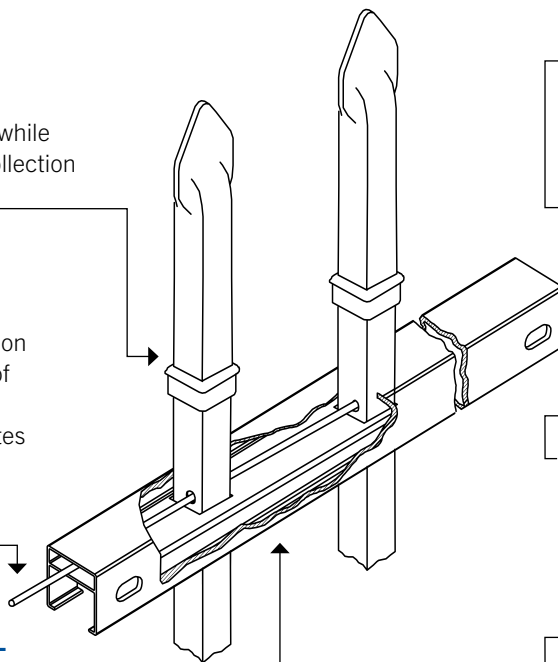
Center rib increases strength against wind loading and other horizontally applied forces

PANEL BRACKET

Universal Boulevard Bracket enables easy installation while allowing for adjustment of panel height and positioning

SECURITY FASTENER

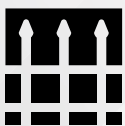
Security fastener secures the rail and deters removal by typical tools



NO RIVETS. NO SCREWS. NO WELDS.



STYLES



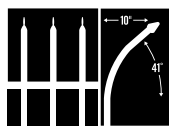
CLASSIC™



MAJESTIC™



GENESIS™



INVINCIBLE™

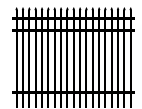
Note: Classic, Majestic, Genesis & Invincible 3- & 4-rail panels are IBC compliant.

BOTTOM OPTION

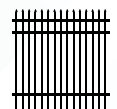


STANDARD
BOTTOM
RAIL

PANEL LENGTH



8' OPTION



6' OPTION

PICKETS

1" SQ. X .062" /
.125" WALL *

* Invincible Only

RAILS

1.75" X 1.75" X (.070" SIDE & TOP WALL)
FORERUNNER® RAILS

POSTS

2.5" SQ X .080"
3" SQ X .125"
4" SQ X .250"

HEIGHTS

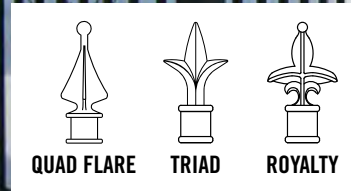
4', 5', 6', 7', 8', 9', 10'



MAJESTIC™



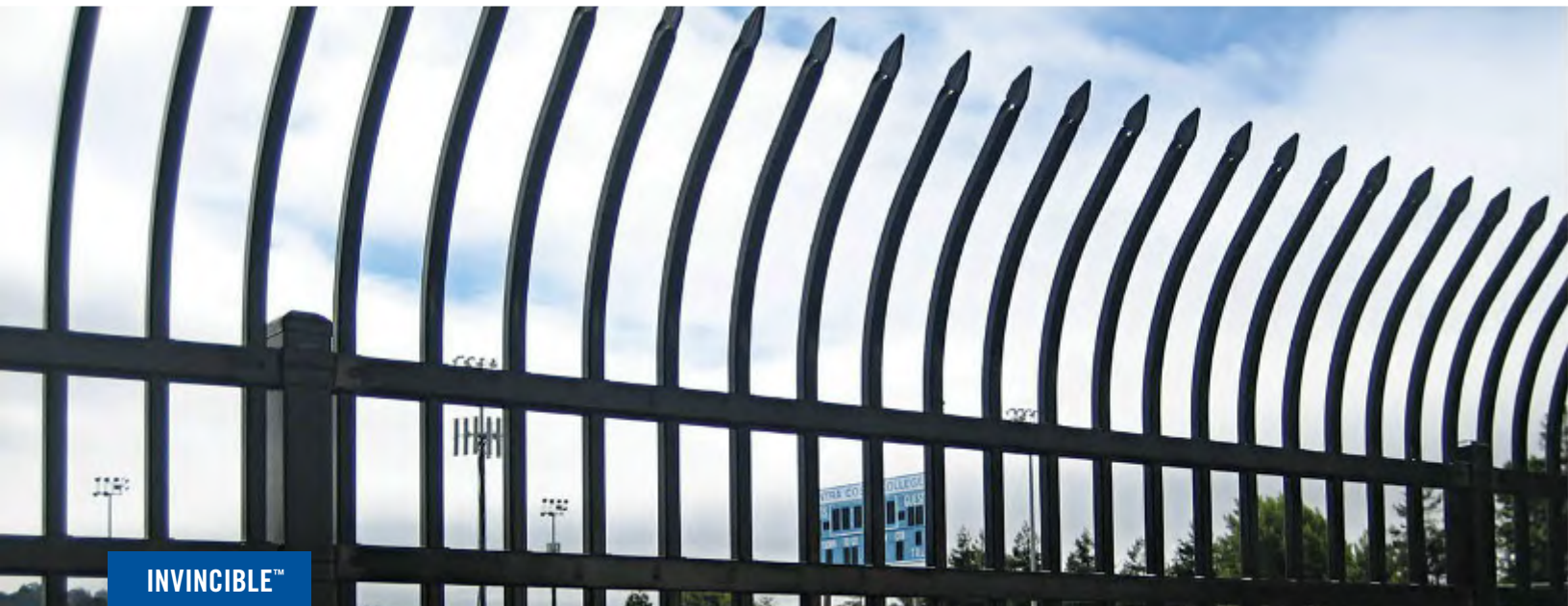
GENESIS™



QUAD FLARE

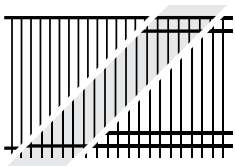
TRIAD

ROYALTY



INVINCIBLE™

PANELS



2-RAIL, 3-RAIL & 4-RAIL PANELS AVAILABLE

Note: 4-rail is standard for heights 8' and over,
3-rail is standard for heights 4' thru 7' &
2-rail is standard for heights 4' thru 6'.

COLORS



BLACK

BRONZE

SAND

WHITE

Custom colors also available.
Refer to color sample for actual color.

ADORNMENTS



BALL CAP



RING
(internally
secured)

POST STRENGTH & SECURITY

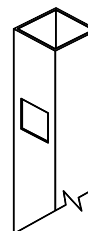
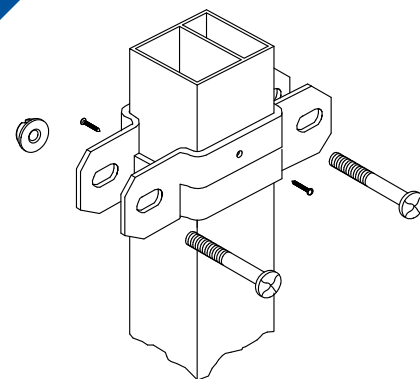
There are many advantages to choosing Echelon II® reinforced posts over standard punched posts made by typical aluminum fence manufacturers.

Echelon II® Posts

- Provide unparalleled strength due to a reinforced web profile design
- Require a single post (non-punched) for all line, end & corner posts (one post)
- Wrap-around brackets are secured to the rail with a tamper proof fastener, ensuring the greatest level of security

Standard Punched Posts

- ✗ Are weakened by removal of material from side-wall, yielding a vulnerable design
- ✗ Require different posts for all line, end & corner posts (multiple posts)
- ✗ The rail is inserted into the post and secured using a single screw — providing no level of security

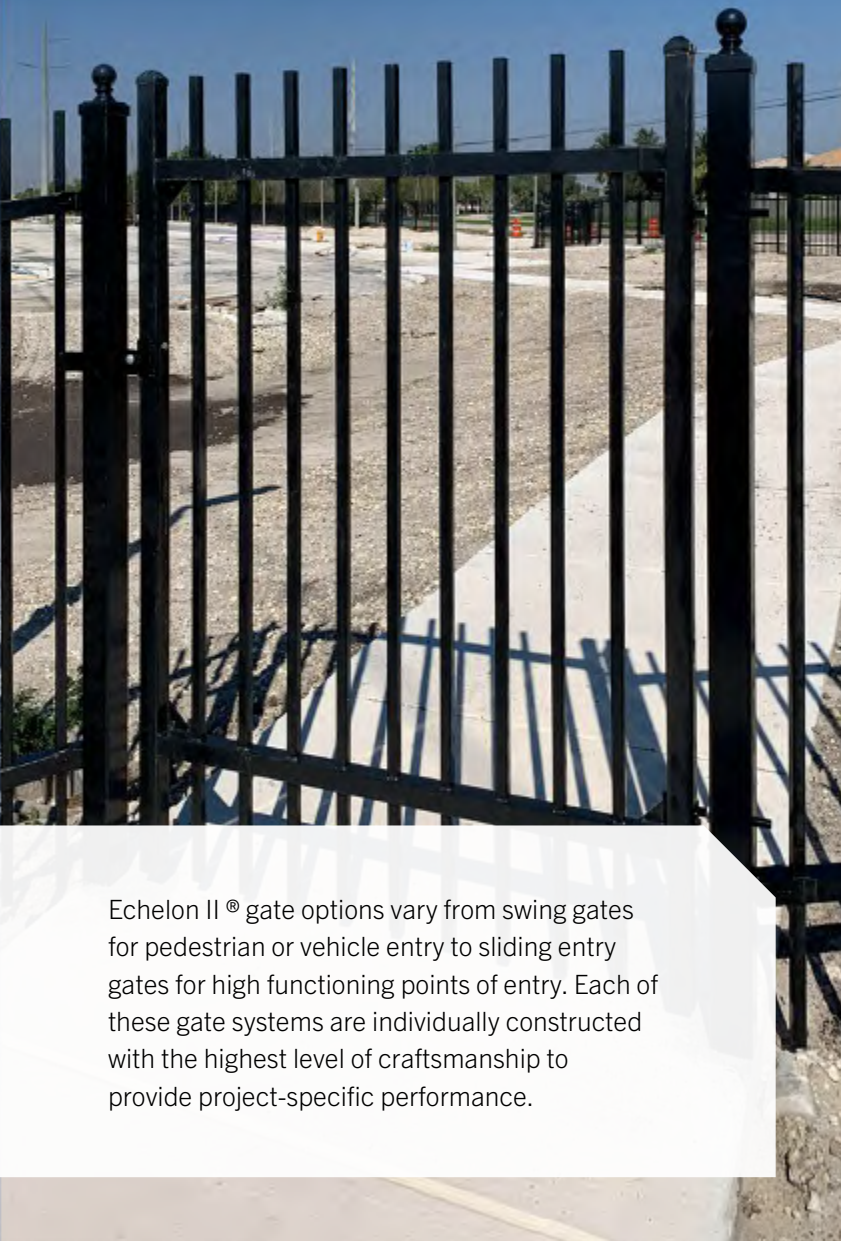


RAIL STRENGTH COMPARISON

STRUCTURAL PARAMETERS		FORERUNNER™ ECHELON II	U-CHANNEL COMPETITORS
Architectural Profile of rail shape. Vertical Design Loads are per rail. <i>(For capacity of fence panel, multiply by number of rails)</i>			
T_{eff} = Effective Wall Thickness <i>(inches)</i>		.070	.100 / .070
S_v = Section Modulus <i>(inches vertical)</i>		.125	.135
S_h = Section Modulus <i>(inches horizontal)</i>		.260	.260
Vertical Load Data PV_f = Ultimate Vertical	6' span	243#	262#
	8' span	182#	182#
Horizontal Load Data PH_f = Ultimate Horizontal	6' span	505#	499#
	8' span	379#	373#
Vertical Load Data* PV_d = Vertical Design Load @ 66° F_y	6' span	145#	145#
	8' span	109#	109#
Horizontal Load Data* PH_d = Horizontal Design Load @ 66° F_y	6' span	303#	299#
	8' span	227#	224#

* Recommended load value for safe structural design / allowable strength = .66° F

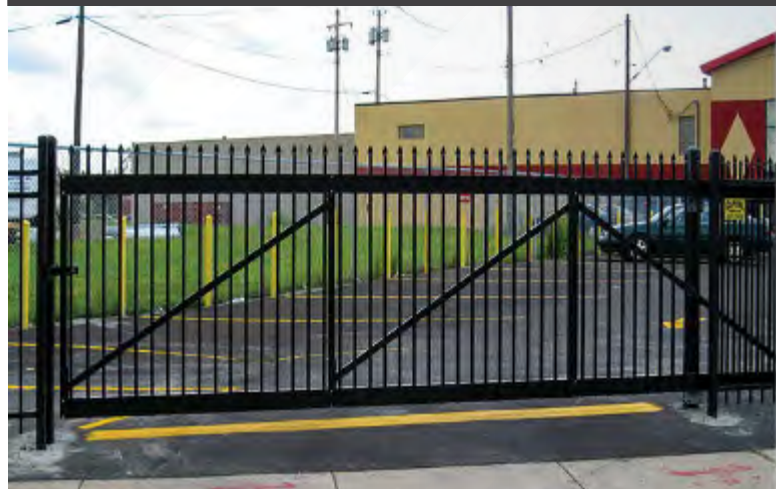
GATE SYSTEMS



Echelon II® gate options vary from swing gates for pedestrian or vehicle entry to sliding entry gates for high functioning points of entry. Each of these gate systems are individually constructed with the highest level of craftsmanship to provide project-specific performance.



SWING GATE



SLIDE GATE



EXODUS GATE

Echelon fence systems are protected to endure the elements and are maintenance free.



Echelon fence systems are backed by over 40 years of excellence in the fencing industry.



Ameristar is committed to providing products that meet the Buy American Act.



Why Choose Ameristar?

KNOWLEDGE AND EXPERIENCE

For over 40 years we've delivered aesthetically pleasing, high-quality and innovative fencing products with superior design strength and easy installation.

PROVEN CAPABILITIES

Our integrated in-house processes, extensive raw materials and finished goods inventory translate into quality, on-time delivery.

INDUSTRY LEADERSHIP

We continually raise the bar in manufacturing customer-focused solutions. Our high standards produce premium products that go beyond merely meeting minimum industry standards.



Scan to learn
more about
Echelon II®



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#9725 | 04/2024

AMERISTAR®
ASSA ABLOY



D-Series LED Bollard



d^{series}

Specifications

Diameter: 8" Round
(20.3 cm)

Height: 42"
(106.7 cm)

Weight (max): 27 lbs
(12.25 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series LED Bollard is a stylish, energy-saving, long-life solution designed to perform the way a bollard should—with zero uplight. An optical leap forward, this full cut-off luminaire will meet the most stringent of lighting codes. The D-Series LED Bollard's rugged construction, durable finish and long-lasting LEDs will provide years of maintenance-free service.

Ordering Information

EXAMPLE: DSXB LED 16C 700 40K SYM MVOLT DDBXD

DSXB LED													
Series	LEDs	Drive current		Color temperature		Distribution		Voltage	Control options	Other options		Finish <i>(required)</i>	
DSXB LED	Asymmetric 12C 12 LEDs ¹	350	350 mA	30K	3000 K	ASY	Asymmetric ¹	MVOLT ⁵	Shipped installed PE Photoelectric cell, button type DMG 00-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ELCW Emergency battery backup ⁶	Shipped installed SF Single fuse (120, 277, 347V) ^{4,7} DF Double fuse (208, 240V) ^{4,7} H24 24" overall height H30 30" overall height H36 36" overall height FG Ground-fault festoon outlet L/AB Without anchor bolts L/AB4 4-bolt retrofit base without anchor bolts ⁸	DWHXD	White	
		450	450 mA ^{3,4}	40K	4000 K	SYM	Symmetric ²	120 ⁵			DNAXD	Natural aluminum	
		530	530 mA	50K	5000 K			208 ⁵			DDBXD	Dark bronze	
	Symmetric 16C 16 LEDs ²	700	700 mA	AMBPC	Amber phosphor converted			240 ⁵			DBLXD	Black	
				AMBLW	Amber limited wavelength ^{3,4}			277 ⁵			DDBTXD	Textured dark bronze	
								347 ⁴			DBLBXD	Textured black	
											DNATXD	Textured natural aluminum	
											DWHGXD	Textured white	

Accessories

Ordered and shipped separately.

MRAB U Anchor bolts for DSXB⁸

NOTES

- 1 Only available in the 12C, ASY version.
- 2 Only available in the 16C, SYM version.
- 3 Only available with 450 AMBLW version.
- 4 Not available with ELCW.
- 5 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options), or photocontrol (PE option).
- 6 Not available with 347V. Not available with fusing. Not available with 450 AMBLW.
- 7 Single fuse (SF) requires 120, 277, or 347 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- 8 MRAB U not available with L/AB4 option.



Performance Data

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual performance may differ as a result of end-user environment and application. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

Light Engines	Drive Current	System Watts	3000 K					4000 K					5000 K					Limited Wavelength Amber				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
Asymmetric (12 LEDs)	350	16	1,194	75	1	0	1	1,283	80	1	0	1	1,291	81	1	0	1					
	530	22	1,719	78	1	0	1	1,847	84	1	0	1	1,859	85	1	0	1					
	700	31	2,173	70	1	0	1	2,335	75	1	0	1	2,349	76	1	0	1					
	Amber 450	16																348	22	1	0	1
Symmetric (16 LEDs)	350	20	1,558	78	1	0	0	1,674	84	1	0	0	1,685	84	1	0	0					
	530	28	2,232	80	2	0	1	2,397	86	2	0	1	2,412	86	2	0	1					
	700	39	2,802	72	2	0	1	3,009	77	2	0	1	3,028	78	2	0	1					
	Amber 450	20																419	21	1	0	1

Note: Available with phosphor-converted amber LED's (nomenclature AMBPC). These LED's produce light with 97+% >530 nm. Output can be calculated by applying a 0.7 factor to 4000 K lumen values and photometric files.

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.00	0.98	0.97	0.95

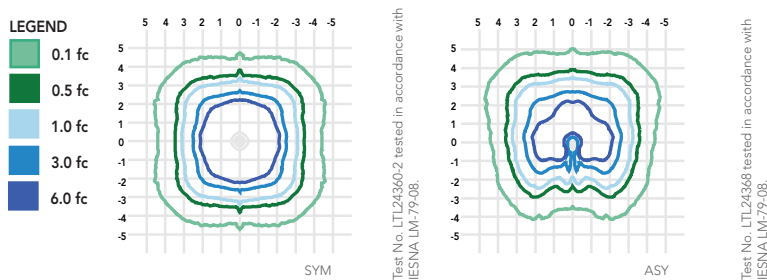
Electrical Load

Light Engines	Drive Current (mA)	System Watts	Current (A)				
			120	208	240	277	347
12C	350	16W	0.158	0.118	0.114	0.109	0.105
	530	22W	0.217	0.146	0.136	0.128	0.118
	700	31W	0.296	0.185	0.168	0.153	0.139
	Amber 450	16W	0.161	0.120	0.115	0.110	0.106
16C	350	20W	0.197	0.137	0.128	0.121	0.114
	530	28W	0.282	0.178	0.162	0.148	0.135
	700	39W	0.385	0.231	0.207	0.185	0.163
	Amber 450	20W	0.199	0.139	0.130	0.123	0.116

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [D-Series Bollard homepage](#).

Isofootcandle plots for the DSXB LED 700 40K. Distances are in units of mounting height (3').



FEATURES & SPECIFICATIONS

INTENDED USE

The rugged construction and maintenance-free performance of the D-Series LED Bollard is ideal for illuminating building entryways, walking paths and pedestrian plazas, as well as any other location requiring a low-mounting-height light source.

CONSTRUCTION

One-piece 8-inch-round extruded aluminum shaft with thick side walls for extreme durability, and die-cast aluminum reflector and top cap. Die-cast aluminum mounting ring allows for easy leveling even in uneven areas and full 360-degree rotation for precise alignment during installation. Three 1/2" x 11" anchor bolts with double nuts and washers and 3-5/8" max. bolt circle template ensure stability. Overall height is 42" standard.

FINISH

Exterior parts are protected by a zinc-infused super durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Two 0% uplight optical distributions are available: symmetrical and asymmetrical. IP66 sealed LED light engine provides smoothly graduated illumination without uplight. Light engines are available in standard 4000 K (>70 CRI) or optional 3000 K (>80 CRI) or 5000 K (67 CRI). Limited-wavelength amber LEDs are also available.

ELECTRICAL

Light engines consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (L95/100,000 hours at 700mA at 25°C). Class 2 electronic drivers are designed for an expected life of 100,000 hours with < 1% failure rate. Electrical components are mounted on a removable power tray.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated. Rated for -40°C minimum ambient. Cold-weather emergency battery backup rated for -20°C minimum ambient.

GOVERNMENT PROCUREMENT

BAA – Buy America(n) Act: Product qualifies as a domestic end product under the Buy American Act as implemented in the FAR and DFARS. Product also qualifies as manufactured in the United States under DOT Buy America regulations.

BABA – Build America Buy America: Product qualifies as produced in the United States under the definitions of the Build America, Buy America Act. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

Five-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





LED 26W Wall packs. patent-pending thermal management system. 100,000 hour L70 lifespan. 5-year, no-compromise warranty.

Color: Bronze

Weight: 7.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.22A
208V	0.13A
240V	0.11A
277V	0.10A
Input Watts	28.9W

LED Info

Watts	26W
Color Temp	4000K (Neutral)
Color Accuracy	70 CRI
L70 Lifespan	100,000 Hours
Lumens	3,738 lm
Efficacy	129.3 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations. Suitable for mounting within 4 ft (1.2m) of the ground.

IP Rating:

Ingress protection rating of IP66 for dust and water

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: P0000175P

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

Equivalent to 150W Metal Halide

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60Hz, 120V: 0.22A, 208V: 0.13A, 240V: 0.11A, 277V 0.10A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

10.02% at 120V, 10.55% at 277V

Power Factor:

98.3% at 120V, 95.4% at 277V

Construction

Finish:

Formulated for high durability and long-lasting color

Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Green Technology:

Mercury and UV free. RoHS-compliant components.

LED Characteristics

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Other

Patents:

The WPLED design is protected by U.S. Pat. D634878, Canada Pat 134878, China Pat. CN3016490645.

5-Year, No-Compromise Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

FTC Country of Origin:

This product was assembled in the USA by RAB using imported components

Buy American Act Compliance:

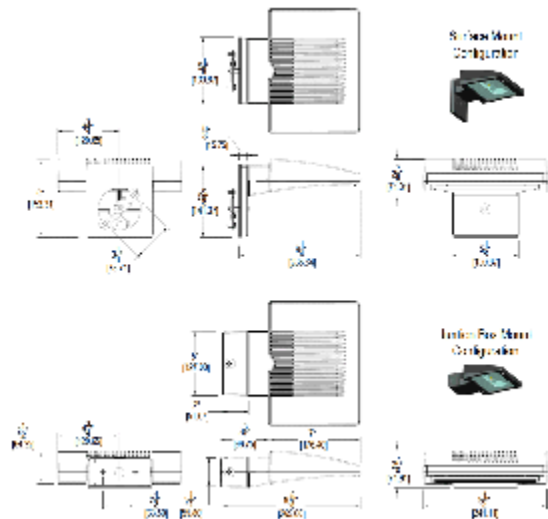
This product complies with the Buy American Act

Technical Specifications (continued)

Optical

BUG Rating:
B1 U0 G0

Dimensions



Features

- High performance LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- 100 up to 277 Volts
- 5-Year, No-Compromise Warranty

KHS USA

880 BAHCALL CT
WAUKESHA, WI 53186

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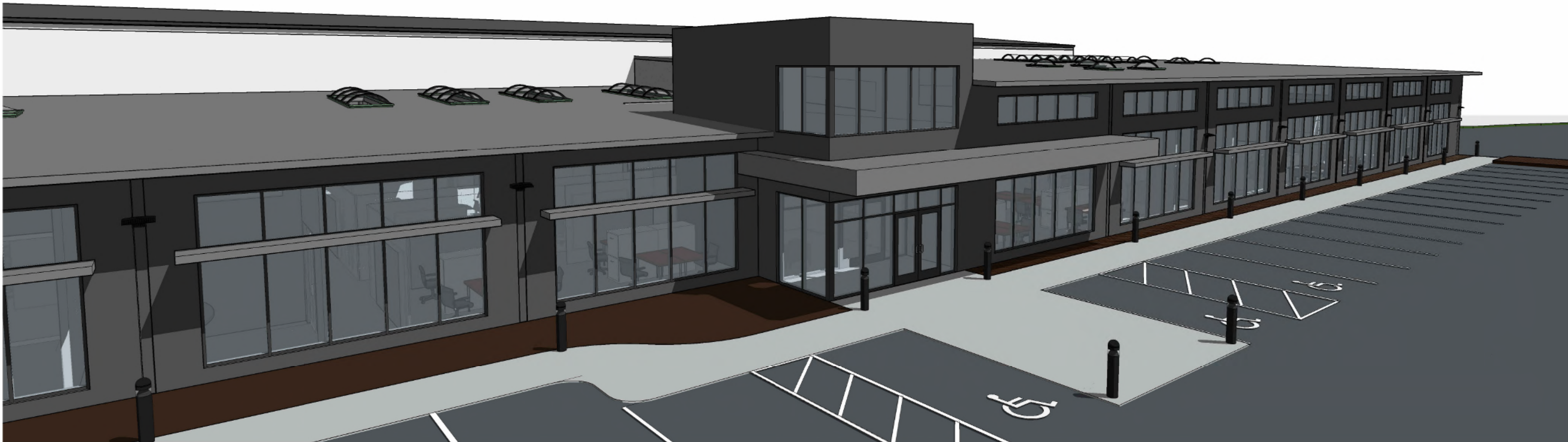
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SHEET INDEX		
NO.	NAME	REV#
A0.00	TITLE SHEET	
A0.40	EXISTING SITE PLAN	
A0.41	SITE PLAN	
U.00	LANDSCAPE PLAN	
P.00	PLAN OF SURVEY	
A1.11	FIRST FLOOR PLAN	
A4.00	EXTERIOR ELEVATIONS	
Z		

CODE ANALYSIS		IBC 2015, IBC 2010	
<u>OCCUPANCY CLASSIFICATION:</u> (IBC 304, IBC 306)	B. BUSINESS F-1, FACTORY	<u>OCCUPANT LOAD:</u>	232 PERSONS
<u>CLASS OF CONSTRUCTION:</u>	IIB	<u>BUSINESS AREAS</u>	205 PERSONS
<u>FIRE PROTECTION:</u> (NFPA 13)	FULLY SPRINKLED	OFFICES, 3,019 SF:	31 PERSONS
<u>PROJECT BUILDING INFORMATION</u>		CUBICLES:	74 PERSONS
NUMBER OF STORIES (ALLOW):	1	TRAINING ROOM, 1,002 SF:	62 SEATS
BUILDING HEIGHT (ALLOW):	24 FT (45 FT)	BREAK ROOM, 1,078 SF:	35 SEATS
EXISTING BUILDING		STORAGE, 612 SF:	3 PERSONS
FIRE AREA A, GROSS:	43,281 SF	FACTORY, 43,018SF - ACTUAL:	27 PERSONS
<u>PROPOSED ADDITION:</u>	24,087 SF	<u>EGRESS WIDTH:</u>	
TOTAL AREA, GROSS:	67,368 SF	REQUIRED:	X"
		PROVIDED:	X"
		OTHER EGRESS COMPONENTS:	X"
		TOTAL WIDTH PROVIDED:	X"
FIRE RESISTANCE RATINGS REQ'D, IIB: (IBC TABLE 601)		EXIT TRAVEL DISTANCE, B:	300'-0"
STRUCTURAL FRAME:	0 HOURS	(IBC 1017.2)	F-1: 250'-0"
EXTERIOR BRG. WALLS:	0 HOURS		
INTERIOR BRG. WALLS:	0 HOURS		
FLOOR CONSTRUCTION:	0 HOURS		
ROOF CONSTRUCTION:	0 HOURS		
		THIS PROJECT, AND THE ROUTE TO IT, IS ALREADY ACCESSIBLE TO INDIVIDUALS WITH DISABILITIES PER CURRENT CODE.	

ZONING INFORMATION		TOWN OF BROOKFIELD
<u>ZONING DESIGNATION:</u> 17.04	M-1, MANUFACTURING	
ALLOWABLE HEIGHT:	45'-0"	
SITE COVERAGE:	STRUCTURES NOT TO EXCEED 50% OF LOT AREA	
FRONT SETBACK:	50'-0"	
SIDE & REAR SETBACK:	10'-0"	
<u>PARKING</u> 17.06(3)	<ol style="list-style-type: none"> 1. PARKING SPACE MINIMUMS: 9'-0" X 18'-0" ACCESSIBLE SPACES: 12'-0" X 18'-0" 2. PARKING LOCATIONS NOT MORE THAN 400'-0" FROM PRINCIPAL USE BUILDING 3. PARKING SURFACE REQUIREMENTS: ASPHALT OR CONCRETE PAVING 4. LANDSCAPING: NOT LESS THAN 5% TOTAL PARKING AREA PARKING AREAS WITH 30 OR MORE VEHICLES REQUIRE LANDSCAPE PENINSULAS/ISLANDS, 170SF MINIMUM 5. SPACES REQUIRED, INDUSTRIAL: 1 PER EMPLOYEE FOR LARGEST WORK SHIFT 6. PARKING SCREENING: REQUIRED IF SITE ADJOINS RESIDENTIAL AREA OR PUBLIC RIGHT-OF-WAY 	



② MAIN ENTRANCE

GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE W/ THE ADA AND THE LATEST EDITION OF THE STANDARD BUILDING CODE AS AMENDED BY THE APPLICABLE STATE, AND ALL OTHER CODES AND BUILDING REQUIREMENTS WHICH APPLY, AS WELL AS, MEET ALL APPLICABLE STANDARDS. IN INSTANCES WHERE SEVERAL DIFFERENT STANDARDS ARE APPLICABLE, THE STRICTEST STANDARD SHALL APPLY UNLESS PROHIBITED BY APPLICABLE LAW.
2. GENERAL CONTRACTOR TO SUPPLY ALL SUBCONTRACTORS WITH A FULL SET OF CONSTRUCTION DOCUMENTS, ALL ADDITIONAL DRAWINGS AND SPECIFICATIONS REQUIRED FOR PERMITS TO BE SUPPLIED BY CONTRACTOR AND SUBCONTRACTORS.
3. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. THE GENERAL CONTRACTOR IS TO VERIFY EXISTENCE OF ASBESTOS-CONTAINING MATERIAL (ACM) AND IS RESPONSIBLE FOR REMOVAL OF ALL ACM. GENERAL CONTRACTOR REPRESENTS THAT CONTRACTOR AND ITS EMPLOYEES ARE TRAINED IN ASBESTOS REMOVAL WITH FULL KNOWLEDGE OF, AND COMPLIANCE WITH, ALL APPLICABLE FEDERAL, STATE, AND LOCAL RULES, REGULATIONS, AND GUIDELINES GOVERNING ASBESTOS REMOVAL. CONTRACTOR MUST FURNISH ALL PERMITS, LABOR, MATERIAL, SERVICES, INSURANCE, TOOLS, EQUIPMENT, AND NOTIFICATIONS IN ACCORDANCE WITH EPA, OSHA, STATE, AND ALL OTHER APPLICABLE AGENCIES TO COMPLETE REMOVAL OF ACM.
4. BIDDING CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE APPLICABLE CONSTRUCTION DOCUMENTS PRIOR TO THE SUBMISSION OF THE BID. IF ANY CONDITIONS OR ISSUES CALL TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE SUBMISSION OF THE BID, THE FAILURE TO DO SO ON THE PART OF THE CONTRACTOR DOES NOT RELIEVE SAID CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE A CORRECT AND FINISHED PRODUCT.

5. THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION/DEVELOPMENT RELATED FEES, INCLUDING BUT NOT LIMITED TO BUILDING PERMIT FEES, HEALTH DEPARTMENT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN HIS BID AND SUBSTANTIATE HOW HE ARRIVED AT THOSE AMOUNTS.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS (UNDER ALL LINES) USED DURING THE CONSTRUCTION PERIOD UNTIL SUCH TIME THAT THE OWNER/TENANT TAKES OCCUPANCY.
7. GENERAL CONTRACTOR SHALL PROVIDE AND PAY FOR A DUMPSTER AND TEMPORARY TOILET FACILITIES (IF TOILET FACILITIES ARE NOT ALREADY ON SITE) FOR THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
8. GENERAL CONTRACTOR SHALL EMPLOY AND SUBCONTRACTORS SHALL PICK UP AND DISPOSE OF DEBRIS ON A DAILY BASIS, INCLUDING ALL ACCESS AREAS.
10. OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIALS STOLEN OR DAMAGED ON SITE.
11. UPON THE COMPLETION OF WORK, GENERAL CONTRACTOR SHALL THOROUGHLY CLEAN THE PREMISES AND WASH THE INSIDE & OUTSIDE OF ALL WINDOWS SO THAT THE SPACE IS READY FOR OCCUPANCY BY OWNER/TENANT. THIS INCLUDES VACUUMING, SWEEPING, DUSTING, AND PICKING UP ALL THE TRASH AND DEBRIS FROM THE CONSTRUCTION.
12. GENERAL CONTRACTOR SHALL WARRANTY ALL PARTS, LABOR, EQUIPMENT AND MATERIAL PROVIDED UNDER THIS CONTRACT FOR A MINIMUM PERIOD OF ONE (1) YEAR, OR AS REQUIRED BY LAW, WHICHEVER IS GREATER.
13. NO SUBSTITUTIONS ARE ALLOWED FOR PRODUCTS WITH A SPECIFIC MANUFACTURER AND MODEL NUMBER UNLESS APPROVED BY OWNER AND ARCHITECT.
14. SUBMIT ANY SHOP DRAWINGS FOR REVIEW BY GENERAL CONTRACTOR FIRST THEN ARCHITECT SECOND.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXISTING UTILITIES SUCH AS: SANITARY AND STORM SEWER, WATER, NATURAL GAS AND ELECTRICAL LINES. CONTRACTOR SHALL VERIFY EXISTING ELECTRICAL SERVICE AND SHALL PROVIDE ADDITIONAL SERVICE AS REQUIRED.

16. MATERIALS SPECIFIED BY THEIR BRAND NAMES ARE TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED FOR APPROVAL TO OWNER AND ARCHITECT.
17. ALL WORK LISTED, SHOWN OR IMPLIED ON THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER REQUIREMENTS.
18. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS A PART OF THE WORK OF THE CONTRACTOR.
19. ALL WOOD TRIM OR OTHER PRE-FINISHED ITEMS SHALL BE TRIMMED TO FIT AND RAW EXPOSED SURFACES SHALL BE STAINED AND FINISHED TO MATCH.
20. ALL DIMENSIONS ADD TO THE FACE OF GYPSUM BOARD (J.N.O.) OR FINISHED MATERIAL OR CENTER LINE OF OBJECT AS SPECIFICALLY NOTED. CONTRACTOR IS RESPONSIBLE FOR LOCATING STUD WALLS ACCORDINGLY.
21. ALL WOOD BLOCKING AND BACKING MATERIALS SHALL BE FIRE RETARDANT TREATED WHEN REQUIRED BY CODE.
22. ALL FINISH MATERIALS SHALL BE CLASS A FLAME SPREAD RATED IN PUBLIC AREAS.
23. GENERAL CONTRACTOR ACCEPTS DELIVERIES OF ALL ITEMS NOTED ON PLANS, WHETHER OR NOT IN CONTRACT, AND IS RESPONSIBLE FOR THE LOSS/DAMAGE OF THESE ITEMS. ADDITIONALLY, GENERAL CONTRACTOR IS TO RECEIVE, UNPACK, INSPECT AND VERIFY QUANTITY, AND CONDITION OF FOIC ITEMS. CONTRACTOR IS TO NOTIFY OWNER OF ANY DISCREPANCIES IN QUANTITY, AND MATERIAL DAMAGE. FAILURE TO DO SO PLACES RESPONSIBILITY FOR ALL ITEMS ON THE GENERAL CONTRACTOR.
24. UPON COMPLETION OF WORK, GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETURN OF ALL MASTER KEY ORIGINALS OR SHALL PAY EXPENSES REQUIRED TO RE-KEY BUILDING.
25. ALL MATERIALS SHALL BE PER FINISH SCHEDULE.
26. GIVE ALL SURPLUS PAINT MATERIALS TO OWNER/OWNER/TEENANT. DO NOT POUR PAINT DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPING.

27. ALL GYPSUM WALL BOARD TO BE MIN. OF 5/8" THICK AND SHALL BE SCREWED TO MIN. 2 1/2" METAL STUDS OR 1 1/2" METAL FURRING @ 24" O.C.. ALL GWB SURFACES TO BE PAINTED SHALL BE TAPED AND SANDED TO A LEVEL 5 FINISH PER ASTM C-840 AND FREE OF ANY DEFECTS PRIOR TO PAINT APPLICATION. ALL GWB SURFACES THAT SHALL BE CONCEALED BEHIND PANELS OR ABOVE THE CEILING SHALL BE LEVEL 2 PER ASTM C-840.
28. APPLICATION OF MATERIALS BY A SUBCONTRACTOR TO EXISTING SURFACES OR PROVIDED UNDER THIS CONTRACT SHALL BE GUARANTEED BY ACCEPTANCE AND SUITABILITY OF EXISTING CONDITIONS. SUCH SUBCONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE AND IRREGULARITIES TO HIS WORK PRODUCT AS A RESULT OF PREVIOUS CONDITIONS.
29. INSTALL INSULATION IN WALLS U.N.O. ALL THERMAL INSULATION SHALL COMPLY WITH STANDARD BUILDING CODE. AS A MINIMUM, VAPOR BARRIERS SHALL HAVE A FLAME-SPEED RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPMENT NOT TO EXCEED 450 OR BETTER AS REQUIRED BY CODE. OCCUPANCY AND CONSTRUCTION TYPE. ONE PERM VAPOR BARRIERS SHALL BE INSTALLED ON THE WARM SIDE IN ALL WALLS AND CEILINGS AS REQUIRED BY CODE.
30. PROVIDE DRAFT/FIRE STOPS AS REQUIRED BY GOVERNING CODES AND OFFICIALS.
31. GENERAL CONTRACTOR TO PROVIDE MECHANICAL AND ELECTRICAL AS-BUILTS, ALL WARRANTIES, AND OPERATING MANUALS. TO LANDLORD, OWNER/TENANT WITHIN TWO (2) WEEKS OF COMPLETION OF WORK.
32. PLUMBING, ELECTRICAL, AND HVAC SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED. THE ABOVE SUBCONTRACTORS SHALL OBTAIN THEIR OWN PERMITS.
33. PROVIDE SMOKE DETECTORS, FIRE SPRINKLER SYSTEMS, AND FIRE EXTINGUISHERS PER LOCAL FIRE MARSHAL'S AND CODE REQUIREMENTS.
34. PROVIDE AND INSTALL ALL REQUIRED CEILING MOUNTED EXIT SIGNS ABOVE ALL REQUIRED EXITS.
35. ALL FURNITURE, FIXTURES, EQUIPMENT ARE TO BE PROVIDED BY THE OWNER/TENANT UNLESS NOTED.
36. PROVIDE ALL "HANDICAP" RELATED SIGNAGE AS REQUIRED PER APPLICABLE CODES AND LAWS.

NOT FOR CONSTRUCTION

PROJECT NUMBER	25-012
START DATE	23-12-11
DRAWN BY	Author
CHECKED BY	Checker

TITLE SHEET

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ARCHITECTS
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A PROPOSED OFFICE
ADDITION FOR:

KHS USA, INC.

880 BAHCALL CT.
WAUKESHA, WI 53186

CLIENT:
KHS GROUP
880 BAHCALL CT.
WAUKESHA, WI 53186

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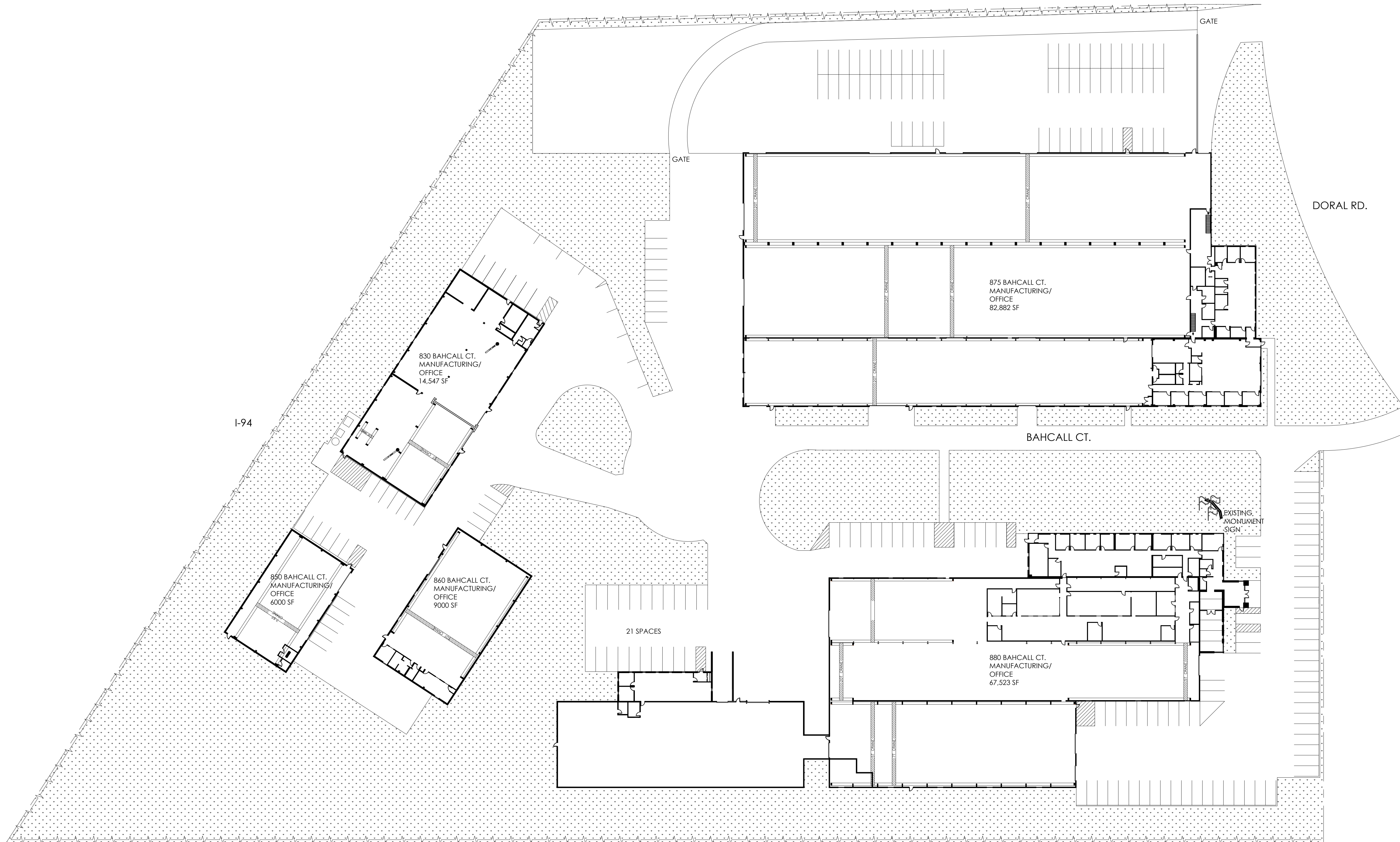
DATE	ISSUED SET
12-11-23	PROJECT START
7-29-25	PLAN COMMISSION SUBMITTAL

PROJECT NUMBER	25-012
START DATE	06-10-2025
DRAWN BY	ELM
CHECKED BY	ELM

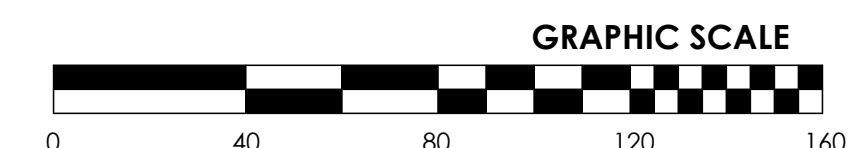
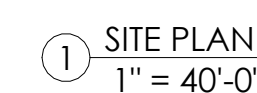
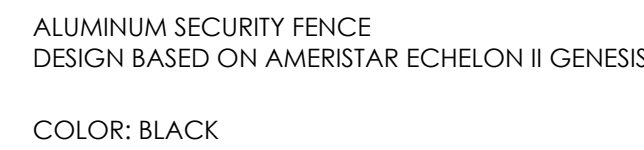
EXISTING
SITE PLAN

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JULY 29, 2025



NOT FOR CONSTRUCTION



SITE PLAN INFORMATION			
ZONING DESIGNATION: M1, MANUFACTURING			
EXISTING SITE AREAS:			
PARCEL A:	190,110 SF	4.36 ACRES	
PARCEL B:	324,278 SF	7.44 ACRES	
TOTAL:	514,388 SF	11.8 ACRES	
ALLOWABLE SITE COVERAGE, BUILDINGS:			50%
PROPOSED COVERAGE, BUILDINGS:	204,039 SF	39.6%	
PROPOSED COVERAGE, PARKING:	191,355 SF	37.2%	
TOTAL COVERAGE:	388,422 SF	75.5%	
REQ'D PARKING:	1 SPACE PER EMPLOYEE, MAX SHIFT 141 SPACES		
PARKING PROVIDED	220 SPACES		

NOTE: EXISTING HYDRANTS AND STREET
MANHOLES TO BE RELOCATED AS REQUIRED

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MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

PROPOSED ADDITION TO :

KHS USA



880 BAHCALL CT
WAUKESHA, WI 53186

CLIENT
KHS USA INC

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DATE	REV	ISSUE
12-11-23	#	PROJECT START
07-29-25		PLAN COMMISSION SUBMITTAL

PROJECT NUMBER	25-012
START DATE	23-12-11
DRAWN BY	Author
CHECKED BY	Checker

SITE PLAN

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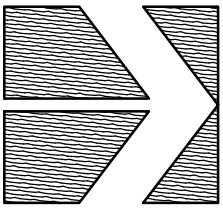
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GENERAL LANDSCAPE NOTES

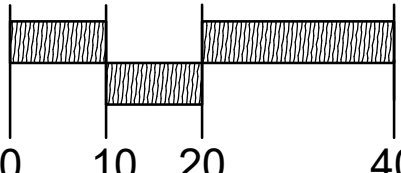
1. Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
2. Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
3. All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
4. Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
5. Topsoil shall be placed to meet proposed finished grade. Planting islands to be backfilled with clean topsoil free of debris (per note below) to a minimum depth of 18" by general / grading contractor to insure long term plant health. All other landscaped areas to receive a minimum depth of 12" of clean topsoil (per note below).
6. Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
7. Planting beds and parking lot islands: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds and parking lot islands may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting islands and planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
8. Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
9. Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
10. Mulching: all shrub planting beds to receive a 3" deep layer of high-quality shredded hardwood bark mulch (not enviromulch or wood chips). Mulch shall be uniform in size, color, quality and overall appearance. Mulch shall be free of debris, large wood chunks, soil, rocks, weeds, invasive plant parts or seeds and any other material injurious to plant growth. All perennial and ornamental grass planting areas to receive a 2" layer and groundcover areas a 1-2" layer of the same mulch. Do not mulch annual flower beds (if applicable). Do not allow mulch to contact plant stems and tree trunks.
11. Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
12. Plant bed preparation: the soil in all perennial and ornamental grass areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
13. Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
14. Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
15. Seed mix for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
16. Lawn installation for all sodded turfgrass areas: remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
17. The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all shrubs, evergreens, perennials, ornamental grasses, and seeded turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
18. Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
19. Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT	SPACING	MATURE SIZE
DECIDUOUS SHRUBS							
SDN	3	Nikko Slender Deutzia	Deutzia gracilis 'Nikko'	15' HT	CONT	Spacing as shown	2' x 4'
LR	31	Kodiak® Orange Diervilla	Diervilla x 'GZX8544'	15' HT	CONT	Spacing as shown	3.5' x 3.5'
HT	21	Fire Light Tidbit® Hydrangea	Hydrangea paniculata 'SMNHPK'	15' HT	CONT	Spacing as shown	2.5' x 3'
BBH	15	BoBo® Hydrangea	Hydrangea paniculata 'ILVOBO'	18" HT	CONT	Spacing as shown	3' x 3.5'
EVERGREEN SHRUBS							
TSY	23	Tauton Yew	Taxus x media 'Tauntoni'	18" HT	B&B	Spacing as shown	4' x 6'
ORNAMENTAL GRASSES							
CA4	60	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	CONT	24" Spacing	5' x 2'
PERENNIALS							
H4	27	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	1 GAL	POT	18" Spacing	1.5' x 1.5'
NN	88	Junior Walker™ Catmint	Nepeta x faassenii 'Novaeangl'	1 GAL	POT	24" Spacing	1.5' x 2.5'



NORTH



GRAPHIC SCALE



Know what's below.
Call before you dig.

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DATE	DESCRIPTION
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16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com



Brookfield, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

KHS ADDITION
TOWN OF BROOKFIELD
SITE LANDSCAPE PLAN

© COPYRIGHT 2025 R.A. Smith, Inc.
DATE: 07/28/2025
SCALE: 1" = 20'
JOB NO. 3250161
PROJECT MANAGER: ROB WILLIAMS
DESIGNED BY: REW
CHECKED BY: REW
SHEET NUMBER
L100



LEGAL DESCRIPTION:

LOT 1 OF CERTIFIED SURVEY MAP NO. 12345 AND THAT VACATED PORTION OF BAHCALL COURT, BEING PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 7 NORTH, RANGE 20 EAST, IN THE TOWN OF BROOKFIELD, WAUKESHA COUNTY, WISCONSIN,
CONTAINING: 560,299 SQUARE FEET OR 12.863 ACRES.

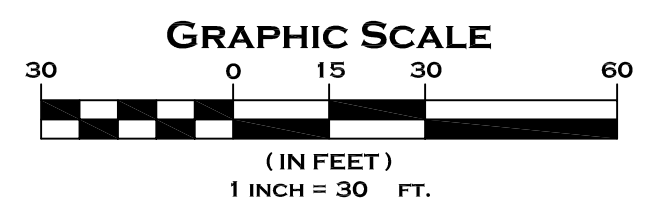
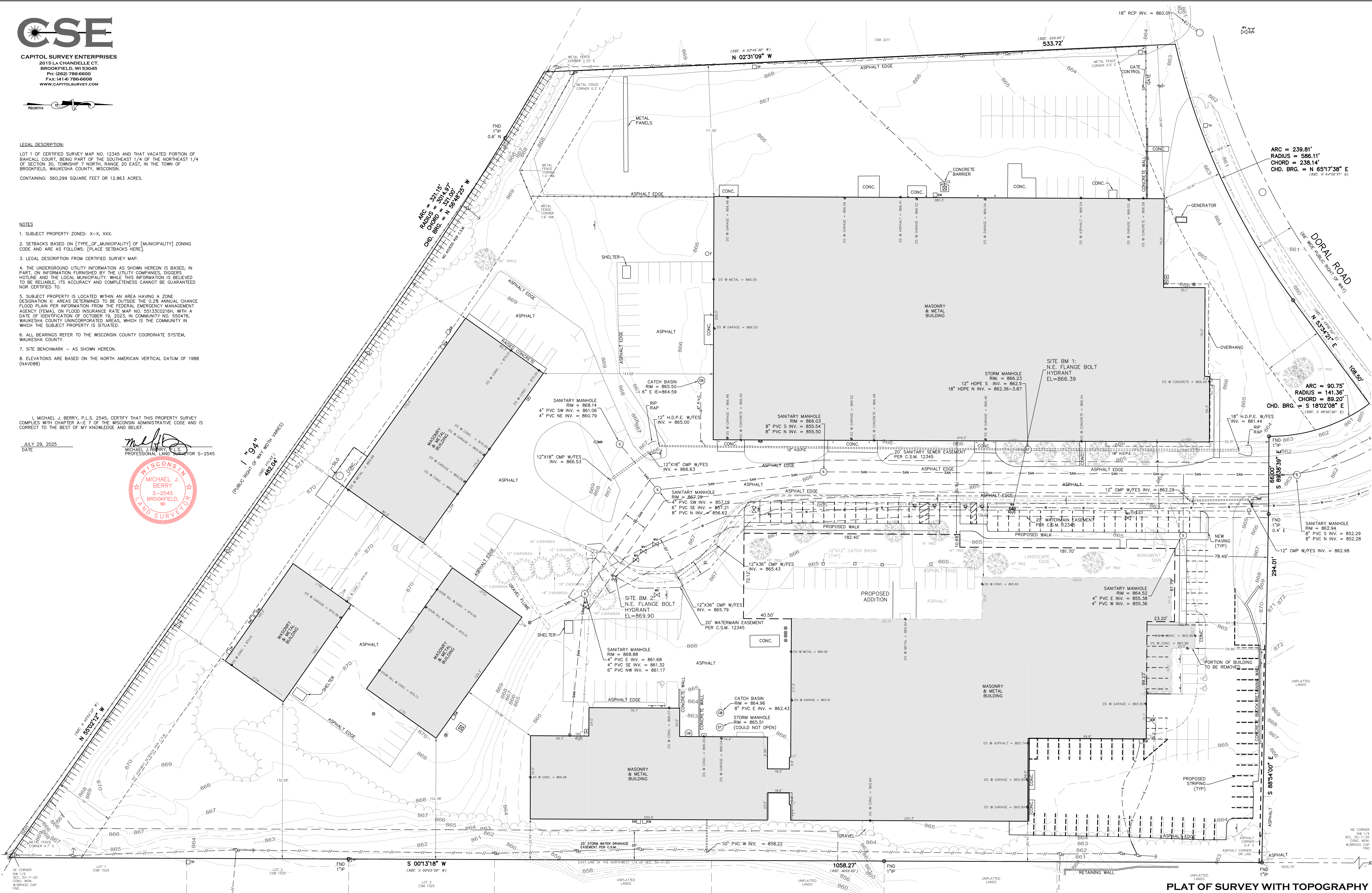
NOTES

- SUBJECT PROPERTY ZONED: X-X, XXX.
- SETBACKS BASED ON [TYPE_OF_MUNICIPALITY] OF [MUNICIPALITY] ZONING CODE AND ARE AS FOLLOWS: [PLACE SETBACKS HERE].
- LEGAL DESCRIPTION FROM CERTIFIED SURVEY MAP.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 5513302016H, WITH A DATE OF IDENTIFICATION OF OCTOBER 19, 2023, IN COMMUNITY NO. 550476, WAUKESHA COUNTY UNINCORPORATED AREAS, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
- ALL BEARINGS REFER TO THE WISCONSIN COUNTY COORDINATE SYSTEM, WAUKESHA COUNTY.
- SITE BENCHMARK - AS SHOWN HEREON.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

I, MICHAEL J. BERRY, P.L.S. 2545, CERTIFY THAT THIS PROPERTY SURVEY COMPLIES WITH CHAPTER A-E 7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JULY 29, 2025
DATE

MICHAEL J. BERRY, P.L.S.
PROFESSIONAL LAND SURVEYOR S-2545

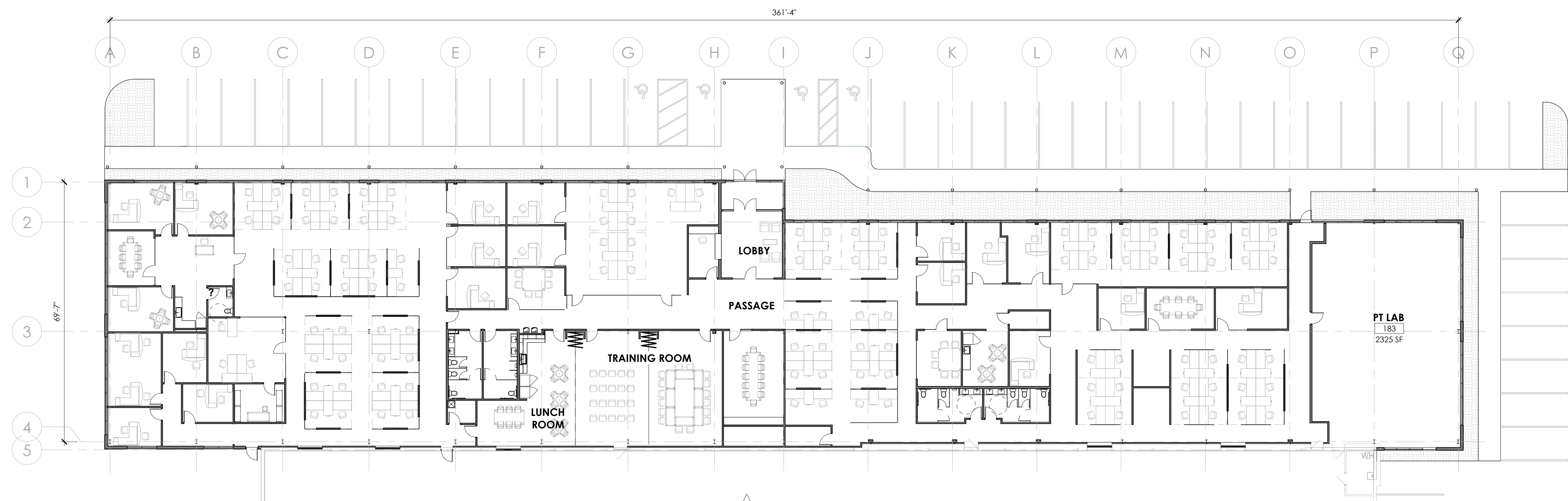


LEGEND					
SAN	SANITARY SEWER	ET	ELECTRIC TRANSFORMER	HY	HYDRANT
ST	STORM SEWER	EM	ELECTRIC METER	WV	WATER VALVE
WM	WASTE MAIN	EP	ELECTRIC PEDESTAL	GV	GAS VALVE
G	GAS	EB	ELECTRIC BOX AT GRADE	M	MANHOLE
BG	BURIED GAS LINE	TR	TELEPHONE BOX AT GRADE	SM	STORM MANHOLE
TEL	BURIED TELEPHONE LINE	TP	TELEPHONE PEDESTAL	CB	CATCH BASIN
E	BURIED ELECTRIC LINE	TM	TELEPHONE METER	CU	CURB INLET
FO	BURIED FIBER OPTIC LINE	AC	AIR CONDITIONER	ML	METAL LIGHT POLE
CU	COMBINATION UTILITY LINES	MS	METAL SIGN	CL	CONCRETE LIGHT POLE
CATV	BURIED CABLE TELEVISION LINES	FL	FLAG POLE	WP	WOOD LIGHT POLE
CS	COMBINATION SEWER	BL	BOLLARD	MB	MAIL BOX
MF	METAL FENCE	RL	ROLLUP LIGHT	FM	FIBER OPTIC MARKER
ED	EDGE OF TREES AND BRUSH	YL	YARD LIGHT	GW	GUY WIRE
994.32 DS	DOOR SILL ELEVATION				
FD	FIRE DEPARTMENT CONNECTION				

PLAT OF SURVEY WITH TOPOGRAPHY

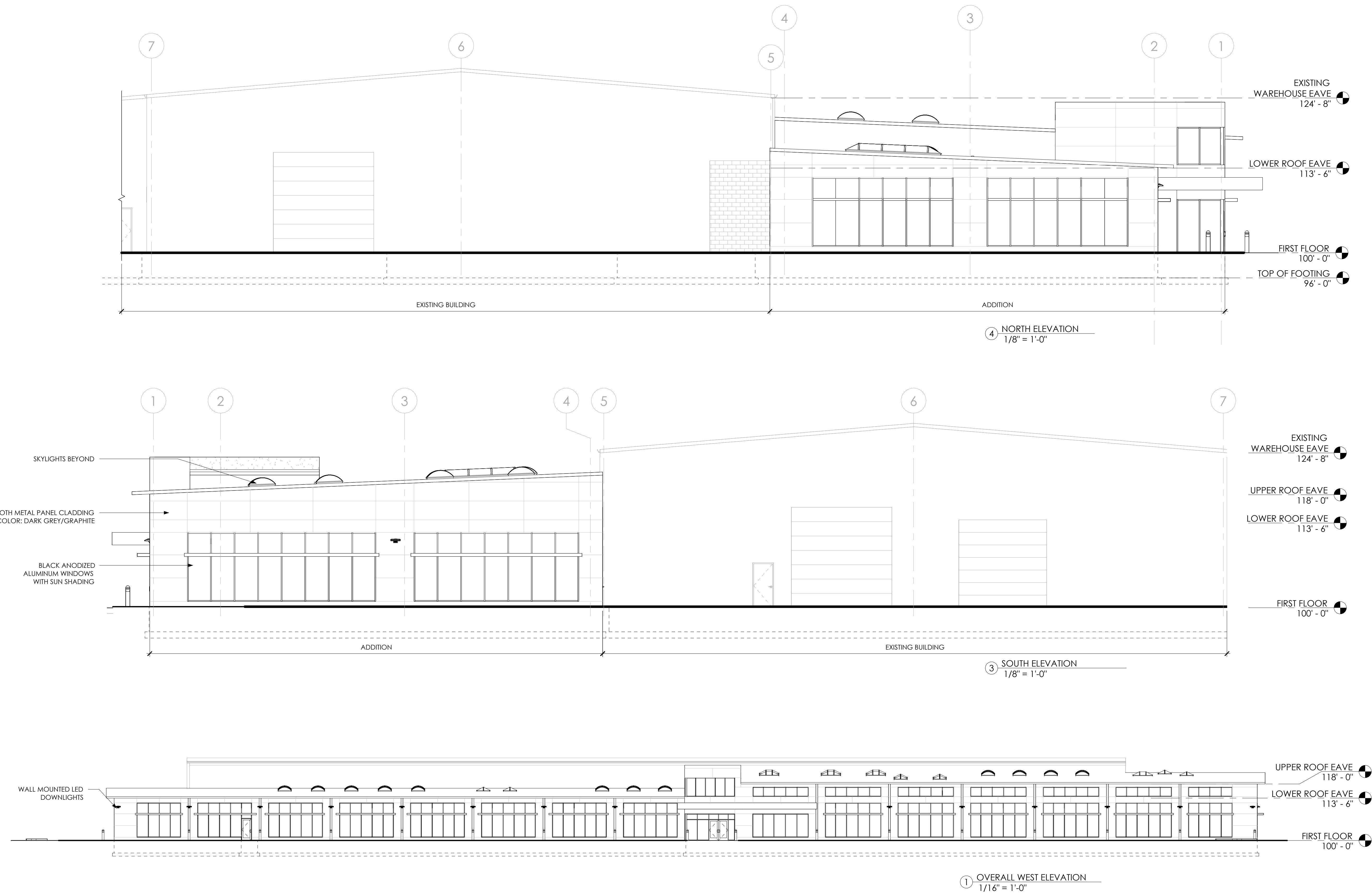
FOR
KHS USA
875-880 BAHCALL COURT
BROOKFIELD, WI

DRAWN BY:	NJF	DATE:	JULY 29, 2025
CHECKED BY:	MJB	DRAWING NO.	P - 1
CSE JOB NO.:	21-079 CON	SHEET	1 OF 1



A1.11

7/29/2025 2:05:16 PM



ARCHITECTS
133 W. PITTSBURGH AVE, SUITE 102
MILWAUKEE, WI 53204
P: 414.277.8000
MADISENMAHER.COM

PROPOSED ADDITION TO :

KHS USA



880 BAHCALL CT
WAUKESHA, WI 53186

CLIENT
KHS USA INC

DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MADISEN MAHER ARCHITECTS. WHETHER THE WORK FOR WHICH THEY ARE MADE BE EXECUTED OR NOT AND ARE NOT TO BE USED OR COPIED ON OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH MADISEN MAHER ARCHITECTS.

DATE	REV	ISSUE
12-11-23	#	PROJECT START
07-29-25		PLAN COMMISSION SUBMITTAL

PROJECT NUMBER	25-012
START DATE	23-12-11
DRAWN BY	Author
CHECKED BY	Checker

EXTERIOR ELEVATIONS

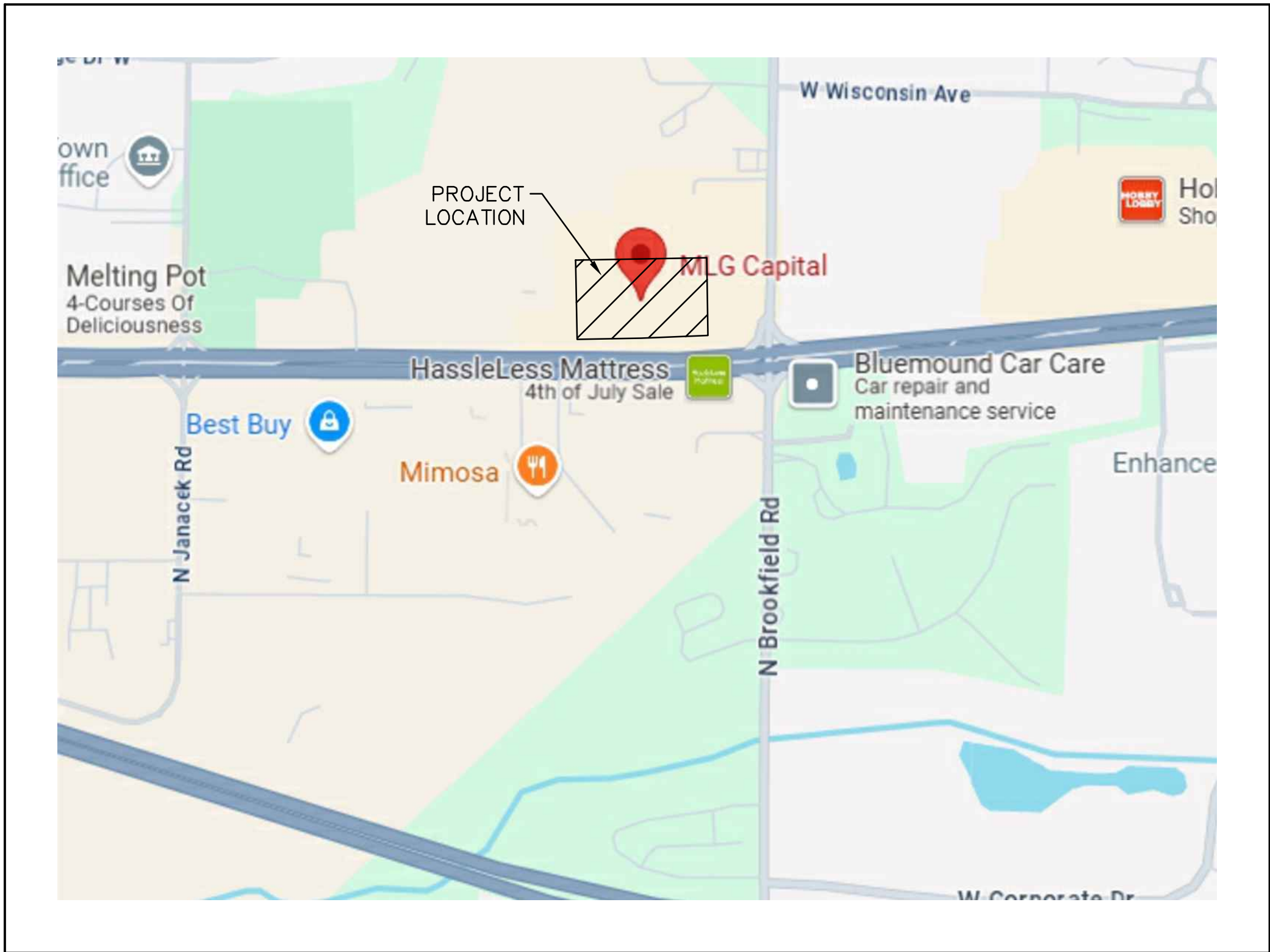
A4.00

NOT FOR CONSTRUCTION

7/29/2025 2:52:07 PM

SITE CIVIL AND LANDSCAPE PLANS
FOR
MLG CAPITAL ADDITION
19000 WEST BLUEMOUND ROAD, SUITE A
BROOKFIELD, WI

VICINITY MAP



PLAN INDEX

SHEET NO.	DESCRIPTION
C000	TITLE SHEET
1 OF 1	ALTA/NSPS LAND TITLE SURVEY
C100	DEMOLITION & EROSION CONTROL PLAN
C200	SITE PLAN
C201	FIRE TRUCK ACCESS PLAN
C300	GRADING & UTILITY PLAN
C400	SITE DETAILS
C500	SPECIFICATIONS
L100	LANDSCAPE PLAN
L200	LANDSCAPE NOTES AND DETAILS

ENGINEER AND LANDSCAPE ARCHITECT:



16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

CHRISTOPHER WHITE, P.E.
PROJECT MANAGER
PH.: (262)–317–3286
EMAIL: CHRISTOPHER.WHITE@RASMITH.COM

ROB WILLIAMS, PLA, ASLA
LANDSCAPE ARCHITECT
PH: (262) 317–3270
ROB.WILLIAMS@RASMITH.COM

DEVELOPER / OWNER:

MLG CAPITAL
19000 WEST BLUEMOUND ROAD, SUITE A
BROOKFIELD, WI 53045



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PLAN DATE: 07/23/2025

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

PRELIMINARY
NOT FOR
CONSTRUCTION

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R.A. Smith, Inc.
DATE: 07/23/2025
SCALE: N.T.S.
JOB NO. 3250112
PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.
DESIGNED BY: MAF
CHECKED BY: CBW
SHEET NUMBER
C000

MLG CAPITAL BUILDING ADDITION
TOWN OF BROOKFIELD, WI
TITLE SHEET



16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

DESCRIPTION

DATE

ALTA/NSPS LAND TITLE SURVEY

KNOWN AS: 19000 W. BLUEMOUND ROAD, BROOKFIELD, WISCONSIN

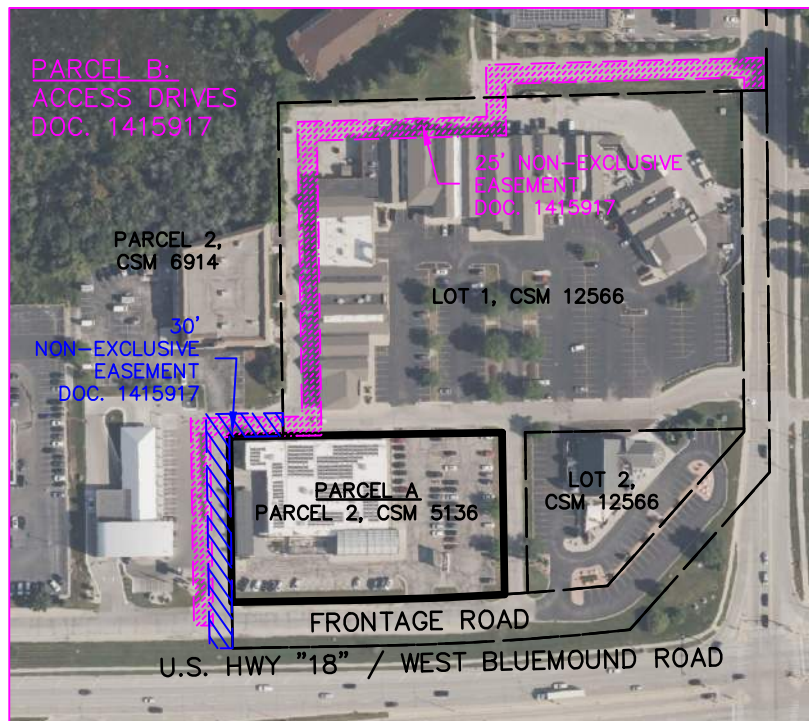
PARCEL A:

Parcel 2 of Certified Survey Map No. 5136, being a part of the Northeast 1/4 of the Southeast 1/4 of Section 29, in Township 7 North, Range 20 East, in the Town of Brookfield, County of Waukesha, State of Wisconsin, recorded in the Office of the Register of Deeds for Waukesha County on January 28, 1987 in Volume 42 of Certified Survey Maps on Pages 71 to 73 inclusive, as Document No. 1399947.

PARCEL B: (SHOWN IN DETAIL)

Non-exclusive easement for the benefit of Parcel A created by Restrictive Covenant and Easement Agreement, dated October 6, 1987 and recorded October 12, 1987 as Document No. 1451917, for ingress and egress as provided for therein.

Prepared for: MLG DEVELOPMENT
Survey No: 169793-KAC



A. Basis of Bearings

Bearings are based on the East line of the Southeast 1/4 of Section 29, Township 7 North, Range 20 East, in the Town of Brookfield, Waukesha County, Wisconsin, which bears South 00°26'01" East, as shown on Certified Survey Map No. 5136.

B. Title Commitment

This survey was prepared based on Chicago Title Insurance Company, title commitment number CO-6315, Revision D, commitment date September 26, 2017, which lists the following easements and/or restrictions from schedule B-II:

1-5, 9, and 19-30 - **NOT SURVEY RELATED.**

6-8, 31, and 32 - **VISIBLE EVIDENCE SHOWN, IF ANY.**

17 - **INTENTIONALLY DELETED FROM TITLE COMMITMENT.**

10. Sign Easement Agreement recorded on November 2, 2005, as Document No. 3333409. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

11. Utility Easement recorded on April 19, 1911 as Document No. 74955. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

12. Utility Easement recorded on December 9, 1921 in Volume 176 of Deeds at page 145, as Document No. 120139. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

13. Utility Easement recorded on December 23, 1927 as Document No.154949. - **DOCUMENT NOT PROVIDED.**

14. Utility Easement recorded on March 18, 1953 in Volume 597 of Deeds at page 67, as Document No. 377695. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - IT IS A BLANKET EASEMENT, ITS LOCATION IS NOT SHOWN.**

15. Access Restriction recorded on August 10, 1951 in Volume 553 of Deeds at page 275, as Document No. 354772. - **IT LIMITS ACCESS TO AN OTHERWISE ABUTTING RIGHT OF WAY - ITS LOCATION IS SHOWN.**

16. Access Authorization recorded on August 16, 1983 in Reel 560, Image 327, as Document No. 1225599. - **IT LIMITS ACCESS TO AN OTHERWISE ABUTTING RIGHT OF WAY - ITS LOCATION IS SHOWN.**

18. Restrictions, covenants, conditions and easements recorded on October 12, 1987 in Reel 946, Image 1247, as Document No. 1451917. but deleting any covenant, condition or restriction indicating a preference, limitation or discrimination based on race, color, religion, sex, handicap, familial status, or national origin to the extent such covenants, conditions or restrictions violate 42 USC 3604(c). - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

33. Rights of utility companies to maintain their facilities as referenced on the ALTA/NSPS Land Title Survey prepared by The Sigma Group under date of July 12, 2017 and last revised August 23, 2017 as Project No. 17013. - **DOCUMENT NOT PROVIDED.**

34. Consequences, if any, due to the location of the northern access drive along the West lot line which does not appear to comply with Section 3.4(b) of the Restrictive Covenant and Easement Agreement recorded as Document No. 1451917 and referenced on the ALTA/NSPS Land Title Survey prepared by The Sigma Group under date of July 12, 2017 and last revised August 23, 2017 as Project No. 17013. - **LIES WITHIN OR CROSSES THE SURVEYED PROPERTY - ITS LOCATION IS SHOWN.**

C. Flood Note

According to flood insurance rate map of the Waukesha County Unincorporated Areas, community panel number 55133C0217H, effective date of October 19, 2023, this site falls in zone X (areas determined to be outside the 0.2% annual chance floodplain). Flood Hazard Impact is subject to map scale uncertainty.

D. Parking Spaces

There are 88 total parking spaces consisting of 86 regular and 2 handicapped parking spaces marked on this site.

E. Elevations

Elevations refer to NAVD88 Datum. Starting Benchmark: 871.26', Reference benchmark for East corner of Section 29-7-20 - Chiseled Cross on Hydrant Nozzle

F. Municipal Zoning

 (Information obtained by Surveyor)

The zoning information listed below is taken from Town of Brookfield- site is zoned B-2 Limited General Business District

Front setback = 50'

Side yard setbacks (offset) = 15'

Maximum height of principal building = 45'

G. Notes

As to Table A item 11

Surveyor's responsibility to coordinate markings shall be limited to one marking request to 811 (national "call before you dig" number) based on the property address, as provided by the client.

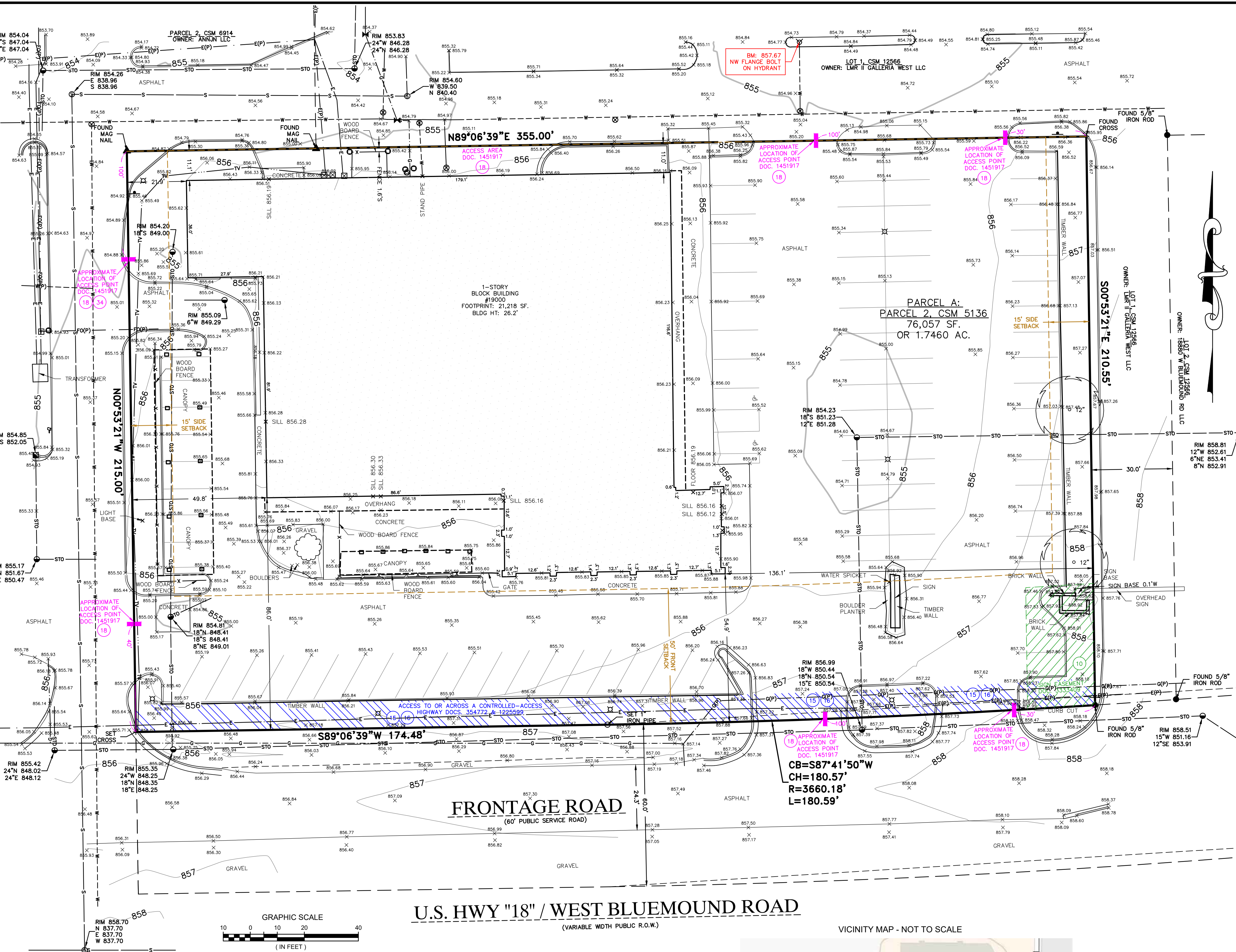
Note to the client, insurer, and lender - With regard to Table A, item 11, information from the sources checked within will be combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response.

As of the field date indicated below in certificate (most recent site visit/inspection), it appears some underground utilities were not marked. This affected the surveyor's assessment of the location of the utilities resulting in partial illustration and/or mapping per plan. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

There is no visible evidence of recent earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

There are no proposed changes in street right of way lines, if such information is made available to the surveyor by the controlling jurisdiction or observed in the process of conducting the fieldwork.

There is no visible evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.



To: 19000 HQ, LLC, a Wisconsin limited liability company; Park Bank, its successors and/or assigns; Three B Land Company, a Wisconsin general partnership; and Chicago Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 11(b), 13, 16, and 17 of Table A thereof. The fieldwork was completed on June 24, 2025.

Date of Plat or Map: June 25, 2025

I CERTIFY, that this survey was prepared under my supervision and is correct to the best of my professional knowledge and belief and complies with Chapter A-E 7 of the Wisconsin Administrative Code.



Eric R. Sturm
Professional Land Surveyor
Registration Number S-2309
eric.sturm@rasmith.com

○ BOLLARD	○ SANITARY MANHOLE
+ SOL. BORING/MONITORING WELL	○ SANITARY CLEANOUT OR SEPTIC VENT
✱ FLAGPOLE	○ SANITARY INTERCEPTOR MANHOLE
✱ MAIL BOX	○ MISCELLANEOUS MANHOLE
✱ SIGN	○ WATER VALVE
✱ AIR CONDITIONER	○ HYDRANT
✱ CONTROL BOX	○ WATER SERVICE CURB STOP
✱ TRAFFIC SIGNAL	○ WATER MANHOLE
✱ IRRIGATION CONTROL BOX	○ WELL
✱ CABLE PEDESTAL	○ WATER SURFACE
✱ POWER POLE	○ WETLANDS FLAG
✱ GUY POLE	○ MARSH
✱ GUY WIRE	○ CONIFEROUS TREE
✱ LIGHT POLE	○ DECIDUOUS TREE
➤ SPOT/YARD/PEDESTAL LIGHT	○ SHRUB
○ HANDICAPPED PARKING	— EDGE OF TREES
○ PULL BOX	— SANITARY SEWER
✱ ELECTRIC MANHOLE	— STORM SEWER
✱ ELECTRIC PEDESTAL	— WATERMAIN
✱ ELECTRIC METER	— MARKED GAS MAIN
✱ ELECTRIC TRANSFORMER	— E - MARKED ELECTRIC
✱ TELEPHONE MANHOLE	— OHM - OVERHEAD WIRES
✱ TELEPHONE PEDESTAL	— B - BUREAU ELEC. SERV.
✱ GAS VALVE	— T - MARKED TELEPHONE
✱ GAS METER	— TV - MARKED CABLE TV LINE
○ GAS WARNING SIGN	— FO - MARKED FIBER OPTIC
○ STORM MANHOLE	— (P) - UTILITY PER PLAN
○ ROUND INLET	— INDICATES EXISTING
✱ SQUARE INLET	— INDICATES EXISTING
✱ STORM SEWER END SECTION	— INDICATES EXISTING

VICINITY MAP - NOT TO SCALE



DIGGERS HOTLINE TICKET NOS: 20252301795 & 1796

THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.

(P) INDICATES PIPE SIZES PER RECORD PLANS. OTHER PIPE SIZES ARE ESTIMATED. NO PIPE SIZES SHOULD BE RELIED UPON WITHOUT FURTHER VERIFICATION.

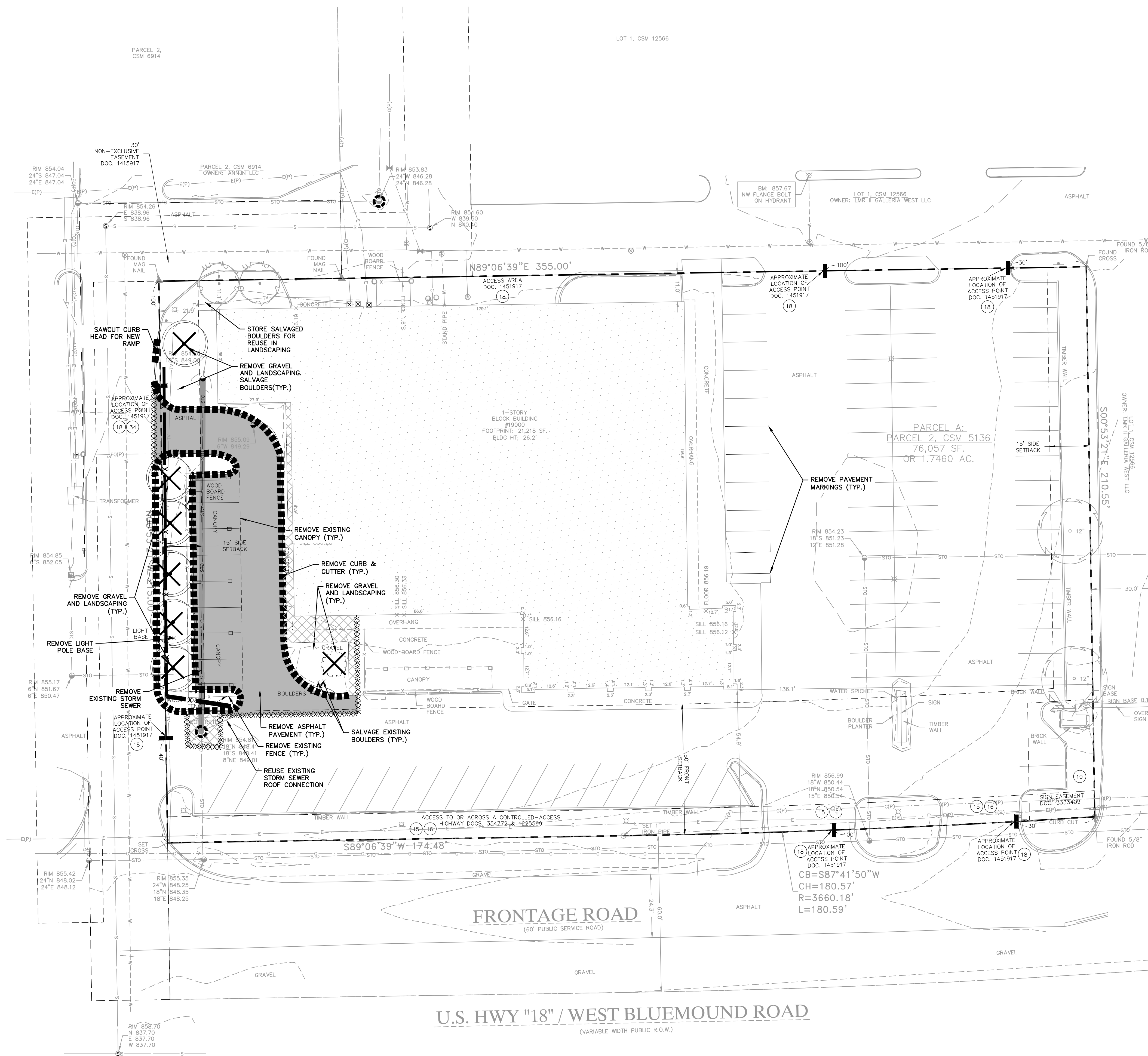
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raSmith
CREATIVITY BEYOND ENGINEERING

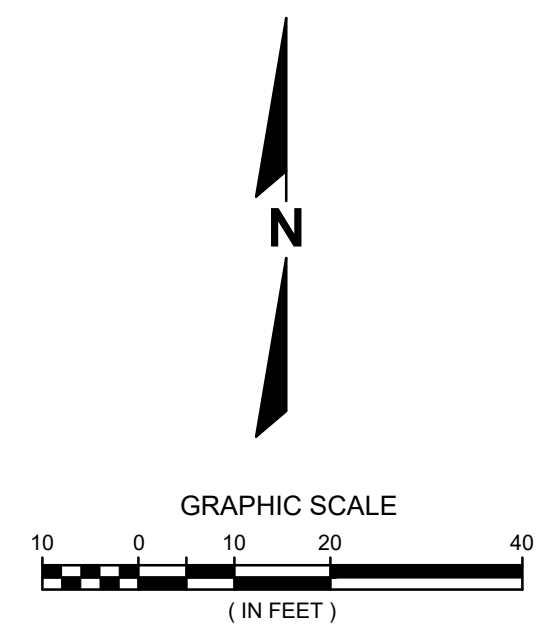
16745 W. Bluemound Road
Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

SHEET 1 OF 1



LEGEND

- | | |
|---|---|
|  | PROPERTY LINE/ RIGHT OF WAY |
|  | SAWCUT PAVEMENT |
|  | DEMO CURB AND GUTTER |
|  | UTILITY TO BE REMOVED OR ABANDONED |
|  | PROPOSED SILT FENCE |
|  | STORM DRAIN INLET PROTECTION |
|  | EXISTING CONCRETE TO BE REMOVED |
|  | EXISTING ASPHALT PAVEMENT TO BE REMOVED |
|  | TREE TO BE DEMO'ED |



DEMOLITION NOTES

1. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL SITE AND DEMOLITION PERMITS.
2. THE DEMOLITION CONTRACTOR SHALL PREPARE AND MAINTAIN A PROJECT SAFETY PLAN. ALL SITE SAFETY EQUIPMENT AND MEASURES, INCLUDING FENCING, FIRE PROTECTION, AND THE LIKE ARE THE SOLE RESPONSIBILITY OF THE DEMOLITION CONTRACTOR.
3. THE DEMOLITION CONTRACTOR SHALL DEVELOP, OBTAIN NECESSARY APPROVALS/PERMITS AND MAINTAIN TRAFFIC AND PEDESTRIAN CONTROL PLANS THROUGHOUT ALL PHASES OF DEMOLITION.
4. INSTALL TEMPORARY CONSTRUCTION FENCE PRIOR TO ANY DEMOLITION ACTIVITY
5. INITIAL EROSION CONTROL MEASURES (SILT FENCE, INLET PROTECTION) SHALL BE INSTALLED PRIOR TO ANY DEMOLITION ACTIVITY WITHIN PROJECT LIMITS.

CONSTRUCTION SEQUENCE

1. INSTALL SILT FENCE.
2. INSTALL STORM DRAIN INLET PROTECTION ON EXISTING INDICATED STORM INLETS.
3. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL BMPs WHEN SITE WORK AND GRADING BEGINS.
4. PREPARE ROADWAY AND PARKING LOT SUBGRADE. INSTALL CURB AND GUTTER AND PAVE SITE.
5. APPLY SEED FERTILIZER AND MULCH TO LANDSCAPE LAWN AREAS AS SOON AS POSSIBLE.
6. CONTACT THE DISTRICT TO REMOVE ALL REMAINING TEMPORARY EROSION CONTROL BMPs WHEN DISTURBED AREAS ARE STABILIZED AND NO LONGER SUSCEPTIBLE TO EROSION.

**MLG CAPITAL BUILDING ADDITION
TOWN OF BROOKFIELD, WI**

DEMOLITION & EROSION CONTROL PLAN

**PRELIMINARY
NOT FOR
CONSTRUCTION**

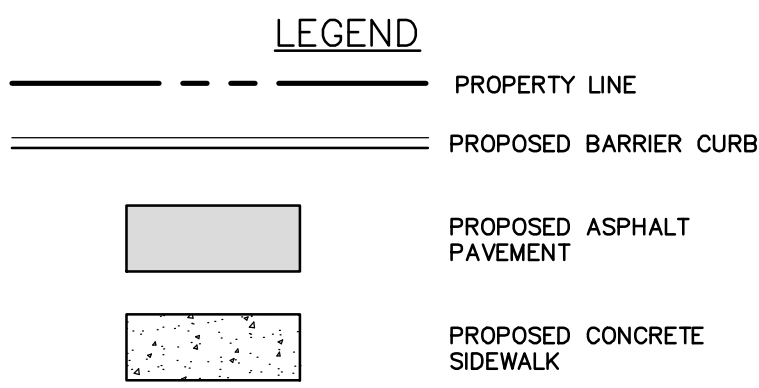
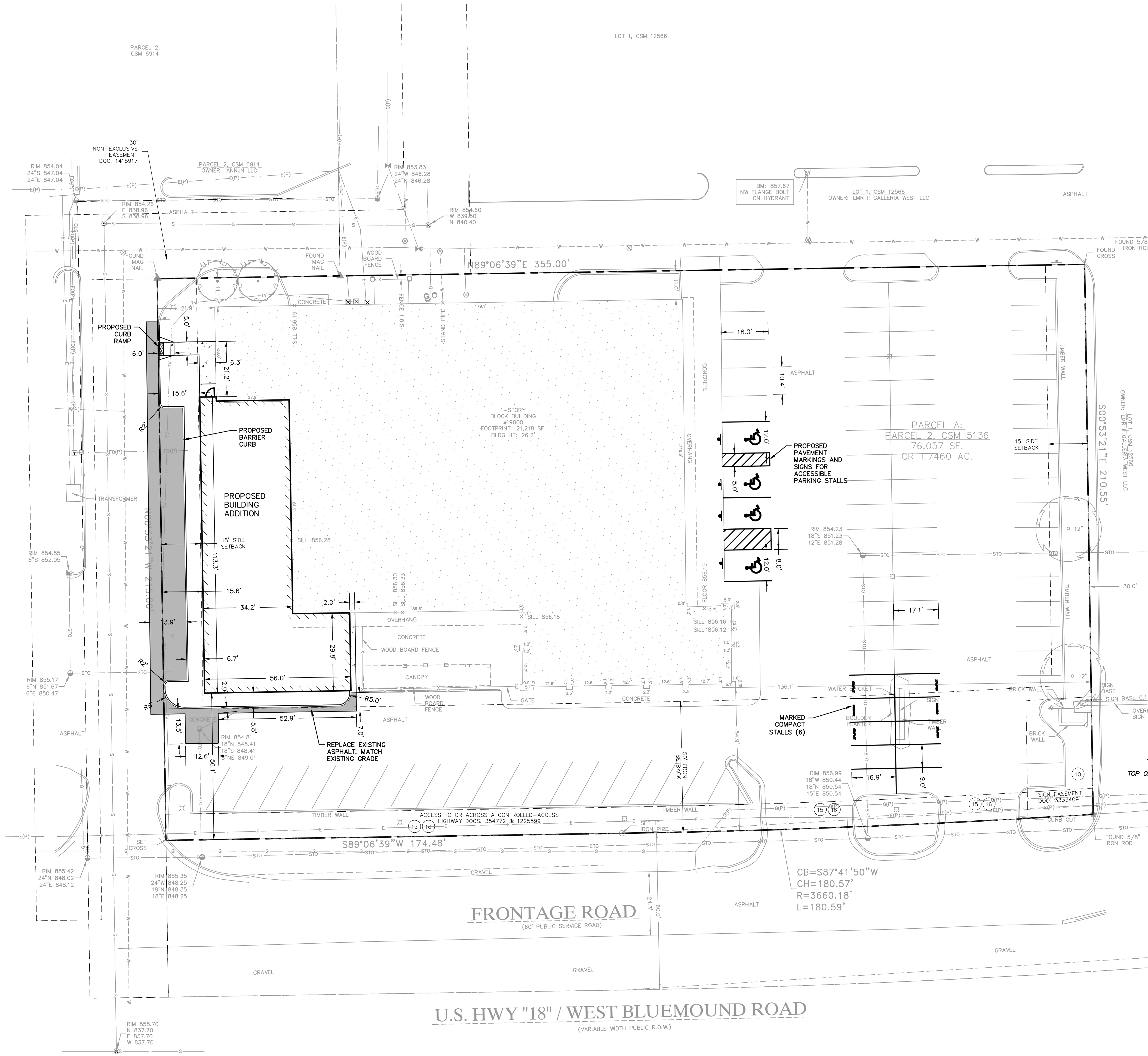
© COPYRIGHT 2025 R.A. Smith, Inc.
DATE: 07/23/2025
SCALE: 1" = 20'
JOB NO. 3250112
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.
DESIGNED BY: MAF
CHECKED BY: CBW
SHEET NUMBER
C100



Know what's **below**.
Call before you dig.

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PARKING STATISTICS EXISTING CONDITIONS:

REGULAR STALLS	86
ADA STALLS	2
TOTAL	88

PARKING STATISTICS PROPOSED CONDITIONS:

REGULAR STALLS	86
ADA STALLS	4
TOTAL	90

EXISTING CONDITIONS

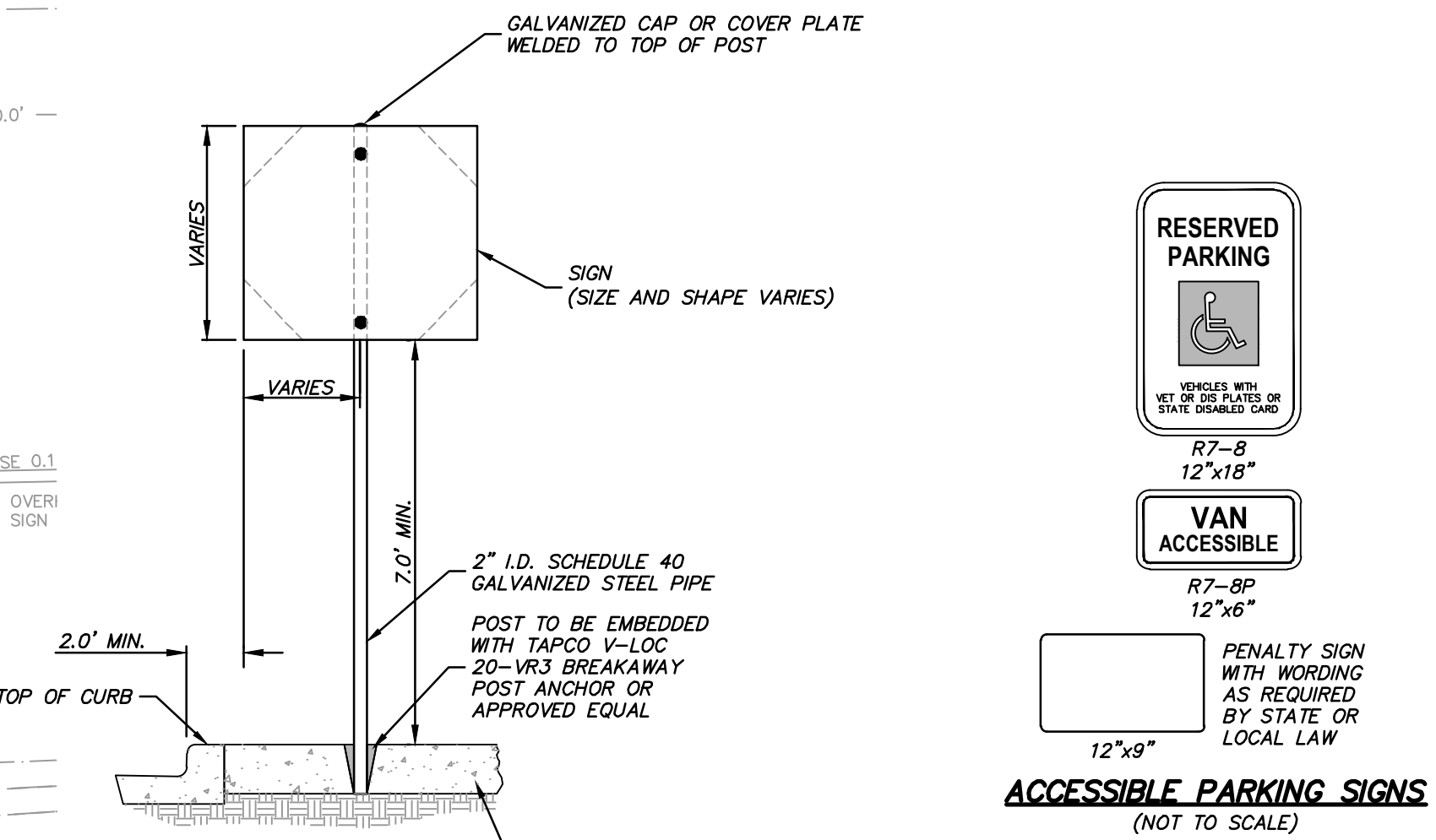
	SF	ACRES	COVERAGE
TOTAL SITE	76,057	1.74	
PERVIOUS SPACE	9,279	0.21	12.2%
IMPERVIOUS SPACE	66,778	1.53	87.8%

PROPOSED CONDITIONS

	SF	ACRES	COVERAGE
TOTAL SITE	76,057	1.74	
PERVIOUS SPACE	8,212	0.19	11.0%
IMPERVIOUS SPACE	67,845	1.55	89.0%

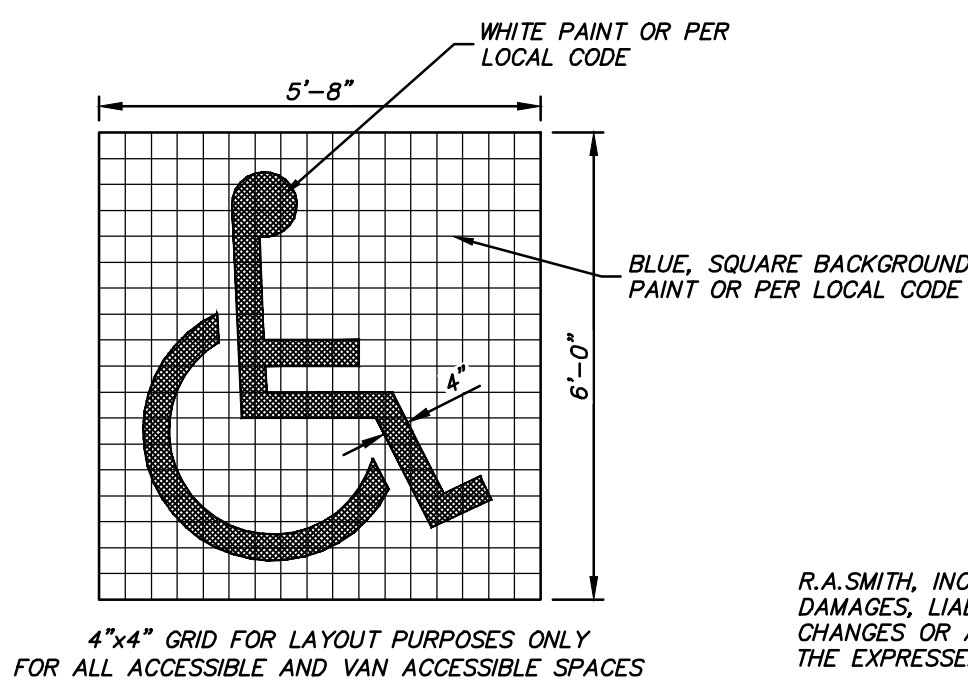
GENERAL NOTES:

- EXISTING TOPOGRAPHY OBTAINED BY raSmith JUNE 25, 2025.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSION OF ENTRANCES, VESTIBULES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH THE TOWN OF BROOKFIELD, WI EROSION CONTROL ORDINANCE AND STATE OF WISCONSIN TECHNICAL STANDARDS.
- ALL DIMENSIONS AND CORRESPONDING HORIZONTAL CONTROL RELATED TO PAVING REPRESENT FACE OF CURB, ELEVATIONS AND CONTOURS REPRESENT FINISHED GRADES UNLESS OTHERWISE INDICATED. BUILDINGS ARE DIMENSIONED TO FACE OF BUILDING.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL OR POINT OF CONNECTION AND VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL UTILITIES.
- ALL SITE SIGNAGE MUST COMPLY WITH THE MOST RECENT EDITION OF THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- PAVEMENT SECTIONS SHALL MATCH EXISTING PAVEMENT DESIGN OR APPROVED BY OWNER.



SIGN AND POST INSTALLATION - TYPE 1
FOR ALL SIGNS WITHIN THE CURB AROUND THE BUILDING (NOT TO SCALE)

- NOTES:**
- ALL SIGNS SHALL BE MOUNTED TO POSTS BY MEANS OF 5/16" BOLTS, HOLES 3/8" IN DIAMETER, DRILLED THROUGH BOTH SIDES OF POSTS PRIOR TO SIGN INSTALLATION.
 - ALL POST SHALL HAVE A GALVANIZED CAP OR COVER PLATE WELDED TO TOP OF POST.



ACCESSIBLE PAINTED SYMBOL DETAIL
(NOT TO SCALE)



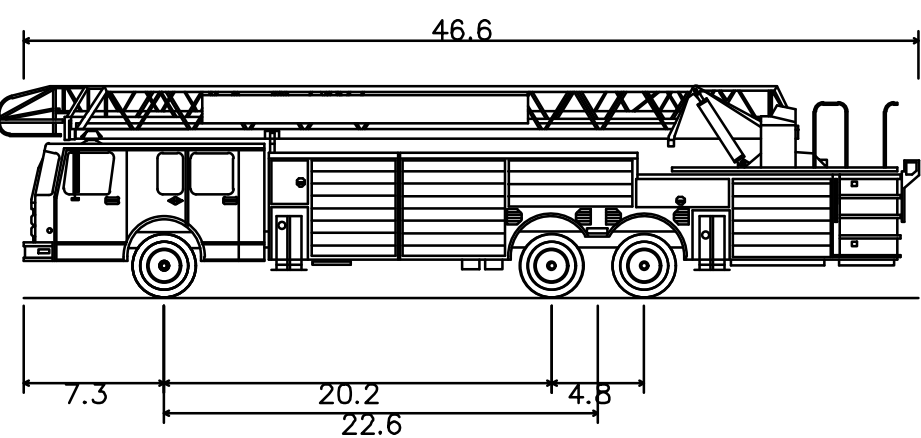
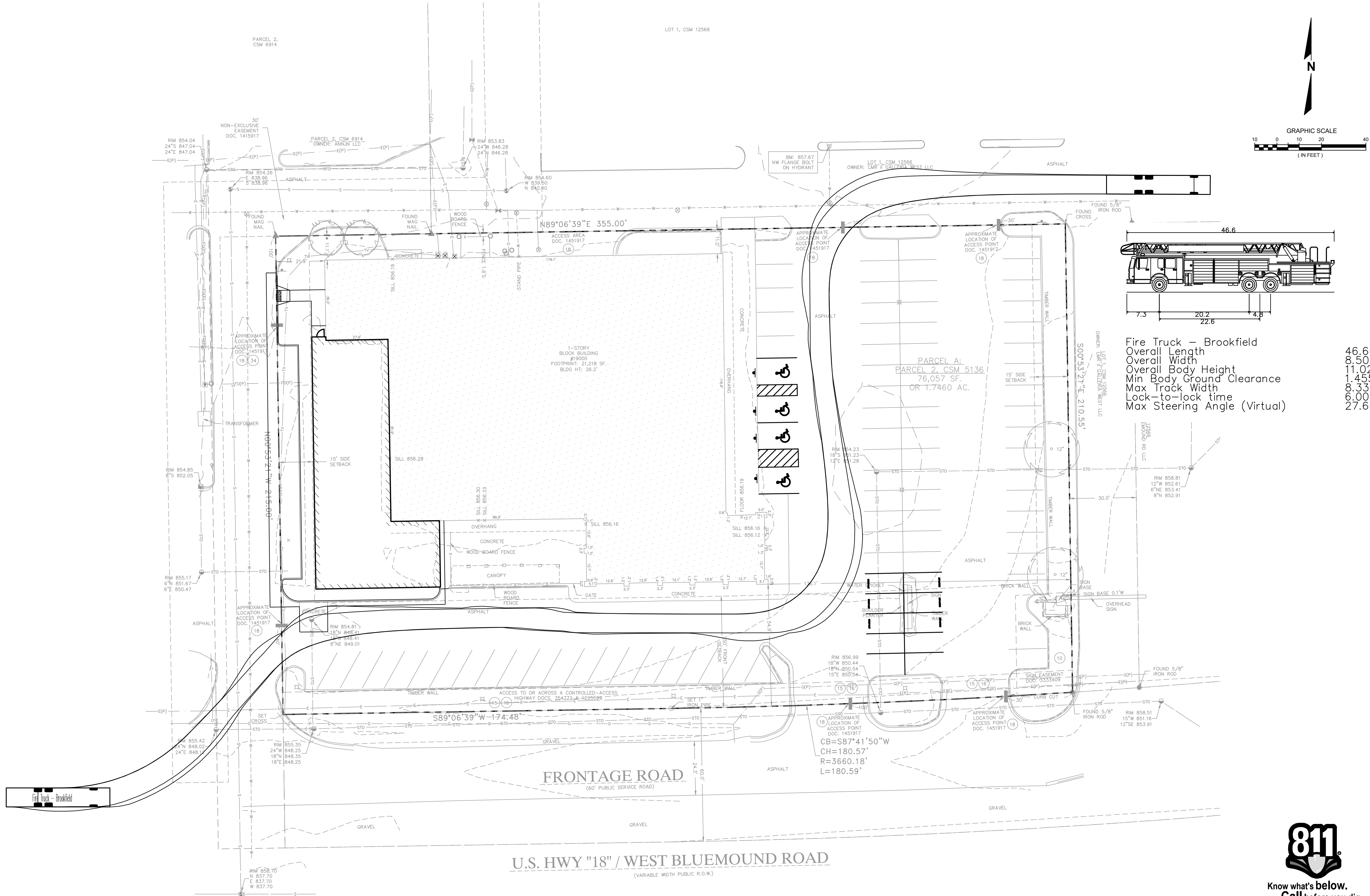
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DESCRIPTION	DATE	16745 W. Blumound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA
MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI		SITE PLAN	
PRELIMINARY NOT FOR CONSTRUCTION		© COPYRIGHT 2025 R.A. Smith, Inc. DATE: 07/23/2025 SCALE: 1" = 20' JOB NO. 3250112 PROJECT MANAGER: CHRISTOPHER WHITE, P.E. DESIGNED BY: MAF CHECKED BY: CBW	
SHEET NUMBER		C200	

P:\3250112\Drawg\Sheets\3250112-T01.dwg, FIRE TRUCK ACCESS PLAN, 7/23/2025 9:16:08 AM, CBW



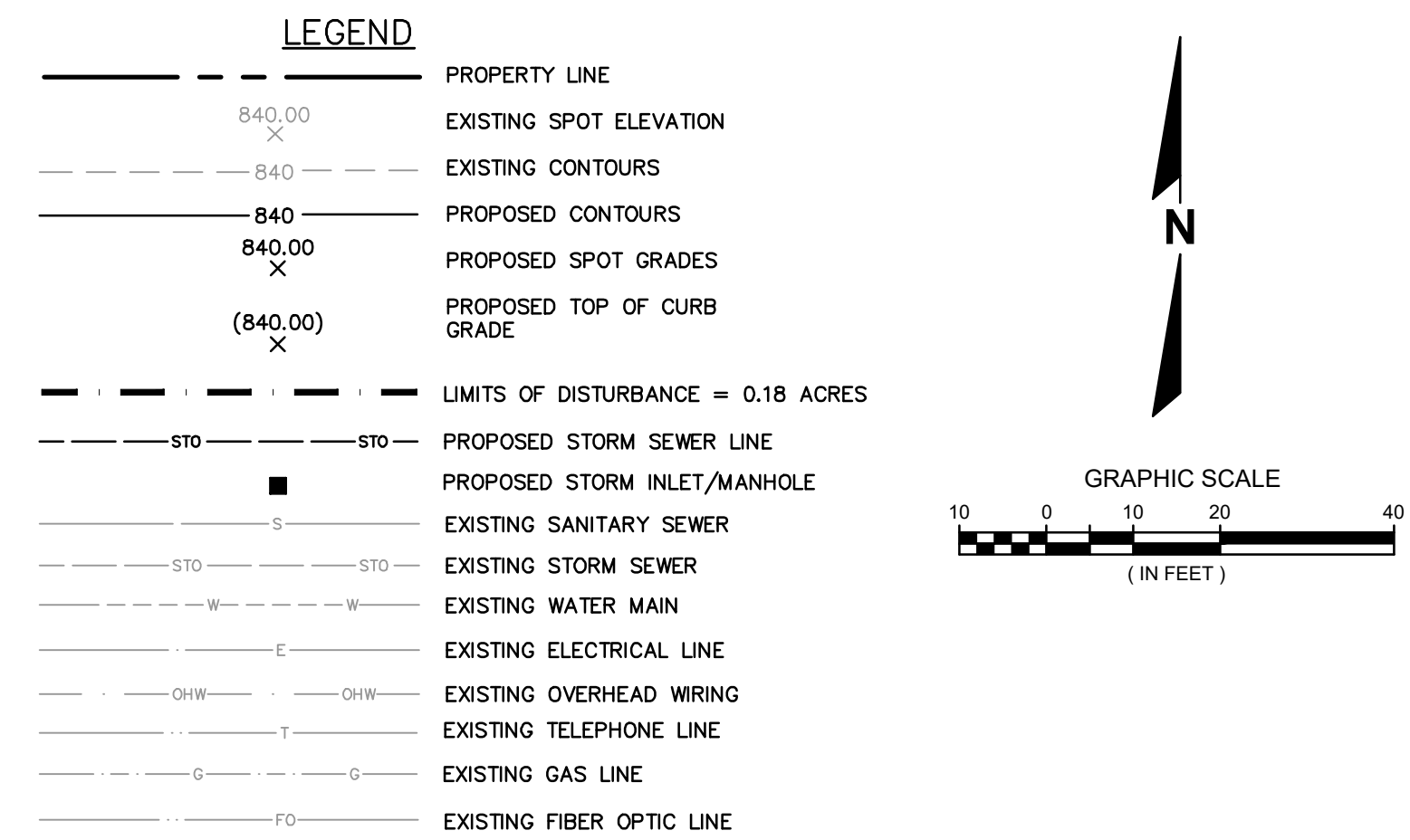
Fire Truck – Brookfield
Overall Length 46.600ft
Overall Width 8.500ft
Overall Body Height 11.025ft
Min Body Ground Clearance 1.455ft
Max Track Width 8.333ft
Lock-to-lock time 6.00s
Max Steering Angle (Virtual) 27.60°



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DESCRIPTION	
DATE	
16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com	
raSmith CREATIVITY BEYOND ENGINEERING	
Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA	
MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI	
FIRE TRUCK ACCESS PLAN	
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DATE: 07/23/2025	
SCALE: 1" = 20'	
JOB NO. 3250112	
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.	
DESIGNED BY: MAF	
CHECKED BY: CBW	
SHEET NUMBER	
C201	



- ### GENERAL GRADING NOTES:
1. ALL SIDEWALKS TO BE SLOPED AT LESS THAN 5.0% AND NO MORE THAN 2.0% CROSS SLOPE.
 2. THE PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ACCORDING TO THE D.O.T. STANDARD SPECIFICATIONS, LOCAL ORDINANCES AND SPECIFICATIONS, AND RECOMMENDATIONS IN THE GEOTECHNICAL REPORT.
 3. THE CONTRACTOR SHALL MAINTAIN SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE THE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING.
 4. SILT FENCE AND OTHER EROSION CONTROL FACILITIES MUST BE INSTALLED PRIOR TO CONSTRUCTION OR ANY OTHER LAND DISTURBING ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EROSION CONTROL FACILITIES ONCE THE THREAT OF EROSION HAS PASSED WITH THE APPROVAL OF THE GOVERNING AGENCY. SEE SHEET C100 FOR PLACEMENT OF EROSION CONTROL FACILITIES.
 5. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.
 6. GRADING SHALL CONSIST OF CLEARING AND GRUBBING EXISTING VEGETATION, STRIPPING TOPSOIL, REMOVAL OF EXISTING PAVEMENT OR FOUNDATIONS, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE ON-SITE EROSION RISK BALANCE, GRADING TO PROPOSED BUILDING PAD AND PAVEMENT AREAS, SCARIFYING AND FINAL COMPACTION OF THE PAVEMENT SUBGRADE, AND PLACEMENT OF TOPSOIL.
 7. NO FILL SHALL BE PLACED ON A WET OR SOFT SUBGRADE. THE SUBGRADE SHALL BE PROOF-ROLLED AND INSPECTED BY THE GEOTECHNICAL ENGINEER BEFORE ANY MATERIAL IS PLACED.
 8. CONTRACTOR TO VERIFY FIRST FLOOR ELEVATION AND CONTACT ENGINEER IF DISCREPANCIES ARE FOUND.

- ### GENERAL UTILITY NOTES:
1. CONTRACTOR TO MAINTAIN MINIMUM 12" CLEARANCE WHEN WATER MAIN CROSSES ABOVE SEWER. CONTRACTOR TO MAINTAIN MINIMUM 18" CLEARANCE WHEN WATER SERVICE CROSSES BELOW SEWER.
 2. BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE EACH EXISTING LATERAL AT THE POINT OF CONNECTION AND VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES. IF ANY EXISTING UTILITIES ARE NOT AS SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR POSSIBLE REVISION.
 3. CONTRACTOR IS RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH SPECIFIED STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY.
 4. CONTRACTOR TO CONFIRM AND VERIFY SITE LIGHTING PLAN WITH ARCHITECTURAL PLANS AND/OR MEP PLANS.
 5. CONTRACTOR TO INSTALL INLET PROTECTION AS STORM SEWER IS SET.
 6. ALL STORM SEWER MATERIALS AND INSTALLATION SHALL COMPLY WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE, AND THE TOWN SPECIFICATIONS.
 7. CONTRACTOR SHALL NOTIFY THE TOWN, SANITARY DISTRICT NO. 4, AND FIELD STAFF A MINIMUM OF 72 HOURS BEFORE THE START OF CONSTRUCTION.

**MLG CAPITAL BUILDING ADDITION
TOWN OF BROOKFIELD, WI**

GRADING & UTILITY PLAN

**PRELIMINARY
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CONSTRUCTION**

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R.A. Smith, Inc.

DATE: 07/23/2025

SCALE: 1" = 20'

JOB NO. 3250112

PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.

DESIGNED BY: MAF

CHECKED BY: CBW

SHEET NUMBER

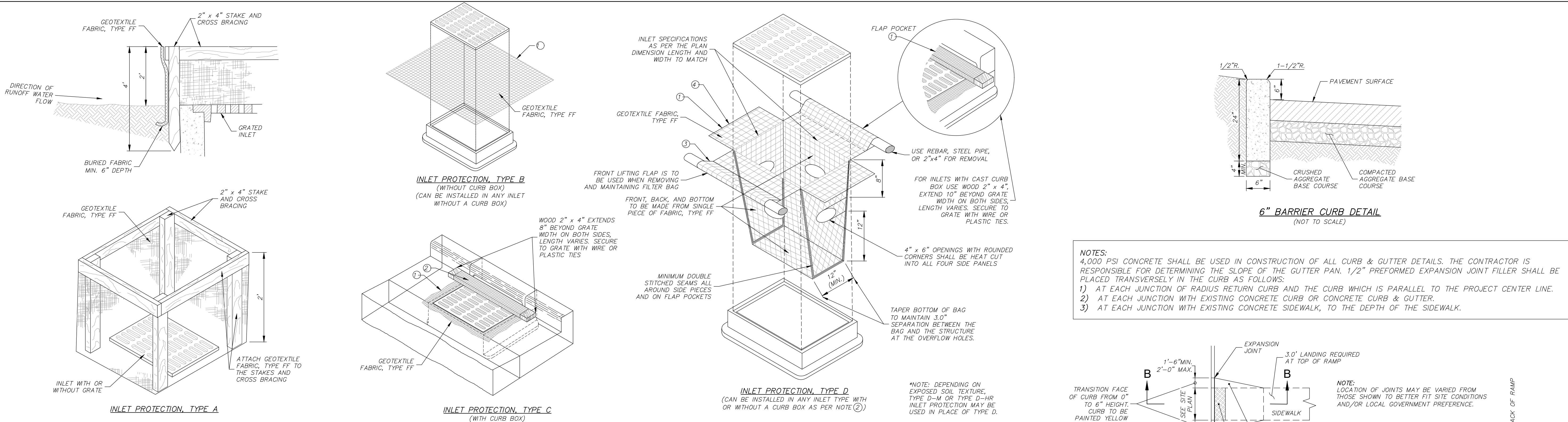
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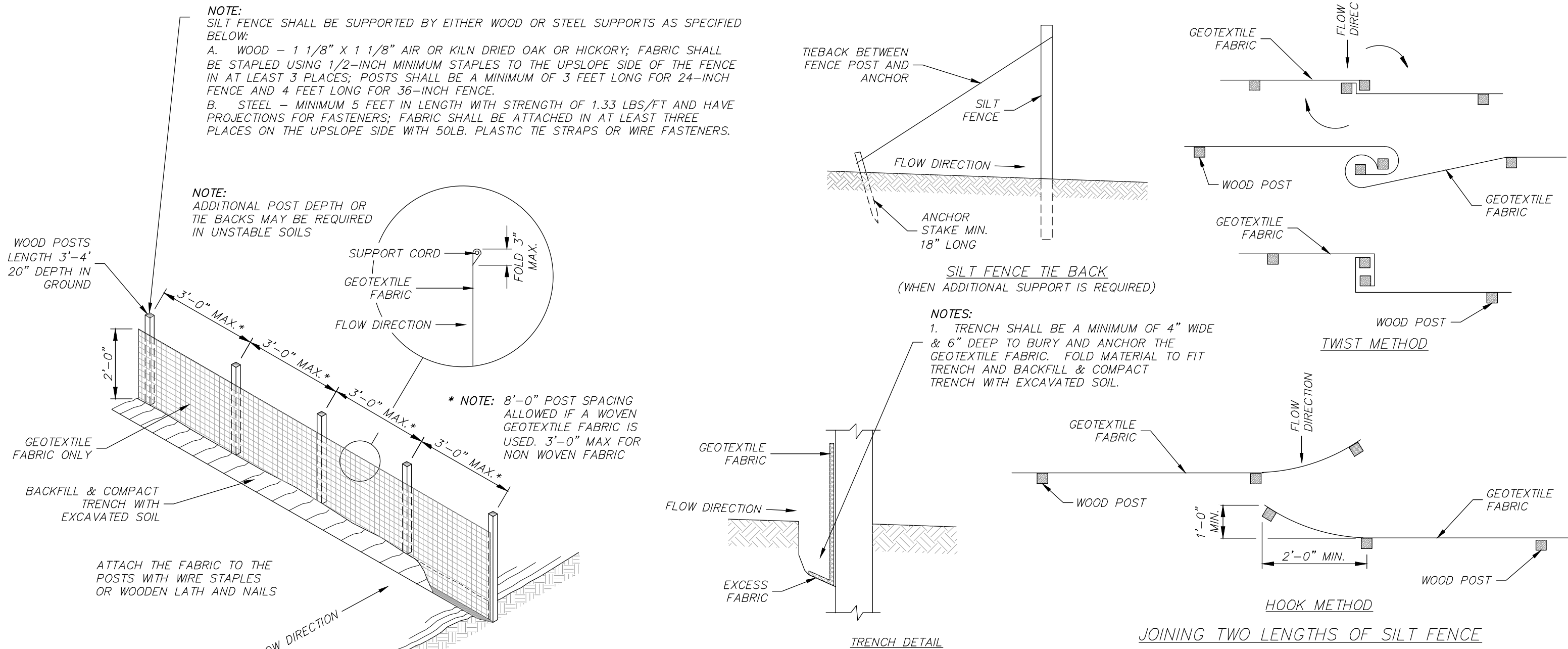


- GENERAL NOTES:**
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 - FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 - FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4. THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
 - SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
- INSTALLATION NOTES:**
- TYPE B & C:
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP. HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D:
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINC THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.
- MAINTENANCE:**
- REMOVE INLET PROTECTION DEVICES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED WITH APPROPRIATE VEGETATION OR IMPERVIOUS SURFACE.
- INLET PROTECTION SHALL BE, AT A MINIMUM, INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- FOR TYPE A, B OR C INLET PROTECTION, SEDIMENT DEPOSITS SHALL BE REMOVED AND THE INLET PROTECTION DEVICE RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED BETWEEN 1/3 TO 1/2 THE DESIGN DEPTH OF THE DEVICE, OR WHEN THE DEVICE IS NO LONGER FUNCTIONING AS DESIGNED.
- FOR TYPE D INLET PROTECTION (INCLUDING D-M AND D-HR), REMOVE SEDIMENT WHEN SEDIMENT ACCUMULATES TO WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES, OR WHEN STANDING WATER REMAINS WITHIN 6" OF THE BOTTOM OF THE OVERFLOW HOLES 24 HOURS AFTER A RUNOFF EVENT. HOLES IN THE TYPE FF FABRIC MAY BE REPAIRED BY STITCHING IF LESS THAN 2" IN LENGTH, BUT THE FABRIC SHOULD BE REPLACED IF THE HOLES ARE GREATER THAN 2" IN LENGTH IN THE TYPE FF FABRIC OR IF THERE ARE ANY HOLES IN THE TYPE HR FABRIC. THE FILTER MUST ALSO BE REPLACED IF THE FLAP POCKETS SUSTAIN DAMAGE THAT COMPROMISES FILTER INTEGRITY OR THE ABILITY TO PERFORM MAINTENANCE.
- REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND STABILIZED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, DUE CARE SHALL BE TAKEN TO ENSURE SEDIMENT DOES NOT FALL INTO THE INLET AND IMPEDE THE INTENDED FUNCTION OF THE DEVICE. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- NOTES:**
- SILT FENCE INSTALLATION AND MATERIALS SHALL CONFORM TO WDNR CONSERVATION STANDARD 1056
 - SILT FENCE SHALL BE PLACED ON THE CONTOUR AND NOT PERPENDICULAR TO THE CONTOUR. THE ENDS SHALL BE EXTENDED UPSLOPE TO PREVENT WATER FROM FLOWING AROUND THE ENDS OF THE FENCE.
 - WHEN SILT FENCE IS INSTALLED ON A SLOPE, THE PARALLEL SPACING SHALL NOT EXCEED THE REQUIREMENTS IN THE TABLE BELOW:

SLOPE	FENCE SPACING
< 2%	100 FEET
2 TO 5%	75 FEET
5 TO 10%	50 FEET
10 TO 33%	25 FEET
> 33%	20 FEET

- INSTALLED SILT FENCES SHALL BE MINIMUM 14 INCHES HIGH AND A MAXIMUM OF 28 INCHES IN HEIGHT MEASURED FROM THE INSTALLED GROUND ELEVATION.
- A MINIMUM OF 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER INSTALLATION.
- SILT FENCE SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4-INCH TRENCH WIDE BY 6-INCH DEEP TRENCH, OR 6-INCH V-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. TRENCH SHALL BE BACKFILLED AND COMPACTED. TRENCHES SHALL NOT BE EXCAVATED WIDER THAN NECESSARY FOR PROPER INSTALLATION.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL IF POSSIBLE BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY USE ONE OF THE FOLLOWING TWO METHODS:
 - TWIST METHOD—OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES.
 - HOOK METHOD—HOOK THE END OF EACH SILT FENCE LENGTH.
- SILT FENCE SHALL AT A MINIMUM BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EACH PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24-HOUR PERIOD.
- DAMAGED OR DECOMPOSED FENCES, UNDERCUTTING, OR FLOW CHANNELS AROUND THE END OF BARRIERS SHALL BE REPAIRED OR CORRECTED.
- SEDIMENT SHALL BE PROPERLY DISPOSED OF ONCE THE DEPOSITS REACH ONE HALF THE HEIGHT OF THE FENCE.
- SILT FENCES SHALL BE REMOVED ONCE THE DISTURBED AREA IS PERMANENTLY STABILIZED AND IS NO LONGER SUSCEPTIBLE TO EROSION.



MINIMAL COVER STORM INLET

USE NEENAH CASTING R-3067 WITH TYPE C GRATE AT ALL CURB INLET LOCATIONS.

CONTRACTOR RESPONSIBLE FOR VERIFYING REQUIRED CASTING IS COMPATIBLE WITH STRUCTURE. IF NOT COMPATIBLE, CONTACT ENGINEER IMMEDIATELY FOR POSSIBLE REDESIGN.

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DESCRIPTION

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Brookfield, WI 53005-5938
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

MLG CAPITAL BUILDING ADDITION
TOWN OF BROOKFIELD, WI

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DATE: 07/23/2025

SCALE: N.T.S.

JOB NO. 3250112

PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.

DESIGNED BY: MAF

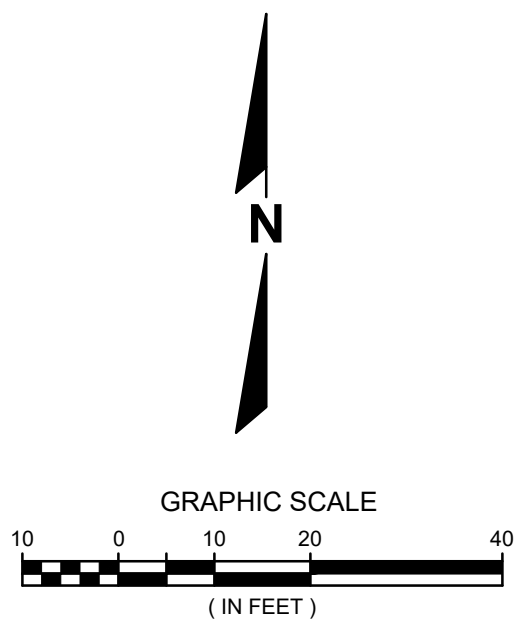
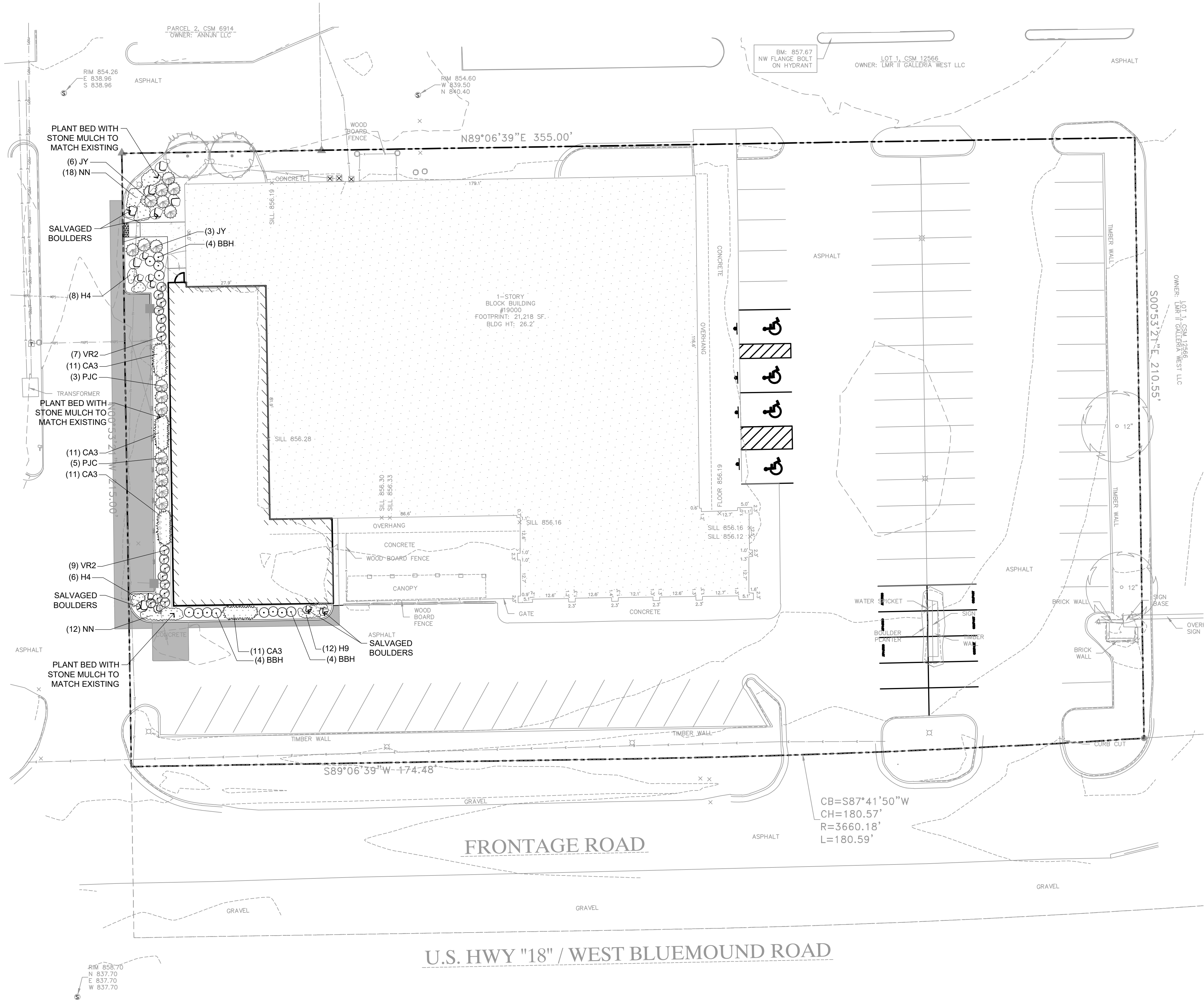
CHECKED BY: CBW

SHEET NUMBER

C400

SITE DETAILS

DIVISION 1 – GENERAL REQUIREMENTS		DIVISION 31 – EARTHWORK		DIVISION 32 – EXTERIOR IMPROVEMENTS		DIVISION 33 – UTILITIES			
01 41 00 – REGULATORY REQUIREMENTS		31 10 00 – SITE CLEARING & DEMOLITION		32 10 00 – WATER DISTRIBUTION		33 00 00 – SANITARY SEWERAGE			
<p>1. THE LATEST EDITIONS OF THE FOLLOWING DOCUMENTS AND ANY SUPPLEMENTS THERETO, SHALL GOVERN ALL CONSTRUCTION ITEMS ON THIS PLAN UNLESS OTHERWISE NOTED:</p> <p>a. WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) STORM WATER TECHNICAL STANDARDS</p> <p>b. WISCONSIN EROSION CONTROL PRODUCT ACCEPTABILITY LIST</p> <p>c. STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (SSSWCW)</p> <p>d. WISCONSIN ADMINISTRATIVE CODE, SECTIONS SPS 381-387</p> <p>e. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION</p> <p>f. WISCONSIN DEPARTMENT OF TRANSPORTATION (WISDOT) APPROVED PRODUCT LISTS (APL)</p> <p>g. FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)</p> <p>h. WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (WMUTCD)</p> <p>i. UNITED STATES DEPARTMENT OF JUSTICE ADA STANDARDS</p> <p>j. UNITED STATES DEPARTMENT OF TRANSPORTATION ADA STANDARDS FOR TRANSPORTATION FACILITIES</p> <p>k. MUNICIPALITY DEVELOPMENT STANDARDS</p> <p>l. COUNTY DEVELOPMENT STANDARDS</p>		<p>1. WORK SHALL CONSIST OF DEMOLITION, ABANDONMENT, AND REMOVAL OF EXISTING FOUNDATIONS, WALLS, SLABS, FENCES, PIPING, PAVEMENTS, AND OTHER MANMADE ITEMS INTERFERING WITH NEW CONSTRUCTION. WORK SHALL ALSO CONSIST OF CLEARING AND GRUBBING OF TREES, SHRUBS, VEGETATION, ROOTS, STUMPS, RUBBISH, AND OTHER PERSHERABLE MATTER INTERFERING WITH NEW CONSTRUCTION.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. CALL 811 TO NOTIFY UTILITY PROVIDERS, AND REQUEST FIELD LOCATION OF EXISTING UTILITIES WITHIN PROJECT LIMITS PRIOR TO ANY CONSTRUCTION RELATED ACTIVITIES.</p> <p>4. CONDITION AND THESE REQUIREMENTS TO COMMENCING ANY CONSTRUCTION RELATED ACTIVITY.</p> <p>5. CLEARLY IDENTIFY ALL VEGETATION TO BE PRESERVED AND/OR RELOCATED PRIOR TO CLEARING AND GRUBBING.</p> <p>6. PROTECT EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION. ANY DAMAGED IMPROVEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION, OR AS OTHERWISE ACCEPTABLE TO THE OWNER.</p> <p>7. REMOVE EXISTING ABOVE-GRADE AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS.</p> <p>8. SAWCUT ALL PAVEMENT TO BE REMOVED IN STRAIGHT LINES TO FULL DEPTH.</p> <p>9. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS. BREAK UP CONCRETE SLABS THAT ARE 2 FEET OR MORE BELOW PROPOSED SUBGRADE TO PERMIT DRAINAGE.</p> <p>10. DISCONNECT AND SEAL/CAP EXISTING UTILITIES TO BE REMOVED, RELOCATED, OR ABANDONED IN ACCORDANCE WITH REQUIREMENTS OF UTILITY PROVIDERS.</p> <p>11. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING NECESSARY REMOVAL AND/OR RELOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS.</p> <p>12. DO NOT INTERRUPT UTILITY SERVICE TO EXISTING FACILITIES UNLESS PERMITTED BY THE OWNER.</p> <p>13. VOIDS LEFT BY REMOVALS SHALL BE LEVELED TO PREVENT PONDING OF WATER.</p> <p>14. REMOVE AND DEMOLISH MATERIALS, TRASH, AND DEBRIS FROM THE PROJECT SITE.</p> <p>RUBBISH, TRASH, GARBAGE, AND LITTER SHALL BE PLACED IN SEALED CONTAINERS THROUGHOUT CONSTRUCTION.</p>		<p>1. WORK SHALL CONSIST OF STRIPPING AND STORAGE OF TOPSOIL, EXCAVATION, EMBANKMENT, IMPORTING OR EXPORTING MATERIAL TO ACHIEVE LAND BALANCE, COMPACTION, FINISH GRADING, SUBGRADE PREPARATION, AND REPLACEMENT OF TOPSOIL.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL EARTHWORK SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION BASED ON FIELD CONDITIONS AND OBSERVATIONS.</p> <p>4. EXCAVATE TO SUBGRADE REGARDLESS OF THE CHARACTER OF SURFACE AND SUBSURFACE CONDITIONS ENCOUNTERED. EXCAVATED MATERIAL MAY INCLUDE ROCK AND UNCLASSIFIED OBSTRUCTIONS, WHICH IS CONSIDERED AS DEBRIS. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE.</p> <p>5. EXISTING FOUNDATIONS, BUILDING REMNANTS, AND UNSATISFACTORY MATERIAL SHALL BE COMPLETELY REMOVED FROM WITHIN AND A MINIMUM OF 10 FEET BEYOND BUILDING PAD AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.</p> <p>6. EXCAVATED MATERIAL SHALL BE REMOVED FROM THE PROJECT SITE. UNSATISFACTORY MATERIAL SHALL BE REMOVED TO A MINIMUM OF 2 FEET BELOW PROPOSED SUBGRADE WITHIN GREENSPACE AND PAVEMENT AREAS. ANY RELATED EXCAVATION SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL MATERIAL.</p> <p>7. EXCAVATION DEVIATIONS SHALL BE WITHIN 1 INCH, MORE OR LESS, OF PROPOSED SUBGRADE. DEVIATIONS SHALL NOT BE CONSISTENT IN ONE DIRECTION.</p> <p>8. DISKING, HARROWING, AND AERATION TECHNIQUES SHALL BE USED TO DRY SUBGRADE PRIOR TO PROOF ROLLING. IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER, PROOF ROLL SUBGRADE BELOW BUILDING PAD AND PAVEMENT AREAS DURING DRY WEATHER WITH A FULLY LOADED TANDUM AXLE DUMP TRUCK WHERE COHESIVE SOILS ARE PREDOMINANT, AND WITH A SMOOTH DRUMMED VIBRATORY ROLLER WHERE GRANULAR SOILS ARE PREDOMINANT. SUBGRADE WHICH IS OBSERVED TO RUT OR DEFLECT EXCESSIVELY SHALL BE UNDERCUT IN ACCORDANCE WITH RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. THE CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE THROUGHOUT CONSTRUCTION. THIS MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES OR PUMPING TO ALLEVIATE WATER PONDING. SURFACE WATER AND GROUNDWATER SHALL BE PREVENTED FROM ENTERING EXCAVATIONS, PONDING ON PREPARED SUBGRADES, AND FLOODING OF ADJACENT AREAS.</p> <p>11. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR ALL EARTHWORK COMPUTATIONS AND FOR ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SLOPE. THE CONTRACTOR SHALL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT.</p> <p>12. TOPSOIL REPLACEMENT DEPTH SHALL BE AS CALLED OUT ON THE CIVIL OR LANDSCAPE PLANS, OR A MINIMUM OF SIX INCHES IF NOT CALLED OUT ON LANDSCAPE PLAN.</p> <p>13. TOPSOIL IN PARKING ISLANDS: ALL PARKING LOT ISLANDS TO BE BACKFILLED WITH TOPSOIL TO A MINIMUM DEPTH OF 18" BY DRY MEASURE TO INSURE LONG TERM PLANT HEALTH. CROWN ALL PLANTING ISLANDS A MINIMUM OF 6" TO PROVIDE PROPER DRAINAGE, UNLESS OTHERWISE SPECIFIED.</p>		<p>1. WORK SHALL CONSIST OF INSTALLATION OF PARKING LOT STRIPING, DIRECTIONAL ARROWS, AND ACCESSIBLE SYMBOLS.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH SECTION 646 OF WISDOT STANDARD SPECIFICATIONS AND WISDOT APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS NOTED OTHERWISE ON THIS PLAN. MARKINGS SEPARATING OPPOSING TRAFFIC SHALL BE YELLOW.</p> <p>4. ALL PARKING LOT STRIPING SHALL BE 4-INCH WIDTH UNLESS NOTED OTHERWISE ON THIS PLAN.</p> <p>5. EXISTING ROADWAY MARKINGS SHALL BE MAINTAINED UNTIL PAVEMENT MARKING IS DRIED. PROTECT ADJACENT AREAS FROM RECEIVING PAINT OR EPOXY.</p> <p>6. APPLY PAVEMENT MARKING IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS TO PRODUCE MARKINGS AS INDICATED. PAINT SHALL BE USED WITHIN THE SPECIFIED TIME FRAME AND SHALL BE IN ACCORDANCE WITH STANDARDS.</p> <p>7. APPLY PAVEMENT MARKING TO CLEAN AND DRY SURFACE, FREE FROM FROST, TO ENSURE PROPER BONDING.</p> <p>8. NOTIFY OWNER OF ANY UNSOUND CONDITIONS PRIOR TO COMMENCING WORK. APPLYING PAVEMENT MARKING CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.</p>		<p>1. WORK SHALL CONSIST OF FURNISHING DETAILED DESIGN, MATERIALS, LABOR, EQUIPMENT, SUPERVISION, AND DIRECTION TO CONSTRUCT RETAINING WALL SYSTEMS IN REASONABLY CLOSE CONFORMITY TO THE LINES, GRADES, AND DIMENSIONS SHOWN ON THIS PLAN. RETAINING WALLS SHOWN ON THIS PLAN ARE FOR GENERAL LOCATION AND MATERIAL REFERENCE ONLY.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. THE CONTRACTOR SHALL PROCURE DETAILED DESIGN CALCULATIONS AND DRAWINGS, PREPARED AND SEALED BY A PROFESSIONAL ENGINEER EXPERIENCED WITH RETAINING WALL DESIGN AND LICENSED IN THE STATE IN WHICH THE RETAINING WALLS ARE TO BE CONSTRUCTED.</p> <p>4. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SURROUNDING STRUCTURES AND UTILITIES ARE PROTECTED FROM THE EFFECTS OF EXCAVATION AND PROVIDING ANY NECESSARY EXCAVATION SUPPORT.</p> <p>5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION ADJACENT TO THE RETAINING WALLS DOES NOT DISTURB OR PLACE TEMPORARY LOADS ON THE RETAINING WALLS THAT EXCEED DESIGN LOADS.</p>	
01 70 00 – EXECUTION & CLOSEOUT REQUIREMENTS		DIVISION 32 – EXTERIOR IMPROVEMENTS		33 10 00 – WATER DISTRIBUTION		33 30 00 – SANITARY SEWERAGE			
<p>1. THE CONTRACTOR IS RESPONSIBLE FOR EXAMINING ALL EXISTING SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL COMPARE WITH THIS PLAN.</p> <p>2. EXISTING UTILITY INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, BASED ON BEST AVAILABLE PUBLIC RECORDS, AS-BUILT DRAWINGS, AND FIELD OBSERVATIONS. NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR ACCURACY OR COMPLETENESS. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND NATURE OF EXISTING UTILITIES, AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.</p> <p>3. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL PROPOSED UTILITY CONNECTIONS AND CROSSINGS PRIOR TO PROCEEDING WITH ANY WORK. ANY CONFLICTS SHALL BE REPORTED TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</p> <p>4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. A GEOTECHNICAL REPORT MAY BE AVAILABLE FROM THE OWNER. THE CONTRACTOR SHALL ABIDE BY THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND SUBSEQUENT RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION.</p> <p>5. THE CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF THE BENCHMARKS AND HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH ANY WORK.</p> <p>6. SURVEY BENCHMARKS AND CONTROL POINTS SHALL BE MAINTAINED AND PROTECTED FROM DISTURBANCE.</p> <p>7. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED AT ALL TIMES. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.</p> <p>8. ANY ADJACENT PROPERTIES OR ROAD RIGHT-OF-WAYS WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED BY THE CONTRACTOR. THE COST OF RESTORATION IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED.</p> <p>9. PUBLIC ROADS SHALL NOT BE FULLY CLOSED TO TRAFFIC AT ANY TIME. ALL INGRESS AND EGRESS TRAFFIC TO THE PROJECT SITE SHALL BE LIMITED TO THE CONSTRUCTION ENTRANCE.</p> <p>10. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING QUANTITIES, SHALL BID ON THEIR OWN ESTIMATE OF THE WORK REQUIRED, AND SHALL NOT RELY ON THE ENGINEER'S ESTIMATE.</p> <p>11. REQUESTS FOR CLARIFICATION WILL BE INTERPRETED BY THE OWNER/ENGINEER PRIOR TO AWARD OF CONTRACT, AND WHEN NECESSARY, OFFICIAL WRITTEN RESPONSES WILL BE ISSUED. OFFICIAL WRITTEN RESPONSES SHALL BE BINDING TO THE WORK. IN NO WAY SHALL VERBAL DIALOGUE CONSTITUTE OFFICIAL RESPONSE.</p> <p>12. SHOULD ANY DISCREPANCIES BE DISCOVERED BY THE CONTRACTOR AFTER AWARD OF CONTRACT, NOTIFY OWNER/ENGINEER IN WRITING IMMEDIATELY. CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES SHALL NOT COMMENCE OR CONTINUE UNTIL AN OFFICIAL WRITTEN RESPONSE IS ISSUED.</p> <p>13. ALL WORK SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM PERIOD OF 12 MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.</p> <p>14. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, THE ENGINEER, AND THE MUNICIPALITY, THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.</p>		<p>32 12 00 – ASPHALT PAVING</p> <p>1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF HOT-MIX ASPHALT, PAVEMENT MARKING, SIGNAGE, AND CLEANUP.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ASPHALT PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW SHALL BE FORMATTED USING WISDOT MIX DESIGN STANDARD DATA INPUT FORM/REPORT 249.</p> <p>4. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>5. ASPHALTIC MATERIALS SHALL BE IN ACCORDANCE WITH SECTION 455 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>6. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 460 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>7. DO NOT CONDUCT ASPHALT PAVING IF ANY OF THE FOLLOWING CONDITIONS EXIST: CRUSHED STONE BASE IS WET OR EXCESSIVELY DAMP. TEMPERATURE IS BELOW 30 DEGREES FAHRENHEIT AT TIME OF BINDER COURSE.</p> <p>8. APPLICATION: TEMPERATURE HAS BEEN BELOW 35 DEGREES FAHRENHEIT WITHIN 12 HOURS PRIOR TO TACK COAT APPLICATION; TEMPERATURE IS BELOW 40 DEGREES FAHRENHEIT AT TIME OF SURFACE COURSE INSTALLATION.</p> <p>9. COMPACT ASPHALT IN ACCORDANCE WITH SECTION 450 OF WISDOT STANDARD SPECIFICATIONS. COMPACT ASPHALT TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4-INCH FOR BINDER COURSE, AND WITHIN PLUS 1/4-INCH FOR SURFACE COURSE. (NO MINUS).</p> <p>10. APPLY TACK COAT BETWEEN ASPHALT COURSES AT A MINIMUM RATE OF 0.25 GAL./SQ.</p> <p>11. NO TRAFFIC SHALL BE ALLOWED ON ASPHALT AFTER FINAL ROLLING UNTIL IT HAS COOLED AND HARDENED.</p> <p>12. FINAL ASPHALT SURFACE SHALL BE WITHIN A 1/8-INCH TOLERANCE AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED LONGITUDINALLY OR TRANSVERSELY. REMOVE AND REPLACE ALL RAISED AND DEPRESSED AREAS EXCEEDING TOLERANCE.</p> <p>13. A SLOPE NO GREATER THAN 2% IN ALL DIRECTIONS AT ADA PARKING STALLS AND ADJACENT UNLOADING AREAS IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p> <p>14. A SLOPE NO GREATER THAN 5% ALONG THE LENGTH OF THE ACCESSIBLE ROUTE IS REQUIRED. A SLOPE NO GREATER THAN 2% ACROSS THE WIDTH OF THE ACCESSIBLE ROUTE IS REQUIRED. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WORK.</p>		<p>1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE WATER DISTRIBUTION SYSTEM AND ALL APPURTENANCES.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL PUBLIC WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 811, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>4. ALL PRIVATE WATER DISTRIBUTION WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>5. POLYVINYL CHLORIDE (PVC) PIPE SHALL BE SDR 18, CLASS 150 CONFORMING TO AWWA C900 WITH INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS IN ACCORDANCE WITH SECTION 8.2.0.0 OF SSSWCW.</p> <p>6. DUCTILE IRON PIPE SHALL BE SDR 30, CLASS 150 CONFORMING TO AWWA C151 WITH RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 8.1.8.0 OF SSSWCW.</p> <p>7. POLYETHYLENE TUBING SHALL BE SDR 9 IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO AWWA C901.</p> <p>8. COPPER TUBING SHALL BE TYPE "K" IN ACCORDANCE WITH SECTION 8.2.4.0 OF SSSWCW AND CONFORM TO ASTM B88.</p> <p>9. BALL VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.3.0.0 OF SSSWCW AND CONFORM TO AWWA C800 AND ASTM B62.</p> <p>10. GATE VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.7.0 OF SSSWCW AND CONFORM TO AWWA C500.</p> <p>11. BUTTERFLY VALVES SHALL BE IN ACCORDANCE WITH SECTION 8.2.8.0 OF SSSWCW AND CONFORM TO AWWA C504.</p> <p>12. VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.2.9.0 OF SSSWCW AND CONFORM TO ASTM A48. VALVE BOXES SHALL BE TYPE DD, SORREW TYPE, 3 PIECE ASSEMBLY, WITH COVERS MARKED "WATER". ALL VALVE BOXES SHALL BE IN ACCORDANCE WITH SECTION 8.2.9.0 OF SSSWCW AND REPORTED BY USE OF THE FOLLOWING:</p> <p>13. HYDRANTS SHALL BE IN ACCORDANCE WITH SECTION 8.2.6.0 OF SSSWCW AND CONFORM TO AWWA C502. PUMPER NOZZLE SHALL BE PERPENDICULAR TO AND ORIENTED TOWARDS THE PAVEMENT. HYDRANTS SHALL BE ATTACHED BY MEANS OF TEE AND HAVE A GROUND WORKS 18 INCHES TO CENTER DISTANCE OF 18 TO 21 INCHES.</p> <p>14. FITTINGS SHALL BE CLASS 150 IN ACCORDANCE WITH SECTION 8.2.2.0 OF SSSWCW, CONFORMING TO AWWA C110, AND PROVIDED WITH MECHANICAL JOINTS.</p> <p>15. MECHANICAL JOINTS SHALL BE MADE WITH "COR TEN" NUTS AND BOLTS, OR CORROSION-RESISTANT EQUIVALENTS CONFORMING TO AWWA C111.</p> <p>16. POLYETHYLENE WRAP SHALL BE IN ACCORDANCE WITH SECTION 8.2.1.0 OF SSSWCW AND PROVIDED FOR ALL METAL PIPES AND FITTINGS.</p> <p>17. FITTINGS SHALL BE IN ACCORDANCE WITH SECTION 4.3.1.3 OF SSSWCW AND PROVIDED FOR ALL BENDS, CAPS, PLUGS, AND TEES.</p> <p>18. TRENCH SECTION SHALL BE IN ACCORDANCE WITH FILE NO. 36 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.</p> <p>19. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.</p> <p>20. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>21. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.</p> <p>22. TRACER WIRE SHALL BE BLUE AND INSTALLED IN ACCORDANCE WITH SECTION 2.11.2 OF SSSWCW ON ALL BURIED NON-METALLIC PUBLIC WATER MAIN PIPE, PRIVATE WATER MAIN PIPE, AND BUILDING WATER SERVICE PIPE. TRACER WIRE SHALL BE INSULATED, SINGLE-CONDUCTOR, 12 GAUGE SOLID COPPER OR COPPER COATED STEEL WIRE, SECURED AT LEAST EVERY 10 FEET AND AT ALL BENDS, WITH ACCESS POINTS AT LEAST EVERY 400 FEET.</p> <p>23. PROPOSED WATER SERVICES SHOWN ON THIS PLAN SHALL TERMINATE AT A POINT FIVE (5) FEET FROM THE EXTERIOR BUILDING WALL. CONNECTIONS TO EXISTING SANITARY SEWER PIPES SHALL BE MADE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. THE EXACT LOCATION OF TOWNPOUNTS SHALL BE SHOWN ON THE ARCHITECTURAL PLANS.</p> <p>24. THE CONTRACTOR SHALL ADJUST ALL MANHOLE RIMS AND INLETS TO FINISHED SURFACE.</p> <p>25. AFTER INSTALLATION OF STORMWATER DRAINAGE SYSTEM, CLEAN ALL DEBRIS FROM SYSTEM AND INSPECT FOR DAMAGE. REPAIR ANY DAMAGE.</p>		<p>1. WORK SHALL CONSIST OF INSTALLATION AND TESTING OF THE SANITARY SEWERAGE SYSTEM AND ALL APPURTENANCES.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. ALL PUBLIC SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE NR 110, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>4. ALL PRIVATE SANITARY SEWERAGE WORK SHALL BE IN ACCORDANCE WITH WISCONSIN ADMINISTRATIVE CODE SPS 382, MUNICIPALITY DEVELOPMENT STANDARDS AND SSSWCW.</p> <p>5. POLYVINYL CHLORIDE (PVC) PIPE AND FITTINGS SHALL BE SDR 35 CONFORMING TO ASTM D3034 FOR DEPTHS LESS THAN 18 FEET, AND SHALL BE SDR 18 CONFORMING TO AWWA C900 FOR DEPTHS GREATER THAN 18 FEET, BOTH WITH PUSH-ON RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTIONS 8.1.0.6 AND 8.4.1.4 OF SSSWCW.</p> <p>6. MANHOLES SHALL BE PRECAST REINFORCED CONCRETE IN ACCORDANCE WITH SECTION 8.3.6.0 OF SSSWCW AND CONFORM TO ASTM C478. SIZES SHALL BE AS INDICATED AND VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING.</p> <p>7. TRENCH SECTION SHALL BE CLASS B IN ACCORDANCE WITH SECTION 3.2.6 OF SSSWCW. MAXIMUM ALLOWABLE TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE PLUS 20 INCHES.</p> <p>8. PIPE BEDDING AND COVER MATERIAL SHALL BE IN ACCORDANCE WITH SECTION 8.4.3.0 OF SSSWCW. MINIMUM COVER OVER PIPE SHALL BE 12 INCHES.</p> <p>9. TRENCH BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.4 OF SSSWCW BENEATH PAVEMENT AREAS, AND SHALL BE SPOIL BACKFILL IN ACCORDANCE WITH SECTION 8.4.3.5 OF SSSWCW BENEATH GREENSPACE AREAS, UNLESS ALTERNATIVE COMPACTION IS RECOMMENDED IN THE GEOTECHNICAL REPORT OR BY THE GEOTECHNICAL ENGINEER DURING CONSTRUCTION, IN WHICH CASE THE CONTRACTOR IS TO FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.</p> <p>10. CAUTION MUST BE FOLLOWED REGARDING THE COMPACTION OF ALL UTILITY TRENCHES. FLOODING OF BACKFILL MATERIAL IS NOT ALLOWED.</p> <p>11. ALL CONNECTIONS TO EXISTING SANITARY SEWER PIPES AND STRUCTURES SHALL BE CORED CONNECTIONS, UNLESS NOTED OTHERWISE. PREFABRICATED WYE CONNECTIONS ARE REQUIRED FOR ALL BUILDING SANITARY SERVICE PIPES, UNLESS NOTED OTHERWISE.</p>			
		32 13 00 – CONCRETE PAVING							
		<p>1. WORK SHALL CONSIST OF FINE GRADING SUBGRADE, EXCAVATION BELOW SUBGRADE (IF NECESSARY), PLACEMENT OF CRUSHED STONE BASE, INSTALLATION OF CONCRETE, AND CLEANUP.</p> <p>2. ALL ITEMS SHALL INCLUDE ALL NECESSARY MATERIALS AND LABOR TO COMPLETE THE ITEM IN PLACE.</p> <p>3. CRUSHED STONE BASE SHALL BE IN ACCORDANCE WITH SECTION 305 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>4. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH WISDOT STANDARD SPECIFICATIONS:</p> <p>a. SECTION 405 – COLORED AND STAMPED CONCRETE PAVING</p> <p>b. SECTION 415 – CONCRETE PAVEMENT</p> <p>c. SECTION 416 – CONCRETE PAVEMENT REPAIR</p> <p>d. SECTION 601 – CONCRETE CURBING</p> <p>e. SECTION 602 – CONCRETE SIDEWALK AND PATIO PAVING</p> <p>5. CONCRETE SHALL BE GRADE A AIR-ENTRAINED IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS. WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI.</p> <p>6. AGGREGATE SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS.</p> <p>7. WATER SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C94 / C94M.</p> <p>8. AIR-ENTRAINING SHALL BE IN ACCORDANCE WITH SECTION 501 OF WISDOT STANDARD SPECIFICATIONS AND ASTM C260.</p>							



PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	INSTALLED SIZE	ROOT
DECIDUOUS SHRUBS					
VR2	16	Kodak® Black Honeysuckle	Diervilla rivularis 'SMNDRSF'	15" HT	CONT
BBH	12	BoBo® Hydrangea	Hydrangea paniculata 'ILVOBO'	18" HT	CONT
EVERGREEN SHRUBS					
PJC	8	Kallay Compact Pfitzer Juniper	Juniperus chinensis 'Kallaye Compact'	18" SPD	CONT
JY	9	Youngstown Andorra Juniper	Juniperus horizontalis 'Youngstown'	18" SPD	CONT
ORNAMENTAL GRASSES					
CA3	44	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 GAL	CONT
PERENNIALS					
H9	12	Apricot Sparkles Daylily	Hemerocallis x 'Apricot Sparkles'	1 GAL	POT
H4	14	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	1 GAL	POT
NN	30	Junior Walker™ Catmint	Nepeta x faassenii 'Novanepjun'	1 GAL	POT

DESCRIPTION

DATE

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(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

Brookfield, WI | Milwaukee, WI | Appleton, WI | Madison, WI
Cedarburg, WI | Naperville, IL | Irvine, CA

MLG CAPITAL BUILDING ADDITION
TOWN OF BROOKFIELD, WI

SITE LANDSCAPE PLAN

PRELIMINARY
NOT FOR
CONSTRUCTION

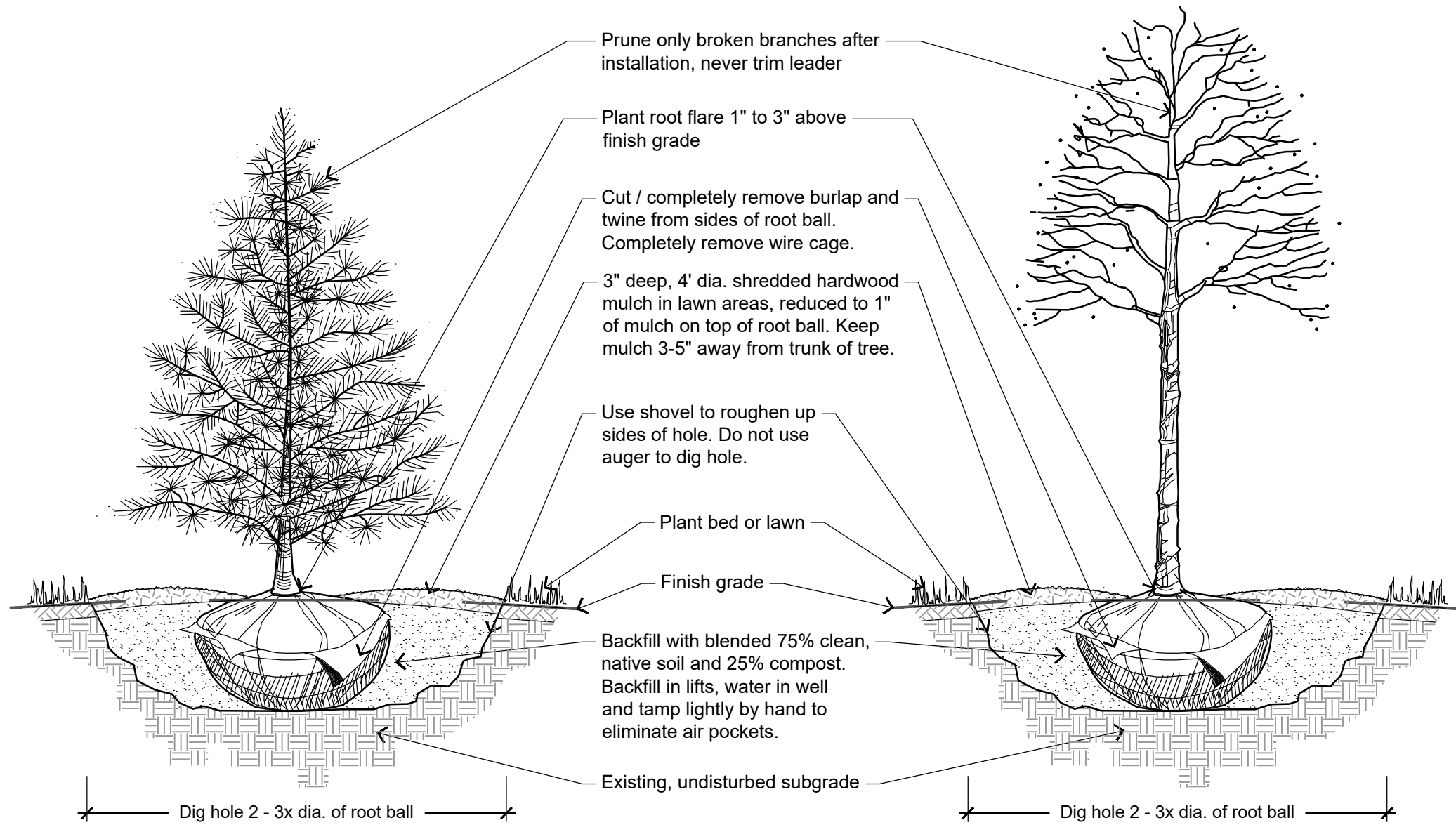
Know what's below.
Call before you dig.

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R.A. Smith, Inc.
DATE: 07/23/2025
SCALE: 1" = 20'
JOB NO. 3250112
PROJECT MANAGER:
CHRISTOPHER WHITE, P.E.
DESIGNED BY: REW
CHECKED BY: REW

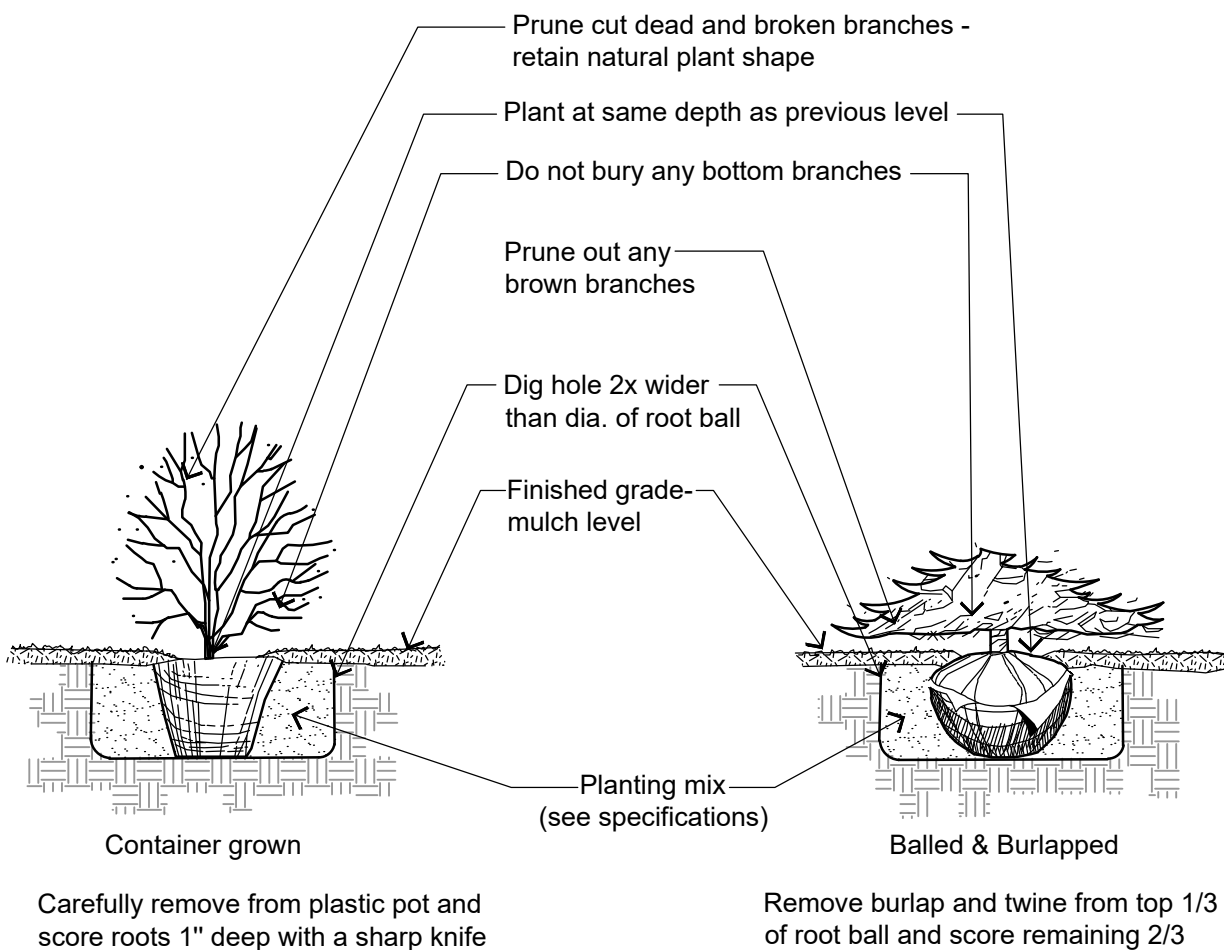
SHEET NUMBER
L100

PLANTING DETAILS

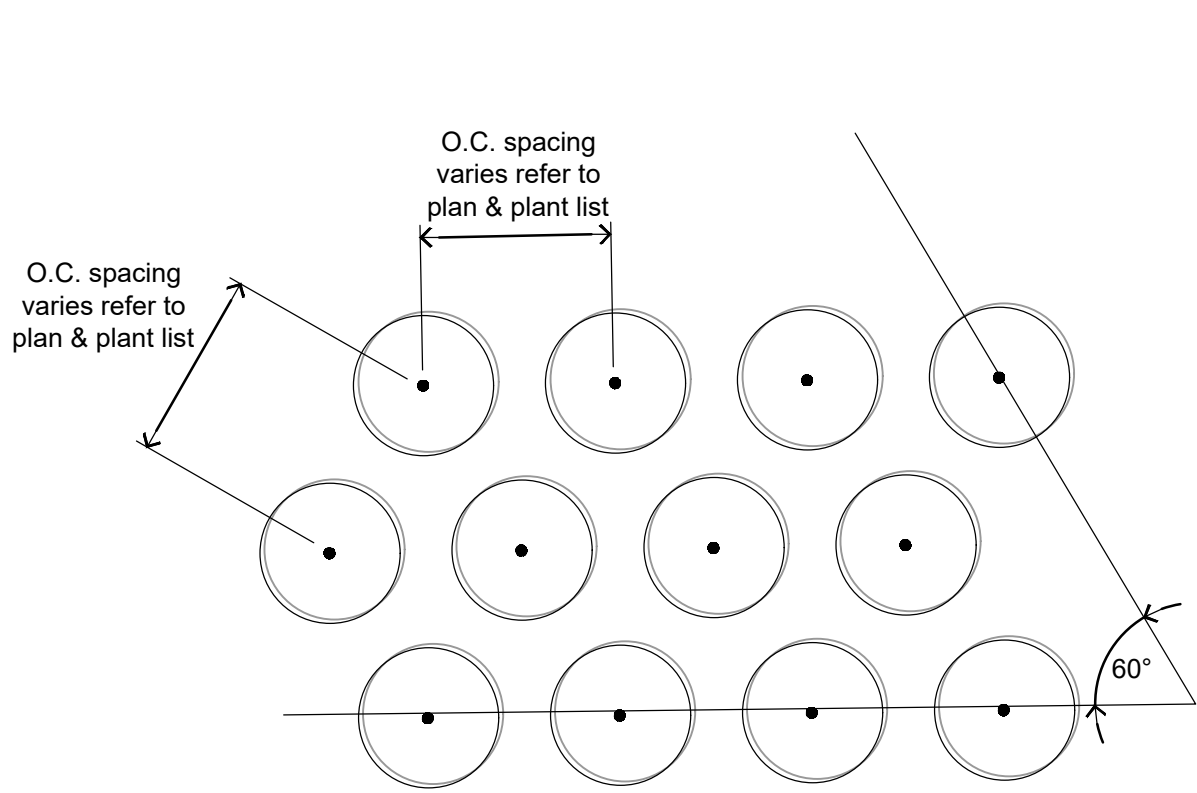


1 TREE PLANTING DETAIL
NOT TO SCALE

P-PL-TREE-07

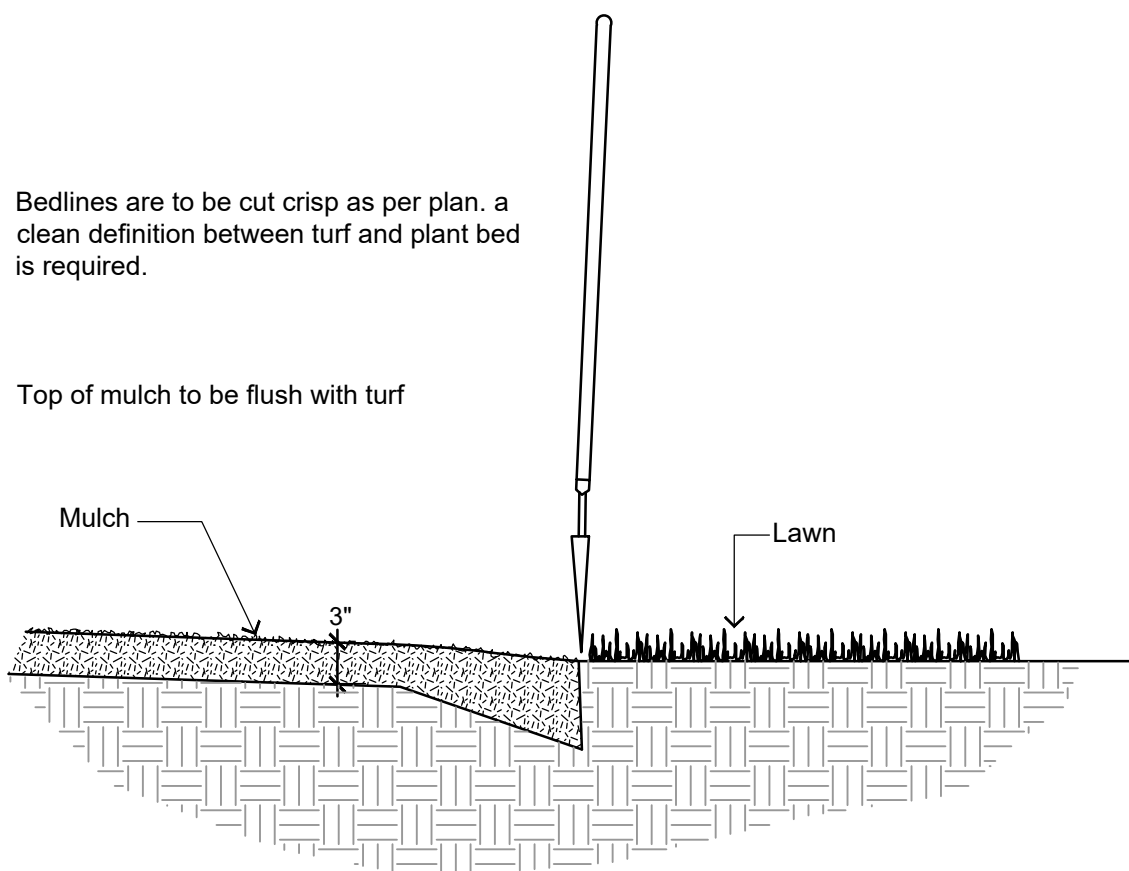


2 SHRUB PLANTING DETAIL
NOT TO SCALE



3 PLANTING LAYOUT
NOT TO SCALE

P-PL-PL-01



4 SHOVEL CUT PLANT BED EDGING DETAIL
NOT TO SCALE

P-PL-BDEG-01

GENERAL LANDSCAPE NOTES

- Contractor responsible for contacting public and private underground utility locating service to have site marked prior to any digging or earthwork.
- Contractor to verify all plant quantities shown on plant list and verify with plan. Report any discrepancies immediately to general contractor.
- All plantings shall comply with standards as described in American Standard of Nursery Stock - ANSI Z60.1 (latest version). General contractor or owner's representative reserves the right to inspect and potentially reject any plants that are inferior, compromised, undersized, diseased, improperly transported, installed incorrectly or damaged.
- Any potential plant substitutions must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation. All plants must be installed as per sizes and quantities shown on plant material schedule, unless approved by the owner's representative or landscape architect. Any potential changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative or landscape architect prior to installation.
- The subsequent requirements regarding topsoil should be coordinated between the general contractor, grading contractor and landscape contractor.
- Subgrade areas shall be graded to within 1", more or less, of proposed subgrade. Deviations shall not be consistent in one direction.
- Topsoil shall be placed to meet proposed finished grade. Landscaped areas to receive a minimum depth of 6" of clean topsoil (per note below).
- Topsoil shall be: screened existing stockpiled topsoil, existing in-place soil, or screened soil from an off-site source that will support plant growth, and meets the following requirements. Clean topsoil shall be free of rocks, coarse fragments, gravel, sticks, trash, roots, debris over 3/4" and any substances harmful to plant growth. It also must be free of plants or plant parts of any noxious weeds. Topsoil shall contain 3 to 5 percent decomposed organic matter and a pH between 5.5 and 7.0.
- Planting beds: Landscape contractor is responsible for ensuring that unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) has been removed from the topsoil and for the fine grading of all landscaped areas. The fine grading of planting beds may require additional topsoil to bring to finish grade, allowing for mulch depth. Crown all planting planting beds not adjacent to buildings, a minimum of 6" to provide proper drainage, unless otherwise specified. All other finished landscaped areas to be smooth, uniform and provide positive drainage away from structures and pavement.
- Seeded areas: to receive a settled minimum depth of 6" of blended, prepared and non-compacted topsoil. Landscape contractor is responsible for excavation and removal of unwanted material (gravel, debris, roots and other extraneous material harmful to plant growth) to the specified depth, supplementing with additional topsoil (if necessary) and the fine grading of all seeded areas.
- Shrub planting (see planting detail): all shrubs to be pocket planted with a mix of 75% existing soil removed from excavation and 25% compost, blended prior to backfilling holes. When hole is two-thirds full, shrubs shall be watered thoroughly and water left to soak in before proceeding.
- Mulching: all tree and shrub planting beds to receive a 3" deep layer of stone mulch over landscape fabric. Stone to match existing. Do not allow mulch to contact plant stems and tree trunks.
- Edging: edge all planting beds with a 4" deep spaded edge (shovel cut or mechanical). Bedlines are to be cut crisp, as per plan. A clean definition between lawn area and plant bed is required.
- Plant bed preparation: the soil in all perennial, ornamental grass, annual and groundcover areas shall be amended with compost prior to plant installation. Spread a 2" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 6".
- Compost shall be stable, and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids, in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and meet the requirements of WisDNR S100 Compost Specification.
- Lawn installation for all seeded turfgrass areas: remove / kill off any existing unwanted vegetation prior to seeding. Prepare the topsoil and seed bed by removing all surface stones 1" or larger and grading lawn areas to finish grade. Apply a starter fertilizer and specified seed, ensure good seed to soil contact, and provide mulch covering suitable to germinate and establish turf. Provide seed and fertilizer mix information to general contractor prior to installation. Erosion control measures are to be used in swales and on steep grades, where applicable. Methods of installation may vary at the discretion of the landscape contractor on his/her responsibility to establish and guarantee a smooth, uniform, quality turf. If straw mulch is used as a mulch covering, a tackifier may be necessary to avoid wind damage. Marsh hay containing reed canary grass is not acceptable as a mulch covering.
- An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Seed mix type 'A' for lawn areas - use only a premium quality seed mix. Premium blend seed mix (or equivalent): 50% blended bluegrass, 25% creeping red fescue, 25% perennial rye applied at 5 lbs per 1,000 SF or at recommended rates from supplier. Provide seed specifications to general contractor prior to installation.
- Lawn installation for all sodded turfgrass areas(Optional): remove / kill off any existing unwanted vegetation prior to sodding. Prepare the topsoil and sod bed by removing all surface stones 1" or larger and grading lawn areas to finish grade, allowing for thickness of sod. Use only premium sod blend according to TPI (revised 1995) and ASPA standards. Install sod uniformly with staggered joints, laid tightly end to end and side to side. Roll sod with a walk behind roller and water immediately upon installation to a 3" depth. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, healthy turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots (larger than 1/2 square foot) until acceptance by owner.
- The landscape contractor is responsible for the watering and maintenance of all landscape areas at time of planting and throughout construction until the substantial completion of the installation and acceptance by the owner. This includes all trees, shrubs, evergreens, perennials, ornamental grasses, and seeded slopes and turf grass areas. Maintenance includes mowing, weeding, watering, mulching, edging, pruning, deadheading, raking leaves / debris, sweeping up grass clippings, fertilizing and maintaining turf areas (including applying pre and post emergent herbicides), and any other needs that are required to keep the landscape healthy and well maintained.
- Substantial Completion of Landscape: after the landscape has been installed, the landscape contractor is responsible to conduct a final review with the owner's representative and the general contractor to ensure that all plans and specifications have been met. After this review, the landscape will be considered to be installed in substantial completion unless otherwise noted by the owner's representative and/or general contractor. Any items missing or incomplete, shall be corrected within 30 days. The landscape contractor shall provide written watering and maintenance instructions for the new plantings and lawn to the owner.
- Warranty and replacements: All plants (trees, evergreens, shrubs, perennials, ornamental grasses and groundcovers) shall be warranted by the landscape contractor to be in healthy and flourishing condition for a period of one year from the date of substantial completion. This assumes the owner performs required maintenance (i.e. regular watering) after substantial completion of the landscape. Only one replacement per plant will be required during the warranty period, except for losses or replacements due to failure to comply with specified requirements. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

DESCRIPTION		DATE	<div>16745 W. Bluemound Road Brookfield, WI 53005-5938 (262) 781-1000 rasmith.com</div> <div><div>raSmith</div><div>CREATIVITY BEYOND ENGINEERING</div></div> <div>Brookfield, WI Milwaukee, WI Appleton, WI Madison, WI Cedarburg, WI Naperville, IL Irvine, CA</div>	
MLG CAPITAL BUILDING ADDITION TOWN OF BROOKFIELD, WI		LANDSCAPE NOTES AND DETAILS		
<div>PRELIMINARY NOT FOR CONSTRUCTION</div>				
© COPYRIGHT 2025 R.A. Smith, Inc.				
DATE: 07/23/2025				
SCALE: N.T.S.				
JOB NO. 3250112				
PROJECT MANAGER: CHRISTOPHER WHITE, P.E.				
DESIGNED BY: REW				
CHECKED BY: REW				
SHEET NUMBER				
L200				

PROJECT:
MLG HQ BUILDING ADDITION

19000 W. BLUEMOUND ROAD
BROOKFIELD, WI 53045



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
414.277.9700
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

WALLACE & SMITH DISTILLING CO.

MLG HQ
EXPANSION

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OWNER

REVISIONS

NO.	DESCRIPTION	DATE
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INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
ISSUED FOR	REVIEW
DATE	07/25/25

SHEET

TITLE PAGE

X080

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ISSUED FOR: **OWNER REVIEW**

ARCHITECT:
STEPHEN PERRY SMITH ARCHITECTS, INC.
MILWAUKEE, WISCONSIN

KEYNOTES	
02-14	EXISTING LANDSCAPE TO REMAIN (SEE LANDSCAPE PLAN)
26-06	EXISTING EXTERIOR POLE LIGHTING
32-02	ALIGN NEW BUILDING EXPANSION WITH EXISTING GREENHOUSE
32-05	NEW CONCRETE SIDEWALK
32-09	REMOVE ASPHALT, INSTALL NEW CONCRETE CURB & INFILL WITH LANDSCAPING (SEE LANDSCAPE PLAN)
32-12	EXISTING SIGNAGE
32-14	EXISTING CEDAR TRASH ENCLOSURE



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PROJECT MANAGER	EJN
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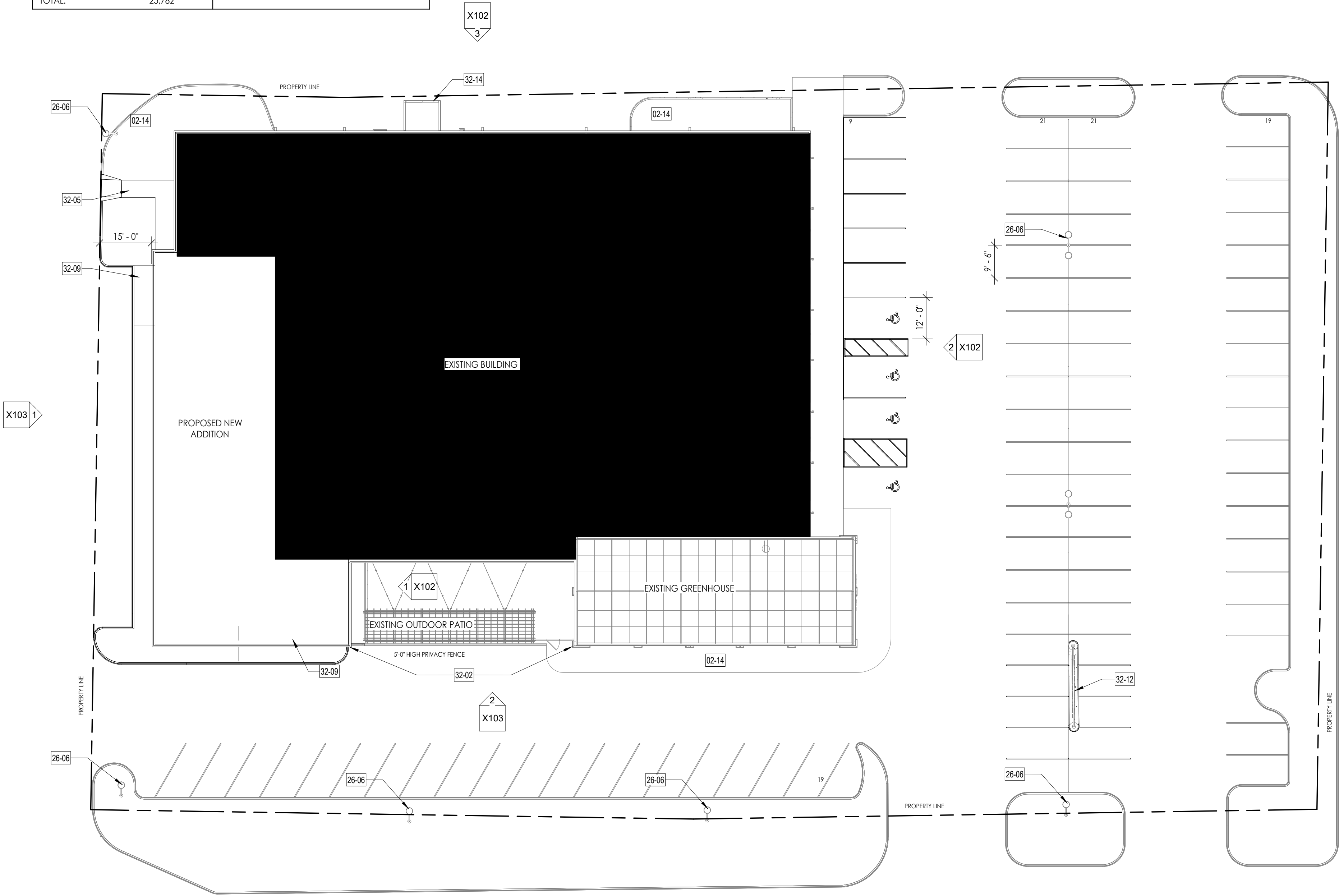
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EXHIBIT SITE PLAN

X090

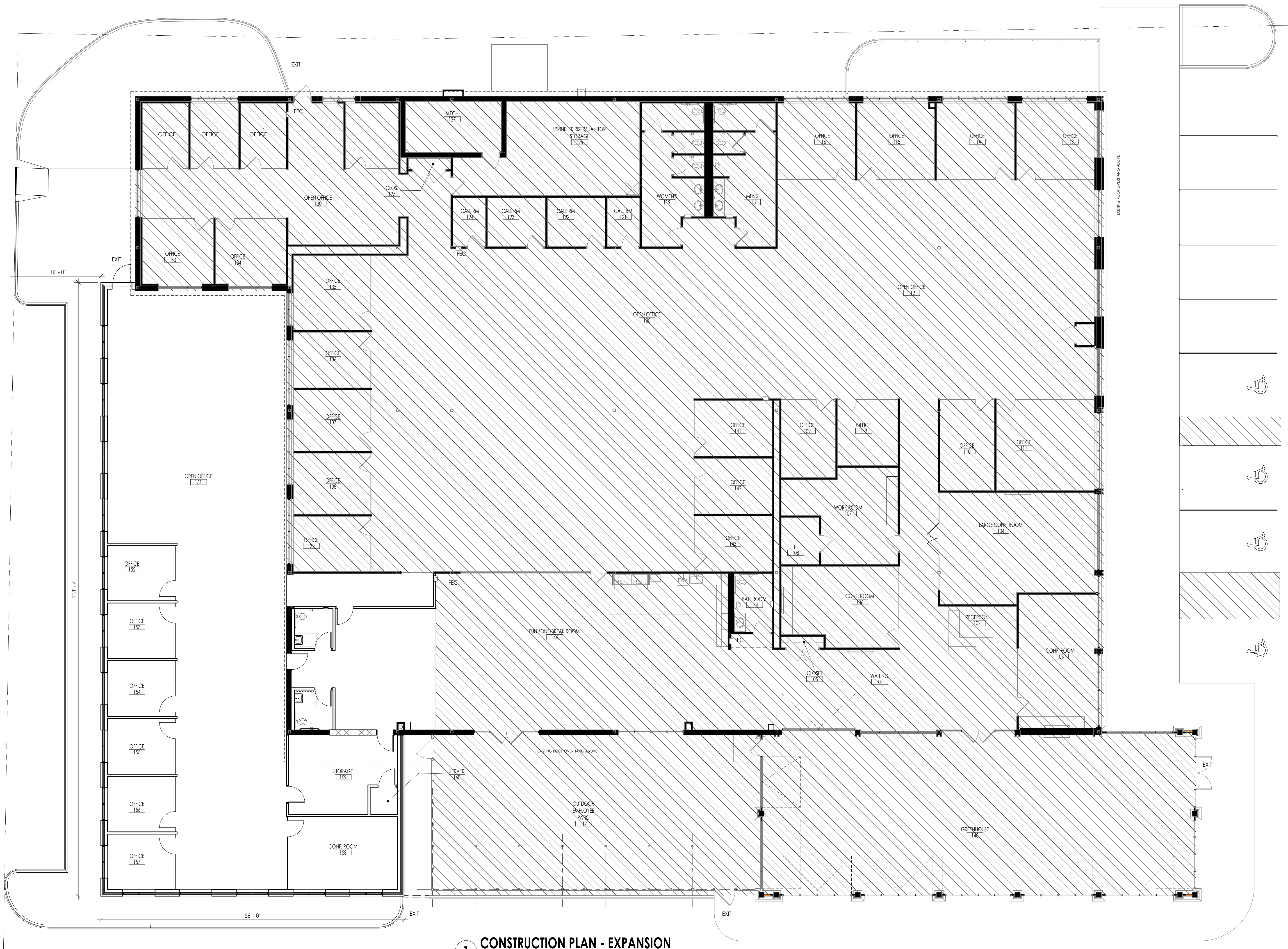
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BUILDING AREAS & PARKING			
SPACE NAME	AREA (SF)	PARKING	COUNT
EXISTING BUILDING:	21,221	REQUIRED (1 PER 250 SF):	103
EXPANSION:	4,561	ACTUAL:	89 (INCLUDES 4 ADA)
TOTAL:	25,782		



1 ARCHITECTURAL SITE PLAN
SCALE 1" = 20'-0"





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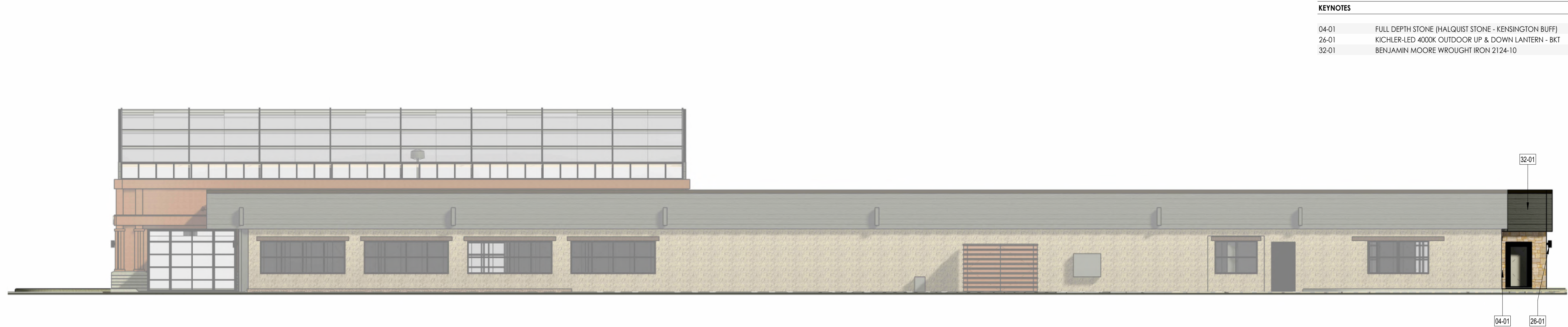
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EXHIBIT CONSTRUCTION PLANS

X101

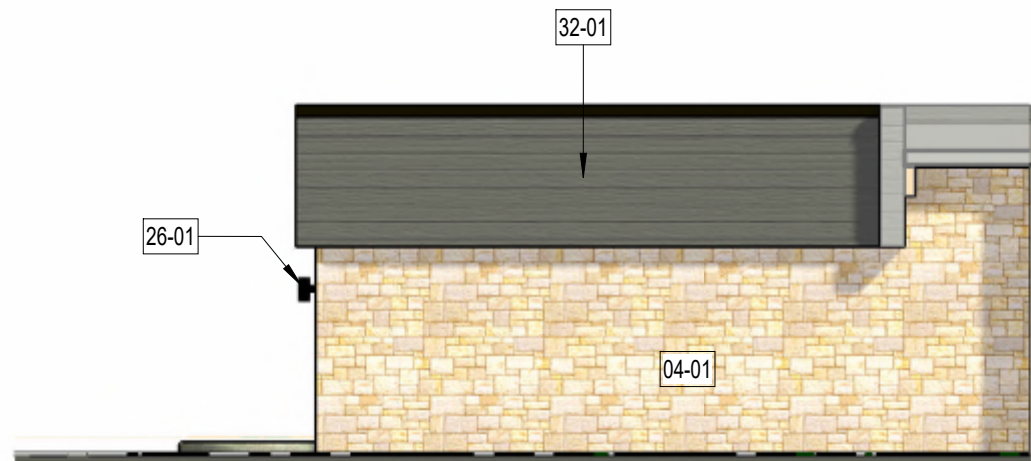
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3 NORTH ELEVATION
SCALE 1/8" = 1'-0"



2 EAST ELEVATION
SCALE 1/8" = 1'-0"



1 EAST ELEVATION - EXPANSION
SCALE 1/8" = 1'-0"

KEYNOTES	
04-01	FULL DEPTH STONE (HALQUIST STONE - KENSINGTON BUFF)
26-01	KICHLER-LED 4000K OUTDOOR UP & DOWN LANTERN - BKT
32-01	BENJAMIN MOORE WROUGHT IRON 2124-10



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EXHIBIT ELEVATIONS

X102

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KEYNOTES	
04-01	FULL DEPTH STONE (HALQUIST STONE - KENSINGTON BUFF)
26-01	KICHLER-LED 4000K OUTDOOR UP & DOWN LANTERN - BKT
32-01	BENJAMIN MOORE WROUGHT IRON 2124-10



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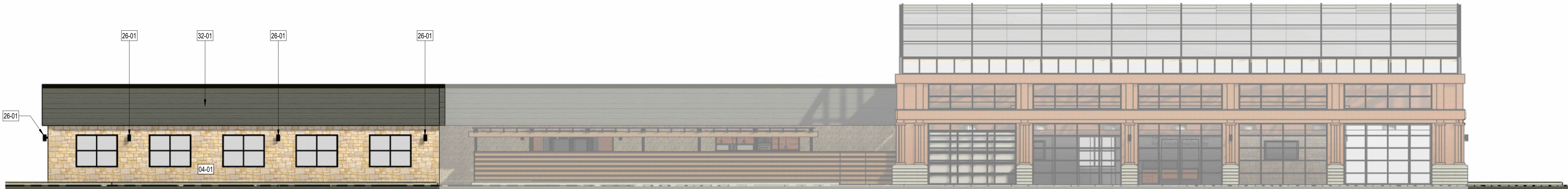
PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	250219
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EXHIBIT ELEVATIONS

X103

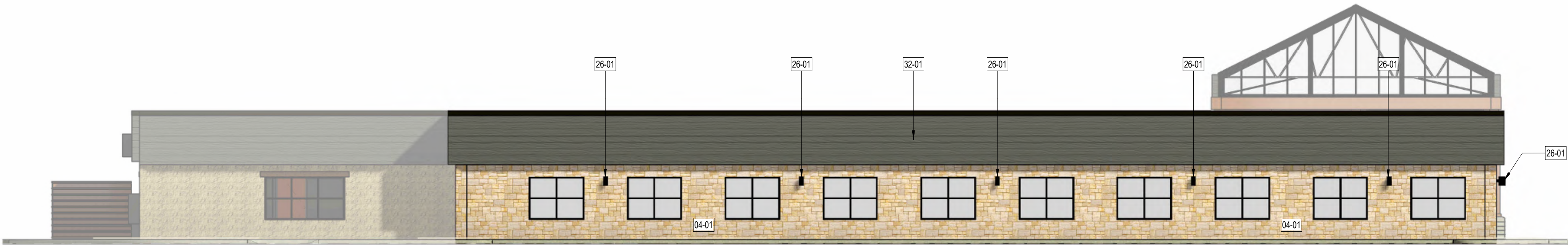
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2 SOUTH ELEVATION

SCALE 1/8" = 1'-0"

:



1 WEST ELEVATION

SCALE 1/8" = 1'-0"

:



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EXHIBIT PERSPECTIVE

X104



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EXHIBIT PERSPECTIVE

X105



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EXHIBIT PERSPECTIVE

X106



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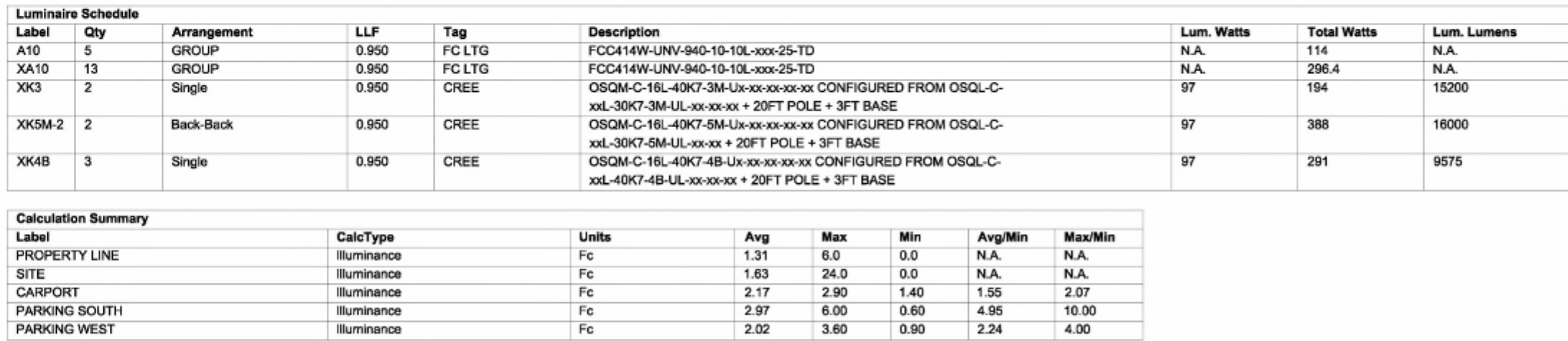
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EXHIBIT PERSPECTIVE

X107

- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



PROPOSED BUILDING FOR:

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EXHIBIT LIGHTING PLAN

BUISNESS REMODEL FOR:

REVIVAL

FITNESS & WELLNESS

SUITES LMN
17800 W. BLUEMOUND ROAD
BROOKFIELD, WI

OWNER INFORMATION		DESIGNER/ENGINEER
OWNER	REVIVAL FITNESS & WELLNESS SUITES LMN 17800 WEST BLUEMOUND ROAD BROOKFIELD, WI	DESIGNER: NATE HAYTON DESIGN: 4 STYLE 14807 GOLF COURSE DRIVE FOND DU LAC, WI 54935 PHONE: (920) 546-5411 EMAIL: NATE@DESIGN4STYLE.COM
GENERAL CONTRACTOR	ROB MILLER HOMES 106 MAIN STREET DELAWARE, WI 53018	ENGINEER: JAMES D. HALVERSON, P.E. GRUNWALDT & HALVERSON, LLC 17 AFFLUENT COURT, SUITE 203 MADISON, WI 53713 PHONE: (608) 309-8890 EMAIL: JIM@GRUNWALDTHALVERSON.COM
PROJECT DATA		PROJECT LOCATION
BUILDING CODE:	IBC 2015	BUILDING ADDRESS: 17800 WEST BLUEMOUND ROAD BROOKFIELD, WI
CONSTRUCTION TYPE:	III-B	MUNICIPALITY: TOWN OF BROOKFIELD
USE & CLASSIFICATION:	FIRST FLOOR: A-3 (CHANGED FROM M) LOWER LEVEL: B (EXISTING IS B)	COUNTY: WAUKESHA
ACCESSORY USE(S):	N/A	PROPERTY ZONING: M-2
SEPARATED/NON-SEP. USE:	NO SEPARATIONS WITHIN WORK AREA	CONDITIONAL USE:
PROJECT AREA:	FIRST FLOOR: 6211 SQ. FT. LOWER LEVEL: 8242 SQ. FT.	MUNICIPALITY CERTIFIED TO PERFORM INSPECTION:
TOTAL BUILDING AREA:	35,650 SQ. FT.	AREA INCREASE CALCULATION
TOTAL BUILDING VOLUME:	OVER 50,000 C.F.	
ALLOWABLE BUILDING AREA:	38,000 SQ. FT.	
MAXIMUM NO. STORIES:	ONE STORY W/ PARTIAL BASEMENT	
FIRE ALARM SYSTEM:	N/A	
FIRE SUPPRESSION:	YES	
SPRINKLER TYPE:	NFPA 13	
PLUMBING FIXTURES		
LOWER LEVEL: 82 OCCUPANTS		
MAIN FLOOR LEVEL: 92 OCCUPANTS		
TOTAL OCCUPANTS: 283		
FIXTURE TYPE	REQUIRED	PROVIDED
TOILET	2-UPSTAIRS 2-DOWNSTAIRS	2-UPSTAIRS 6-DOWNSTAIRS
URINAL	0-UPSTAIRS 1-DOWNSTAIRS	2-DOWNSTAIRS
LAVATORY	2-UPSTAIRS 2-DOWNSTAIRS	6-DOWNSTAIRS
BATH TUB/SHOWER	0	4-DOWNSTAIRS
WATER STATION	1-UPSTAIRS 1-DOWNSTAIRS	1-UPSTAIRS 2-DOWNSTAIRS
SERVICE SINK	1	1-DOWNSTAIRS
PROVIDE SOURCE OF PURE DRINKING WATER OUTSIDE OF TOILET ROOMS BY AN ACCESSIBLE DRINKING FOUNTAIN OR BOTTLED WATER AND DISPOSABLE CUPS.		

GENERAL NOTES

- CONTRACTORS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS ON JOB SITE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING PLANS AND EXISTING CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- PERMITS, ETC. TO BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK TO BE DONE IN ACCORDANCE WITH STATE & LOCAL AUTHORITIES.
- ALL INTERIOR FINISHES PER IBC-2015.
- STANDARD EXIT HARDWARE WILL BE PROVIDED AS REQUIRED BY IBC-2015.
- DUE TO ELECTRONIC PLAN SUBMITTALS TO STATE AGENCIES AND THE RESULTING FILE CONVERSIONS DRAWING SCALES MAY NOT BE ACCURATE. DO NOT SCALE DRAWINGS. DO NOT SCALE PRINTS THAT WERE CREATED AS PDF'S CONTACT DESIGNER FOR ANY SPECIFIED CRITICAL DIMENSIONS.
- PROVIDE FIRE EXTINGUISHERS PER IFC 906 AND MAINTAIN PER IFC 906 AND NFPA 10.
- PROVIDE EMERGENCY ILLUMINATION PER IBC 1008.1.

DRAWING TABLE OF CONTENTS:

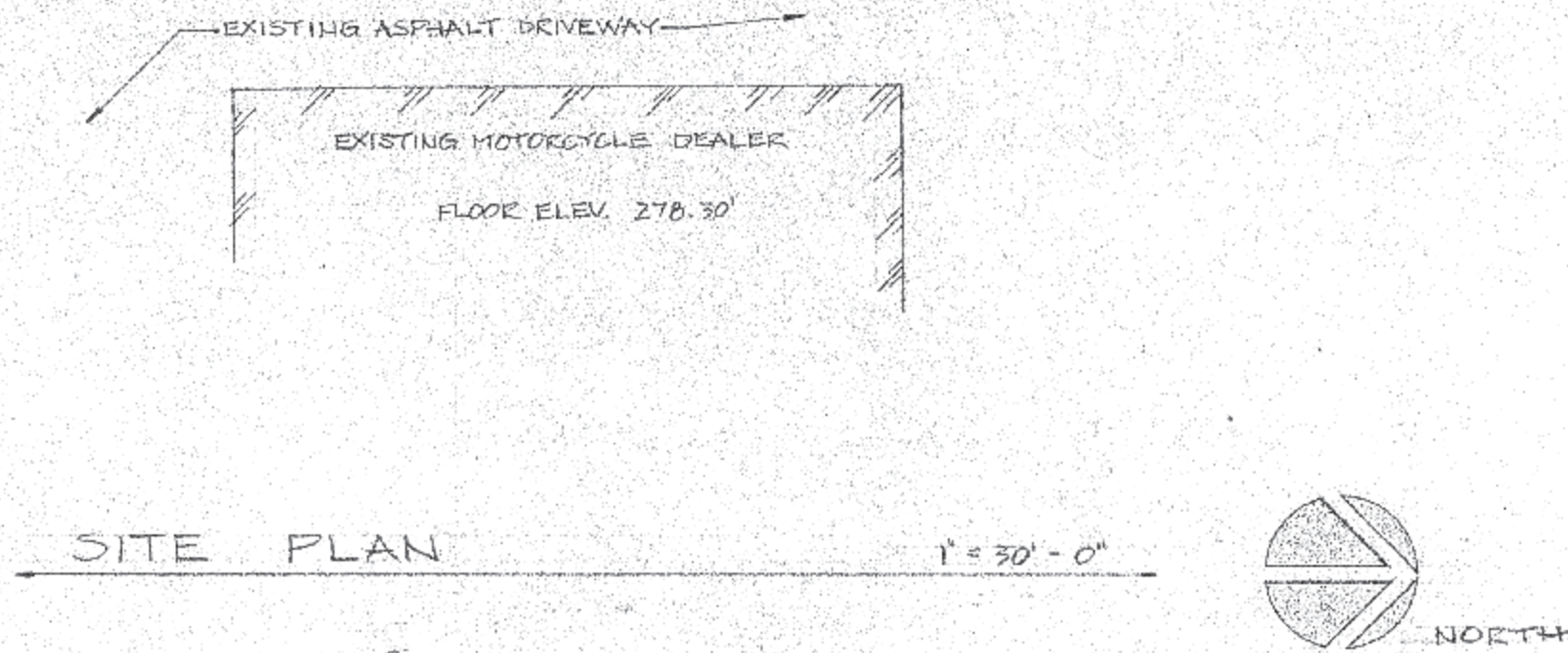
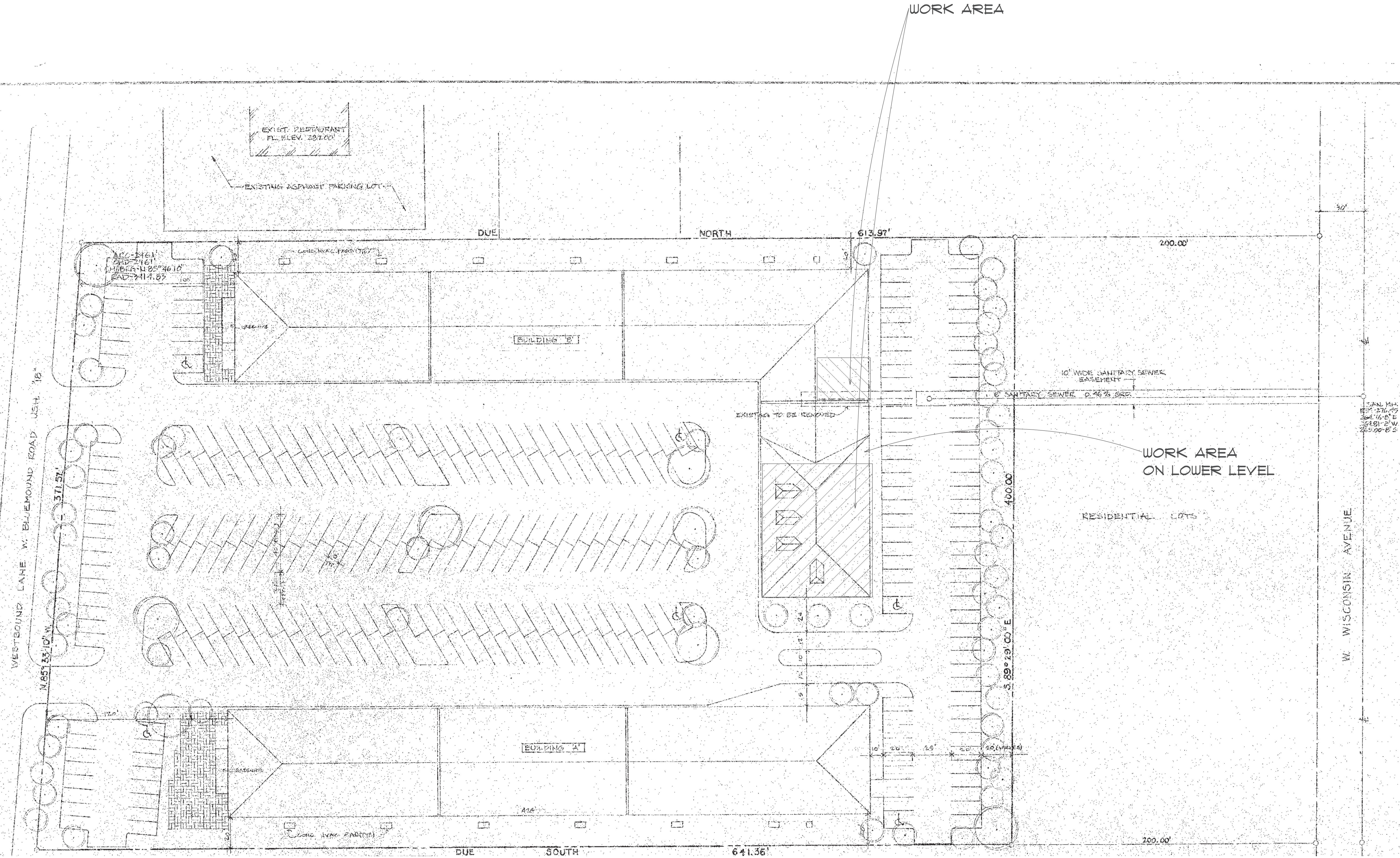
PROJECT DATA
T-1.0: PROJECT DATA, EXISTING SITE DRAWING,
G16 & DRAWING TABLE OF CONTENTS.
T-2.0: ANSI/ADAAG STANDARDS

ARCHITECTURAL
A-1.0 DEMO LOWER LEVEL PLAN
A-1.1: DEMO FIRST FLOOR PLAN
A-1.2 FRONT, RIGHT & REAR ELEVATIONS
A-1.3 FRONT & REAR ENTRY DETAILS
A-1.4 REMODELED LOWER LEVEL PLAN
A-1.5 LOWER LEVEL ROOM & DOOR SCHEDULE
A-1.6 REMODELED FIRST FLOOR PLAN
A-1.7 LIFE SAFTEY PLAN
A-2.0 SECTIONS & DETAILS

STRUCTURAL
S-0.0 STRUCTURAL NOTES
S-1.0 FRAMING & DETAILS

1ST FLOOR: 8340 SQ. FT.
LOWER LEVEL: 8242 SQ. FT.
TOTAL: 16,582 SQ. FT.

FINAL CONSTRUCTION
PLANS



SITE IMAGE
NOT TO SCALE

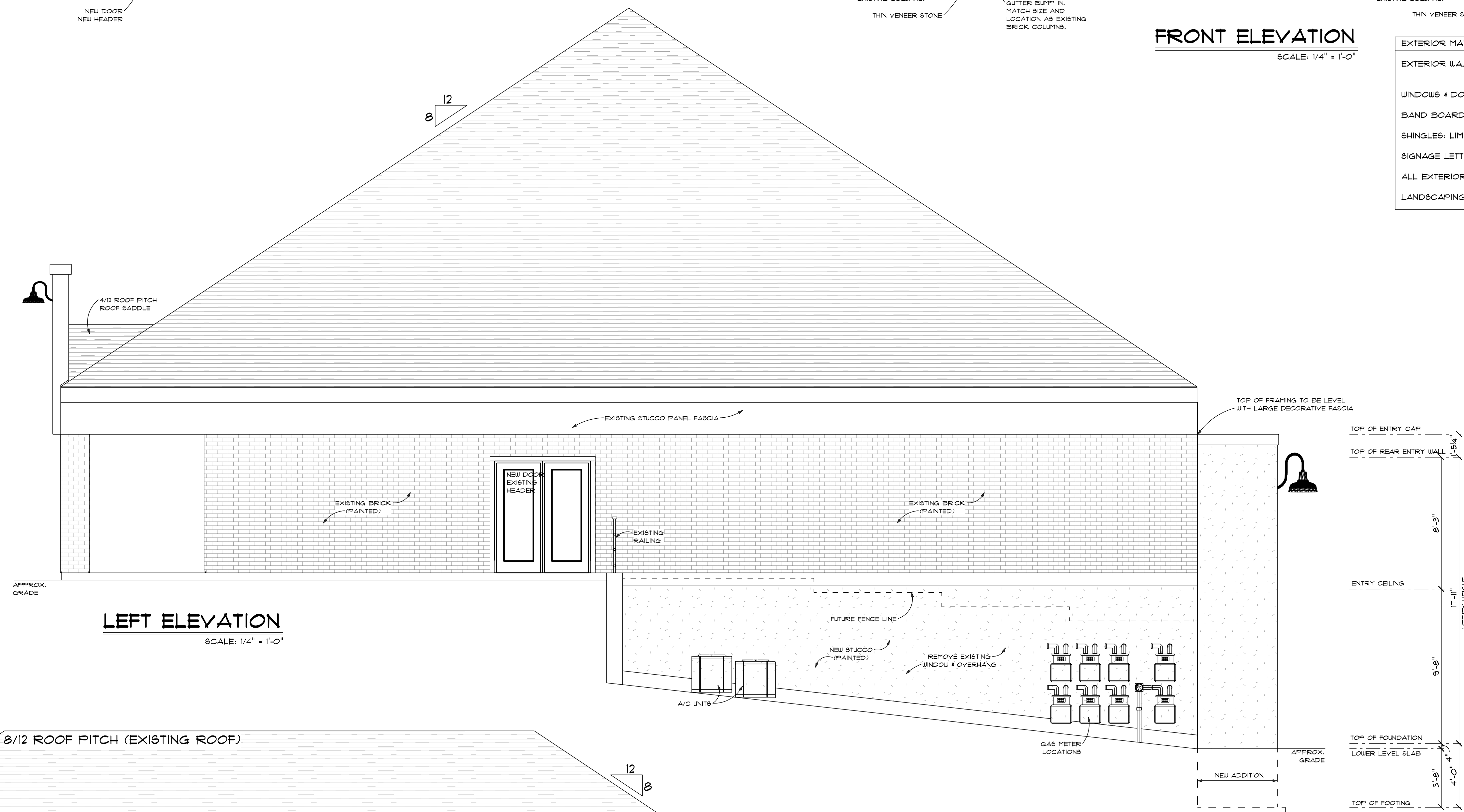


EXTERIOR MATERIALS:
EXTERIOR WALLS: EXISTING BRICK (SEE ELEVATIONS) NEW STUCCO (SEE ELEVATIONS)
WINDOWS & DOORS: BLACK CLAD (MATCH EXISTING)
BAND BOARDS: STUCCO PANELS
SHINGLES: LIMITED LIFE TIME DIMENSIONAL SHINGLE (MATCH EXISTING)
SIGNAGE LETTERING: BLACK CLAD
ALL EXTERIOR BRICK & STUCCO IS PAINTED WHITE
LANDSCAPING: NEW LANDSCAPING FOR REAR OF BUILDING

-REVIVAL LETTERING SIZE:
 2-5" HEIGHT
 91 SQUARE FEET TOTAL
 -BOOKING FITNESS LETTERING SIZE:
 9.5" HEIGHT
 10 SQUARE FEET TOTAL
 +WELLNESS LETTERING SIZE:
 9.5" HEIGHT
 7 SQUARE FEET TOTAL

ALLOWABLE LETTER SIGNAGE CALCULATION:
 232.5 SQ. FT. x .3 FACTOR= 69.75 SQ. FT.
 104.25" LENGTH OF BUILDING x .8 FACTOR= 83.4 SQ. FT.

ACTUAL LETTER SIGNAGE 69. FT. + 69 SQ. FT.



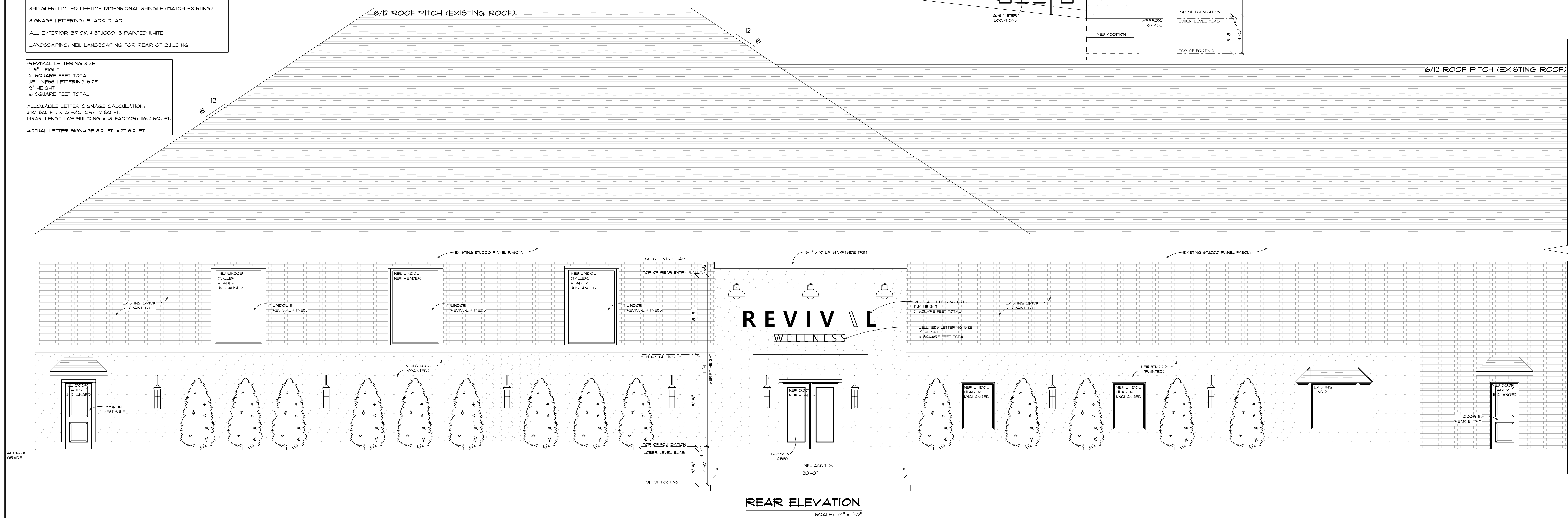
LEFT ELEVATION

EXTERIOR MATERIALS:
EXTERIOR WALLS: EXISTING BRICK (SEE ELEVATIONS) NEW STUCCO (SEE ELEVATIONS)
WINDOWS & DOORS: BLACK CLAD (MATCH EXISTING)
BAND BOARDS: STUCCO PANELS
SHINGLES: LIMITED LIFETIME DIMENSIONAL SHINGLE (MATCH EXISTING)
SIGNAGE LETTERING: BLACK CLAD
ALL EXTERIOR BRICK & STUCCO IS PAINTED WHITE
LANDSCAPING: NEW LANDSCAPING FOR REAR OF BUILDING

REVELING LETTERING SIZE:
 1'-8" HEIGHT
 21 SQUARE FEET TOTAL
 WELLNESS LETTERING SIZE:
 9" HEIGHT
 6 SQUARE FEET TOTAL

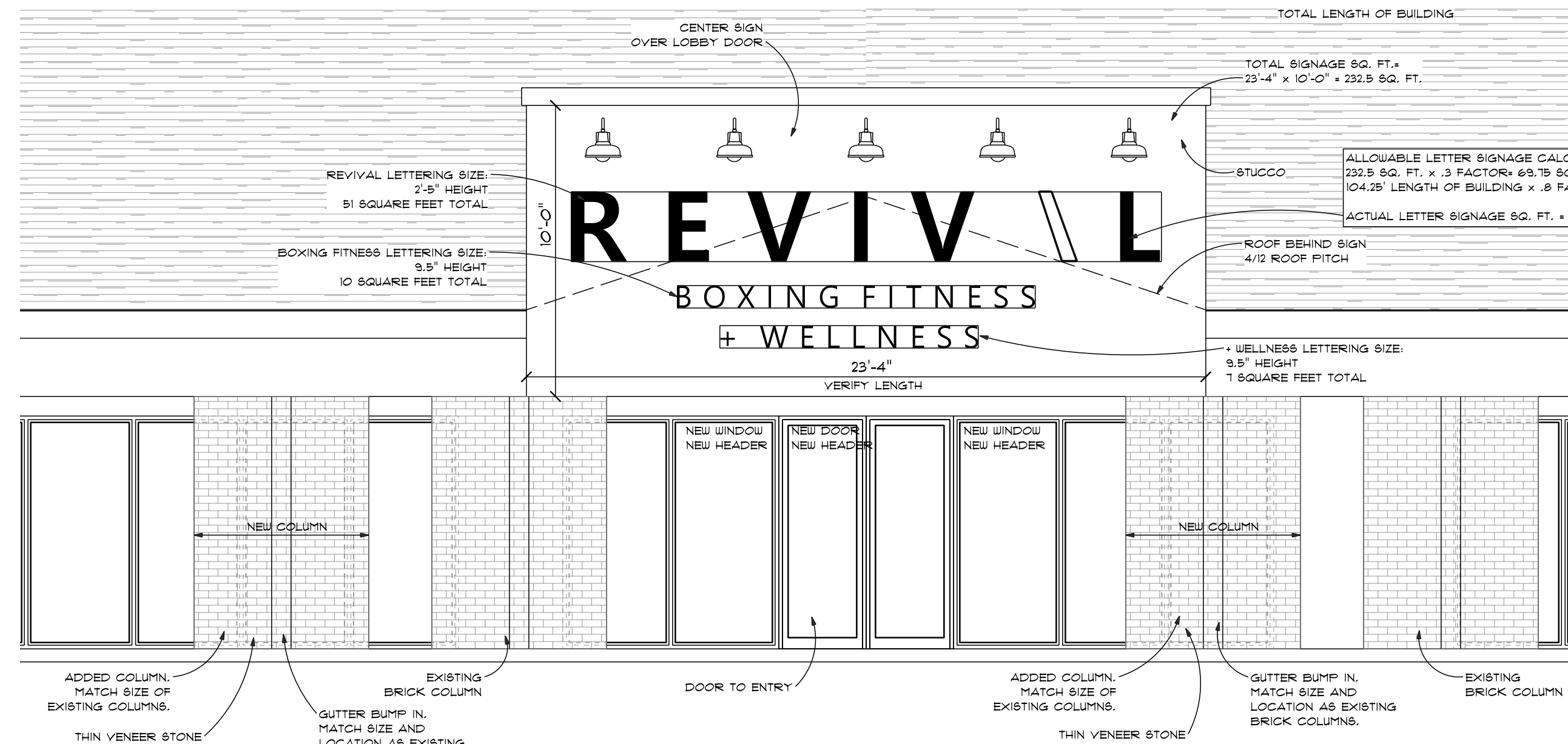
 ALLOWABLE LETTER SIGNAGE CALCULATION:
 240 SQ. FT. x 3 FACTOR = 720 SQ. FT.
 145.25' LENGTH OF BUILDING x .8 FACTOR = 116.2 SQ. FT.

 ACTUAL LETTER SIGNAGE SQ. FT. = 21 SQ. FT.

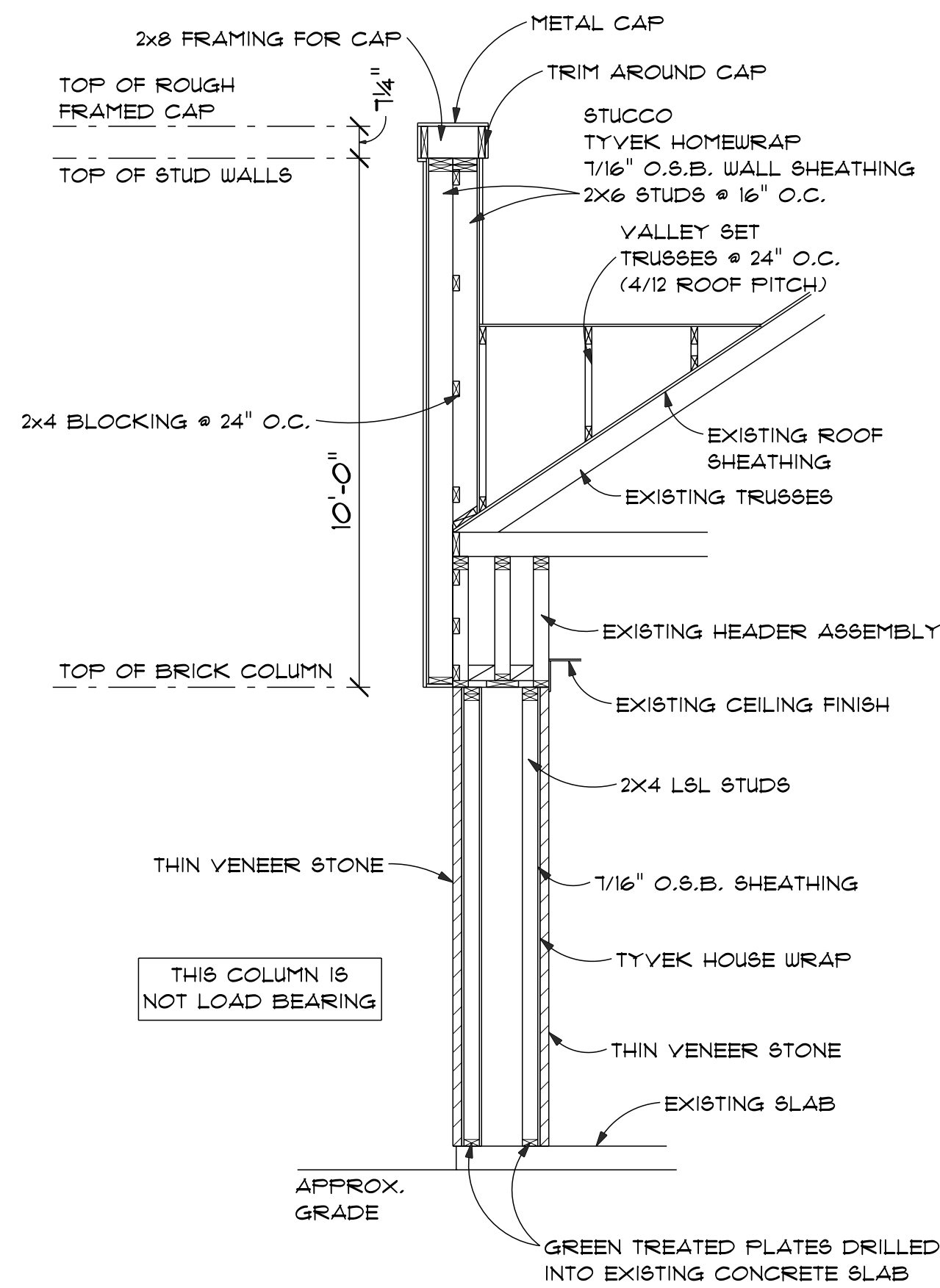


1ST FLOOR:	8340 SQ. FT.
LOWER LEVEL:	8242 SQ. FT.
TOTAL:	16,582 SQ. FT.

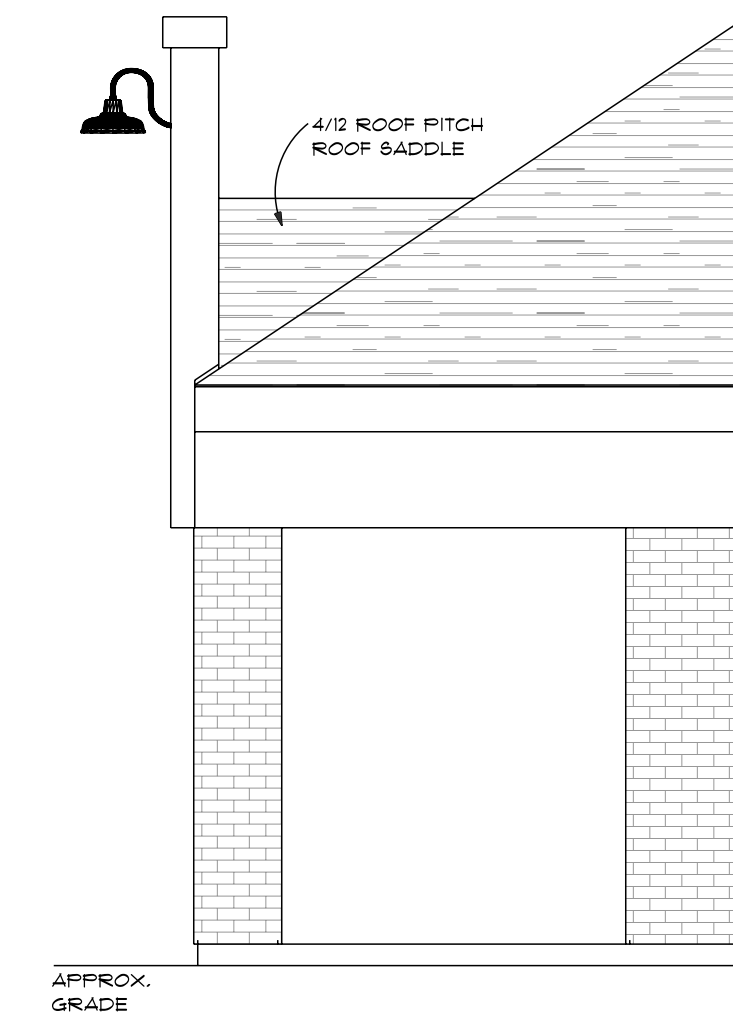
FINAL CONSTRUCTION
PLANS



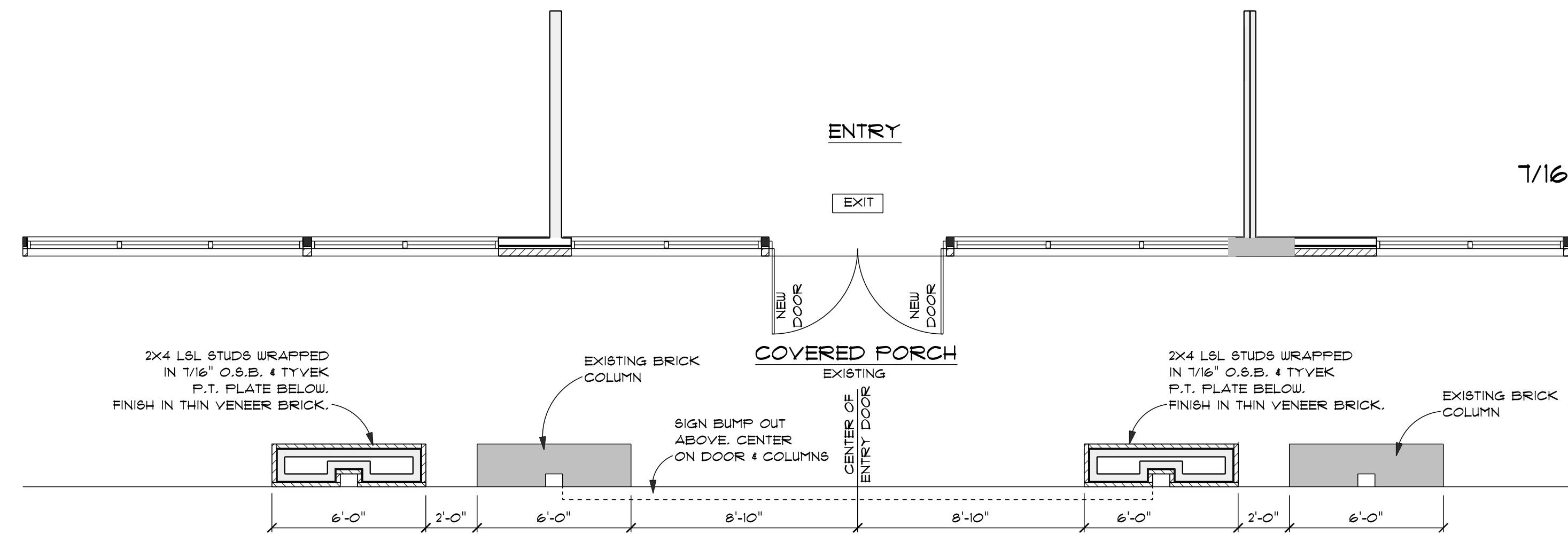
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



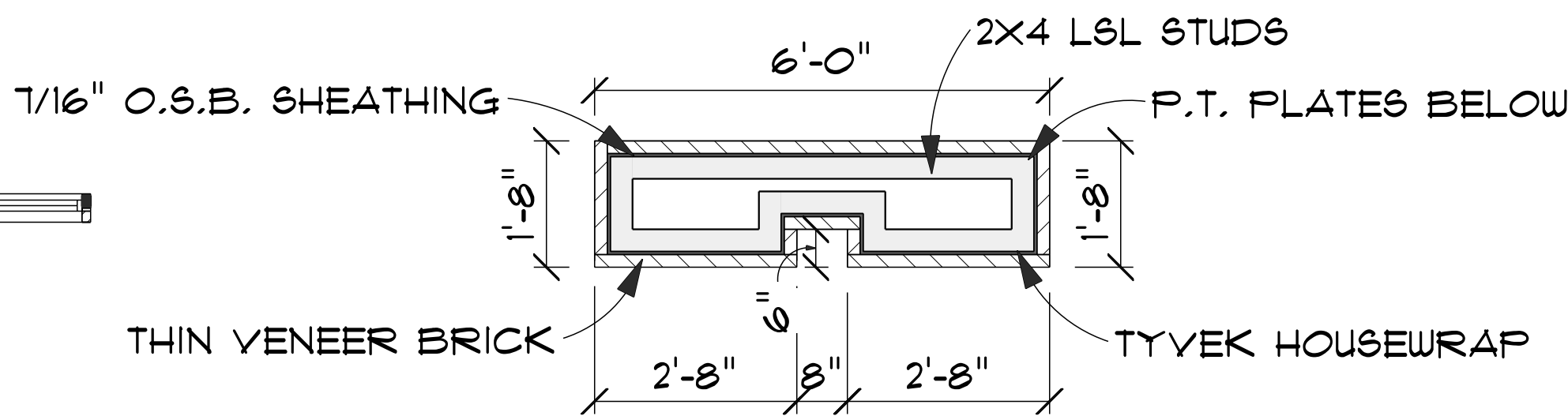
COLUMN & SIGN SECTION
SCALE: 3/8" = 1'-0"



LEFT ELEVAT
SCALE:



COLUMN FLOOR PLAN
SCALE: 1/4" = 1'-0"



COLUMN DETAIL
SCALE: 1/2" = 1'-0"

ES BELOW

ISEURAP

BEST EFFORT HAS BEEN MADE IN ACCURACY OF ALL DIMENSIONS. IF A DISCREPANCY IS FOUND PLEASE CONTACT D4S TO MAKE CHANGES ACCORDINGLY.

PRELIMINARY PLANS:
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E: LISA@DESIGN4STYLE.COM

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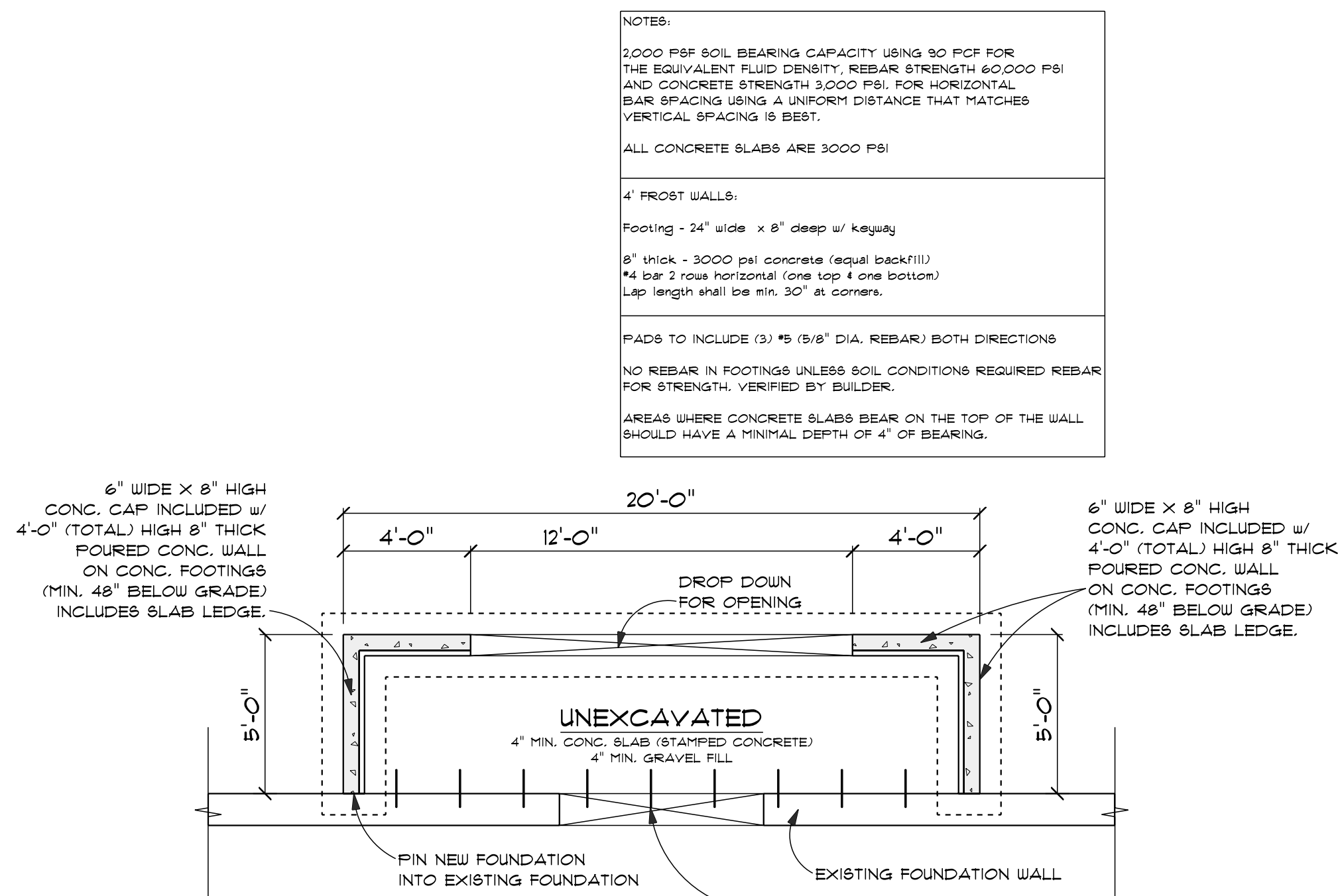
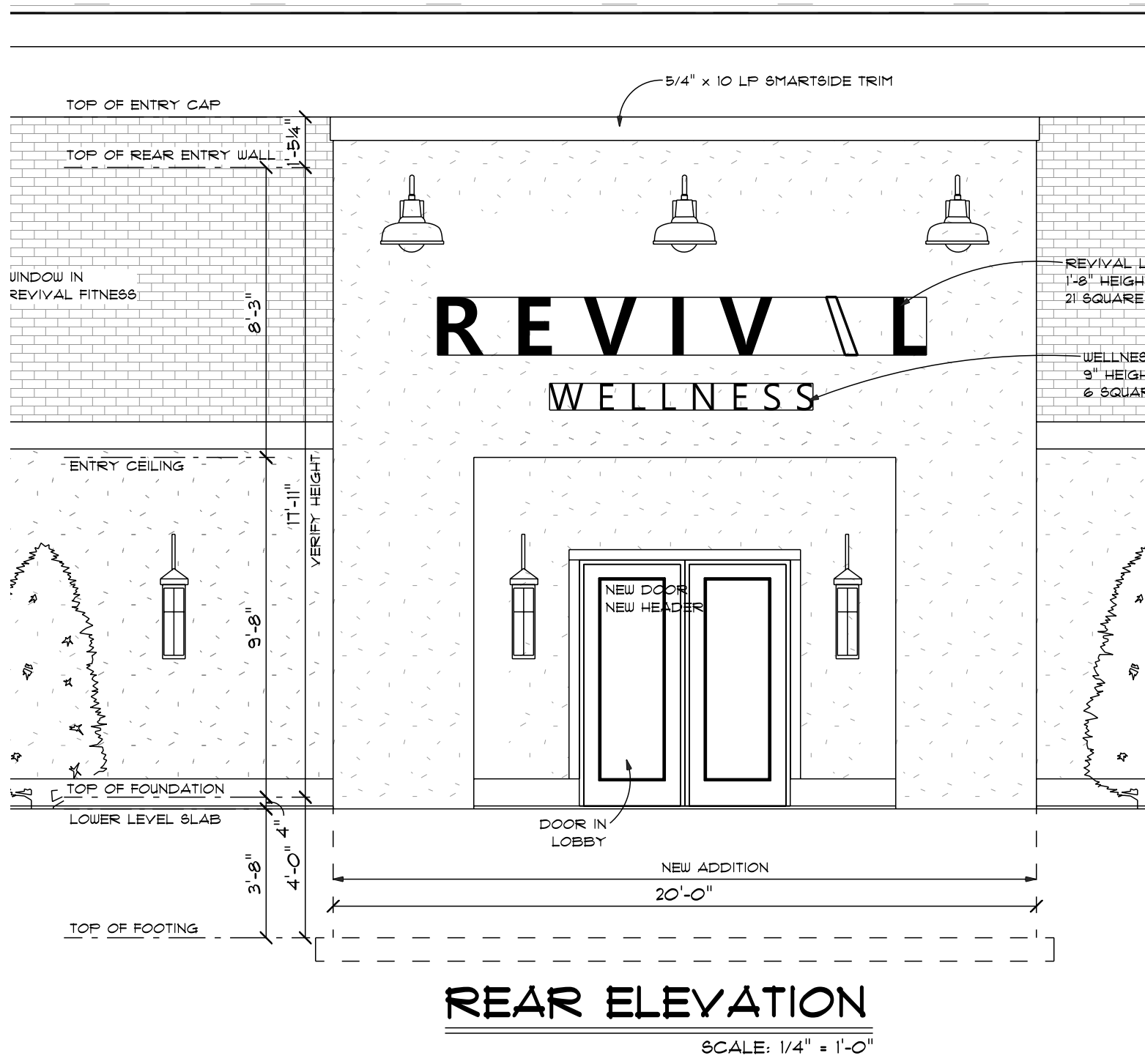
NOTICE TO CONTRACTORS
& SUPPLIERS
ALTHOUGH EVERY EFFORT HAS BEEN
MADE TO ENSURE THE ACCURACY
AND CLARITY OF THESE PLANS,
THE USER ASSUMES ALL LIABILITY
FOR THE RESULTS OF ANY
CONSTRUCTION. GENERAL CONTRACTORS
OR DISCREPANCIES DURING THE
CONSTRUCTION OF THESE PLANS.

P.O. BOX 180593
DELAWARE, DE 19718
PHONE: 262-370-3100
FAX: 262-646-5193
WWW.ROBMILLERHOMES.COM

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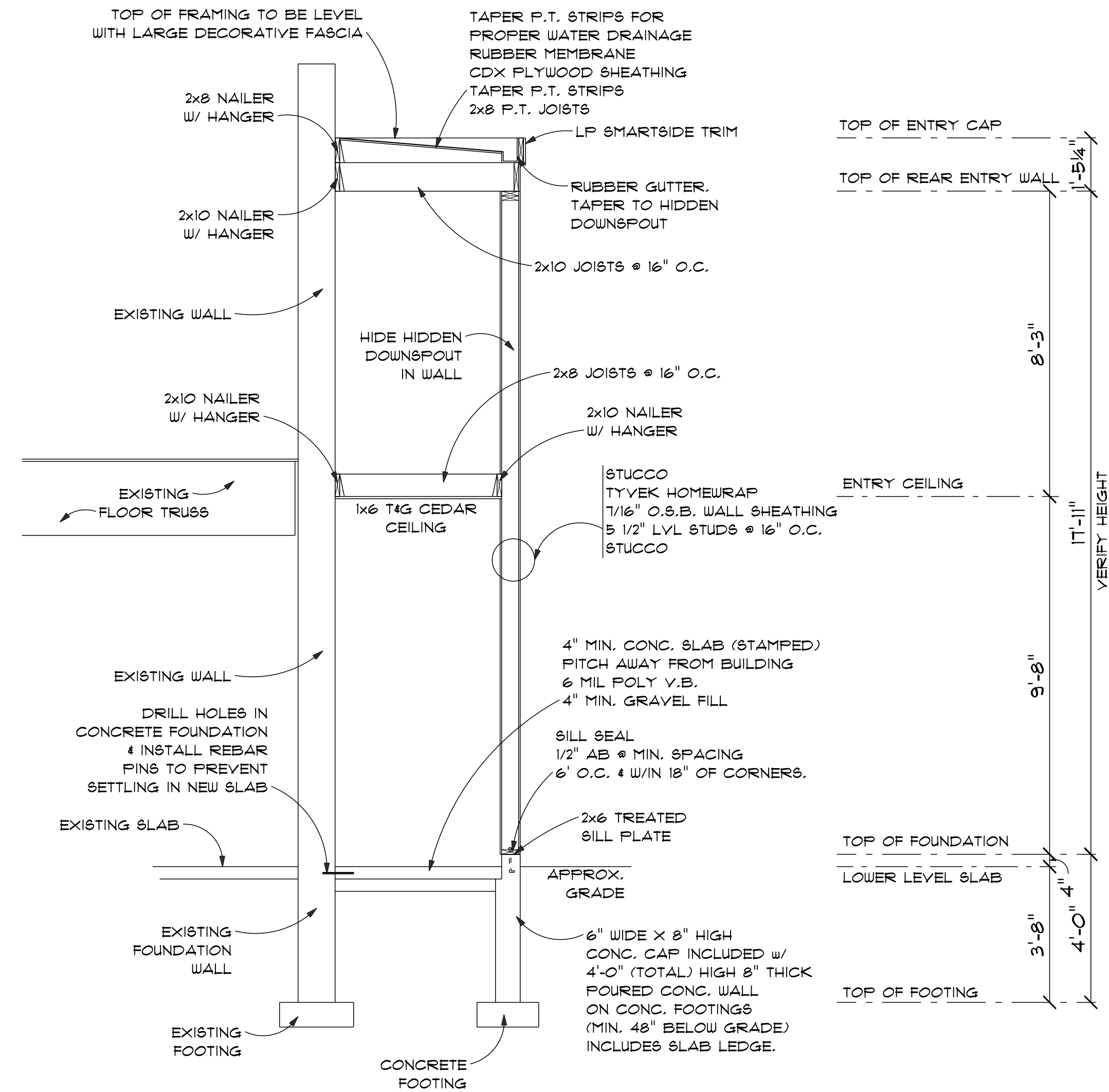
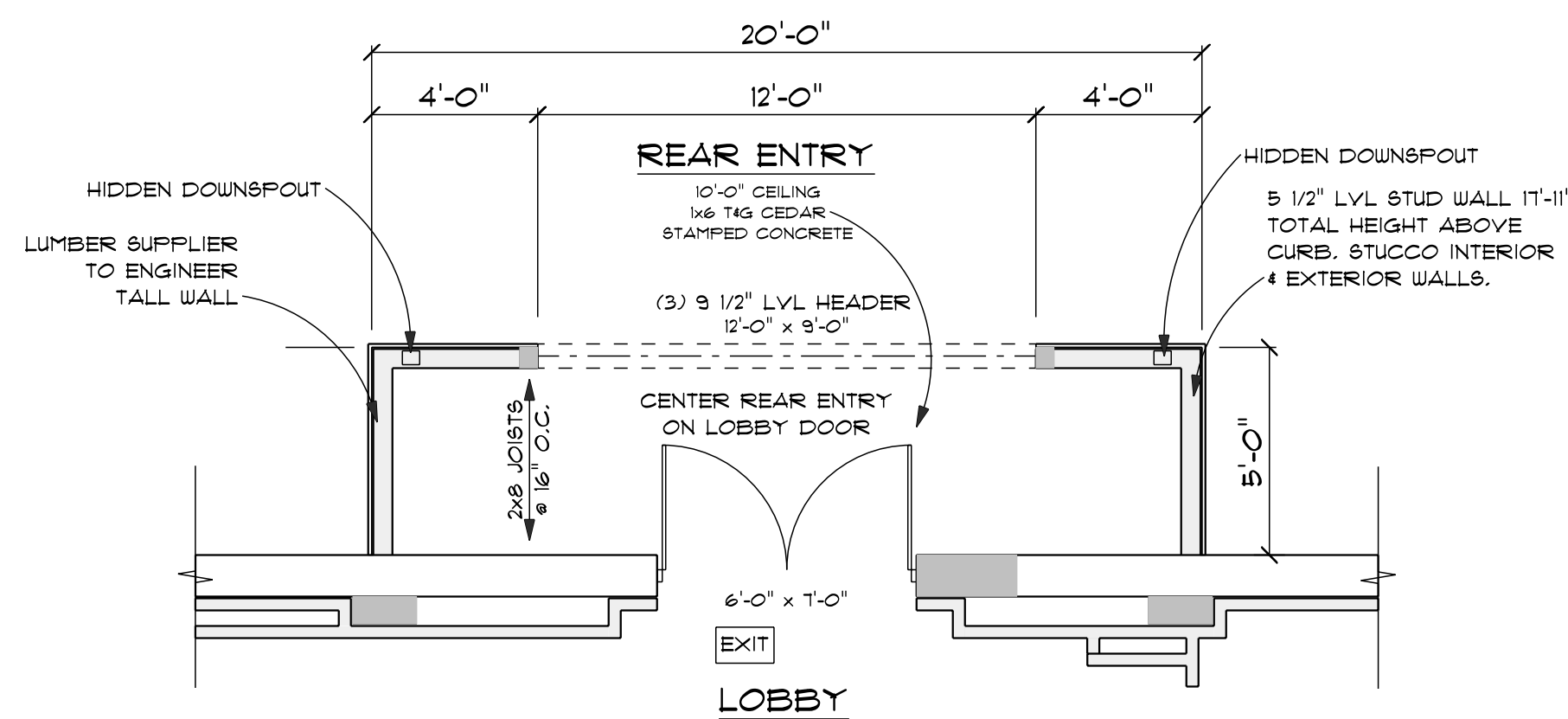
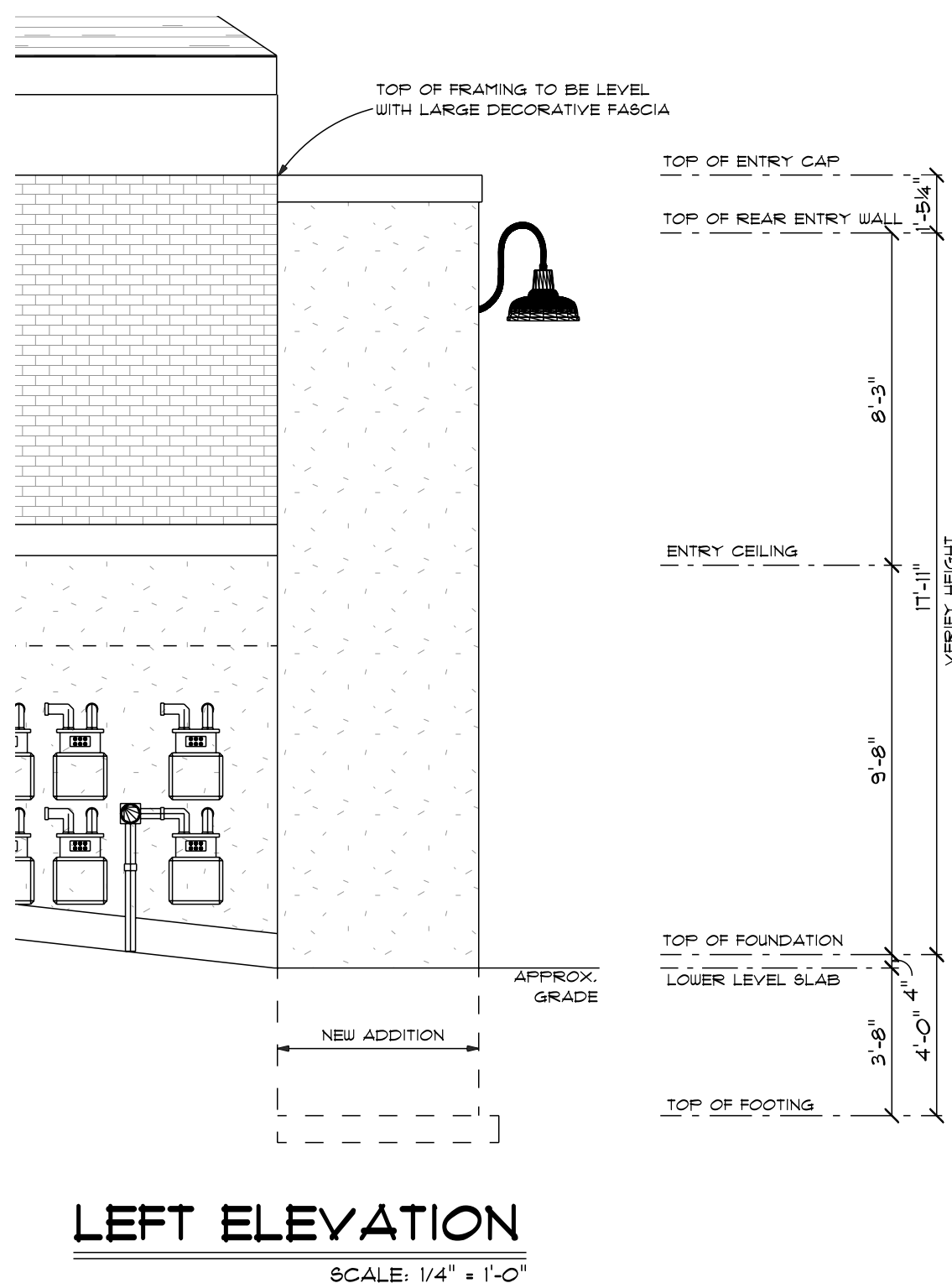
FUTURE ENTRANCE OR ENTRY
REVIVAL BOXING
FITNESS & WELLNESS
ADDRESS: SUITES LYN
17800 W. BLUEMOUND ROAD
BROOKFIELD, WI

PAGE
1 OF 2



REAR ENTRY FOUNDATION PLAN

SCALE: 3/8" = 1'-0"



- NOTES:
1. INSTALL 6' OF ICE & WATER SHIELD ABOVE ALL GUTTERS FOLDED ON THE FASCIA AROUND ALL ROOF PENETRATION, IN SADDLE AREAS, WHERE ALL METAL IS TO BE INSTALLED, AROUND CHIMNEY AND IN THE VALLEYS. ADDITIONAL 6' STRIP OF ICE & WATER BARRIER TO TIE THE GUTTER APRON INTO THE LOWER APPLICATION OF THE ICE & WATER BARRIER.
 2. INCLUDE METAL GUTTER APRON
 3. INCLUDE 5' PRE-FINISHED BEAMLESS ALUMINUM GUTTER & 3"x4" PRE-FINISHED RECTANGULAR DOWNSPOUTS. INCLUDE BENDS FOR DOWNSPOUTS AROUND STONE BELTLINES. DOWNSPOUTS TO BE HIDDEN IN COLUMNS IF NOTED.
 4. INCLUDE CAULK AT TOP PLATES AND EXTERIOR WALLS & AT HOLES AND VOIDS.
 5. INCLUDE PRE-FINISHED METAL TIN FLASHING & WALL FLASHING AS REQUIRED.
 6. INCLUDE Baffle VENTS
 6. REFERENCE FOUNDATION PLAN FOR CONCRETE WALL DETAILS: HEIGHT, CURBS, FOOTINGS, REBAR & PSI.
 7. FRAMER TO FOLLOW ALL APPLICABLE 1-JOIST, LVL & L&L DETAILS.
 8. IF BRICK/STONE IS INSTALLED, A MIN. 1" AIRSPACE SHALL BE PROVIDED BETWEEN STONE VENEER AND THE WALL SHEATHING UNLESS A MANUFACTURER OFFSET MATERIAL IS USED. ALSO, INSTALL 1 LAYER TAR PAPER AND 1 LAYER TYVEK OVER THE SHEATHING. (TYP)
 9. INCLUDE FLASHING: PRE-FINISHED ALUM. ABOVE ALL TOPS OF WINDOWS/DOOR TRIM, AND ANY MATERIAL THAT PROTRUDES FROM HOUSE AND AT MATERIAL JUNCTIONS.

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